

- Northern Beaches Council

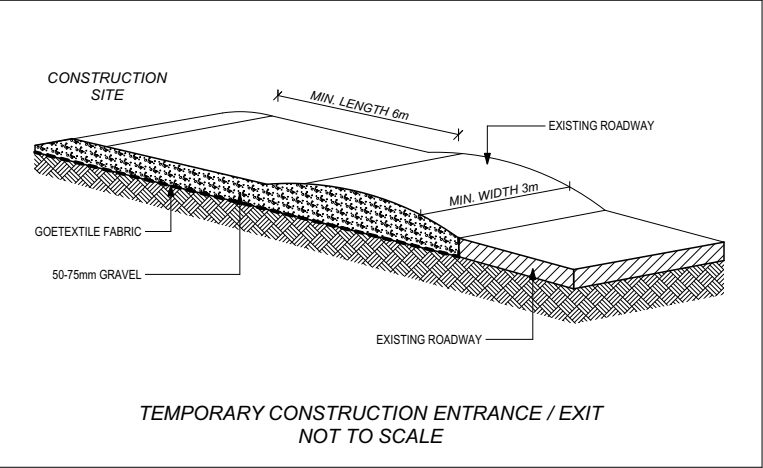
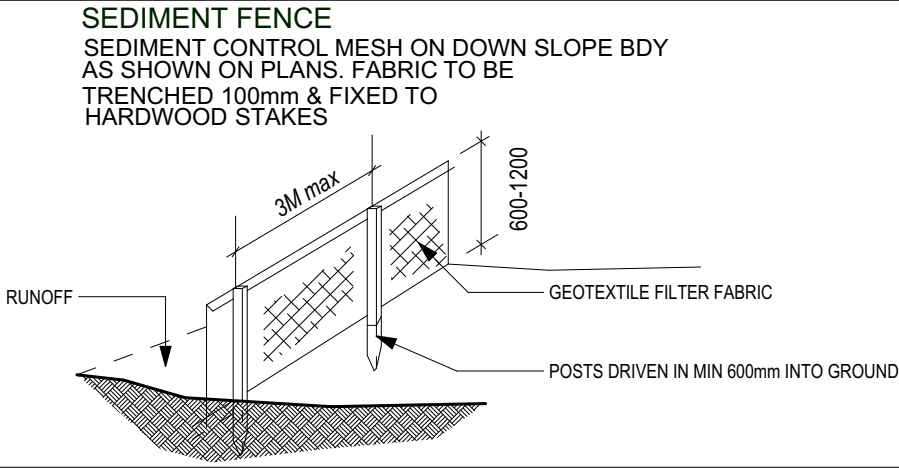
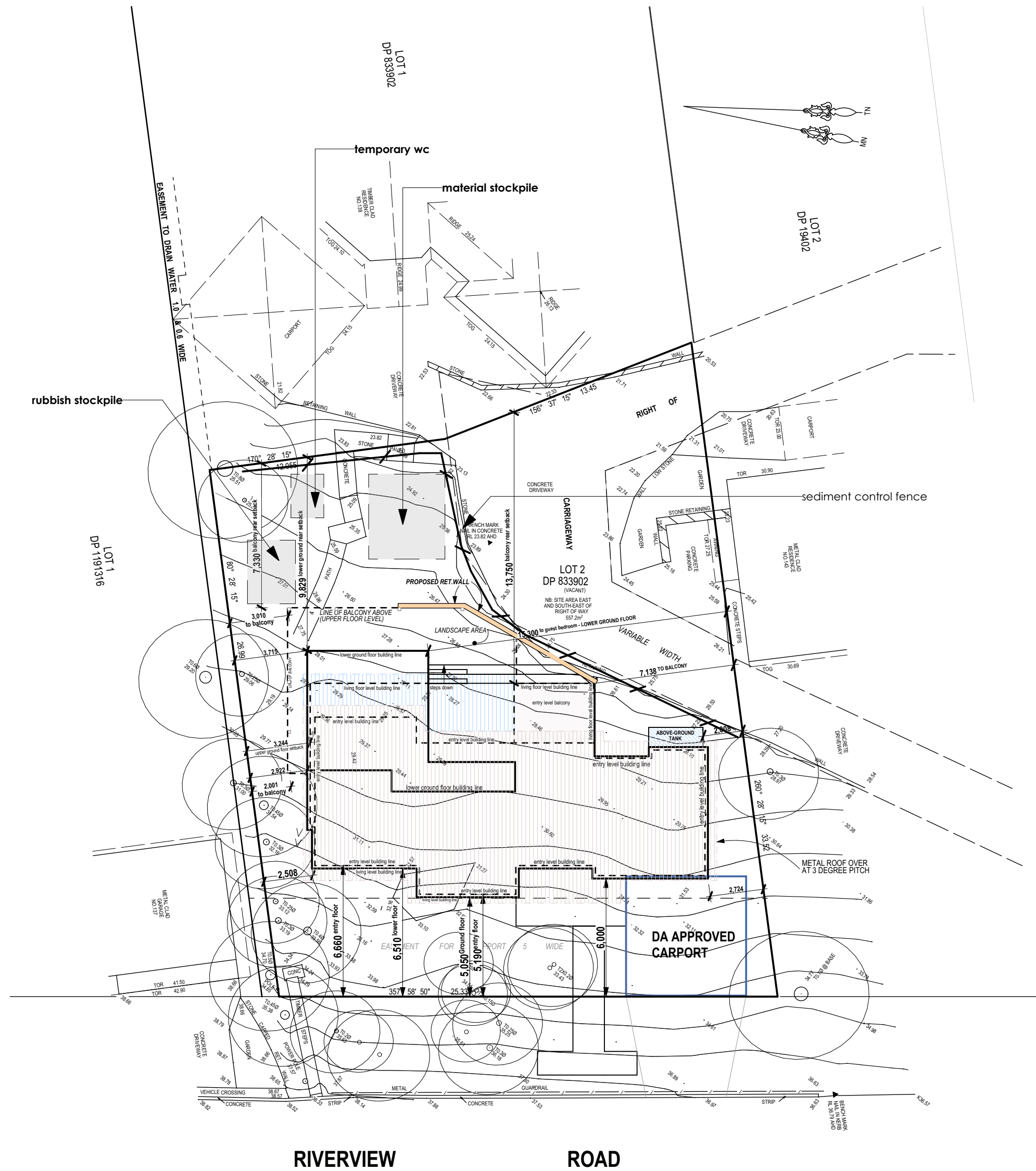
BASIX & THERMAL COMMITMENTS 

VISUAL INCLUDES TREES (AS PER HEIGHTS DENOTED IN THE ARBORIST REPORT) TO BE RETAINED IN THE EAST AND SOUTH-EAST CORNERS



VISUAL INCLUDES TREES (AS PER HEIGHTS DENOTED IN THE ARBORIST REPORT) TO BE RETAINED IN THE EAST AND SOUTH-EAST CORNERS

<div><div><div>FYFFE DESIGN</div><div>residential and building design</div><div>www.fyffedesign.com.au info@fyffedesign.com.au 02 9634 3600</div><div>5G/ 256 New Line Road Dural 2158</div></div><div><div>bda</div><div>Full Member No. 1672 - 14</div></div></div>		DATE		AMENDMENTS		NO	BY	ADDRESS		DRAWING TITLE		DRAWING STATUS					
		21/01/2021		design development		3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902		COVER PAGE & BASIX/NATHERS		DA SUBMISSION					
		16/02/2021		working drawings		4	AW	CLIENT Uday and Kavita Bonu		PROJECT PROPOSED NEW DWELLING		DRAWN BY		DATE		SCALE	
		15/03/2021		windows changed as per client's email dated 12.03.21		5	PC					AW		21/06/21		1:1.43, 1:2 ® A2	
		18/03/2021		development application plans		6	PC					DWG NO		JOB NUMBER		ISSUE	
		21/05/2021		additional shadows & landscape calcs added		7	PC										
		07/06/2021		6.5m front setback compliance redesign		8	PC										



- SEDIMENT NOTE :**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
 2. MINIMISE DISTURBED AREAS. REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
 3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
 4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
 5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

NOTE:
MINIMAL ADDITIONAL STORMWATER LOADING. STORMWATER TO BE DIRECTED TO EXISTING AND WORKING DISCHARGE POINT

NOTE:
FRAMING TO AS 1685 - 2010
CONCRETE FOOTING TO AS 2870 - 2011
PLUMBING TO AS 3500 - 2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS2049
DOORS AND WINDOWS TO AS 2047

NOTE:
STORMWATER DISPOSAL AS PER
HYDRAULICS ENGINEER'S DESIGN No.24956-
C2 PREPARED BY NASTASI & ASSOCIATES

DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	PROPOSED SITE PLAN	DA SUBMISSION
16/02/2021	working drawings	4	AW			
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT	DRAWN BY AW
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu	PROPOSED NEW DWELLING	DATE 21/06/21
21/05/2021	additional shadows & landscape calcs added	7	PC			SCALE 1:200 @ A2
07/06/2021	6.5m front setback compliance redesign	8	PC			DWG NO DA02
						JOB NUMBER 20127
						ISSUE 08

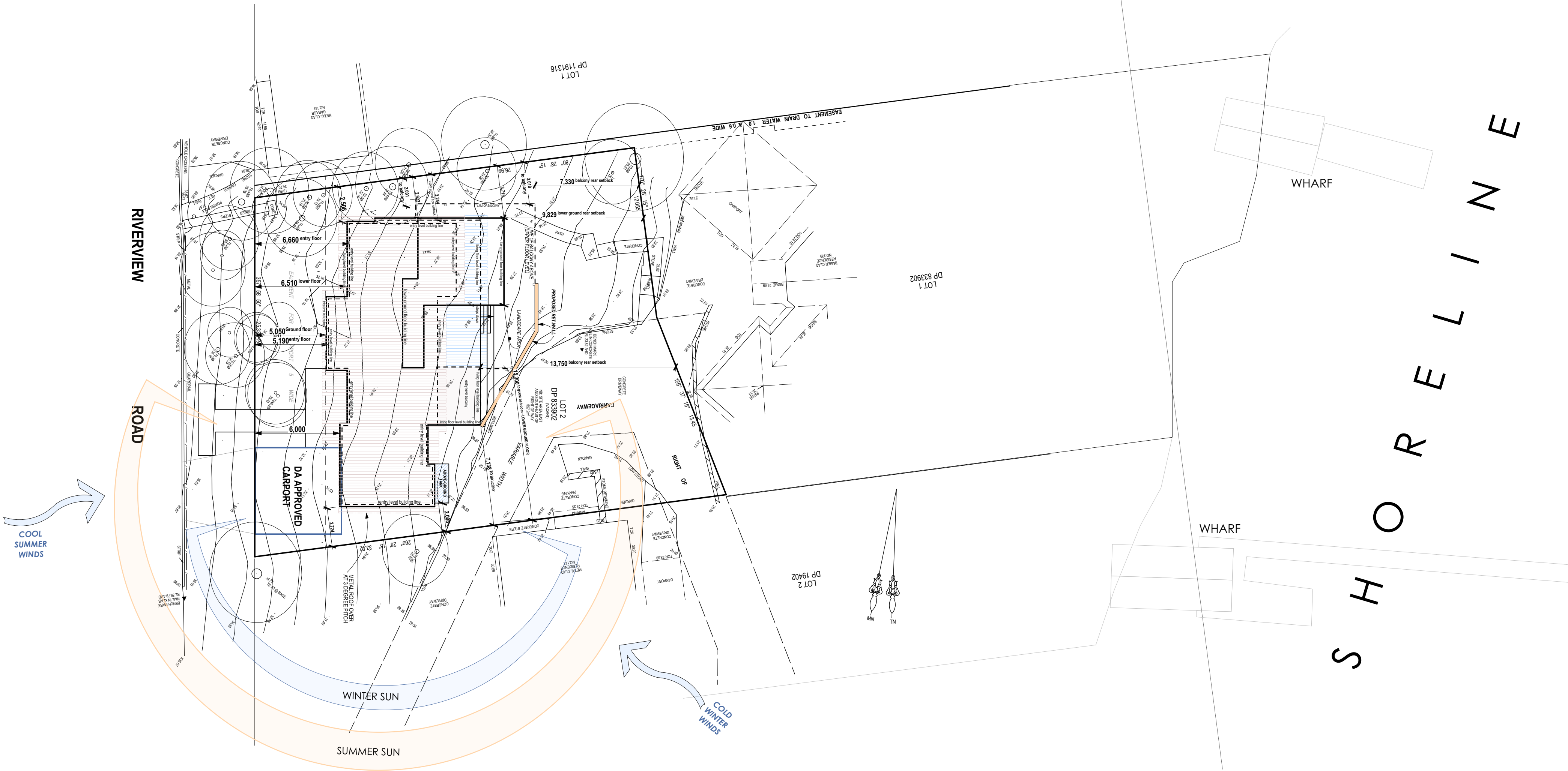
NOTE:
REFER TO LANDSCAPE PLAN FOR
TREES TO BE REMOVED INFORMATION

Total Build Area	
DWELLING	Area
Entry Floor Level	127.34
Front Porch (Entry Level)	16.12
Balcony (Living Floor Level)	47.87
Outdoor Living - Lower Floor Level	42.27
Guest Bed Area - Lower Floor Level	45.89
Living Floor Level	175.51
Balcony (Entry Level)	12.32
	467.32 m²

Carport = DA approved

DA Calculations
Site Area = 740.38m²
Carriageway =133.55m²
Allowable FSR - N/A

GFA Calculations	
Entry Floor Level	120.60
Living Floor Level	163.18
Lower Floor Level	40.43
	324.21 m²



