

Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	1	- 4/05/21
DA1001	A4 NOTIFICATION PLAN	1	- 4/05/21
DA1002	SITE SURVEY	1	- 4/05/21
DA1003	SITE PLAN	1	- 4/05/21
DA1004	Existing Lower Ground Floor Plan	1	- 4/05/21
DA1005	Existing Ground Floor Plan	1	- 4/05/21
DA1006	Existing First Floor Plan	1	- 4/05/21
DA1007	Demolition Lower Ground Floor Plan	1	- 4/05/21
DA1008	Demolition Ground Floor Plan	1	- 4/05/21
DA1009	Demolition First Floor Plan	1	- 4/05/21
DA1010	Excavation & Fill Plan	1	- 4/05/21
DA1011	Landscape Open Space Plan Existing	1	- 4/05/21
DA1012	Landscape Open Space Plan Proposed	1	- 4/05/21
DA1013	Landscape Plan Lower Ground Floor	1	- 4/05/21
DA1014	Landscape Plan First Floor	1	- 4/05/21
DA1015	Sediment & Erosion Plan	1	- 4/05/21
DA1016	Waste Management Plan	1	- 4/05/21
DA1017	Stormwater Plan	1	- 4/05/21
DA1018	Landscape Plan Garage	1	- 4/05/21
DA2001	GARAGE	1	- 4/05/21
DA2002	STUDIO	1	- 4/05/21
DA2003	GROUND FLOOR	1	- 4/05/21
DA2004	FIRST FLOOR	1	- 4/05/21
DA2005	SECOND FLOOR	1	- 4/05/21
DA2006	ROOF	1	- 4/05/21
DA3000	SECTION 1	1	- 4/05/21
DA3001	SECTION 2	1	- 4/05/21
DA3002	SECTION DRIVE	1	- 4/05/21
DA4000	ELEVATIONS 1	1	- 4/05/21
DA4001	ELEVATIONS 2	1	- 4/05/21
DA4002	ELEVATIONS 3	1	- 4/05/21
DA4003	ELEVATIONS 4	1	- 4/05/21
DA4004	ELEVATION FRONT FENCE	1	- 4/05/21
DA5000	PERSPECTIVE	1	- 4/05/21
DA5001	MATERIAL & COLOUR SAMPLE BOARD	1	- 4/05/21
DA5002	Shadow Plan 21 Jun at 0900h	1	- 4/05/21
DA5003	Shadow Plan 21 Jun at 1200h	1	- 4/05/21
DA5004	Shadow Plan 21 Jun at 1500h	1	- 4/05/21
DA5005	WALL ELEVATION SHADOWS	1	- 4/05/21

DEVELOPMENT APPLICATION

Alterations & Additions

To Existing Residence

For Jasmine Tan & Domenico Capogreco

153 Queenscliff Road, Queenscliff 2096

Lot 13 D.P.300716

Project Number: RP0320TAN



BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A415449_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 31, August 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



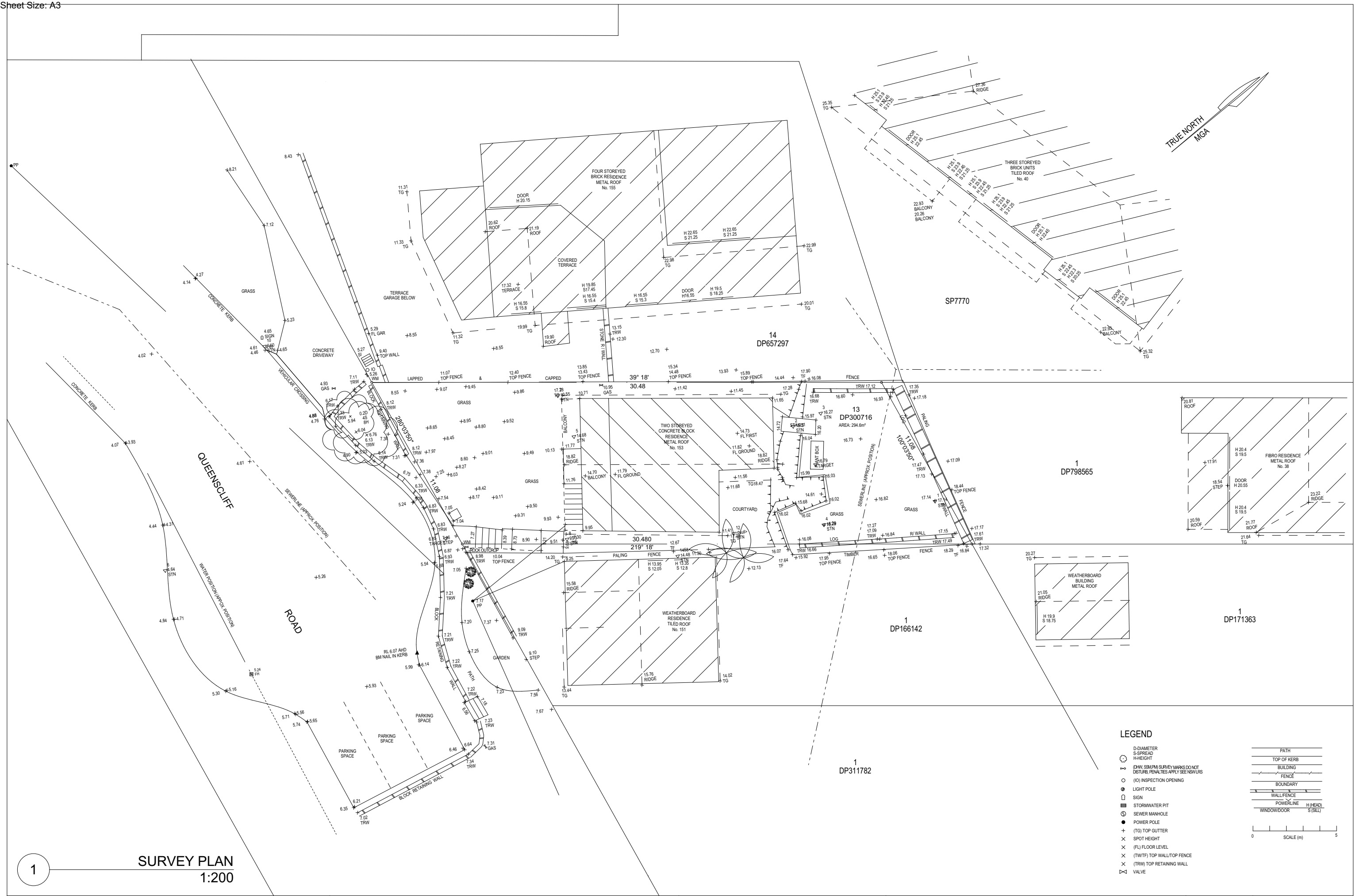
Description of project

Project address	
Project name	Tan-Capogreco_02
Street address	153 Queenscliff Road Queenscliff 2096
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 300716
Lot number	13
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592



AMENDMENTS:

THE BOUNDARIES HAVE BEEN SURVEYED ONSITE FOR DEVELOPMENT APPLICATION PURPOSE.
ALL BOUNDARY DIMENSIONS & AREA HAVE BEEN COMPILED FROM SURVEY PLANES OBTAINED AT NSW LAND REGISTRY SERVICE (NSW LRS).
THE POSITION AND LEVELS OF ADJOINING BUILDINGS, WINDOWS, RIDGES, GUTTERS AND TREES HAVE BEEN SURVEYED REMOTELY.
NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. RELEVANT AUTHORITIES ARE TO BE NOTIFIED PRIOR TO ANY DEVELOPMENT.
SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY.
AUSTRALIAN HEIGHT DATUM WAS ESTABLISHED FROM PM729 (RL 2.364) AHD.
FOR ANY CONSTRUCTION WORKS, BOUNDARIES TO BE RESURVEYED. MARKS PLACED AS REQUIRED PRIOR TO CONSTRUCTION.
POSITION OF IMPROVEMENTS RELATIVE TO BOUNDARIES ARE SHOWN DIAGRAMMATICALLY.



ESA SURVEY
LAND SURVEY CONSULTANTS
P.O. BOX 3018 TAMARAMA 2026
Ph (02) 9386 4161 Mob Eric: 0417 452 852 Mob Scott: 0403 532 601
email: scott56@tpg.com.au

