

PROPOSED:

# Proposed Roof Over Existing Terrace

LOCATION:

Lot 267 D.P.16902  
66 The Outlook  
Bilgola Plateau 2107

BUILDER:

Jesmac Home Improvements Pty Ltd

OWNER:

M. Balnaves

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE

DIMENSIONS ARE IN MILLIMETRES U.N.O.

ALL DIMENSIONS SHALL BE CHECKED AND VARIFIED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORKS.

ALL BRACING OF ROOF AND WALL FRAMING TO SATISFY WIND SPEED DESIGN CATEGORY IN ACCORDANCE WITH THE CURRENT EDITION OF THE NCC (BCA) AND AS 4055

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CURRENT EDITIONS INCLUDING AMENDMENTS OF THE RELEVANT SAA CODES OF PRACTICE. THE NCC (BCA) AND LOCAL COUNCIL REQUIREMENTS

ALL STEEL BEAMS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

SITE INFORMATION SHOWN ON THIS DRAWING HAS BEEN SUPPLIED BY OTHERS. NO RESPONSIBILITY IS TAKEN FOR ITS AUTHENTICITY OR ACCURACY THE BUILDER SHALL VERIFY LOCATION OF SERVICES, VEGETATION AND DIMENSIONS PRIOR TO COMMENCEMENTS, ANY DISCREPANCIES SHOULD BE REPORTED TO THE DRAFTSPERSON.

NO NEW SEWER CONNECTION REQUIRED

STORMWATER TO BE COLLECTED AND PIPED TO EXISTING STORMWATER DRAINAGE SYSTEM

ALL ROOF CLADDING, GUTTERS & DOWN PIPES TO COMPLY WITH THE B.C.A. HOUSING PROVISIONS

3	19/2/19	ISSUED FOR DA
2	3/12/18	ISSUED FOR CHECKING
1	4/10/18	Issued for sketch plans
Rev.	Date	Description
Scale: 1:100 @ A3		Sheet:
Job No: 0618		1/4

## Site Calculations

Note: Areas shown to external walls

Zoning E4  
 Site Area - 575.6m<sup>2</sup>  
 Roof Area = 36.3m<sup>2</sup>

## Warning

NO DETAIL SURVEY OF THE SITE HAS BEEN UNDERTAKEN  
 BUILDER TO VERIFY BOUNDARIES, EXISTING DWELLING  
 AND ANY RELEVANT SERVICES PRIOR TO COMMENCEMENT  
 OF ANY WORKS WHERE REQUIRED  
 THIS SHOULD BE PERFORMED BY A REGISTERED SURVEYOR