FYFFE DESIGN

residential and building design
www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600
5G/ 256 New Line Road Dural 2158

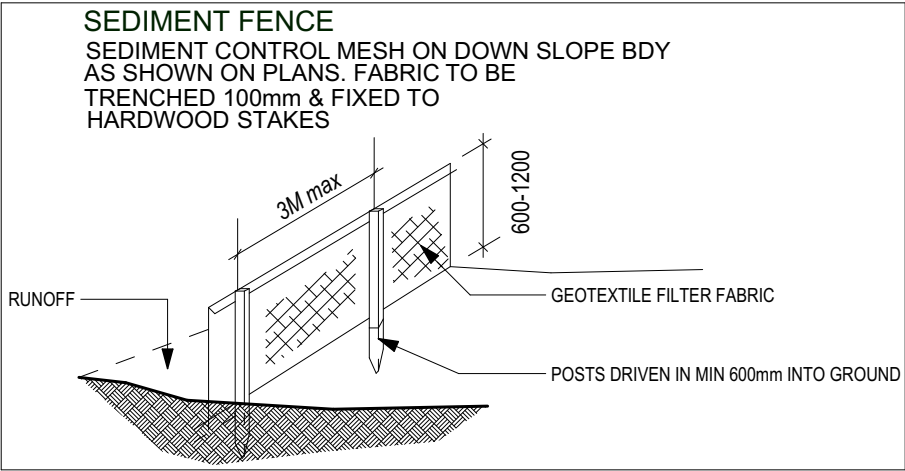
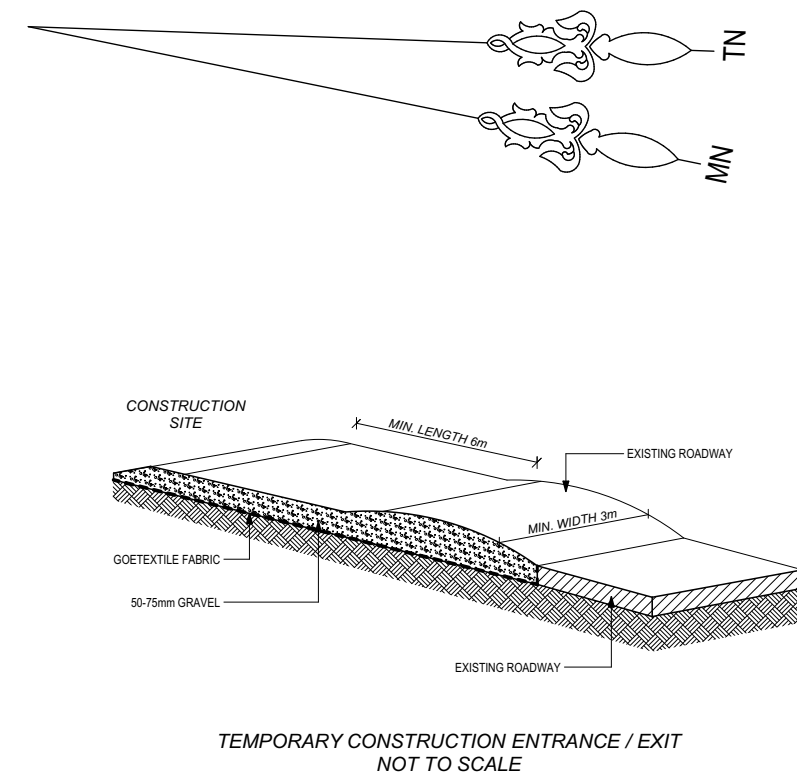
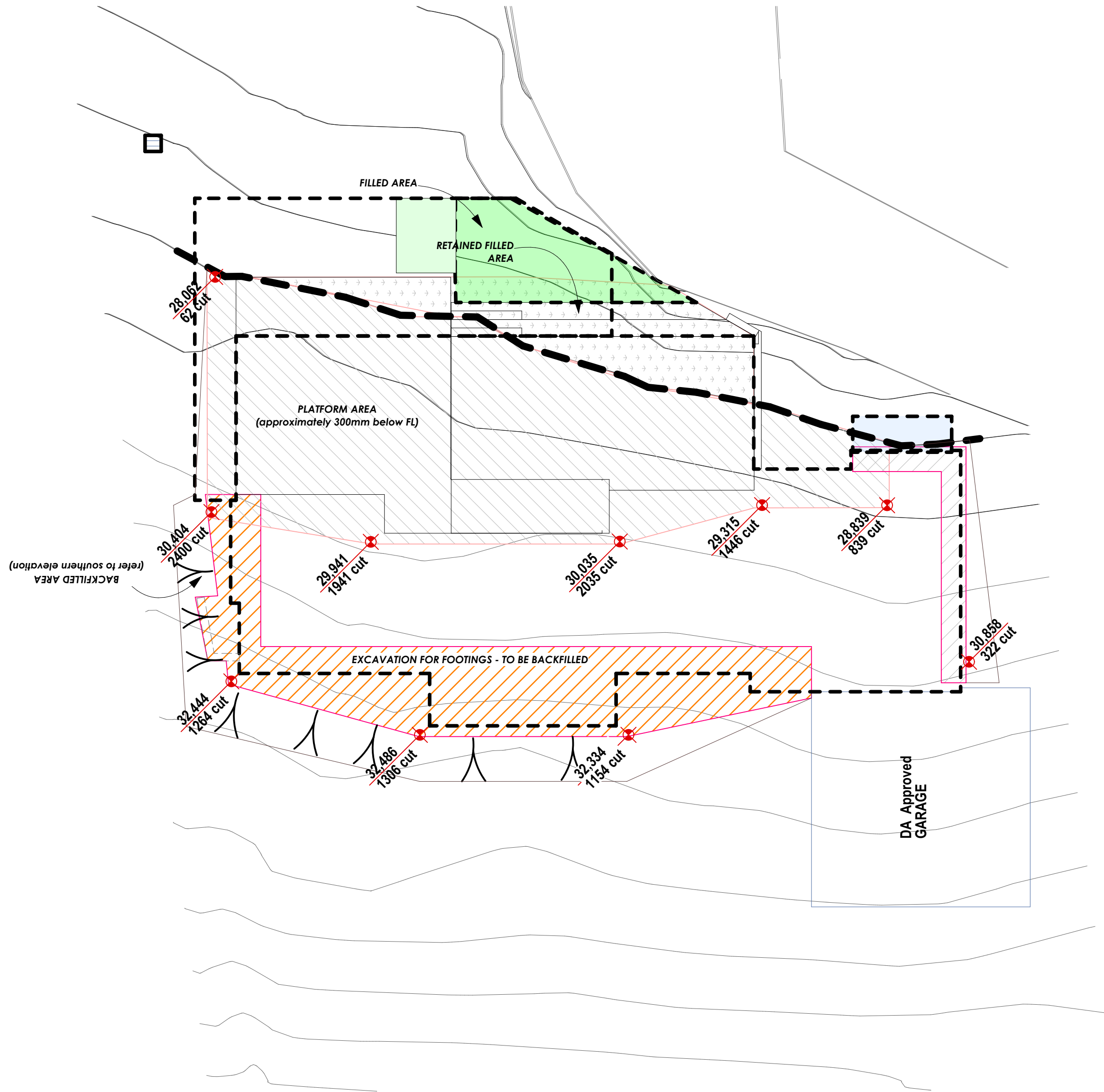
bda Full Member
No. 1672 - 14

DATE	AMENDMENTS	NO	BY
21/01/2021	design development	3	HH
16/02/2021	working drawings	4	AW
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC
18/03/2021	development application plans	6	PC
21/05/2021	additional shadows & landscape calcs added	7	PC
07/06/2021	6.5m front setback compliance redesign	8	PC

ADDRESS
141 Riverview Road, Avalon Beach
Lot 2/-/DP833902
CLIENT
Uday and Kavita Bonu

DRAWING TITLE
SITE ANALYSIS PLAN
PROJECT
PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY AW	DATE 21/06/21	SCALE 1:200, 1:1 @ A2
DWG NO DA03	JOB NUMBER 20127	ISSUE 08



NOTE:
REFER TO FLOOR PLANS FOR RESPECTIVE RL's FOR EACH FLOOR LEVEL

FYFFE DESIGN

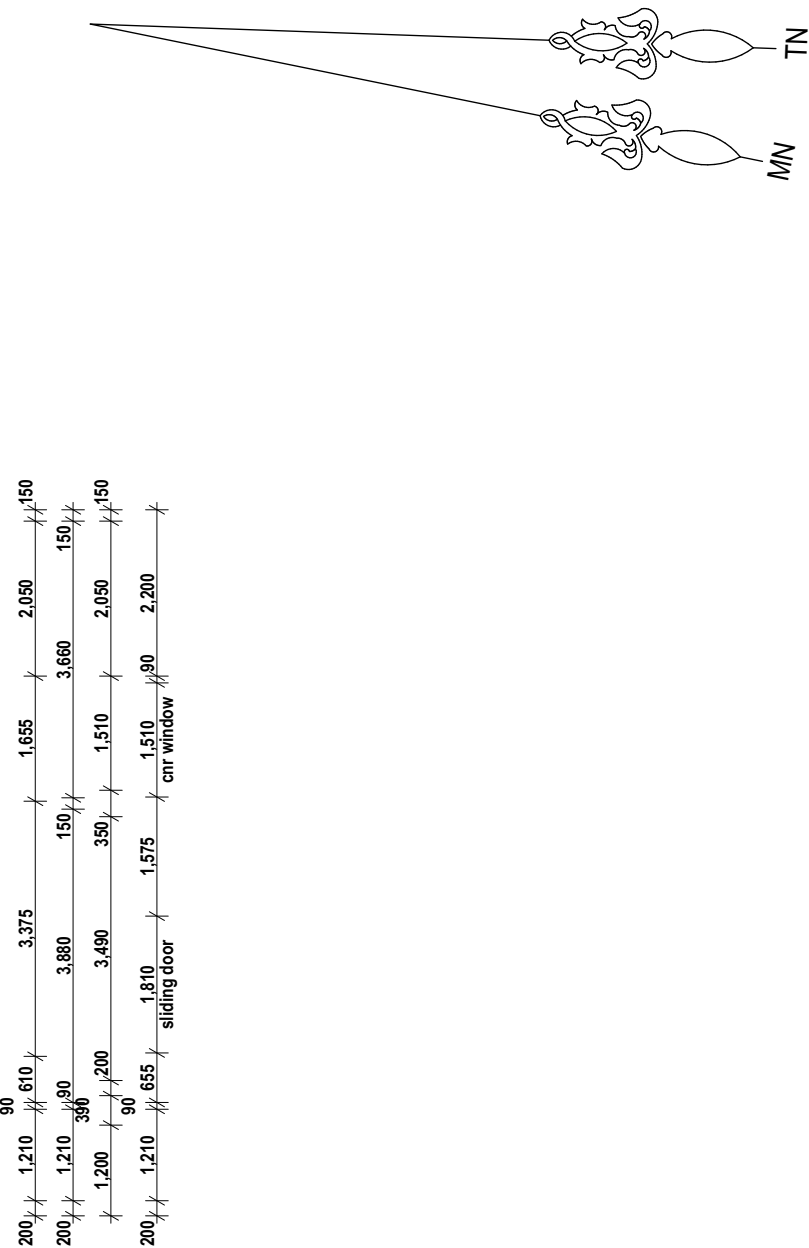
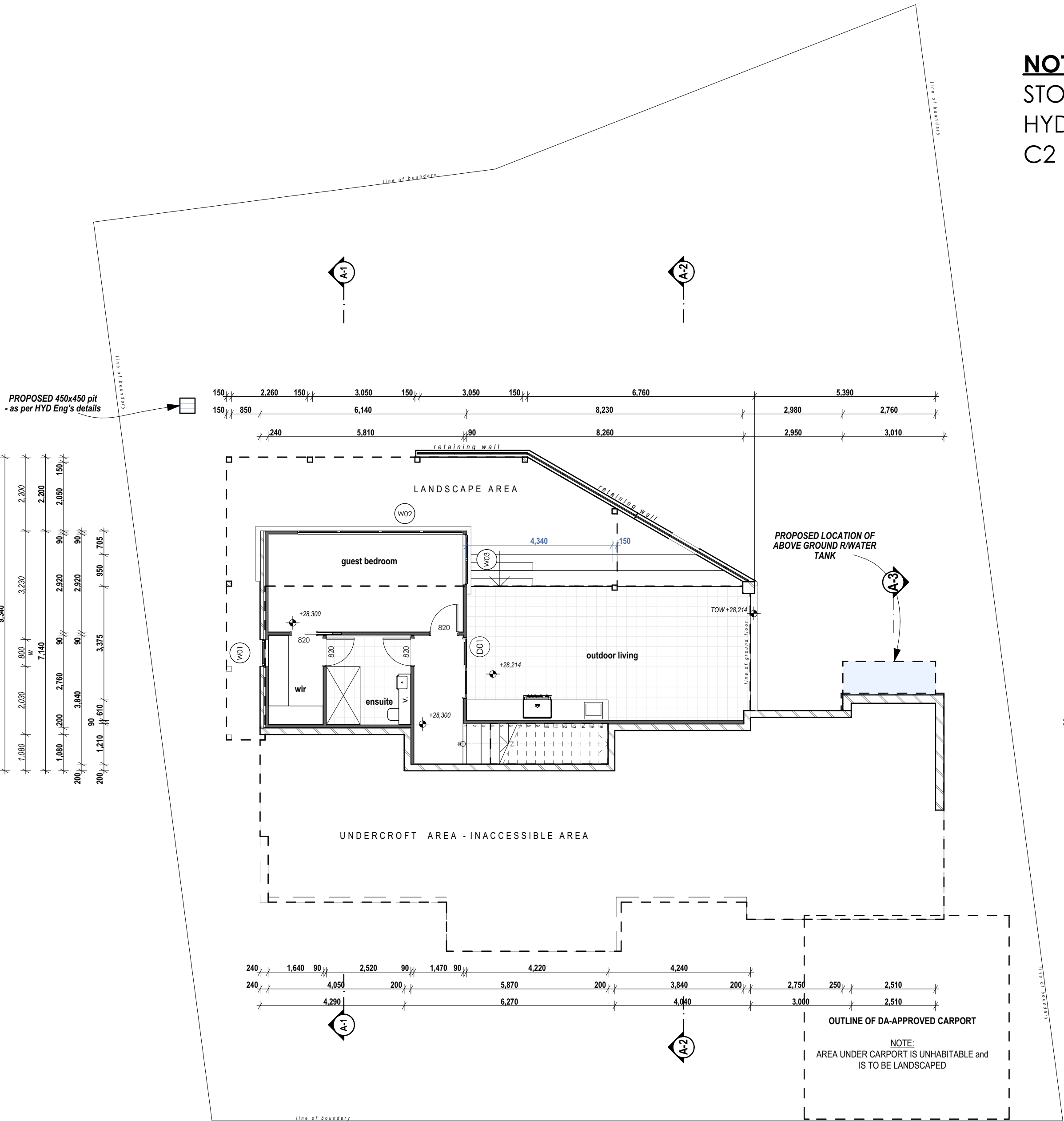
residential and building design
www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600
5G/ 256 New Line Road Dural 2158