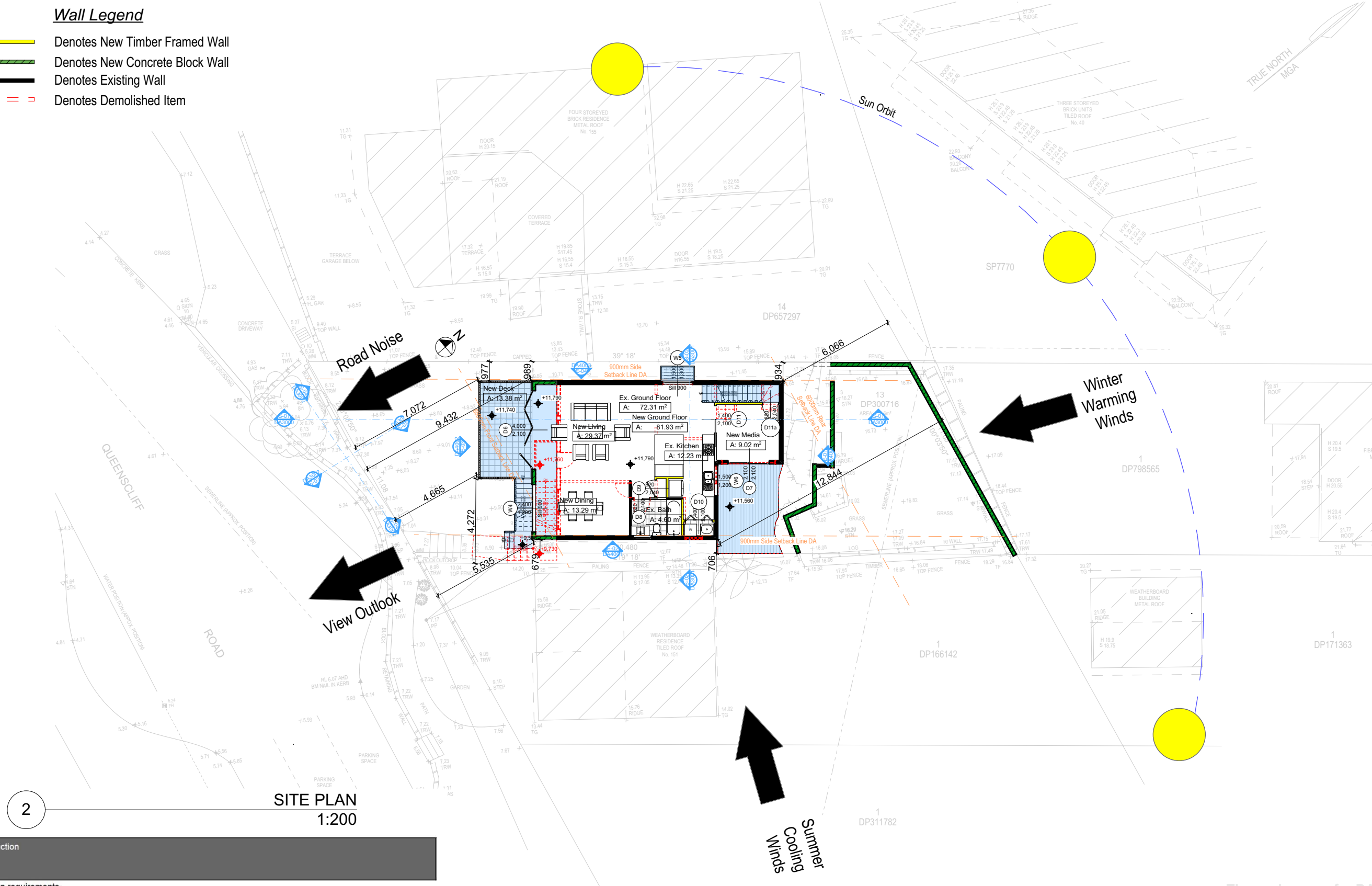
CLIENT: CAPO CONSTRUCTIONS
PLAN SHOWING: DETAIL & LEVEL SURVEY
PROPERTY: 153 QUEENSCLIFF ROAD QUEENSCLIFF 2096
LGA: NORTHERN BEACHES

SURVEYED: MBIK
DRAWN: MB
DATUM: AHD
SITE AREA: 294.6m²
SCALE: A1@1:100
PLAN REFERENCE: 404520
DATE OF SURVEY: 19 FEBRUARY 2020
SHEET 1 OF 1
COPYRIGHT
ESA SURVEY



Wall Legend

- Denotes New Timber Framed Wall
 Denotes New Concrete Block Wall
 Denotes Existing Wall
 Denotes Demolished Item



SITE PLAN
1:200

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

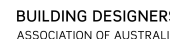
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

<p>These plans are for DA Application only. These plans are not to be used for construction certificate applications without the written permission of RAA.</p>	<p>2096</p>
	<p>DRAWING TITLE : SITE AND LOCATION SITE PLAN</p> <p>PROJECT NAME : Alterations</p>

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



© Copyright Rapid Plans 2021



Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Qu

All Plans to be read in conjunction with Basic Certificate
153 Queenscliff Road, Queenscliff 2096 is not considered a
hard hat.
New Works to be constructed shown in Shaded/Blue
Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed
Walls
Roof Timber Framed to have R1.08 Insulation
Transition to External Concrete Slab, Timber Framed Walls R1
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS2088-2004
Waterproofing to BCA and AS 3740
All lighting to have minimum 90% compact fluorescent lamp
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

Certify
The DA

plans are not to be used for the construction certificate application by any person other than the registered professional engineer or architect. No Conflicting Authority will be given permission of Rapid Plans or the Council to authorize construction certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A154442 Q2

All Plans to be read in conjunction with Basic Certificate A154442 Q2. The following are the minimum construction (i.e., walls, and ceiling/roofs) in accordance with the specifications listed in the table below, except that if additional insulation is not required, then the minimum insulation is not required. The minimum insulation specified is not required for parts of altered construction where insulation already exists.

Minimum insulation for exterior walls, glazed doors and shaded windows, in accordance with the specifications listed in the table below:

Related overshading specifications must be studied for each window and glazed door.

For projects described in millimetres, the leading edge of eaves, awnings, balcony or awning must be no more than 500 mm above the head of the window or glazed door and the bottom of the awning must be at least 100 mm above the bottom of the window or glazed door.

Overshading buildings or vegetation must be at the height at least 100 mm above the top of the window or glazed door and at a distance from the centre and the base of the window and glazed door.

Site Information

Site Area	294.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m2 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**

Project No.



Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO. RP0320TA
Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogre

Site: 153 Queenscliff Road, Queenscliff
2096

DRAWING TITLE :

SITE AND LOCATION

SITE PLAN

PROJECT NAME :

Alterations Additions

REVISION NO.	REVISION NO.
--------------	--------------

1 4/05/21

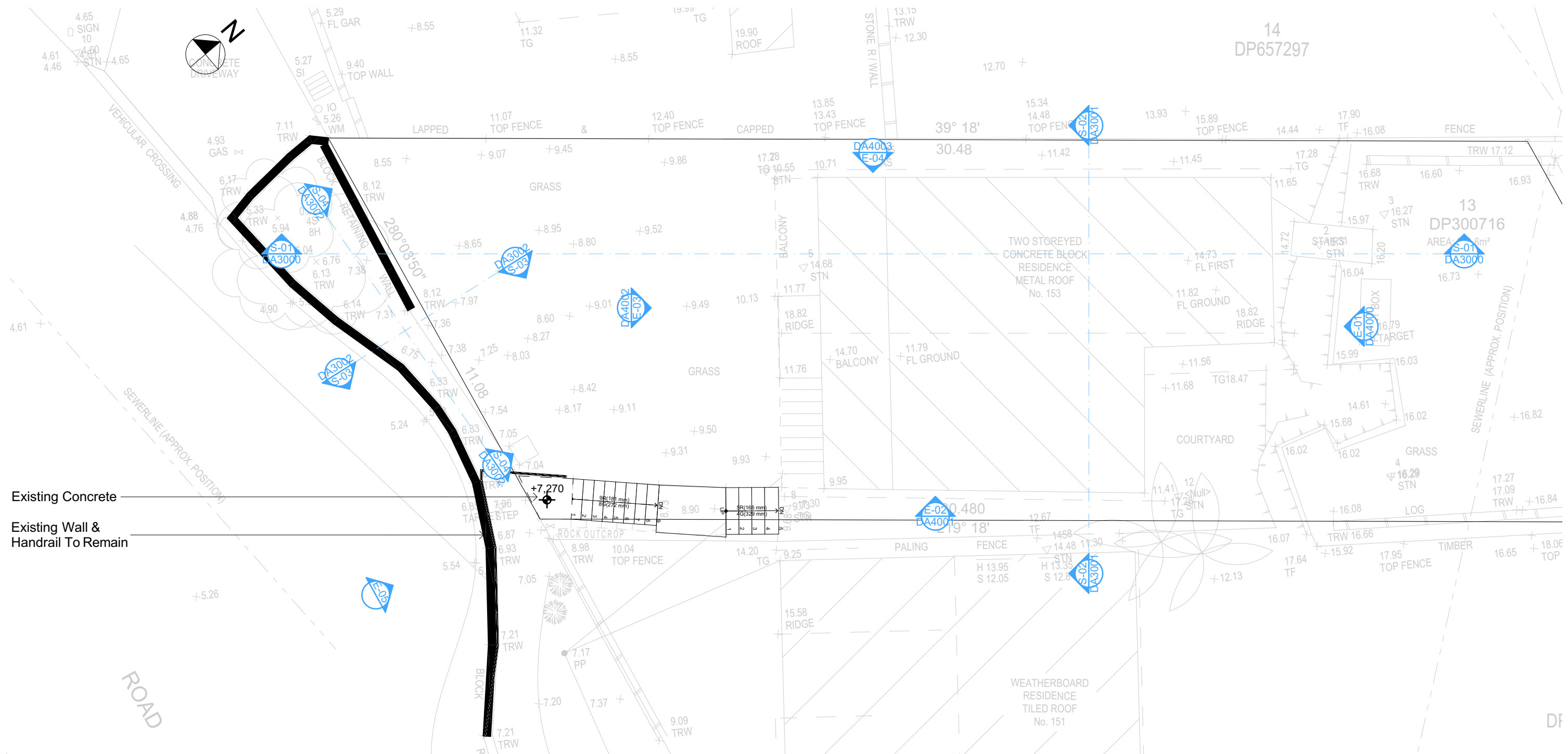
DRAWING NO.