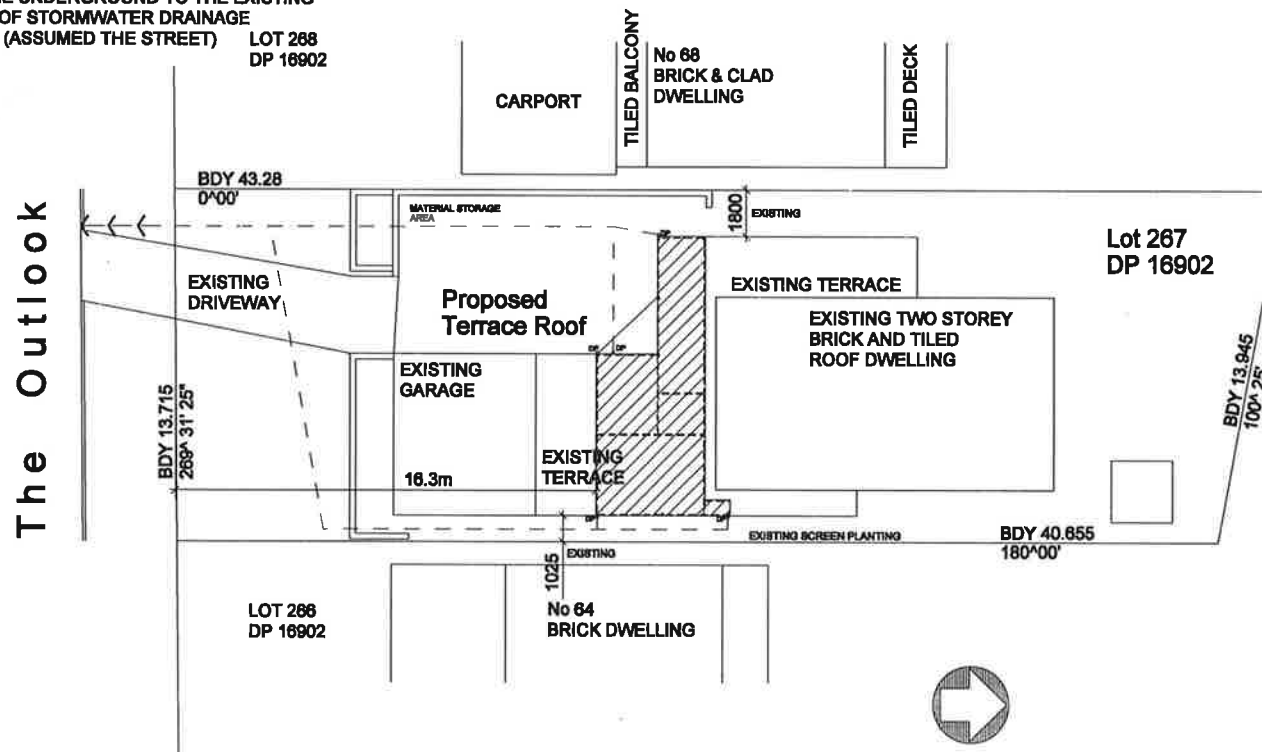
## General Note

QUALITY OF STORMWATER DISCHARGE IS ASSUMED  
 TO BE RESIDENTIAL

## Erosion Control Note

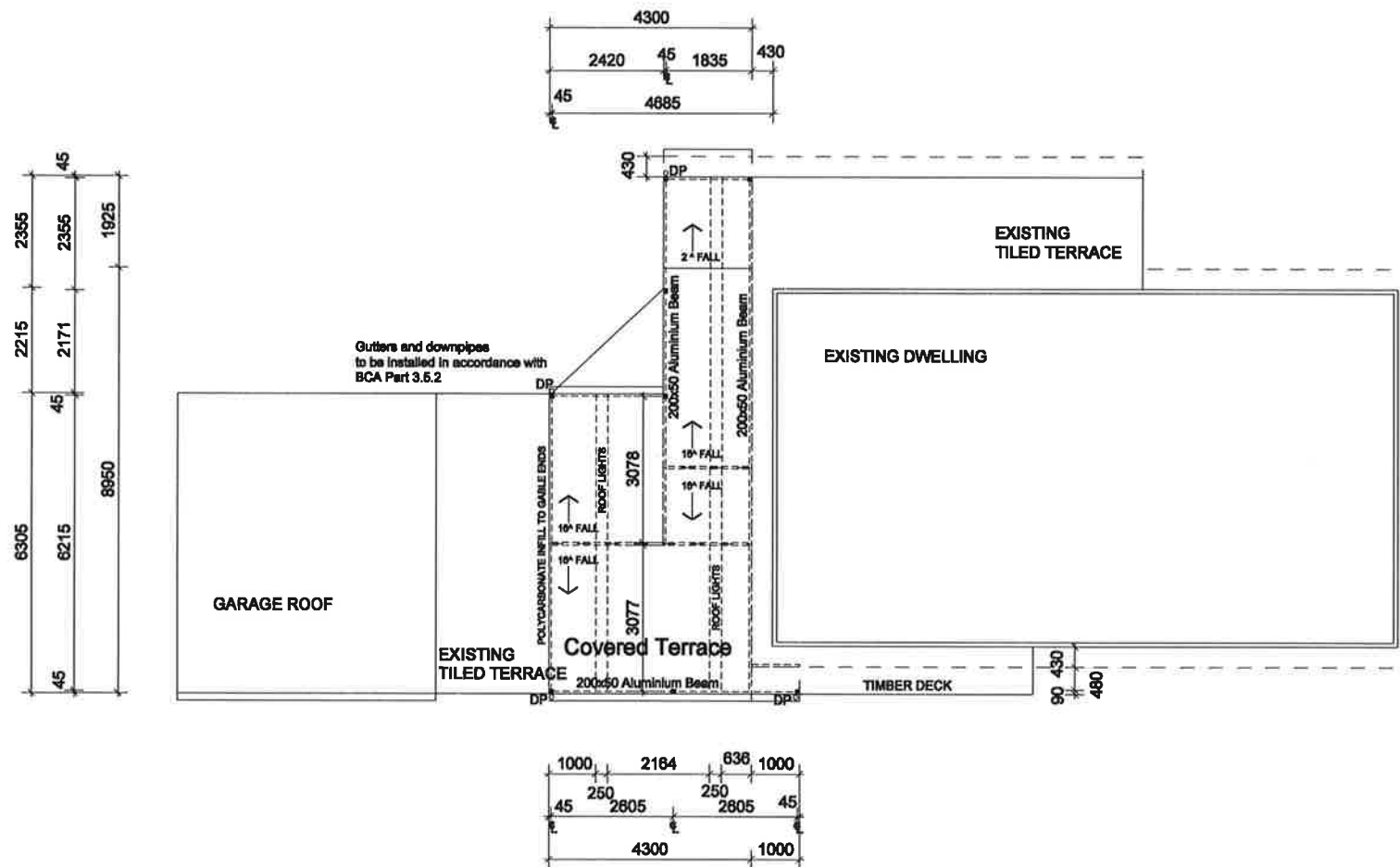
NO SEDIMENT CONTROL REQUIRED AS NO  
 GROUND DISTURBANCE IS PROPOSED

DRAIN ALL ROOF WATER BY A PIPED  
 DRAINAGE LINE UNDERGROUND TO THE EXISTING  
 LEGAL POINT OF STORMWATER DRAINAGE  
 FOR THE SITE (ASSUMED THE STREET)