bda Full Member
No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	PROPOSED CUT & FILL PLAN	DA SUBMISSION
16/02/2021	working drawings	4	AW			
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT	DRAWN BY AW
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu	PROPOSED NEW DWELLING	DATE 21/06/21
21/05/2021	additional shadows & landscape calcs added	7	PC			SCALE 1:100 @ A2
07/06/2021	6.5m front setback compliance redesign	8	PC			DWG NO DA05
						JOB NUMBER 20127
						ISSUE 08

NOTE:
FRAMING TO AS 1685 - 2010
CONCRETE FOOTING TO AS 2870 - 2011
PLUMBING TO AS 3500 - 2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS2049
DOORS AND WINDOWS TO AS 2047

NOTE:
STORMWATER DISPOSAL AS PER
HYDRAULICS ENGINEER'S DESIGN No.24956-
C2 PREPARED BY NASTASI & ASSOCIATES



FYFFE DESIGN

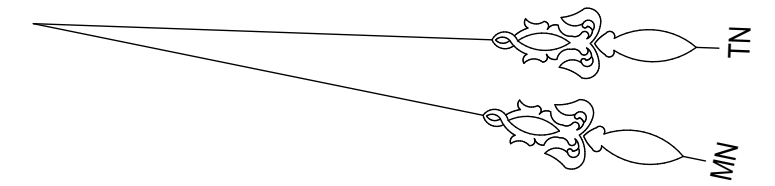
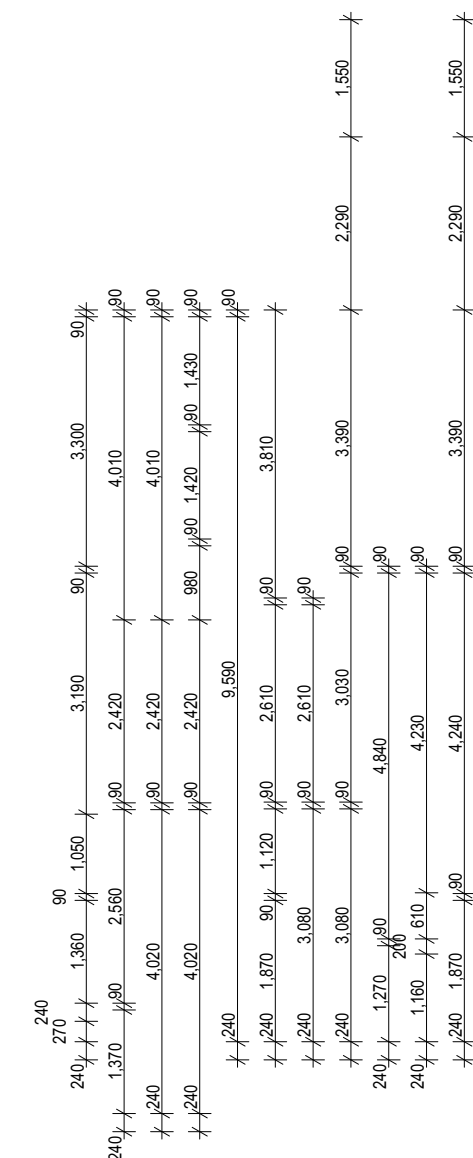
residential and building design
www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600
5G/ 256 New Line Road Dural 2158

bda Full Member
No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE	DRAWING STATUS
LOWER GROUND FLOOR PLAN	DA SUBMISSION
PROJECT	DRAWN BY AW
PROPOSED NEW DWELLING	DATE 21/06/21
	SCALE 1:100 @ A2
	DWG NO DA06
	JOB NUMBER 20127
	ISSUE 08

FRAMING TO AS 1685 - 2010
CONCRETE FOOTING TO AS 2870 - 2011
PLUMBING TO AS 3500 - 2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS2049
DOORS AND WINDOWS TO AS 2047

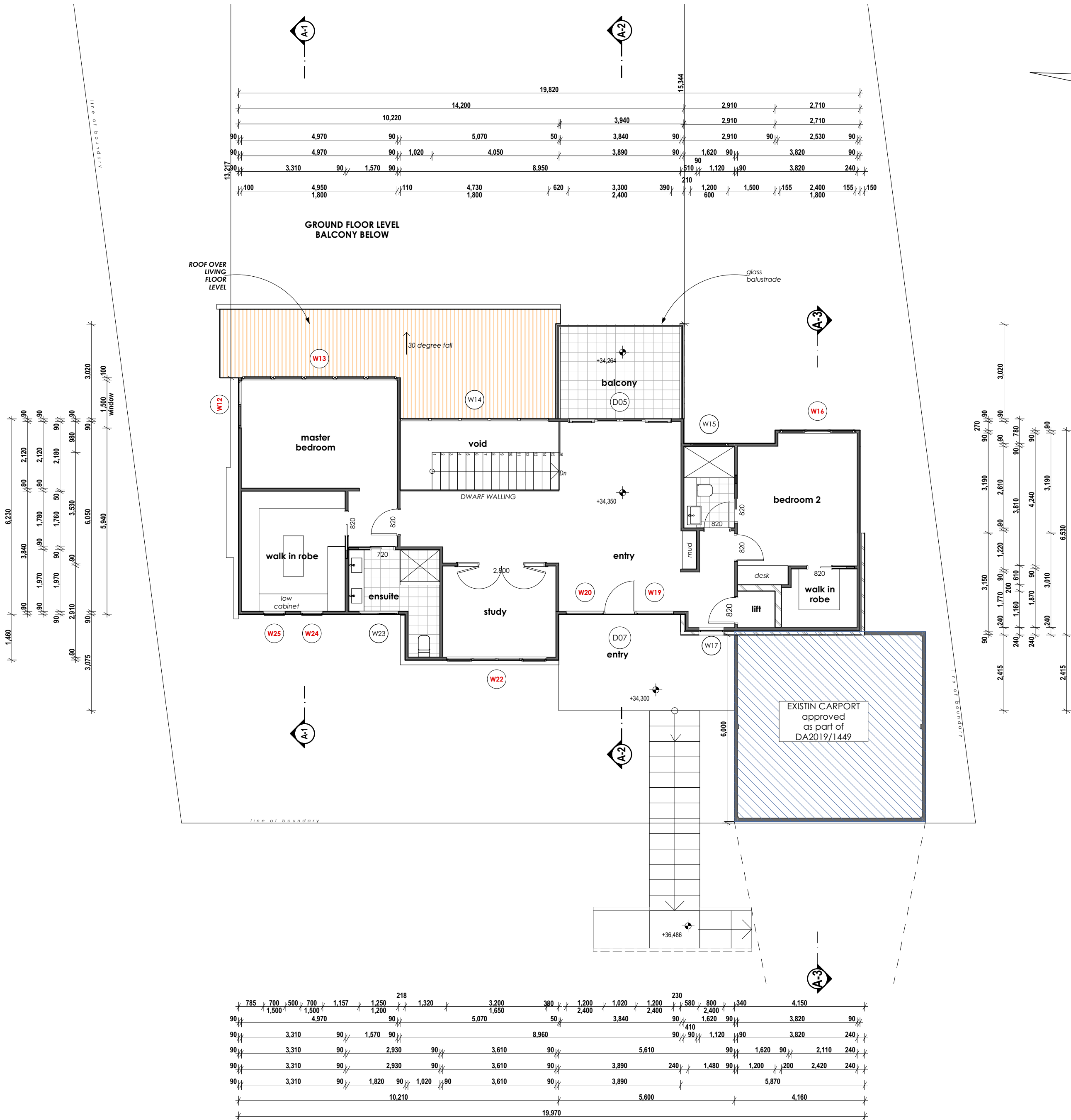


residential and building design
www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600
5G/ 256 New Line Road Dural 2158



DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
				141 Riverview Road, Avalon Beach Lot 2/-/DP833902	LIVING LEVEL FLOOR PLAN	DA SUBMISSION		
21/01/2021	design development	3	HH			DRAWN BY AW	DATE 21/06/21	SCALE 1:100 <small>@ A2</small>
16/02/2021	working drawings	4	AW					
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC					
18/03/2021	development application plans	6	PC					
21/05/2021	additional shadows & landscape calcs added	7	PC					
07/06/2021	6.5m front setback compliance redesign	8	PC	PROJECT				
				Uday and Kavita Bonu	PROPOSED NEW DWELLING			

NOTE:
FRAMING TO AS 1685 - 2010
CONCRETE FOOTING TO AS 2870 - 2011
PLUMBING TO AS 3500 - 2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS2049
DOORS AND WINDOWS TO AS 2047



FYFFE DESIGN

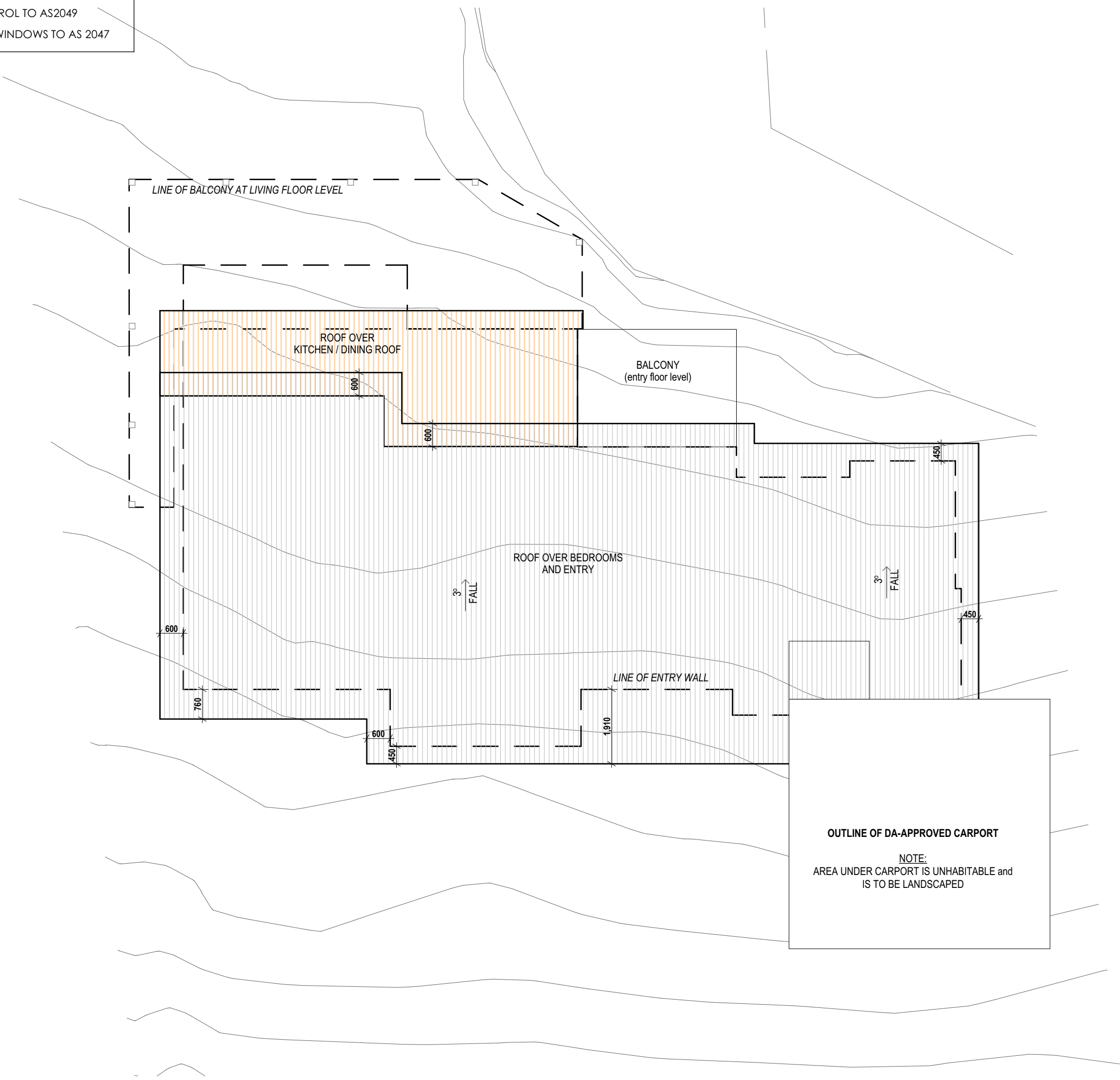
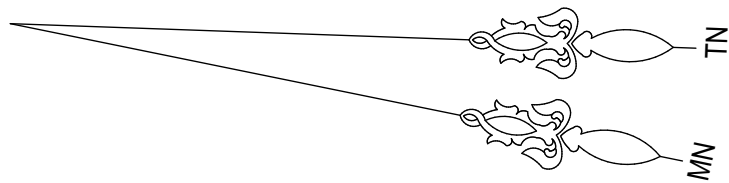
residential and building design
www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600
5G/ 256 New Line Road Dural 2158

bda Full Member
No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE	DRAWING STATUS
ENTRY LEVEL FLOOR PLAN	DA SUBMISSION
PROJECT	DRAWN BY AW
PROPOSED NEW DWELLING	DATE 21/06/21
	SCALE 1:100 @ A2
	DWG NO DA08
	JOB NUMBER 20127
	ISSUE 08