DA1003

DATA

Plot Date: 24/05/2022
 F:\Current Jobs\Tan, Jeevine\Tan

Denotes Existing Wall



1

1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
 Basic Certificate Number A415449_02

All Plans to be read in conjunction with Basix Certificate

The Applicant must construct the new or altered construction (floor/s, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

- additional insulation is not required where the area of new construction is less than 2m²,
- insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
DC NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: gregg@rapidplans.com.au

© Copyright
Rapid Plans 2021



BUILDING DESIGNERS



ACCREDITED
BUILDING DESIGNER

**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Project North

Checked
Plot Date:
Project NO.
Project Status

Client Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION

Existing Lower Ground Floor Plan

PROJECT NAME :

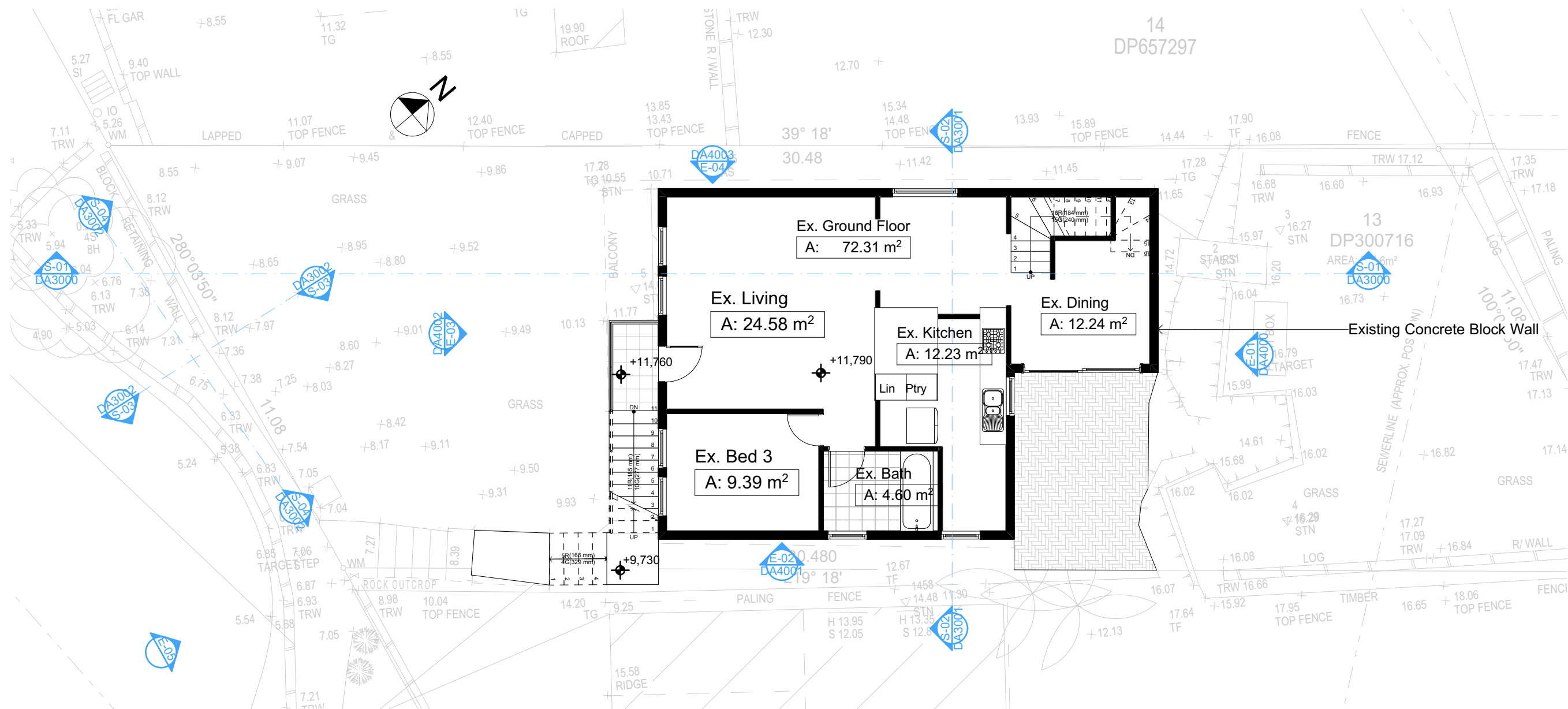
Alterations & Additions

REVISION NO.

1
DATE.
4/05/21
DRAWING NO.
DA1004

Wall Legend

Denotes Existing Wall



2

EXISTING GROUND FLOOR

1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A415449_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

© Copyright
Rapid Plans 2021



Builder To Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO. 24/05/2022
Project Status RP0320TAN
DA-Rev1
Client
Site: Jasmine Tan & Domenico Capogreco
153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE

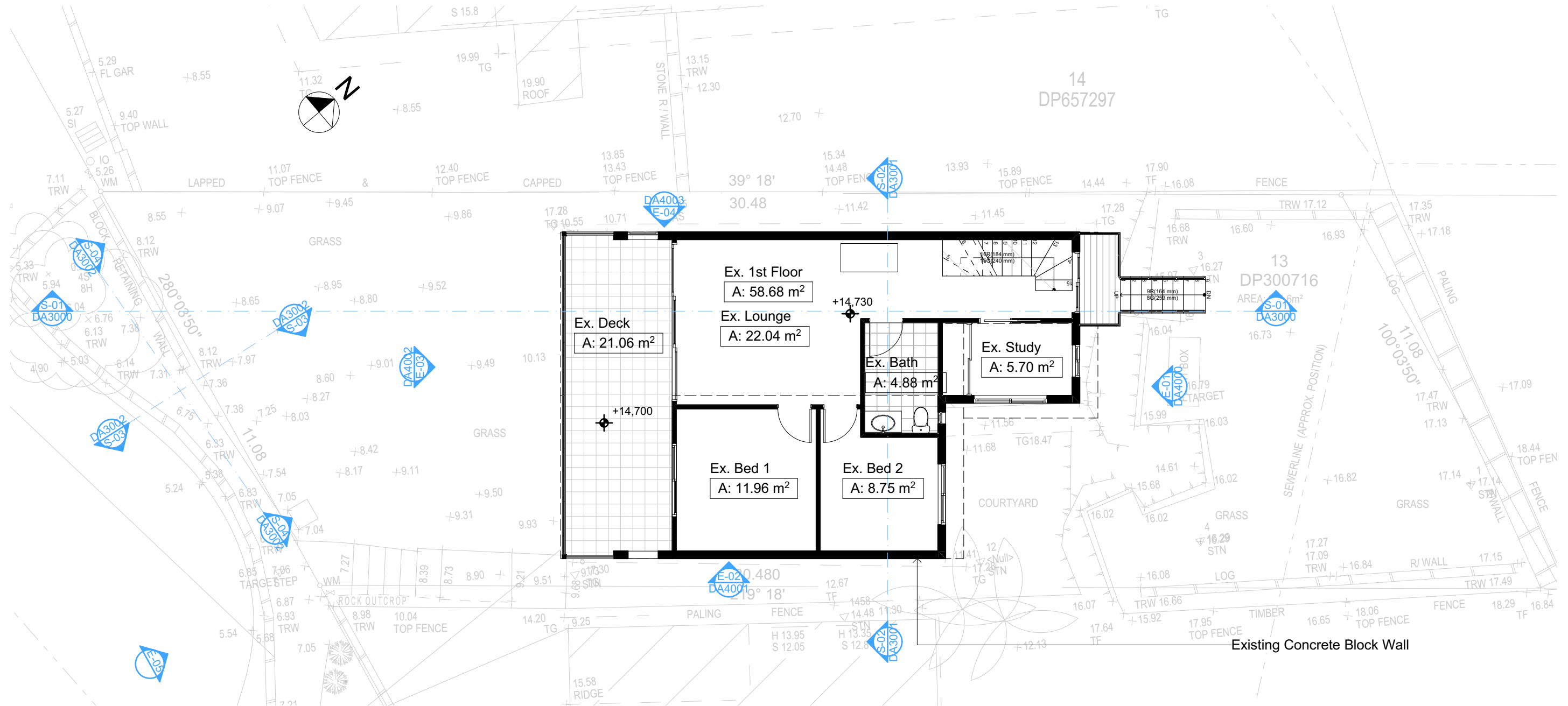
4/05/21

DRAWING NO.

DA1005

Wall Legend

Denotes Existing Wall



3

EXISTING FIRST FLOOR
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A415449_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

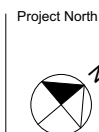
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



© Copyright
Rapid Plans 2021



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO: 24/05/2022
Project Status: RP0320TAN
DA-Rev1

Client
Site: Jasmine Tan & Domenico Capogreco
153 Queenscliff Road,
Queenscliff 2096