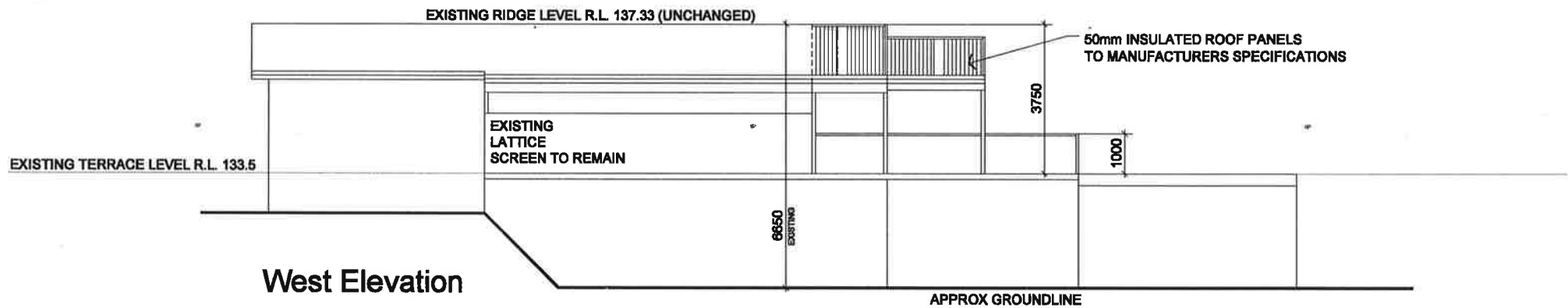


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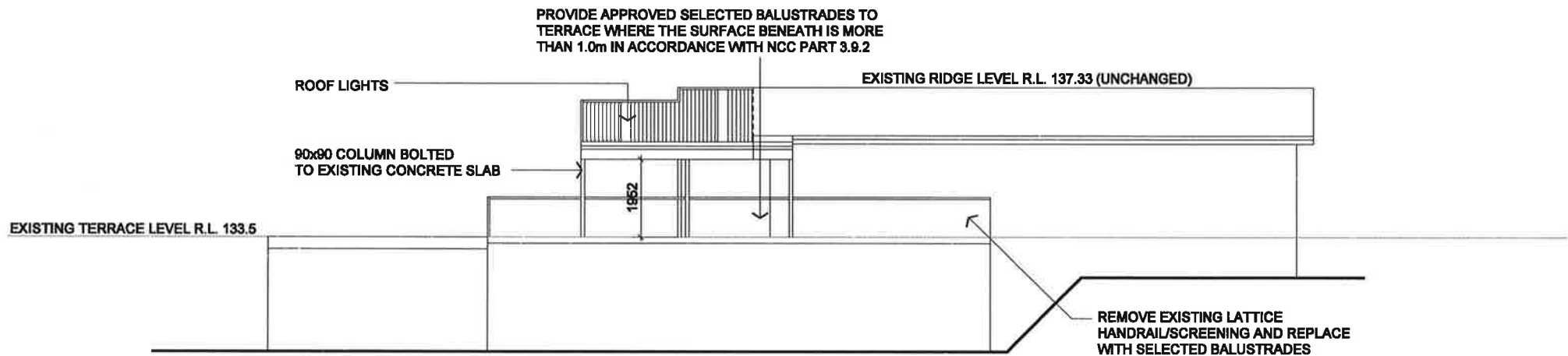
**ALL MEASUREMENTS HAVE BEEN SUPPLIED  
BY PROPERTY OWNER AND DRAWNS FROM  
ORIGINAL PLANS  
ALL TRADES TO CHECK AND MEASURE  
PRIOR TO CARRYING OUT ANY WORKS**



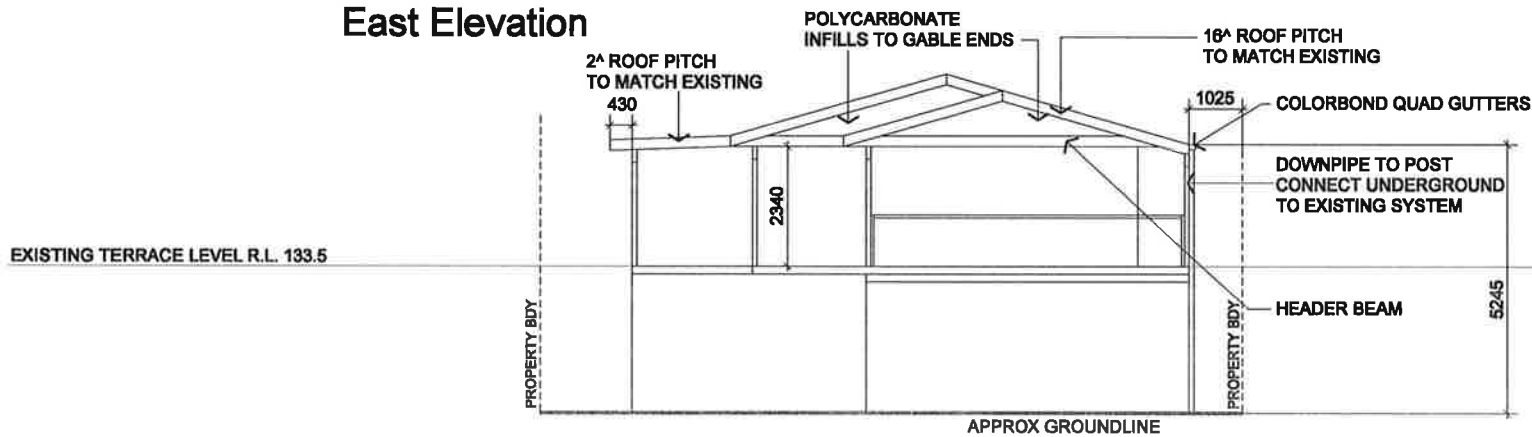
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West Elevation



East Elevation



South Elevation

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