NOTE:
FRAMING TO AS 1685 - 2010
CONCRETE FOOTING TO AS 2870 - 2011
PLUMBING TO AS 3500 - 2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS2049
DOORS AND WINDOWS TO AS 2047



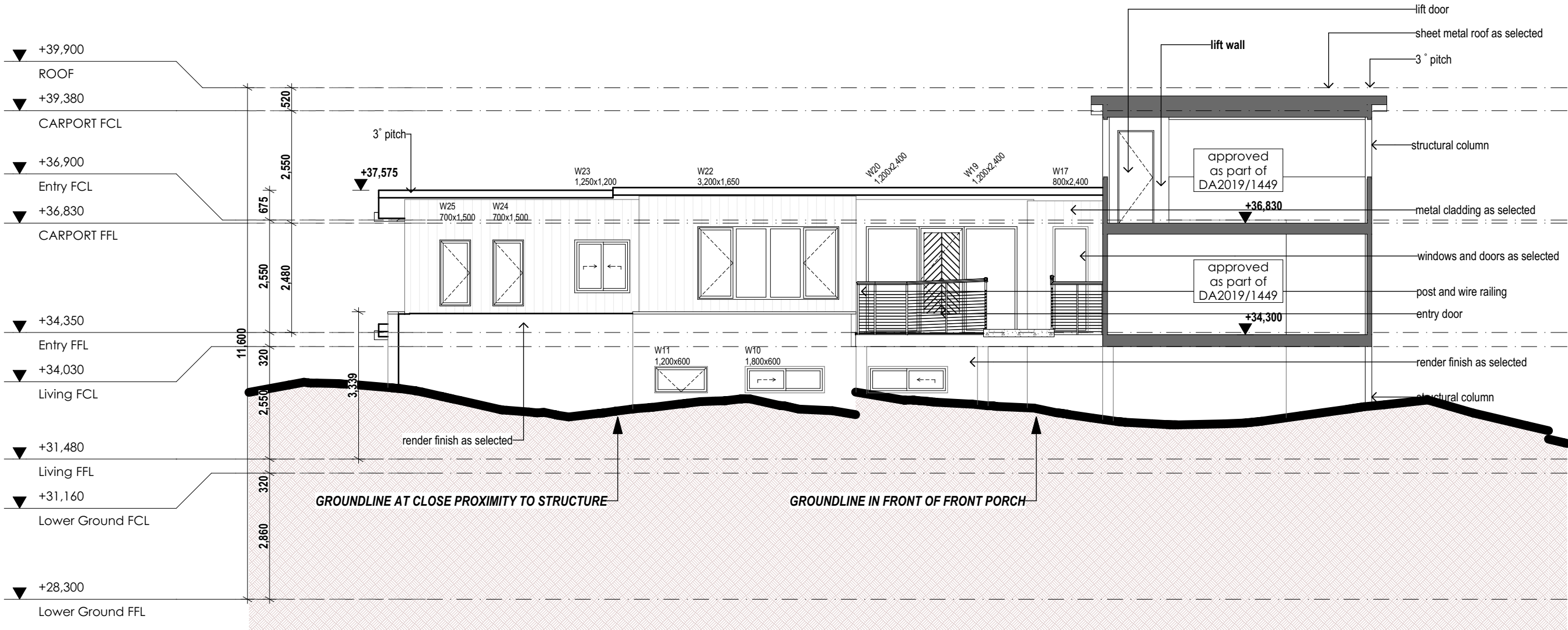
DATE	AMENDMENTS	NO	BY
21/01/2021	design development	3	HH
16/02/2021	working drawings	4	AW
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC
18/03/2021	development application plans	6	PC
21/05/2021	additional shadows & landscape calcs added	7	PC
07/06/2021	6.5m front setback compliance redesign	8	PC

ADDRESS	CLIENT
141 Riverview Road, Avalon Beach Lot 2/-/DP833902	Uday and Kavita Bonu

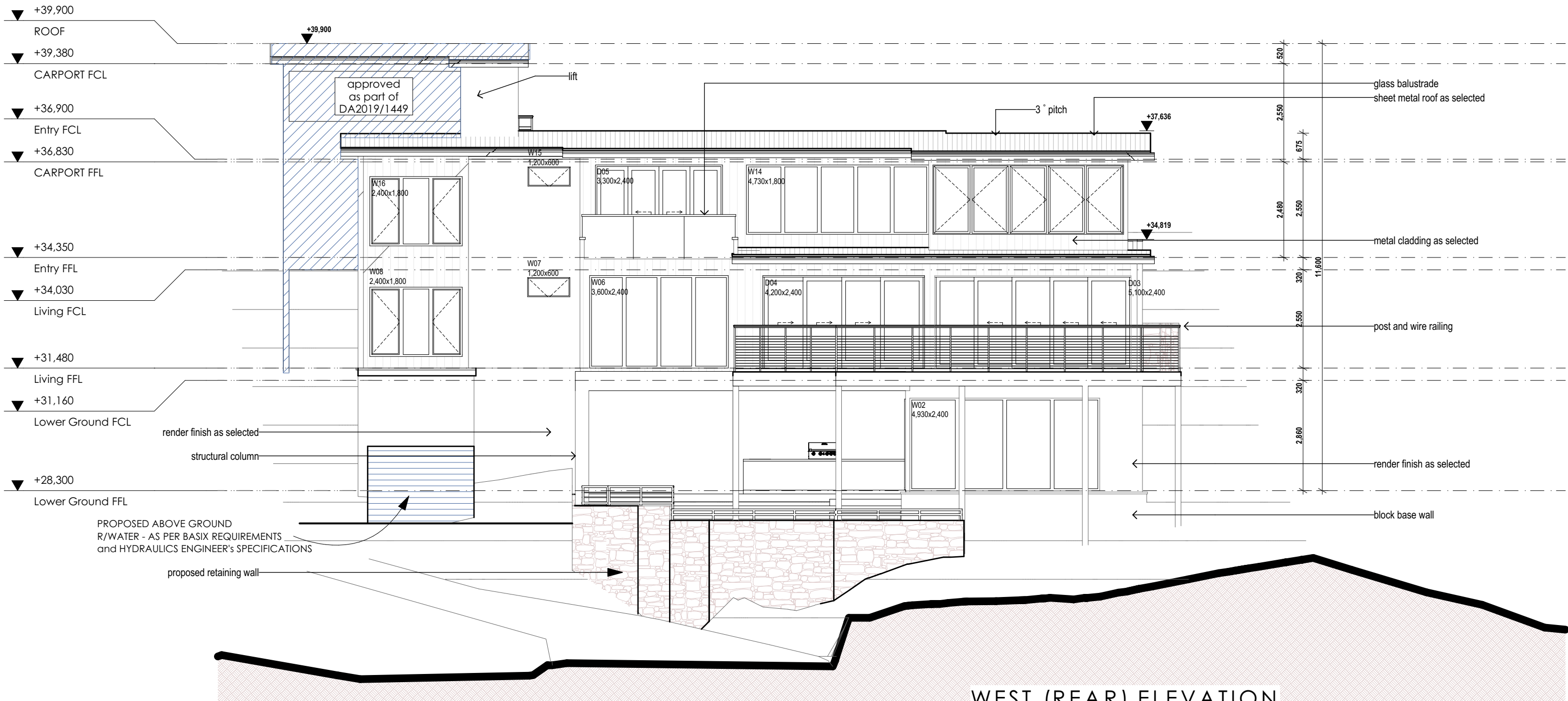
DRAWING TITLE	PROJECT
ROOF PLAN	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	21/06/21	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA09	20127	08

NOTE:
FRAMING TO AS 1685 - 2010
CONCRETE FOOTING TO AS 2870 - 2011
PLUMBING TO AS 3500 - 2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS2049
DOORS AND WINDOWS TO AS 2047



EAST (FRONT) ELEVATION



WEST (REAR) ELEVATION

NOTE:
W06 and STUDY WINDOW TO BE 45% OPANABLE AS PER NatHers REQUIREMENTS

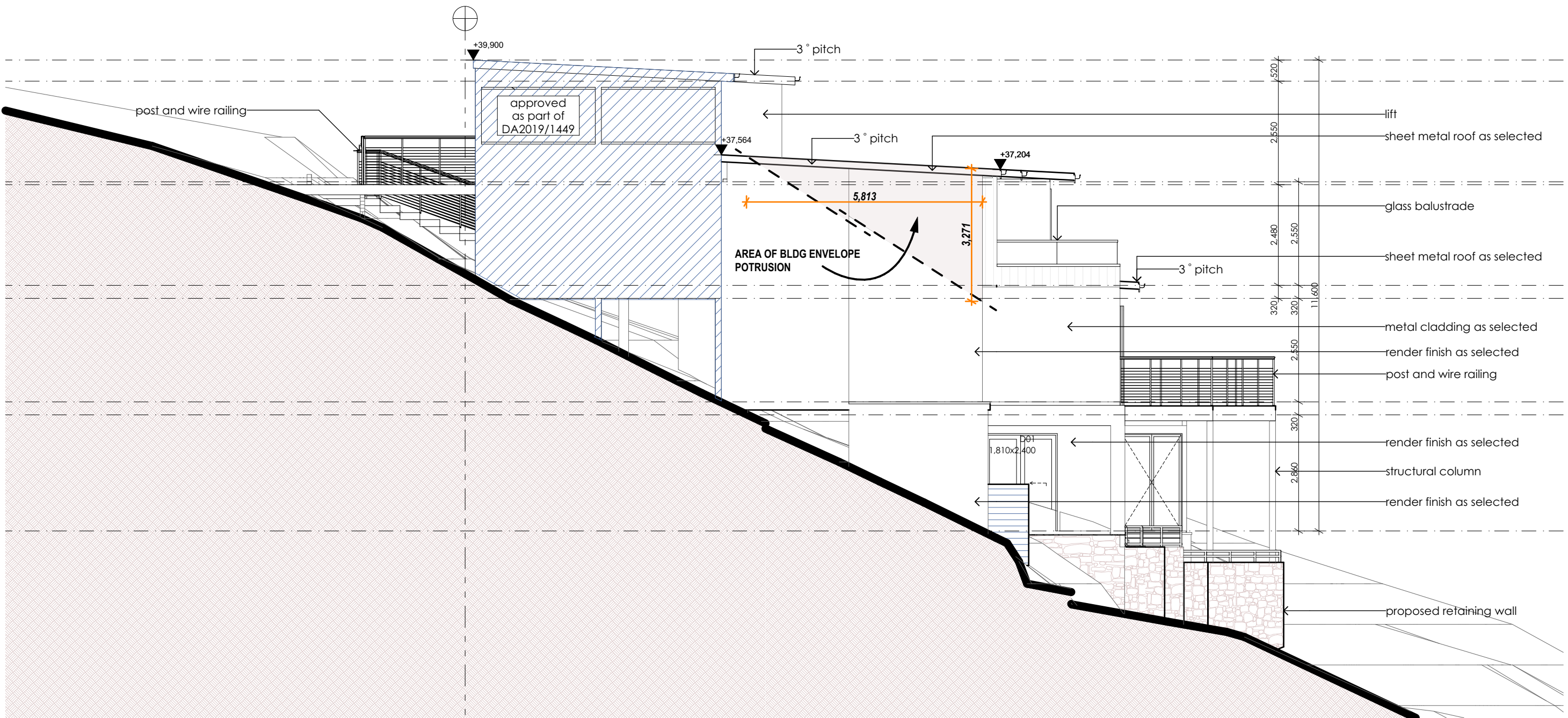
FYFFE DESIGN

residential and building design
www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600
5G/ 256 New Line Road Dural 2158