Sheet Size: A3

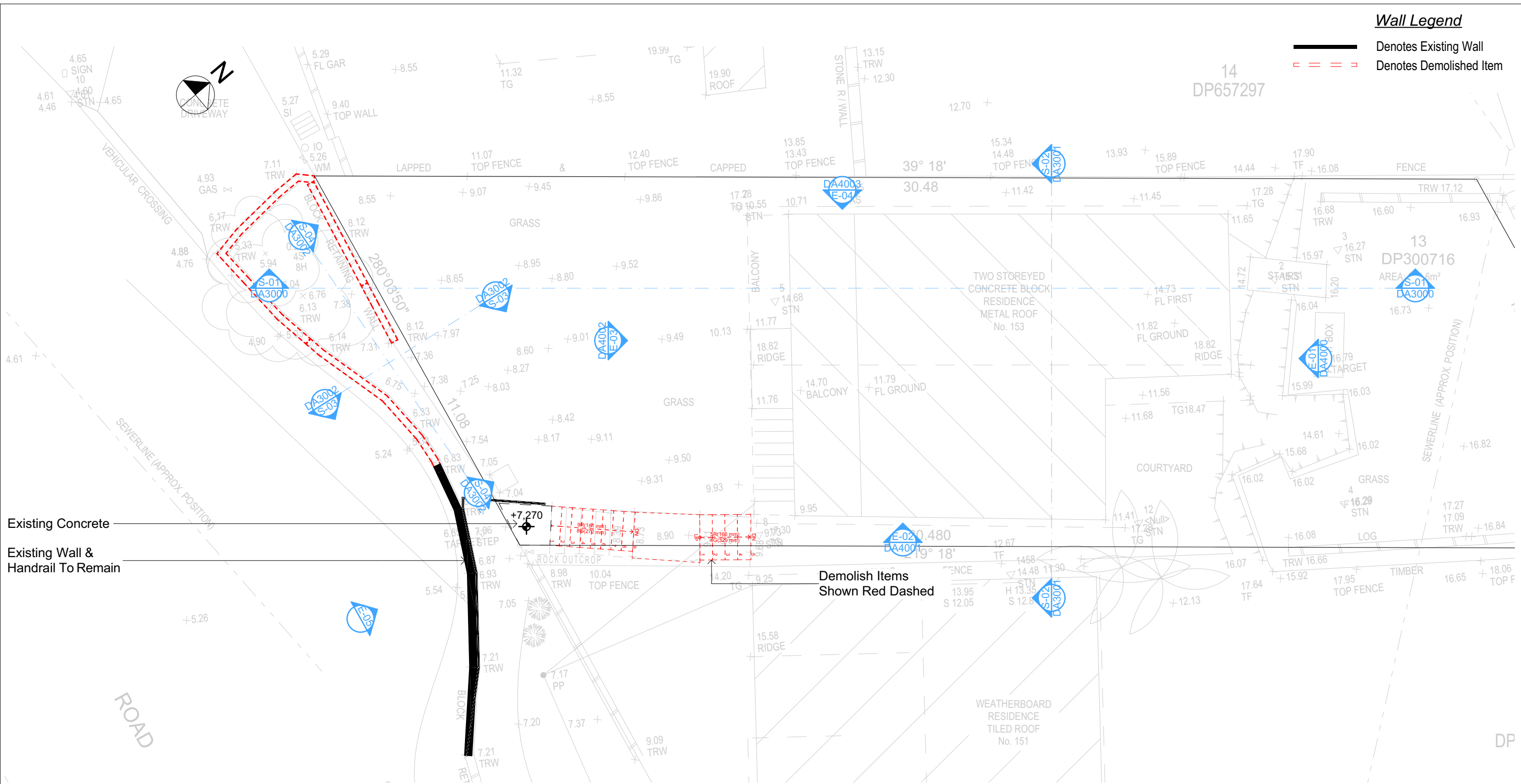
DRAWING TITLE :

SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.
1
DATE:
4/05/21
DRAWING NO.
DA1006



1 DEMOLITION BASEMENT/LOWER GROUND 1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Building Design and Architectural Drafting

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked: GBJ
Plot Date: 24/05/2022
Project NO: RP0320TAN
Project Status: DA-Rev1

Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road, Queenscliff 2096
Sheet Size: A3

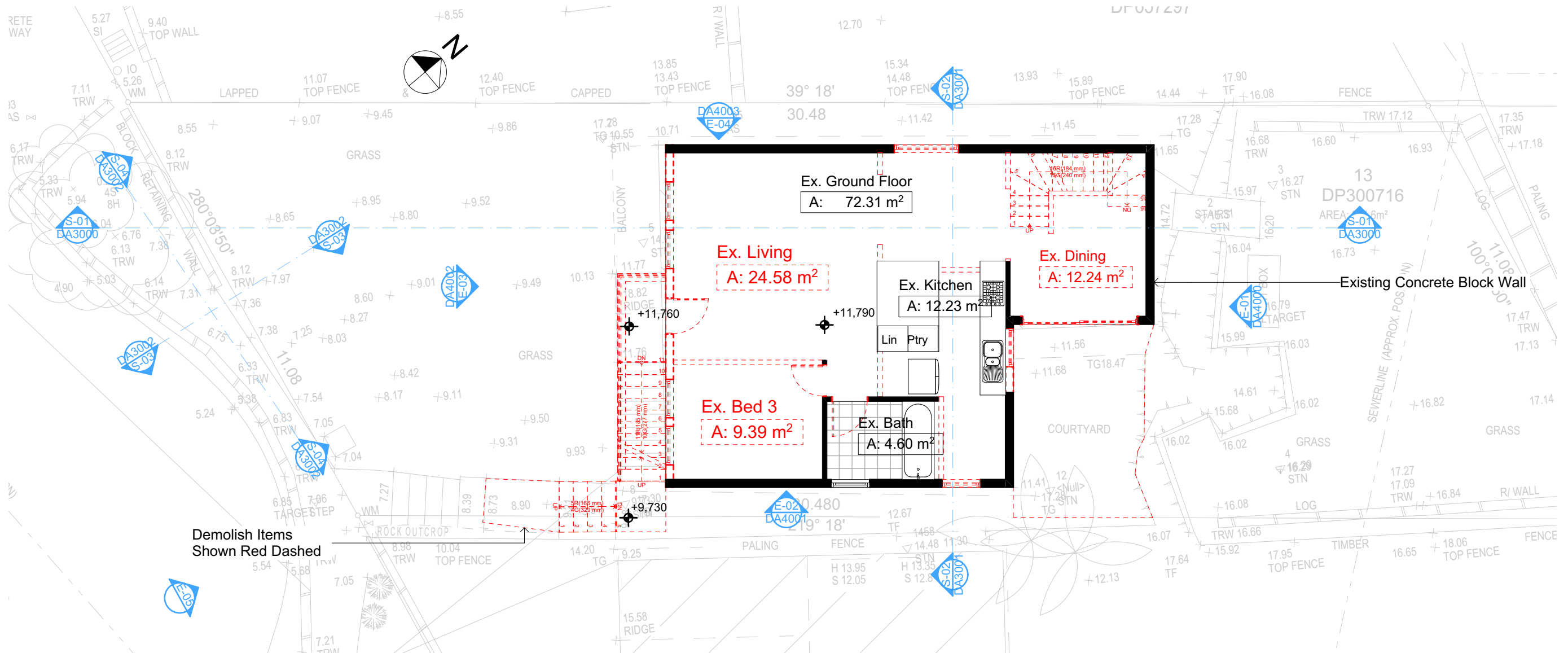
DRAWING TITLE : SITE AND LOCATION
Demolition Lower Ground Floor Plan

PROJECT NAME : **Alterations & Additions**

REVISION NO.
1
DATE: **4/05/21**
DRAWING NO.
DA1007

Wall Legend

- Denotes Existing Wall
Denotes Demolished Item



2 DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

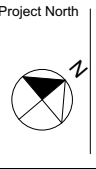


© Copyright
Rapid Plans 2021

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



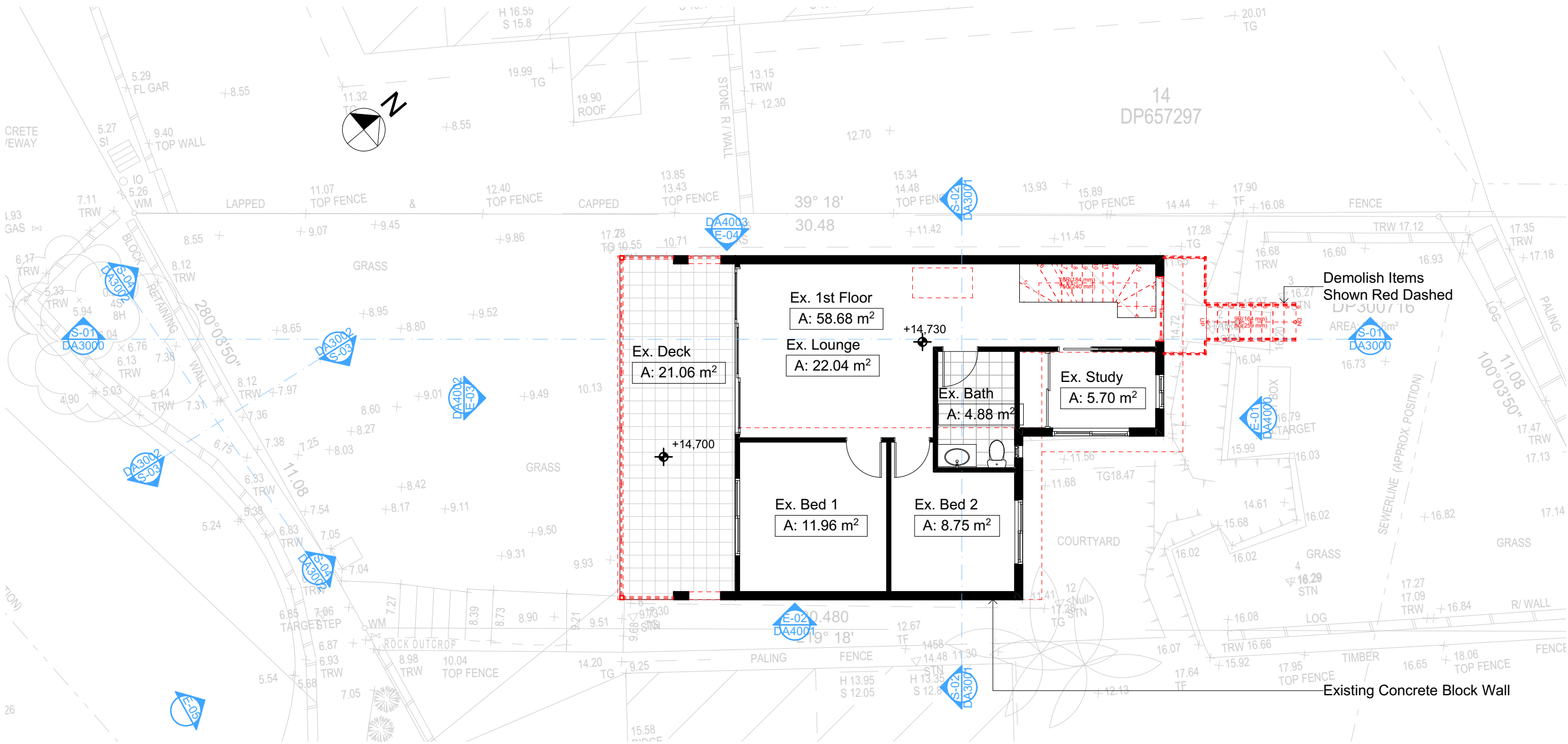
Checked
Plot Date: 24/05/2022
Project NO: RPO320TAN
Project Status: DA-Rev1
Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road, Queenscliff 2096
Sheet Size: A3