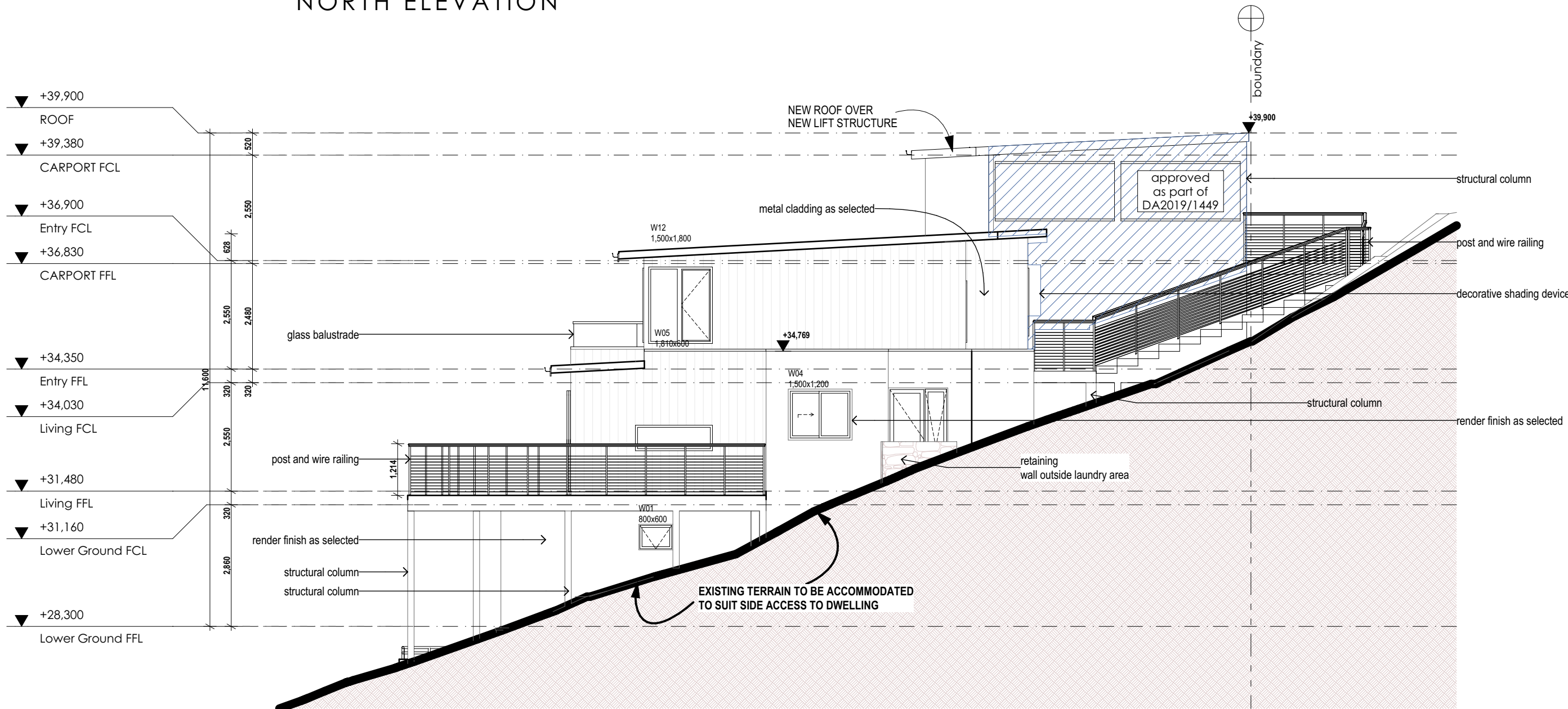
bda Full Member No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	EAST & WEST PLAN	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY	DATE	SCALE
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT	AW	21/06/21	1:100 @ A2
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu	PROPOSED NEW DWELLING	DWG NO	JOB NUMBER	ISSUE
21/05/2021	additional shadows & landscape calcs added	7	PC			DA10	20127	08
07/06/2021	6.5m front setback compliance redesign	8	PC					

NOTE:
FRAMING TO AS 1685 - 2010
CONCRETE FOOTING TO AS 2870 - 2011
PLUMBING TO AS 3500 - 2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS2049
DOORS AND WINDOWS TO AS 2047



NORTH ELEVATION



SOUTH ELEVATION

FYFFE DESIGN

residential and building design

www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600

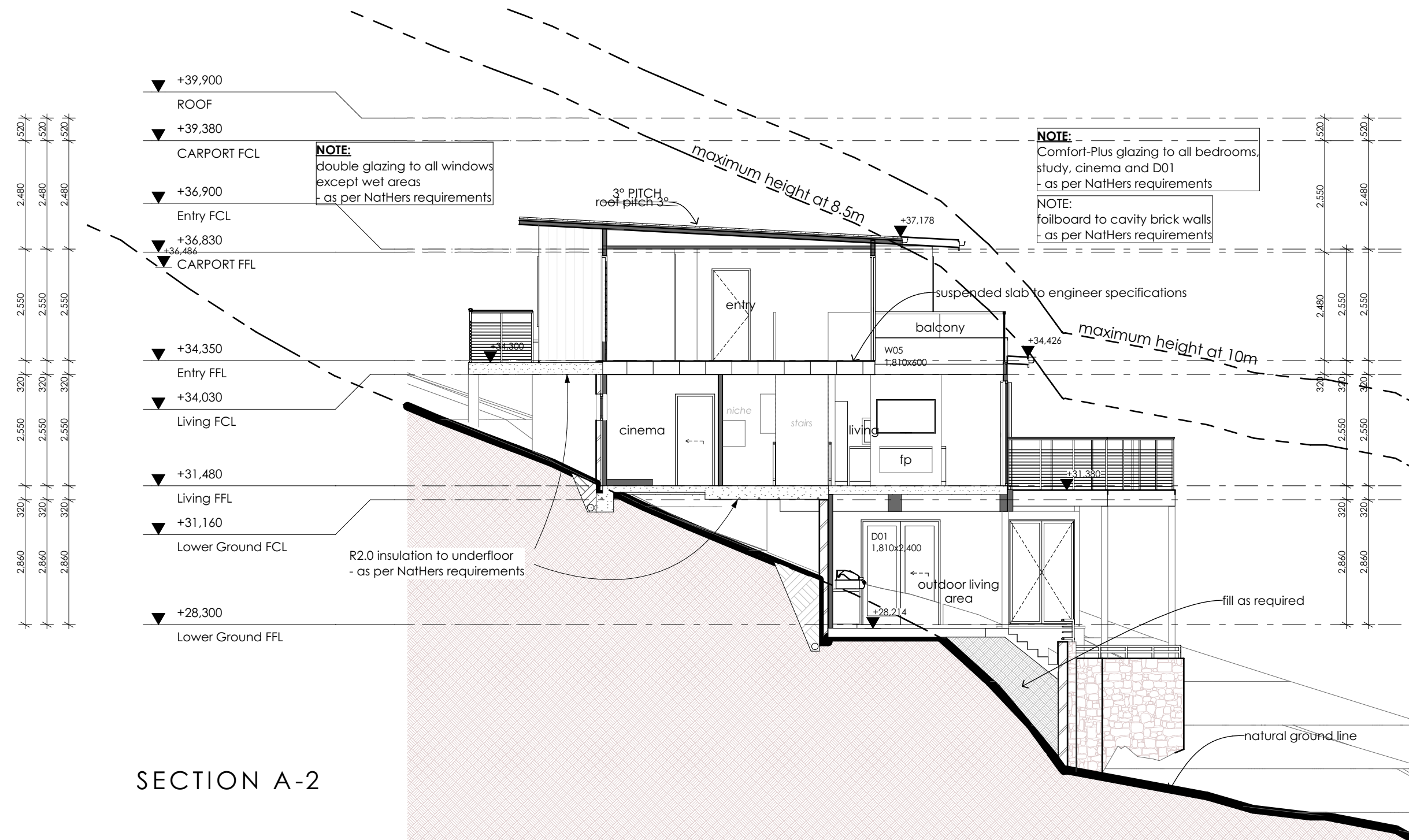
5G/ 256 New Line Road Dural 2158

bda Full Member
No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach
16/02/2021	working drawings	4	AW	Lot 2/-/DP833902
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE
NORTH & SOUTH ELEVATION PLAN
PROJECT
PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	21/06/21	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA11	20127	08



NOTE:

FRAMING TO AS 1685 - 2010

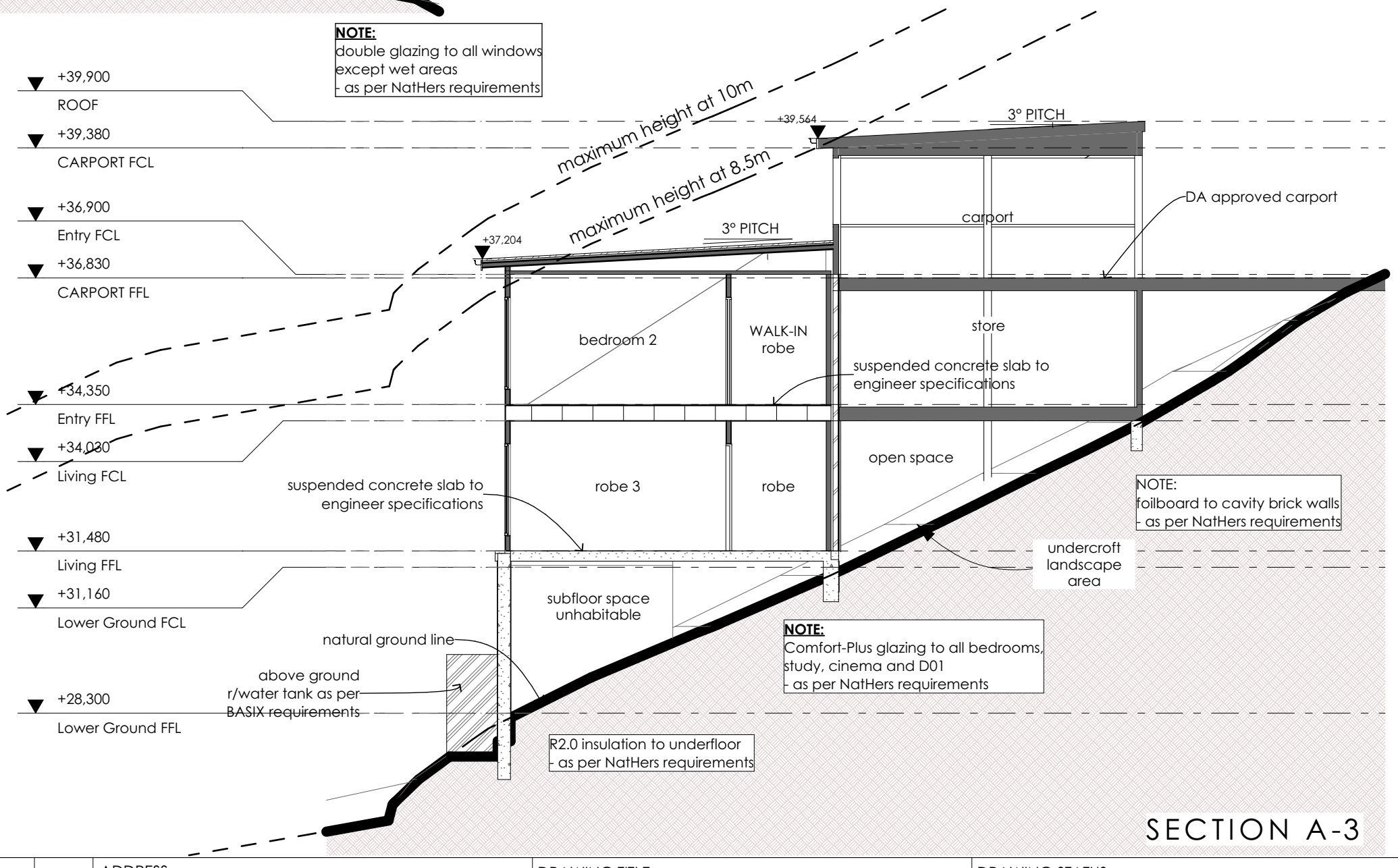
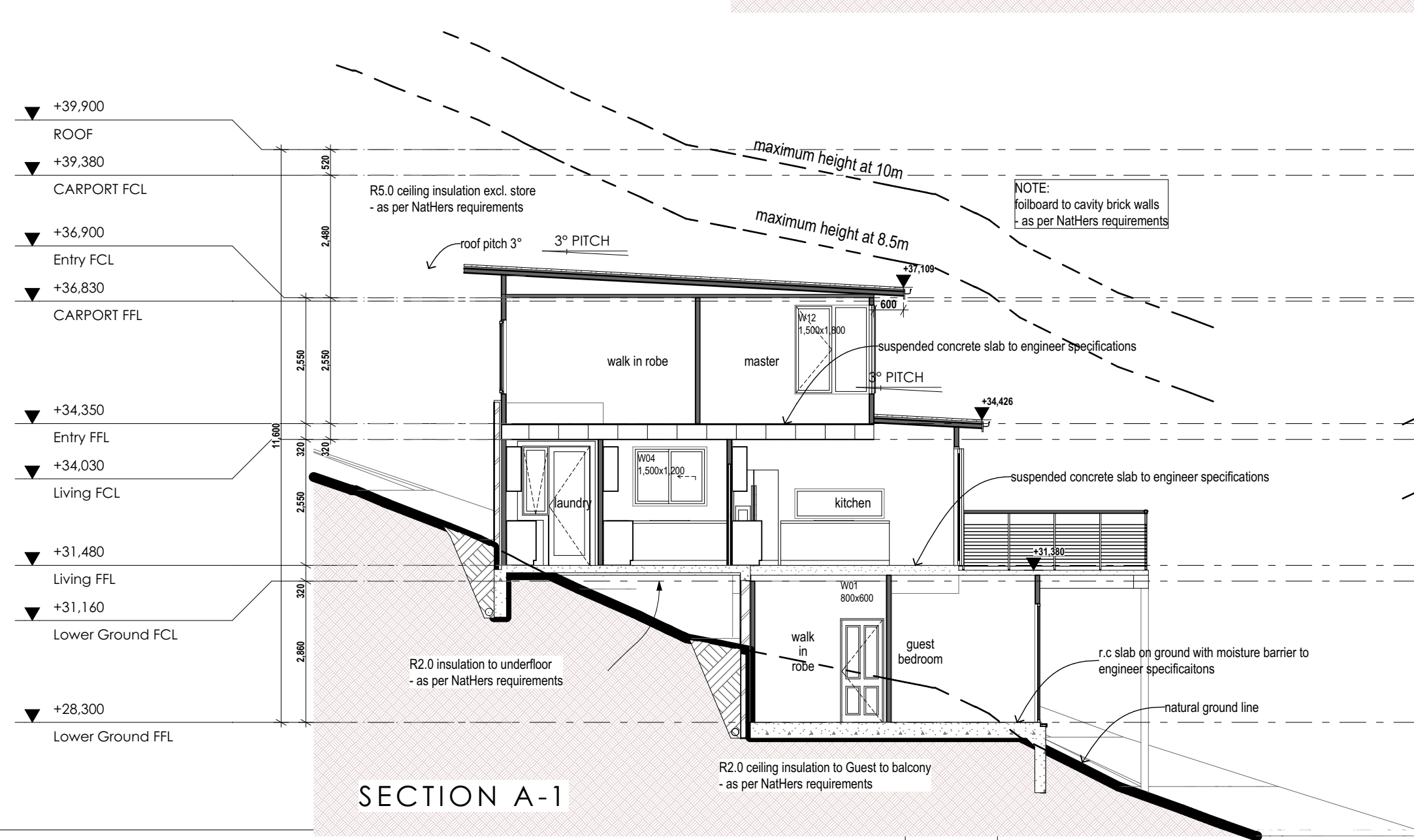
CONCRETE FOOTING TO AS 2870 - 2011

PLUMBING TO AS 3500 - 2003

MASONRY TO AS 4773 & 3700

TERMITE CONTROL TO AS2049

DOORS AND WINDOWS TO AS 2047



FYFFE DESIGN

residential and building design

www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600

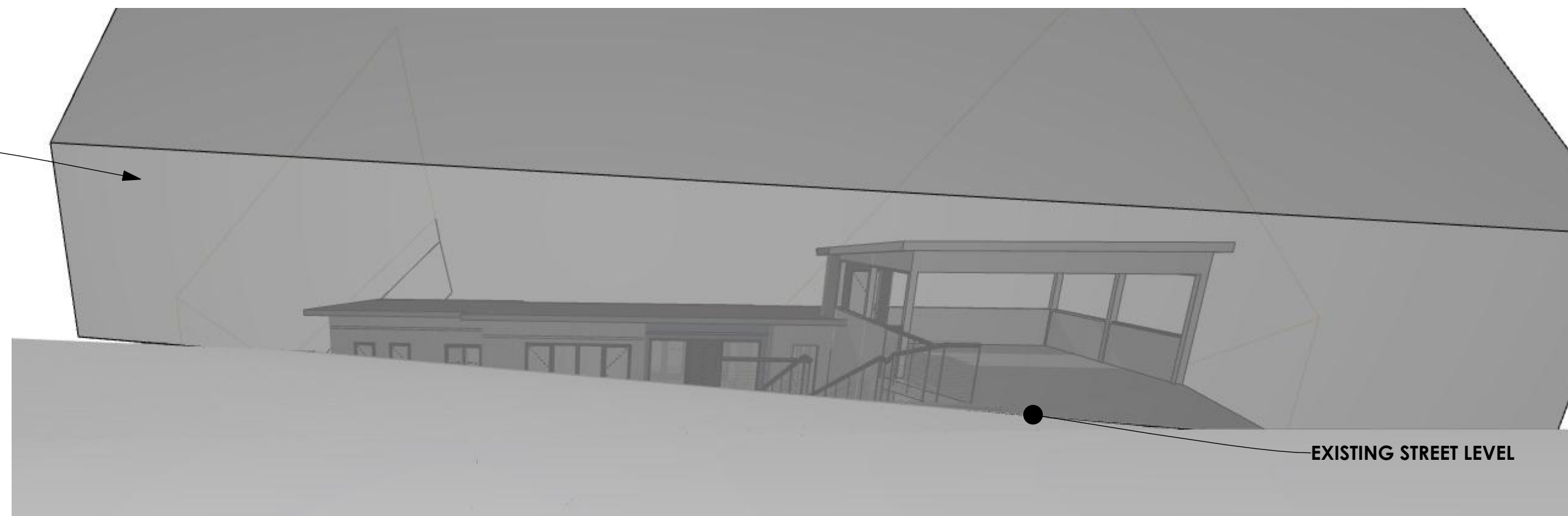
5G/ 256 New Line Road Dural 2158

bda Full Member No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach
16/02/2021	working drawings	4	AW	Lot 2/-/DP833902
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE	DRAWING STATUS
A SECTION PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	21/06/21
	SCALE
	1:100 @ A2
	DWG NO
	DA12
	JOB NUMBER
	20127
	ISSUE
	08

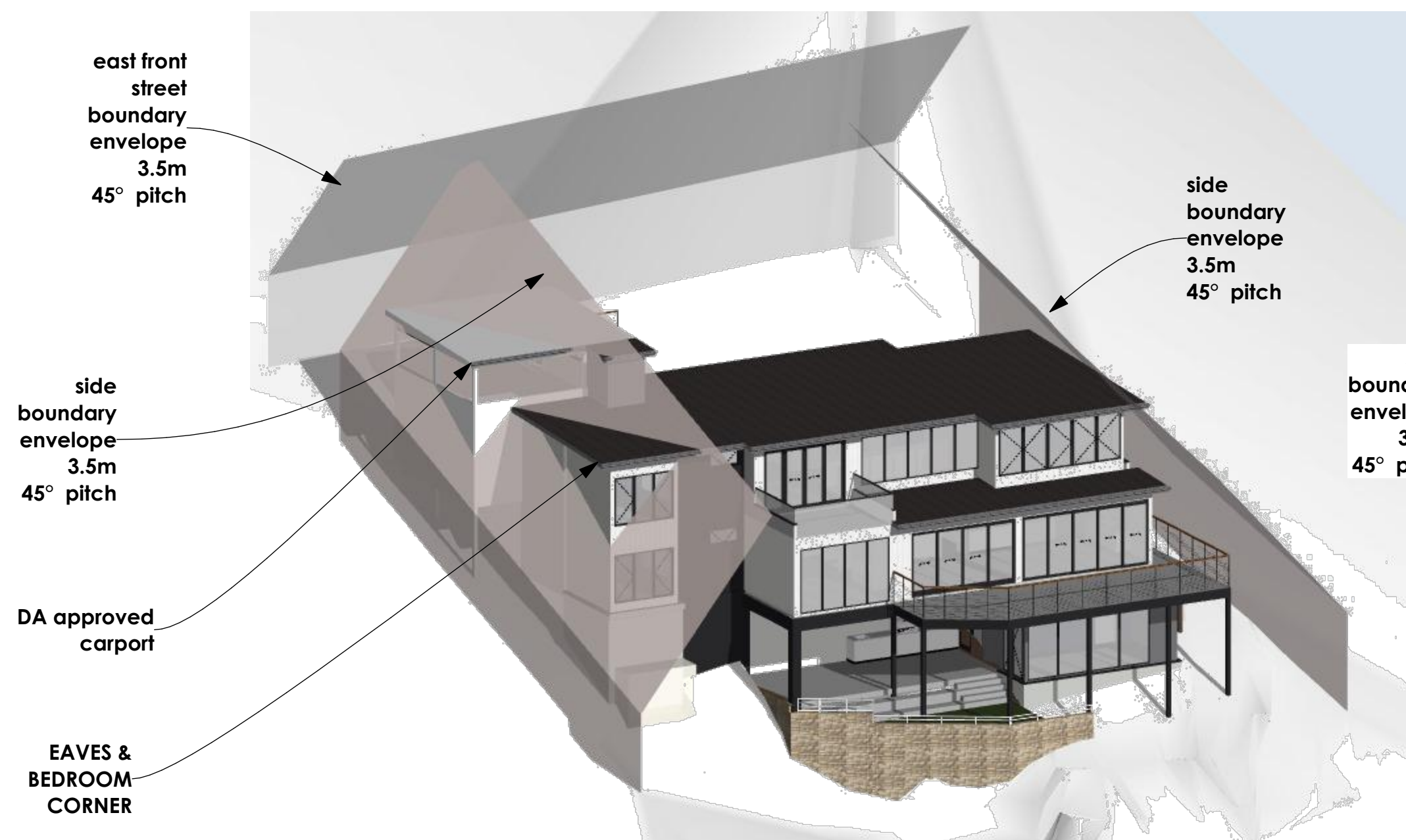
east front
street
boundary
envelope
3.5m
45° pitch



EXISTING STREET LEVEL

BUILDING HEIGHT ENVELOPE -RIVERVIEW STREET PERSPECTIVE

east front
street
boundary
envelope
3.5m
45° pitch



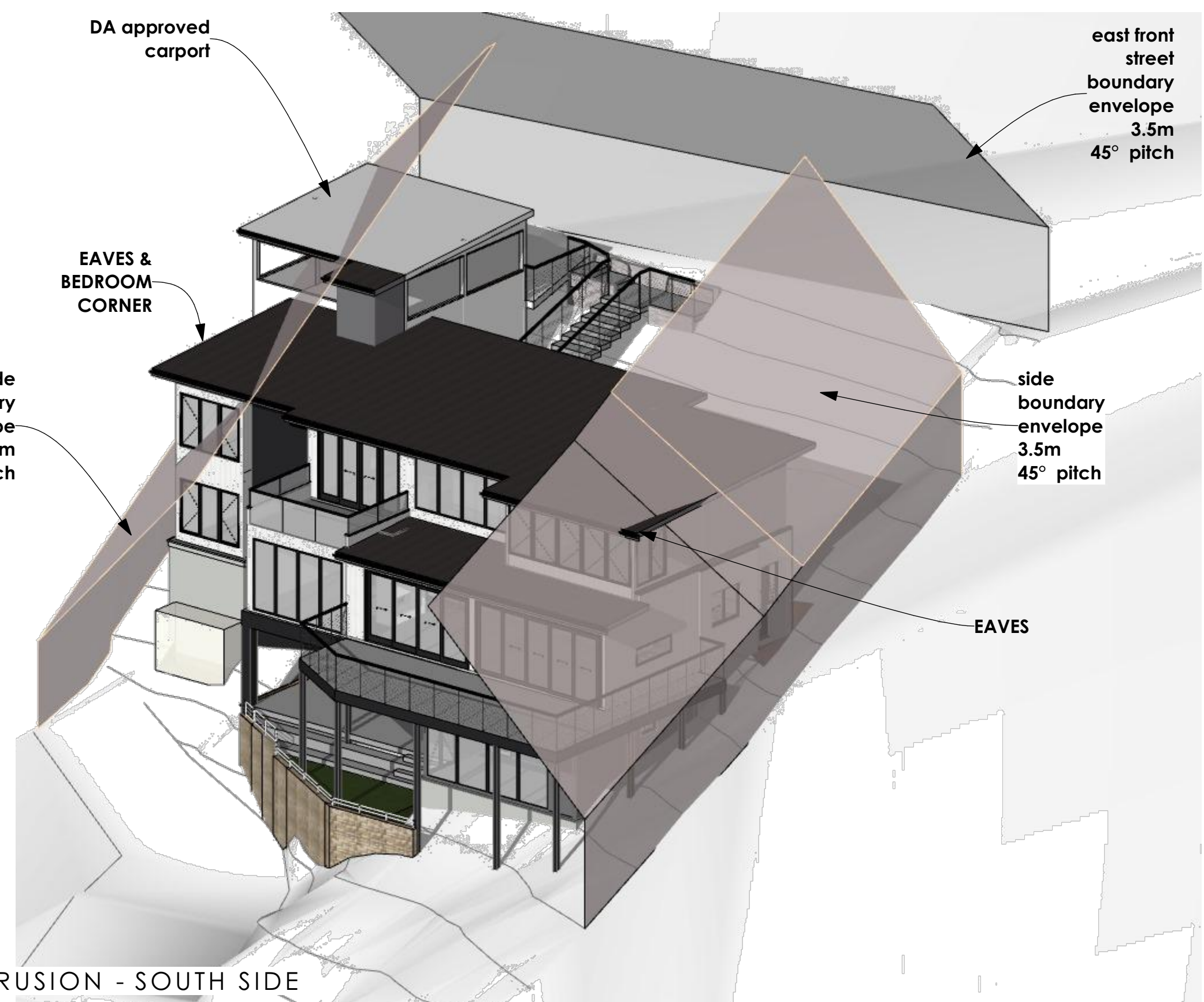
3D ENVELOP PROTRUSION - NORTH SIDE

DA approved
carport

EAVES &
BEDROOM
CORNER

side
boundary
envelope
3.5m
45° pitch

side
boundary
envelope
3.5m
45° pitch



3D ENVELOP PROTRUSION - SOUTH SIDE

FYFFE DESIGN

residential and building design

www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600
5G/ 256 New Line Road Dural 2158