DRAWING TITLE : SITE AND LOCATION
Demolition Ground Floor Plan
PROJECT NAME : Alterations & Additions

REVISION NO.
1
DATE: 4/05/21
DRAWING NO.
DA1008

Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



Demolish Items
Shown Red Dashed

Existing Concrete Block Wall

3

DEMOLITION FIRST FLOOR
1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing
specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window
or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



© Copyright
Rapid Plans 2021



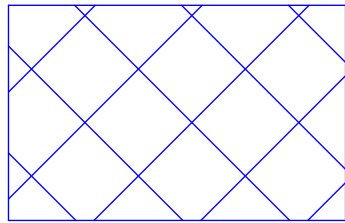
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



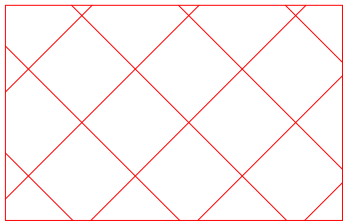
Checked
Plot Date: 24/05/2022
Project NO: RP0320TAN
Project Status: DA-Rev1
Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan
PROJECT NAME :
Alterations & Additions

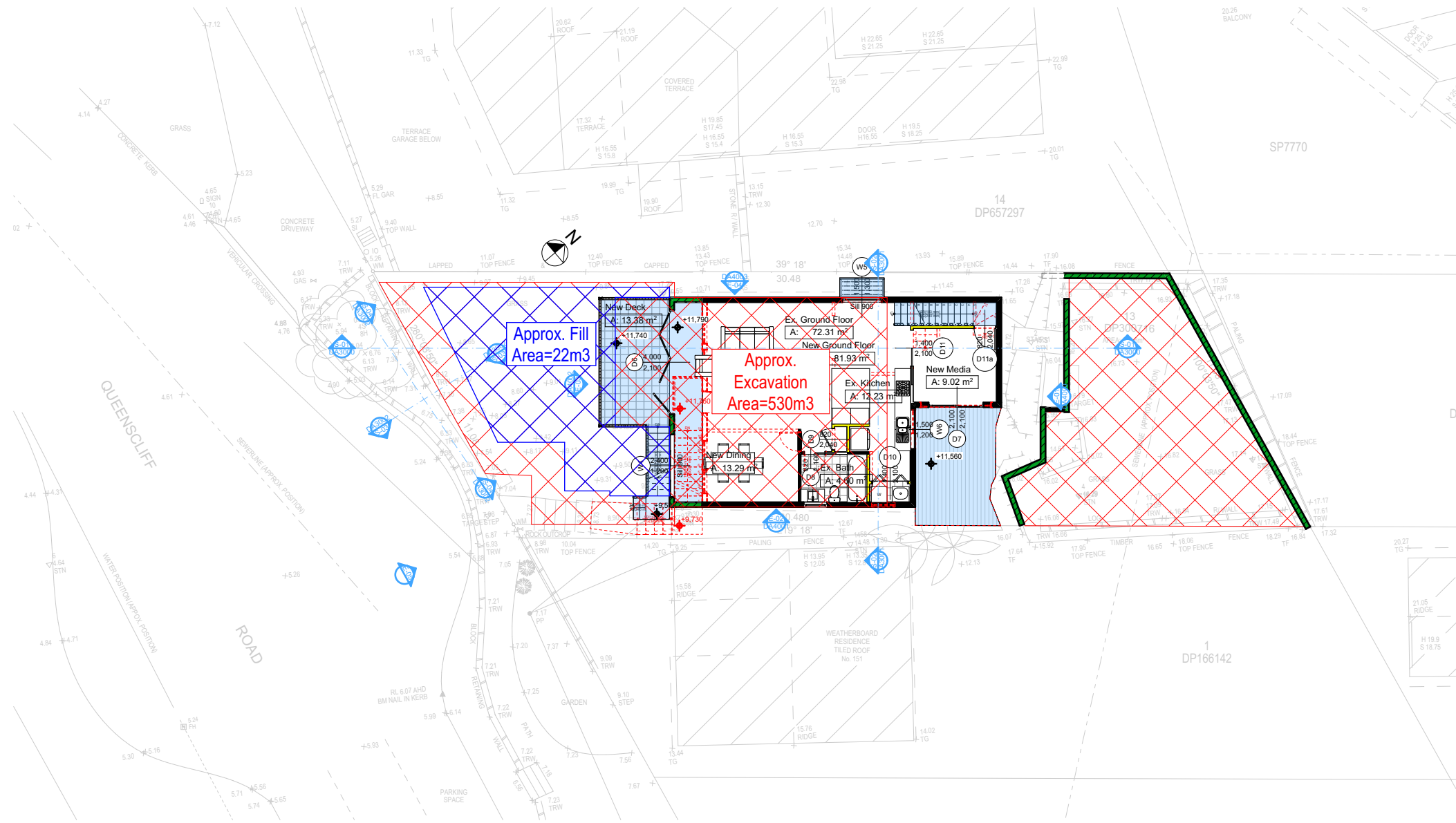
REVISION NO.
1
DATE:
4/05/21
DRAWING NO.
DA1009



Denotes Fill Area



Denotes Excavation Area



2

EXCAVATION & FILL PLAN
1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

World Plans
PO Box 6239 Rydalmere NSW 2114
Tel: (02) 9350-8845 Mobile: 0414-945-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021

**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

**ACCREDITED
BUILDING DESIGNER**

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item.
New Works to be constructed shown in Shaded/Blue
Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client: Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE:
**SITE AND LOCATION
Excavation & Fill Plan**

PROJECT NAME:
Alterations & Additions

REVISION NO.	REVISION NO.
1	4/05/21

DRAWING NO.: **DA1010**

Plot Date: 24/05/2022
Sheet Size: A3

Denotes Impervious Area

Denotes Pervious Area



© Copyright Rapid Plans 2021



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request. The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item.
New Works to be constructed shown in Shaded/Blue

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RPD32071AN
Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
1 4/05/21

DRAWING NO.
DA1011

Plot Date: 24/05/2022
Sheet Size: A3



Description	Area (m2)	Percentage
Site Area	294.6m ²	100%
Exist. Open Landscape Area	167.03m ²	57%
Exist. Impervious Area	127.57m ²	43%
Proposed Open Landscape Area	122.63m ²	41%
Proposed Impervious Area	171.97m ²	59%

Note:
Total Open Landscape Area for the property will be decreased by 16%

LEGEND

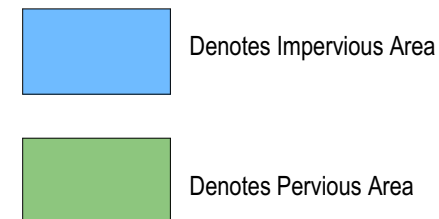
- D-DIAMETER
- S-SPREAD
- H-HEIGHT
- (M) SURVEY
- (D) DISTURB, PENALTES AF
- (I) INSPECTION OP
- LIGHT POLE
- SIGN

2

LANDSCAPE OPEN SPACE EXISTING
1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

These plans are for DA Application purposes only. These plans are not to be used for the construction certificate application without the written permission of Rapid Plans



© Copyright Rapid Plans 2021



**ACCREDITED
BUILDING DESIGNER**

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
New Works to be constructed shown in Shaded/Blue

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed, Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.08
Refer to Engineers drawings for structural details
All work to Engineering Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1028:2004
Waterproofing to BCA and AS 2740
New Lighting to meet minimum 100% compact fluorescent lamp
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.


Certifying
The DA Application Only plans are for DA Application purposes only. They are not to be used for the construction certificate application by a Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
 Basic Certificate Number A415449_02
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (if any) in accordance with the specifications listed in the table below, except that (a) additional insulation is not required where the area of new construction is less than 2m², (b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shaded devices, in accordance with the specifications listed in the table below.
 Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of eave, pergola, verandah, balcony or awning must be no more than 2000 mm above the level of the window or glazed door and no more than 2400 mm above the level of the ground.
 Overshadowing buildings or vegetation must be of the height at distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comments
Site Area	294.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepanci
to Rapid Plans**

Project North



Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO. RP0320TAN
Project Status DA-Rev1

Client	Jasmine Tan & Domenico Capogre
Site:	153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE SITE AND LOCATION
**Landscape Open Space
Plan Proposed**