bda Full Member
No. 1672 - 14

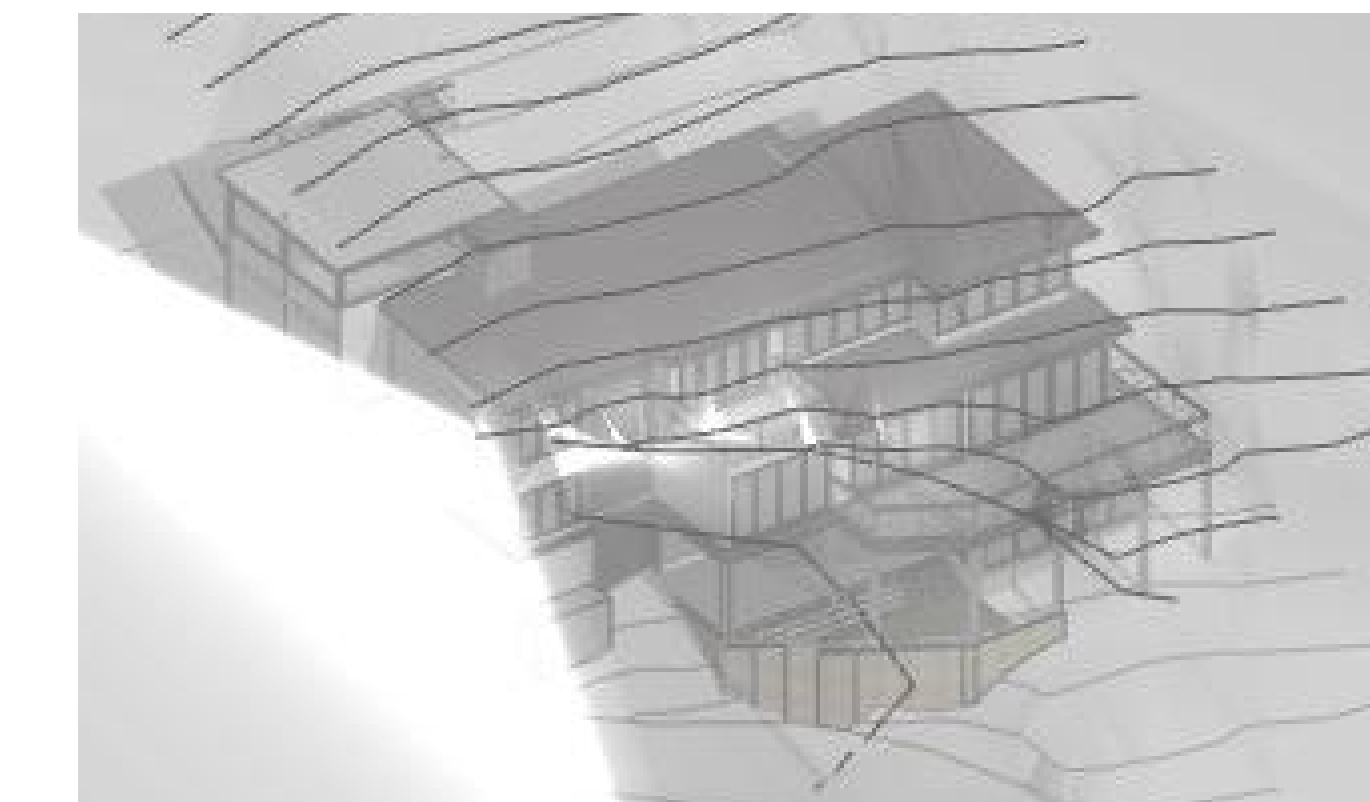
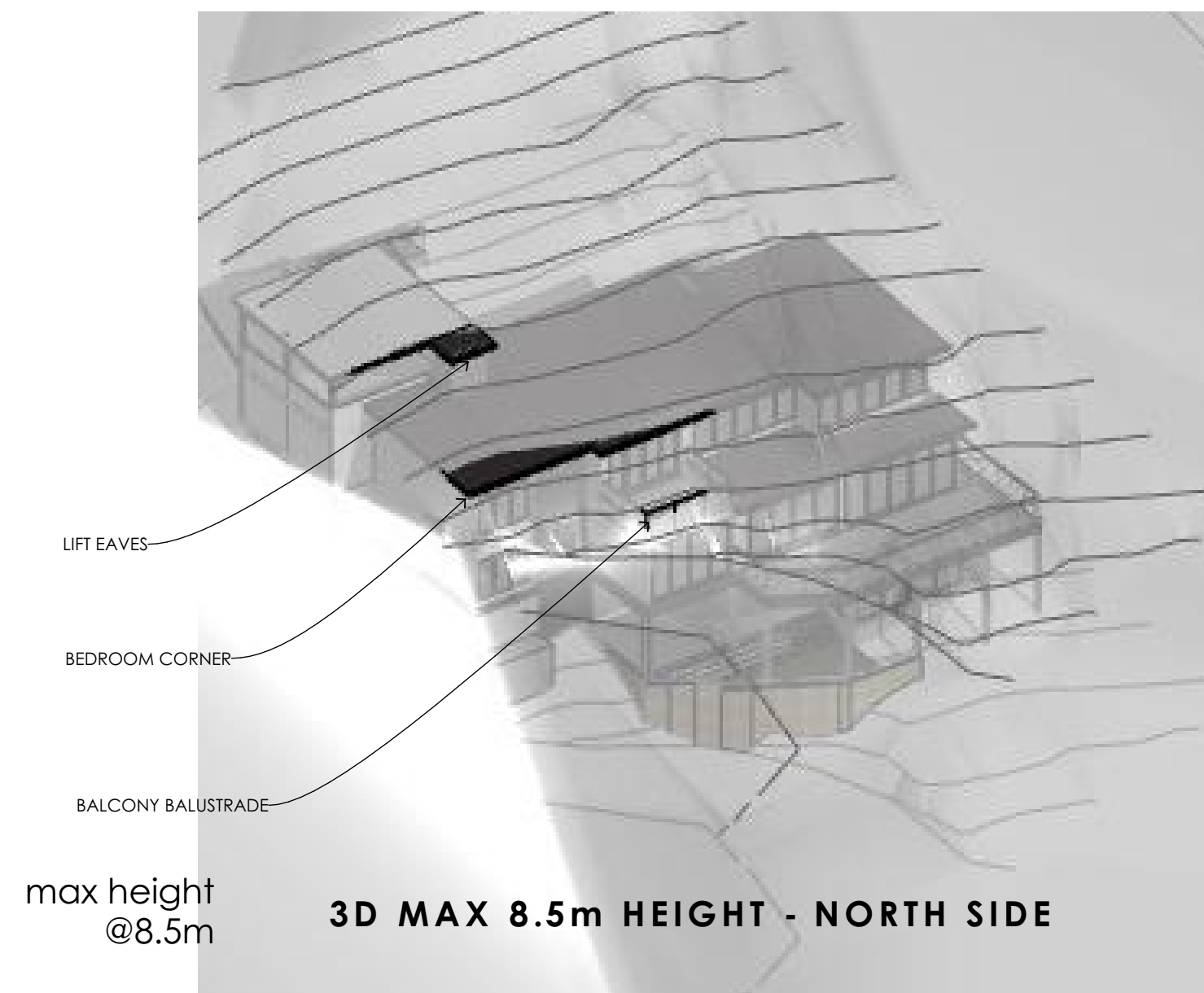
DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE
**MAX BUILDING ENVELOP
DIAGRAM**

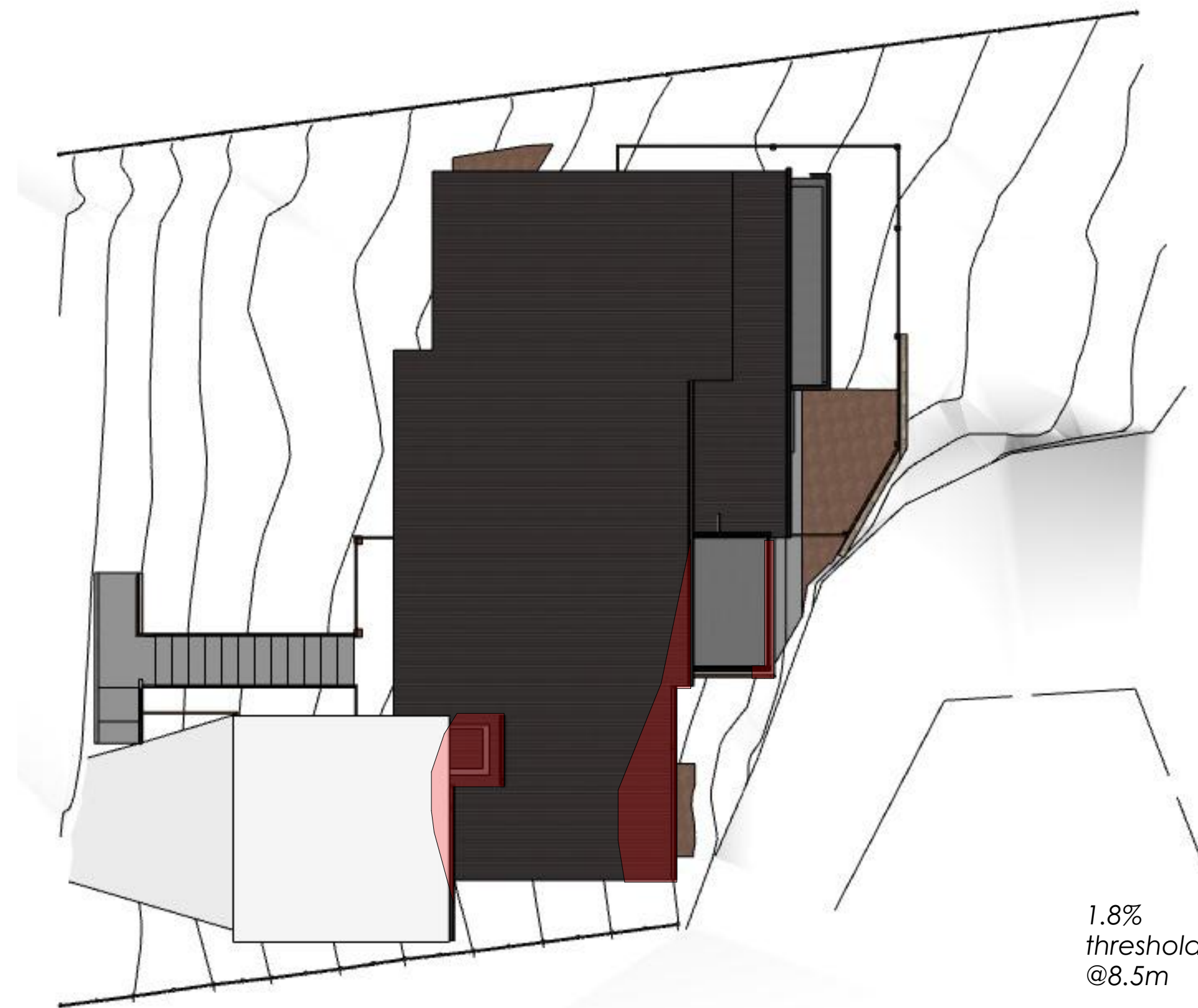
PROJECT
PROPOSED NEW DWELLING

DRAWING STATUS
DA SUBMISSION

DRAWN BY	DATE	SCALE
AW	21/06/21	@ A2
DWG NO	JOB NUMBER	ISSUE
DA13	20127	08



max height @10.0m
3D MAX 10.0m HEIGHT - NORTH SIDE



MAX 8.5 HEIGHT PLAN - ROOF PLAN

1.8%
threshold protrusion
@8.5m

0.0%
threshold protrusion
@10.0m

DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu
18/03/2021	development application plans	6	PC	
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE
MAX HEIGHT THRESHOLD DIAGRAM
PROJECT
PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	21/06/21	@ A2
DWG NO	JOB NUMBER	ISSUE
DA14	20127	08

Disclaimer

The shadows shown are of the proposed building only. The study includes natural ground line/levels and takes into consideration height above AHD. The study omits trees, natural geographical features and other nearby natural features that will cause overshadowing.

RIVERVIEW ROAD



SHADOW DIAGRAM
9AM 21ST JUNE

FYFFE DESIGN

residential and building design
www.fyffedesign.com.au | info@fyffedesign.com.au | 02 9634 3600
5G/ 256 New Line Road Dural 2158

bda Full Member
No. 1672 - 14

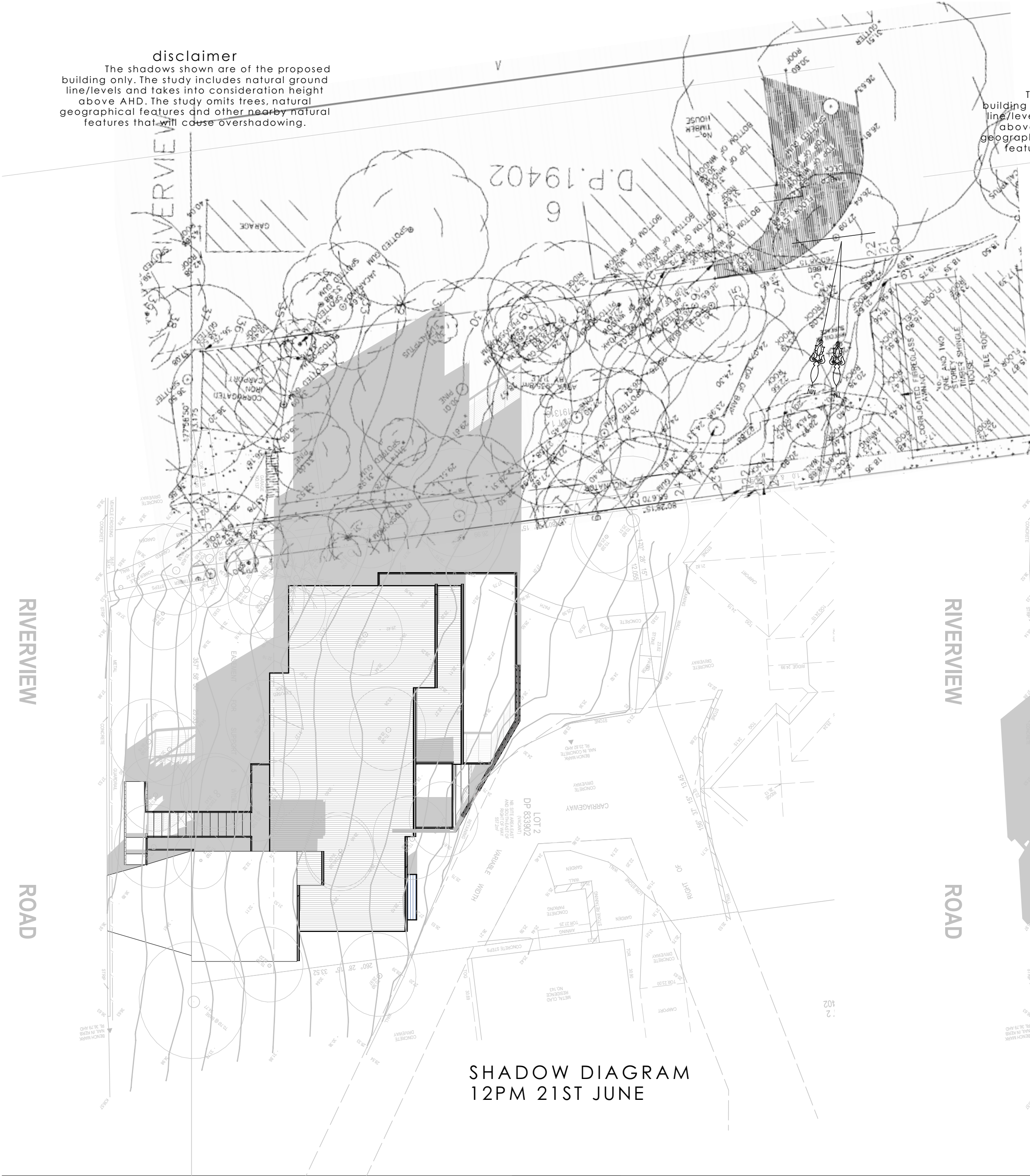
DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach	SHADOW DIAGRAM 9AM	DA SUBMISSION
16/02/2021	working drawings	4	AW	Lot 2/-/DP833902		
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT	
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu	PROPOSED NEW DWELLING	
21/05/2021	additional shadows & landscape calcs added	7	PC			
07/06/2021	6.5m front setback compliance redesign	8	PC			

DRAWN BY	DATE	SCALE
AW	21/06/21	1:200 @ A2
DWG NO	JOB NUMBER	ISSUE
DA15	20127	08

disclaimer
The shadows shown are of the proposed building only. The study includes natural ground line/levels and takes into consideration height above AHD. The study omits trees, natural geographical features and other nearby natural features that will cause overshadowing.



<div><div><div>FYFFE DESIGN</div><div>residential and building design</div><div>www.fyffedesign.com.au info@fyffedesign.com.au 02 9634 3600</div><div>5G/ 256 New Line Road Dural 2158</div></div><div><div>bda</div><div>Full Member</div><div>No. 1672 - 14</div></div></div>	DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
	21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach	SHADOW DIAGRAM 10AM AND 11AM	DA SUBMISSION		
	16/02/2021	working drawings	4	AW	Lot 2/-/DP833902		DRAWN BY	DATE	SCALE
	15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT	AW	21/06/21	1:200
	18/03/2021	development application plans	6	PC	Uday and Kavita Bonu	PROPOSED NEW DWELLING	DWG NO	JOB NUMBER	ISSUE
	21/05/2021	additional shadows & landscape calcs added	7	PC			DA16	20127	08
	07/06/2021	6.5m front setback compliance redesign	8	PC					



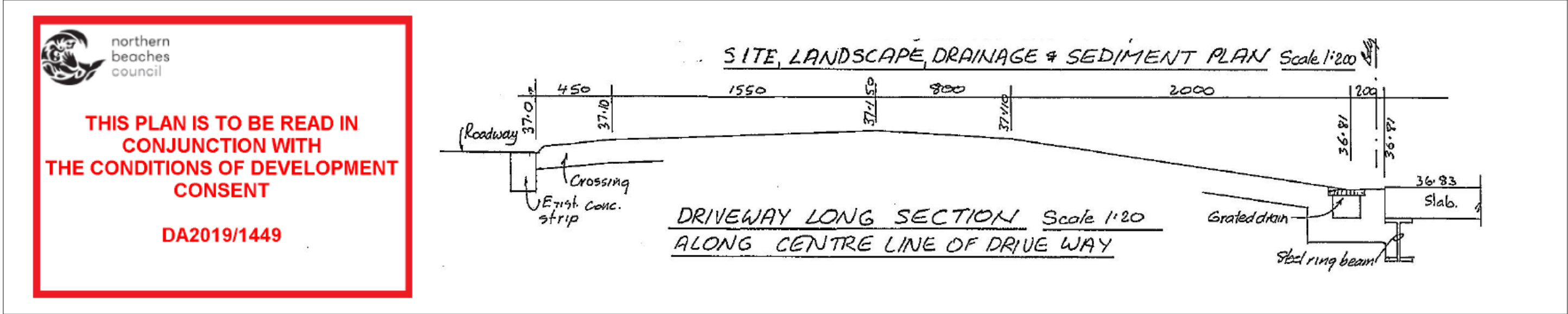
<div><div>FYFFE DESIGN</div><div>residential and building design</div><div>www.fyffedesign.com.au info@fyffedesign.com.au 02 9634 3600</div><div>5G/ 256 New Line Road Dural 2158</div></div>			DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
			21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach	SHADOW DIAGRAM 12PM & 3PM	DA SUBMISSION		
			16/02/2021	working drawings	4	AW	Lot 2/-/DP833902		DRAWN BY	DATE	SCALE
			15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT	AW	21/06/21	1:200 @ A2
			18/03/2021	development application plans	6	PC	Uday and Kavita Bonu	PROPOSED NEW DWELLING	DWG NO	JOB NUMBER	ISSUE
			21/05/2021	additional shadows & landscape calcs added	7	PC			DA17	20127	08
			07/06/2021	6.5m front setback compliance redesign	8	PC					

WINDOW LIST														
ID	D01		D02		D03		D04		D05		W01		W02	
W x H	1,810×2,400		820×2,400		5,100×2,400		4,200×2,400		3,300×2,400		800×600		4,930×2,400	
NOTES														
Elevation														
WINDOW LIST														
ID	W03		W04		W05		W06		W07		W08		W09	
W x H	1,500×2,400		1,500×1,200		1,810×600		3,600×2,400		1,200×600		2,400×1,800		1,800×600	
NOTES														
Elevation														
WINDOW LIST														
ID	W10		W11		W12		W13		W14		W15		W16	
W x H	1,800×600		1,200×600		1,500×1,800		4,950×1,800		4,730×1,800		1,200×600		2,400×1,800	
NOTES														
Elevation														
WINDOW LIST														
ID	W17		W19		W20		W22		W23		W24		W25	
W x H	800×2,400		1,200×2,400		1,200×2,400		3,200×1,650		1,250×1,200		700×1,500		700×1,500	
NOTES														
Elevation														

EXTERIOR WINDOW AND DOOR SCHEDULE

DOOR LIST	
ID	D07
W x H	1,020×2,400
NOTES	
Elevation	

EXCERPT FROM DA2019/1449



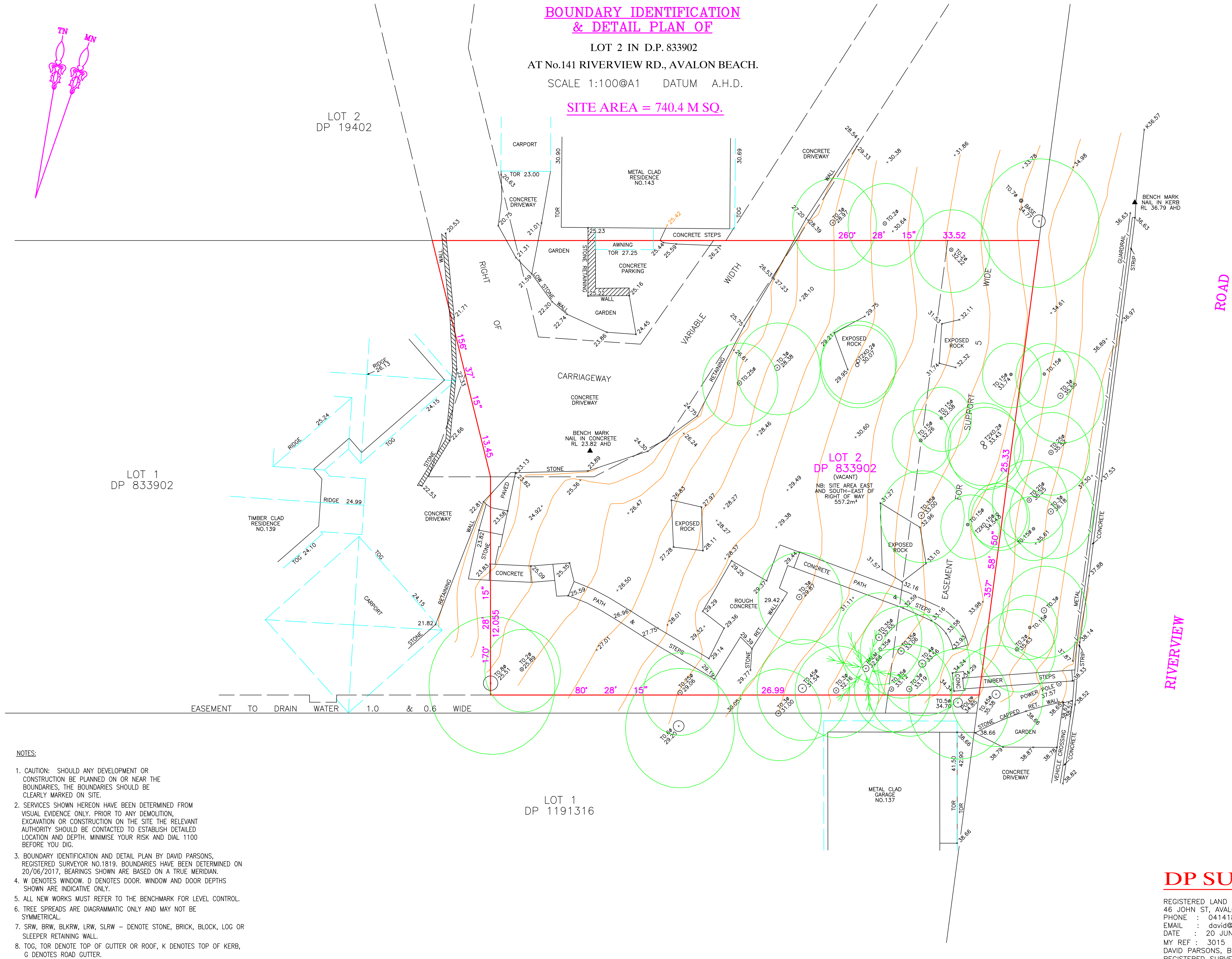
DRIVEWAY LONG SECTION

<div><div>FYFFE DESIGN</div><div>residential and building design</div><div>www.fyffedesign.com.au info@fyffedesign.com.au 02 9634 3600</div><div>5G/ 256 New Line Road Dural 2158</div></div> <div><div>bda</div><div>Full Member</div><div>No. 1672 - 14</div></div>	DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
	21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	DRIVEWAY SECTION AND WINDOW/ DOOR SCHEDULE	DA SUBMISSION		
	16/02/2021	working drawings	4	AW			DRAWN BY	DATE	SCALE
	15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT	AW	21/06/21	1:1 @ A2
	18/03/2021	development application plans	6	PC	Uday and Kavita Bonu	PROPOSED NEW DWELLING	DWG NO	JOB NUMBER	ISSUE
	21/05/2021	additional shadows & landscape calcs added	7	PC			DA18	20127	08
	07/06/2021	6.5m front setback compliance redesign	8	PC					

**BOUNDARY IDENTIFICATION
& DETAIL PLAN OF**

LOT 2 IN D.P. 833902
AT No.141 RIVERVIEW RD., AVALON BEACH.
SCALE 1:100@A1 DATUM A.H.D.

SITE AREA = 740.4 M SQ.



NOTES:

1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
3. BOUNDARY IDENTIFICATION AND DETAIL PLAN BY DAVID PARSONS, REGISTERED SURVEYOR NO.1819. BOUNDARIES HAVE BEEN DETERMINED ON 20/06/2017, BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
4. W DENOTES WINDOW, D DENOTES DOOR. WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
7. SRW, BRW, BLKRW, LRW, SLRW - DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

DP SURVEYING

REGISTERED LAND & ENGINEERING SURVEYORS
46 JOHN ST, AVALON BEACH 2107
PHONE : 0414183220
EMAIL : david@dpsurveying.com.au
DATE : 20 JUNE, 2017 & 16 OCTOBER, 2020
MY REF : 3015
DAVID PARSONS, B.SURV., M.I.S.(AUST.)
REGISTERED SURVEYOR NO.1819