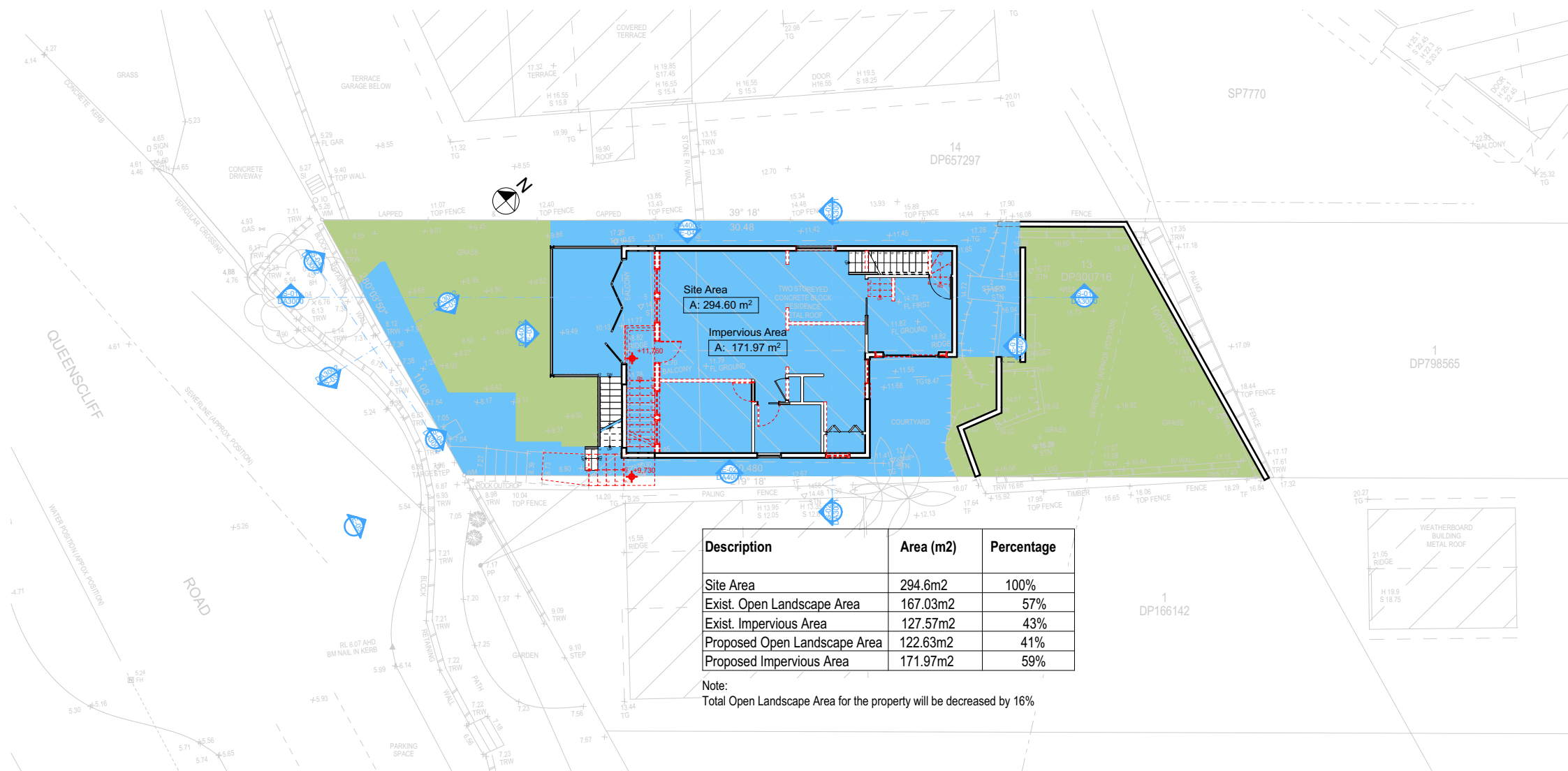
PROJECT NAME : **Alterations & Additions**

REVISION NO.	REVISION NO.
1	4/05/21

DRAWING NO.
DA1012

Plot Date: 24/05/2022
Sheet Size: A3

F:\Current Job\Tan Jaewee\Tan-Capogreco-22-DA Finalt Rev2a.plt



2

LANDSCAPE OPEN SPACE PROPOSED
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapiplan.</p>	<p>2096</p>
	<p>DRAWING TITLE AND LOCATION</p> <p>Landscape Open Space Plan Proposed</p>
	<p>PROJECT NAME :</p> <p>Alterations &</p>

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapiplan.</p>	<p>2096</p>
	<p>DRAWING TITLE AND LOCATION</p> <p>Landscape Open Space Plan Proposed</p>
	<p>PROJECT NAME :</p> <p>Alterations &</p>

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item.
New Works to be constructed shown in Shaded/Blue

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogreco

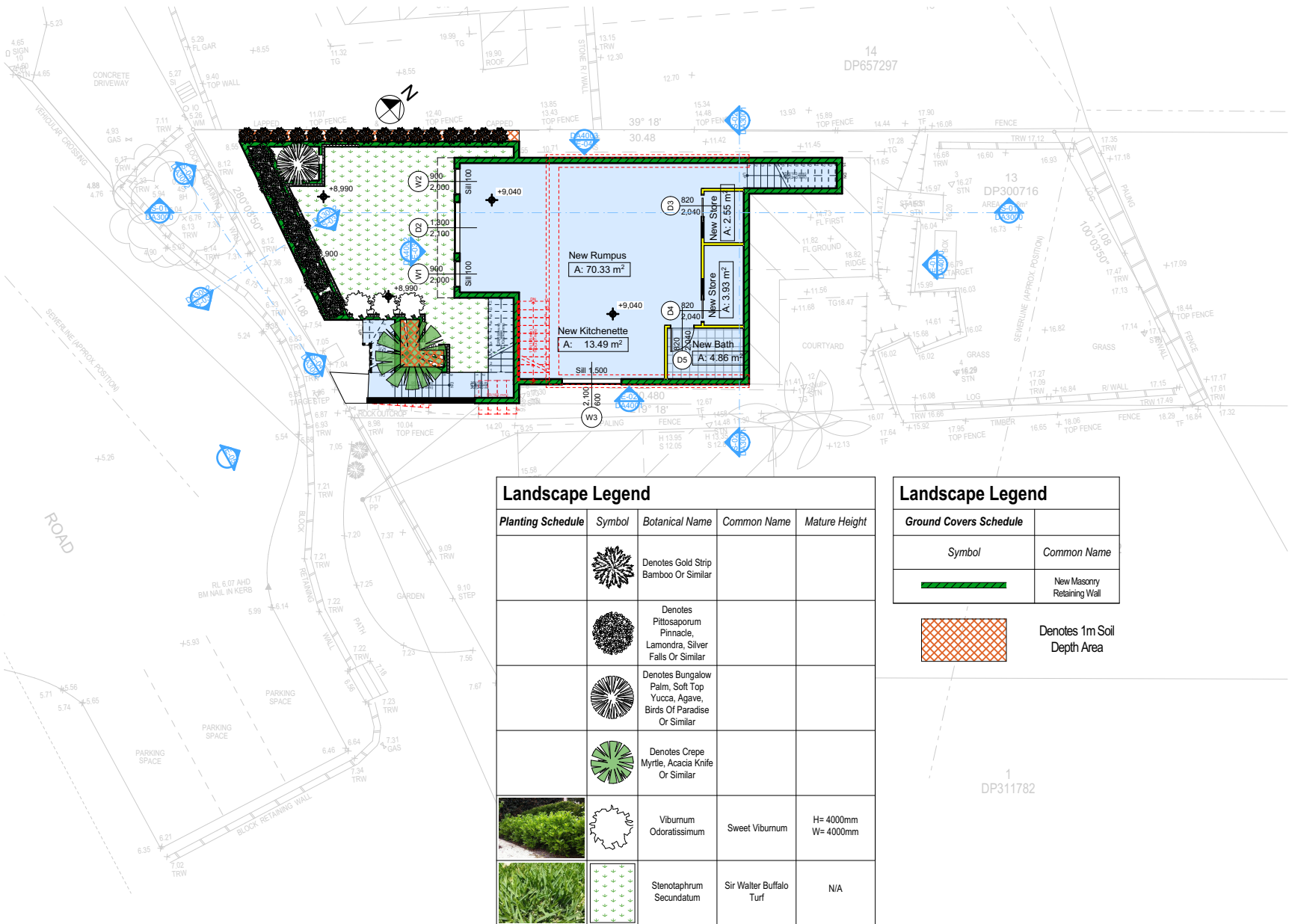
Site: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE SITE AND LOCATION
Landscape Plan Lower Ground Floor

PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
1 **4/05/21**
DRAWING NO.
DA1013

Plot Date: 24/05/2022
Sheet Size: A3



Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Denotes Gold Strip Bamboo Or Similar		
		Denotes Pittosporum Pinnale, Lamondra, Silver Falls Or Similar		
		Denotes Bungalow Palm, Soft Top Yucca, Agave, Birds Of Paradise Or Similar		
		Denotes Crepe Myrtle, Acacia Knife Or Similar		
		Viburnum Odoratissimum	Sweet Viburnum	H= 4000mm W= 4000mm
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	New Masonry Retaining Wall
	Denotes 1m Soil Depth Area

2 LOWER GROUND FLOOR LANDSCAPE PLAN
1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO. RP0320TAN
Project Status DA-Rev1





DRAWING TITLE: SITE AND LOCATION
Landscape Plan First Floor

REVISION NO.	REVISION NO.
1	4/05/21
DRAWING NO.	



■ **Sheet Size:** A3



Landscope Legend

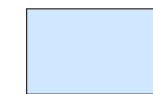
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Refer To Plants List For Options		
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		New Vege Patch		

Landscape Legend

<i>Ground Covers Schedule</i>	
<i>Symbol</i>	<i>Common Name</i>
	New Masonry Retaining Wall
	Denotes 1m Soil Depth Area

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapiplan Pty Ltd.</p>	<p>2096</p>
	<p>DRAWING TITLE AND LOCATION</p> <p>Landscape Plan First Floor</p>
	<p>PROJECT NAME :</p> <p>Alterations &</p>

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes New Concrete Block Wall



Denotes Existing Wall



Denotes Demolished Item



Rapid Plans
PO Box 6239 Riverside Forest NSW 2086
Tel: (02) 9505-8845 Mobile: 0414-945-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density All Plans to be read in conjunction with Basic Certificate
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item.
New Works to be constructed shown in Shaded/Blue

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1694
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Surveying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RPD3207AN
Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road, Queenscliff 2096

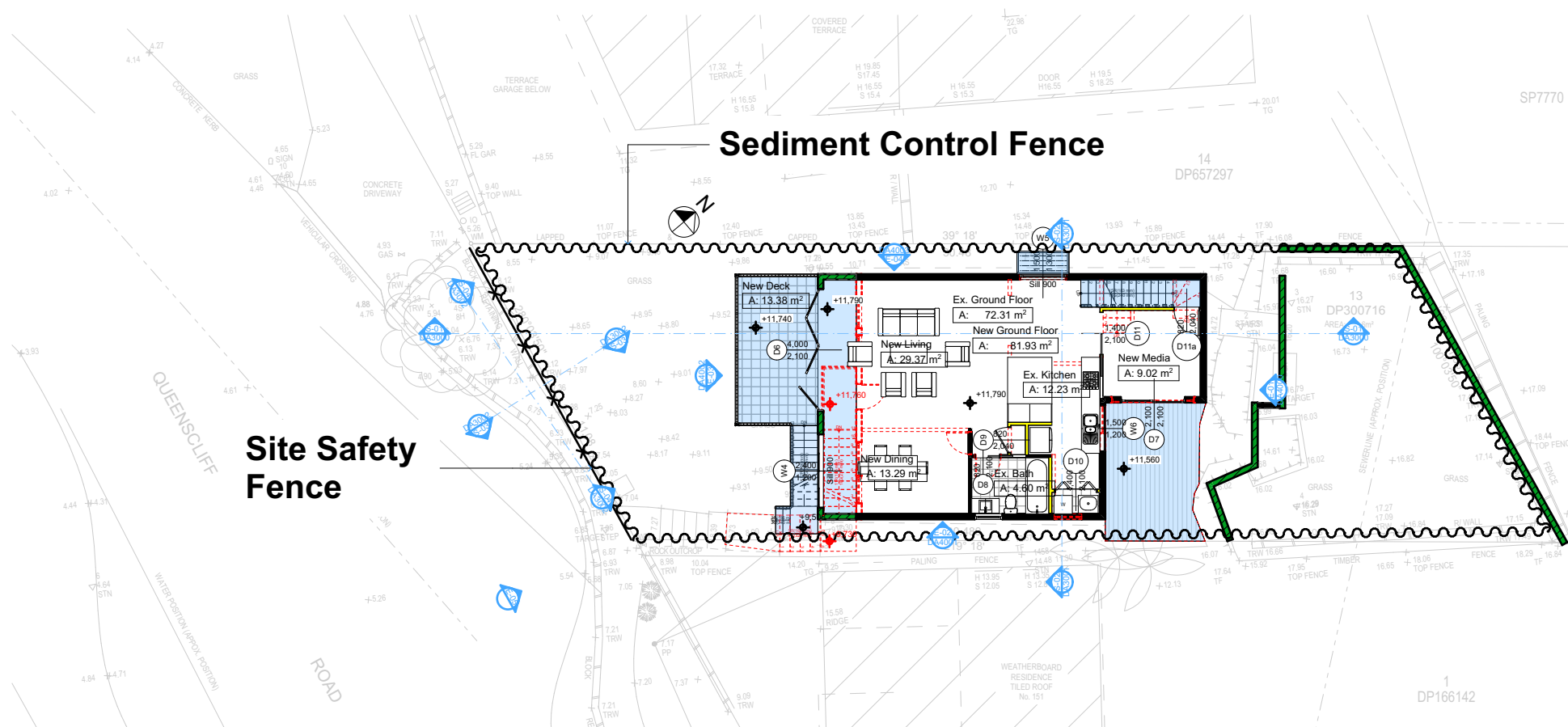
DRAWING TITLE :
SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME :
Alterations & Additions

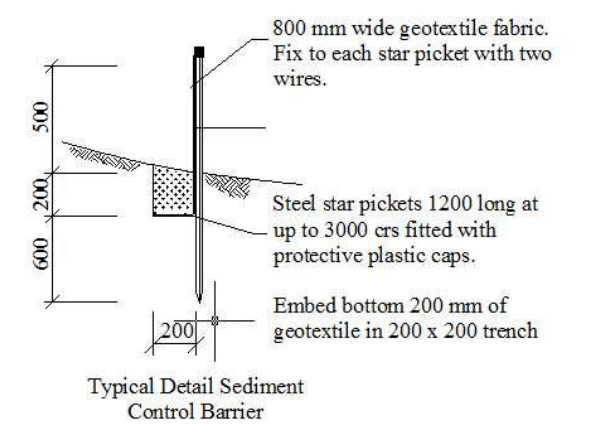
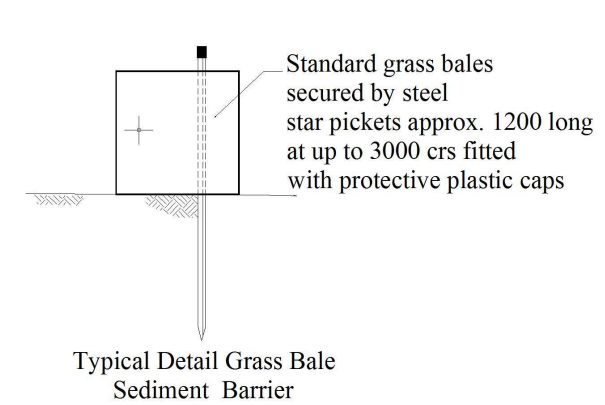
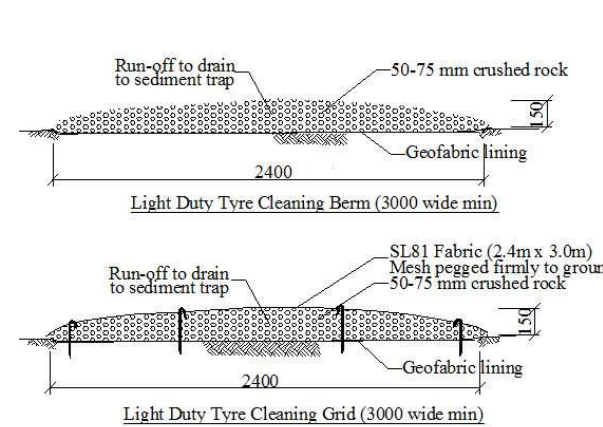
REVISION NO. REVISION NO.
1 4/05/21

DRAWING NO.
DA1015

Plot Date: 24/05/2022
Sheet Size: A3



2 SEDIMENT & EROSION CONTROL PLAN 1:200



These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

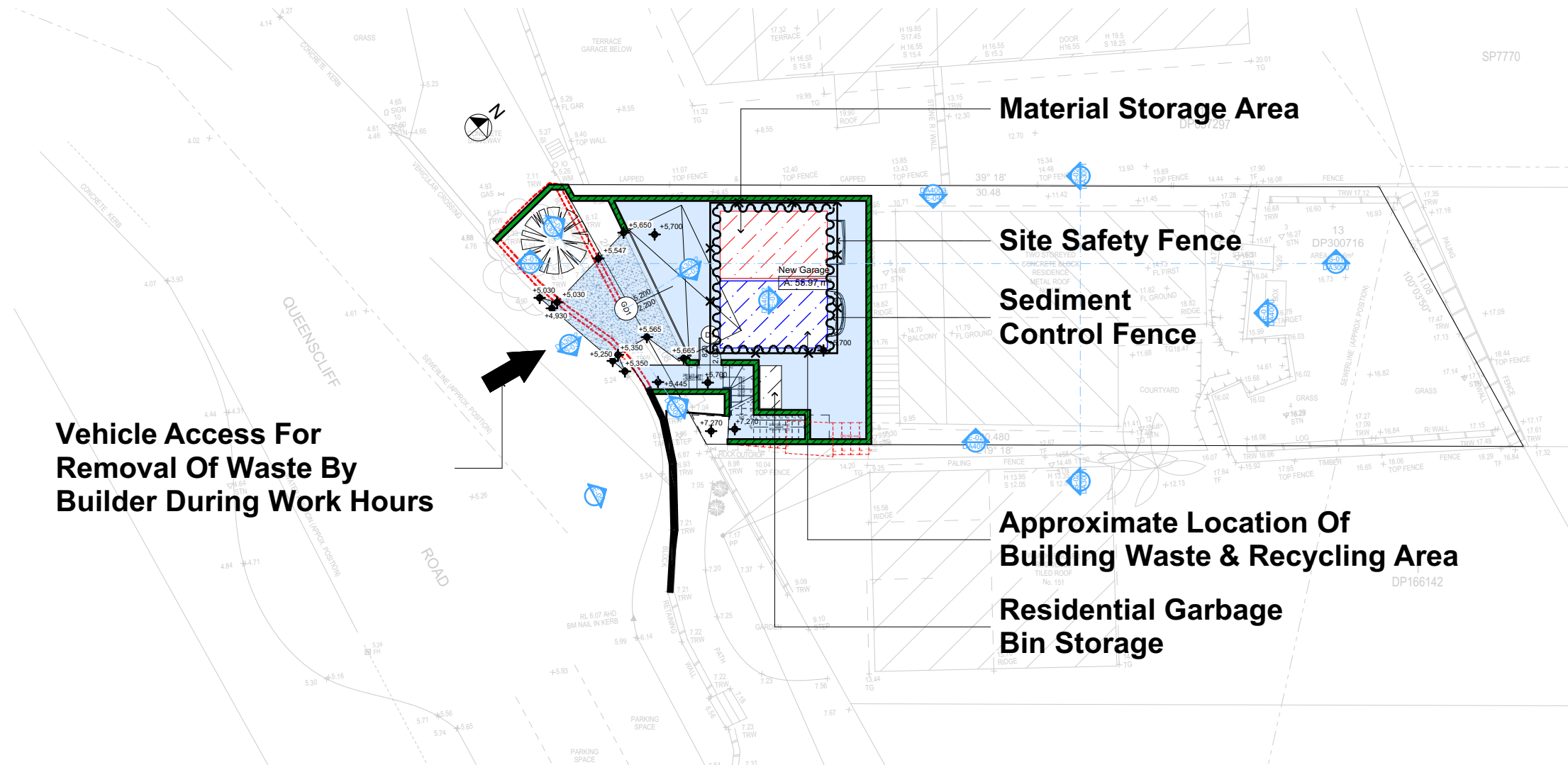
Denotes New Works

Wall Legend

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item



1

WASTE MANAGEMENT PLAN

1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

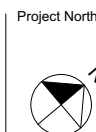


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

© Copyright
Rapid Plans 2021



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO. 24/05/2022
Project Status RP0320TAN
DA-Rev1

Client
Site: Jasmine Tan & Domenico Capogreco
153 Queenscliff Road,
Queenscliff 2096

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Waste Management Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE
4/05/21
DRAWING NO.
DA1016

Denotes New Works



Rapid Plans
Building Design and Architectural Drafting

World Plans
PO Box 6239 Fitzroy Vic 3065
Ph: (03) 9350-8845 Mobile: 0414-946-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA


ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item.
New Works to be constructed shown in Shaded/Blue


Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. REVISION NO.
1 **4/05/21**

DRAWING NO.
DA1017

Plot Date: 24/05/2022
Sheet Size: A3



6
-
STORMWATER PLAN
1:200

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
New Works to be constructed shown in Shaded/Blue

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1694
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2288-2007
Waterproofing to BCA and AS 3747
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

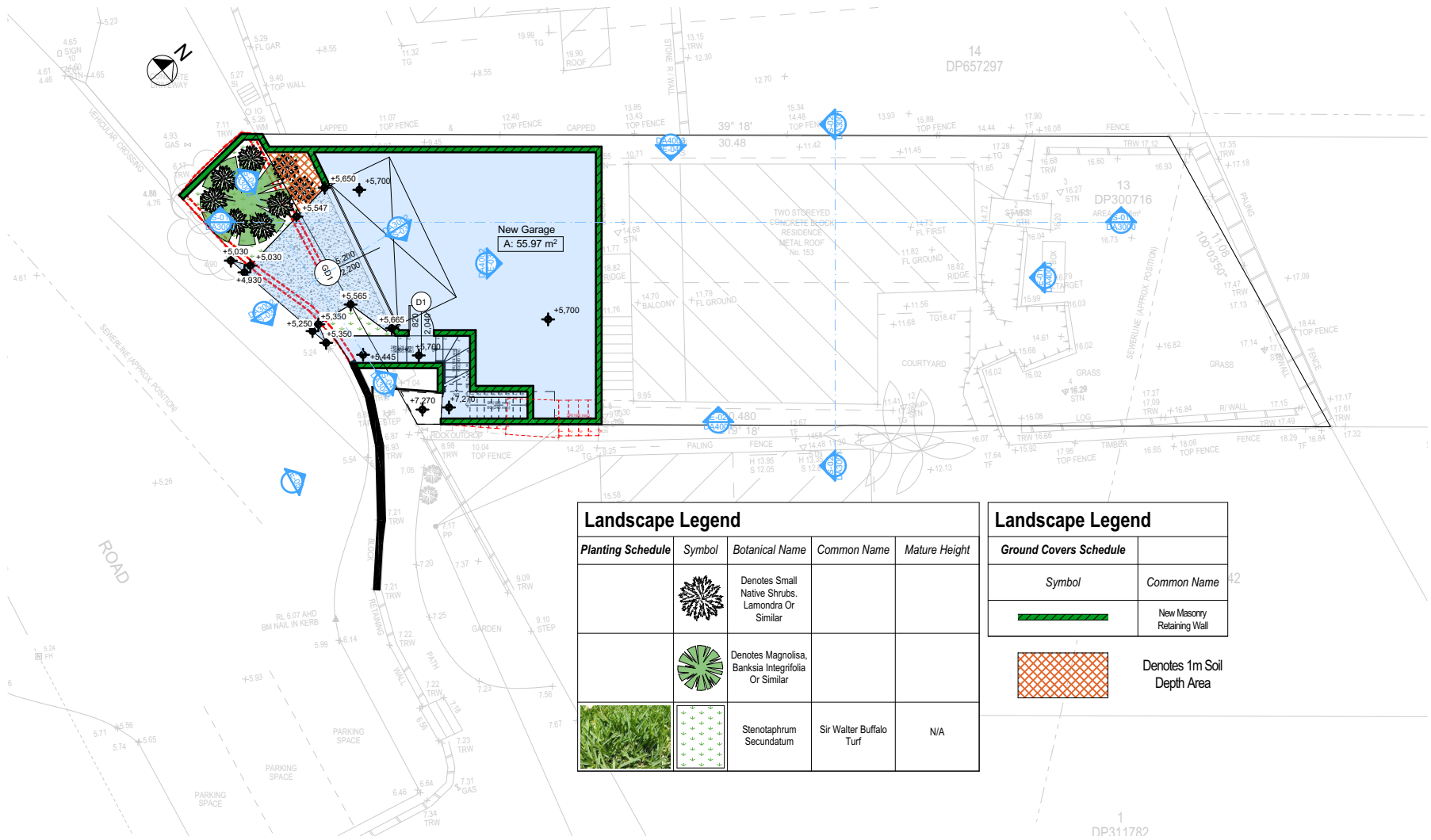
DRAWING TITLE :
SITE AND LOCATION
Landscape Plan Garage

PROJECT NAME :
Alterations & Additions

REVISION NO. REVISION NO.
1 4/05/21

DRAWING NO.
DA1018

Plot Date: 24/05/2022
Sheet Size: A3



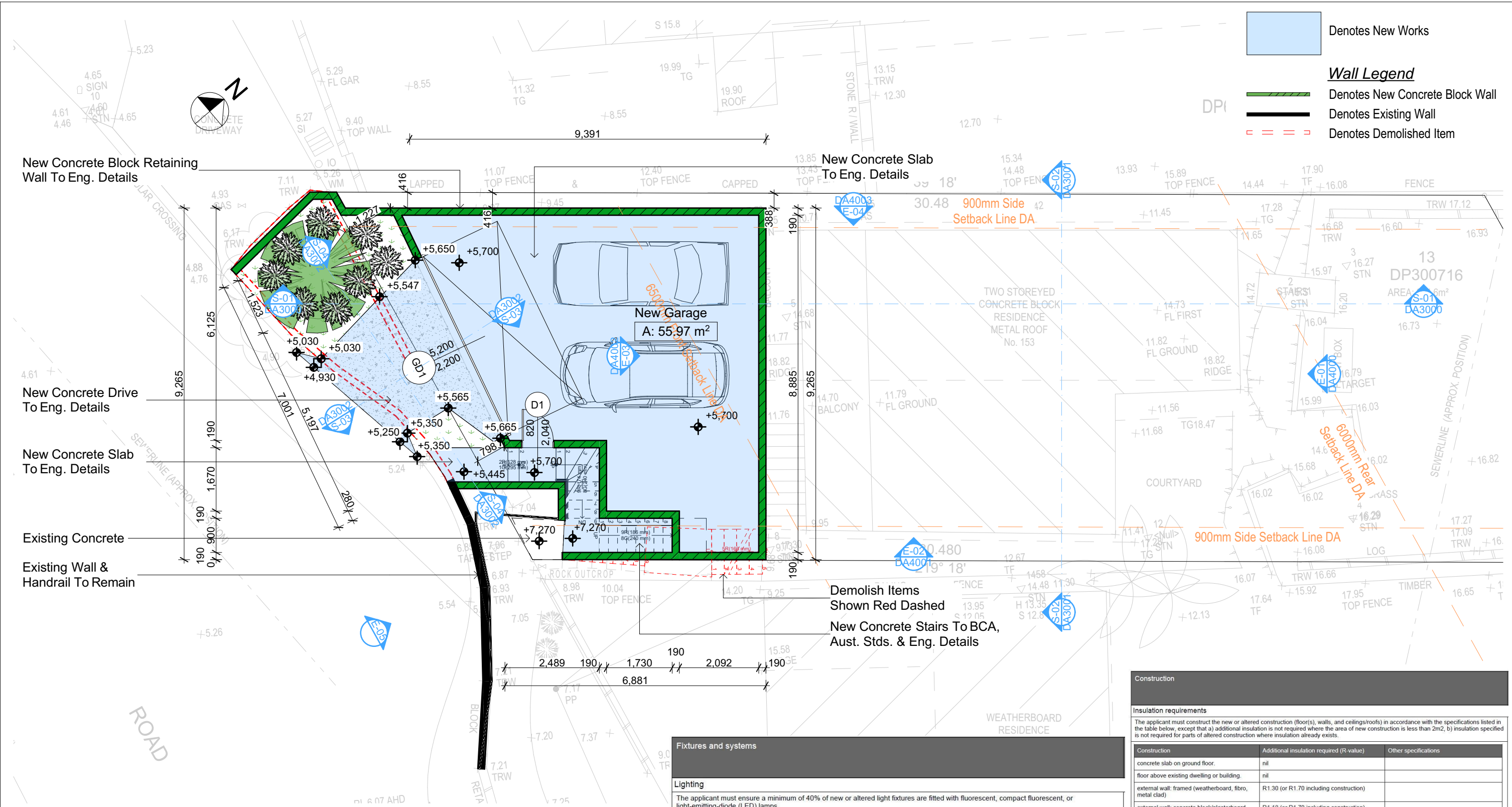
Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Denotes Small Native Shrubs, Lamondra Or Similar		
		Denotes Magnolia, Banksia Integrifolia Or Similar		
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A

Landscape Legend	
Ground Covers Schedule	Common Name
	New Masonry Retaining Wall
	Denotes 1m Soil Depth Area

1
-
GARAGE LANDSCAPE PLAN
1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



1

GARAGE
1:100

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Fixtures and systems

Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

bdaa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked: GBJ
Plot Date: 24/05/2022
Project NO: RP0320TAN
Project Status: DA-Rev1

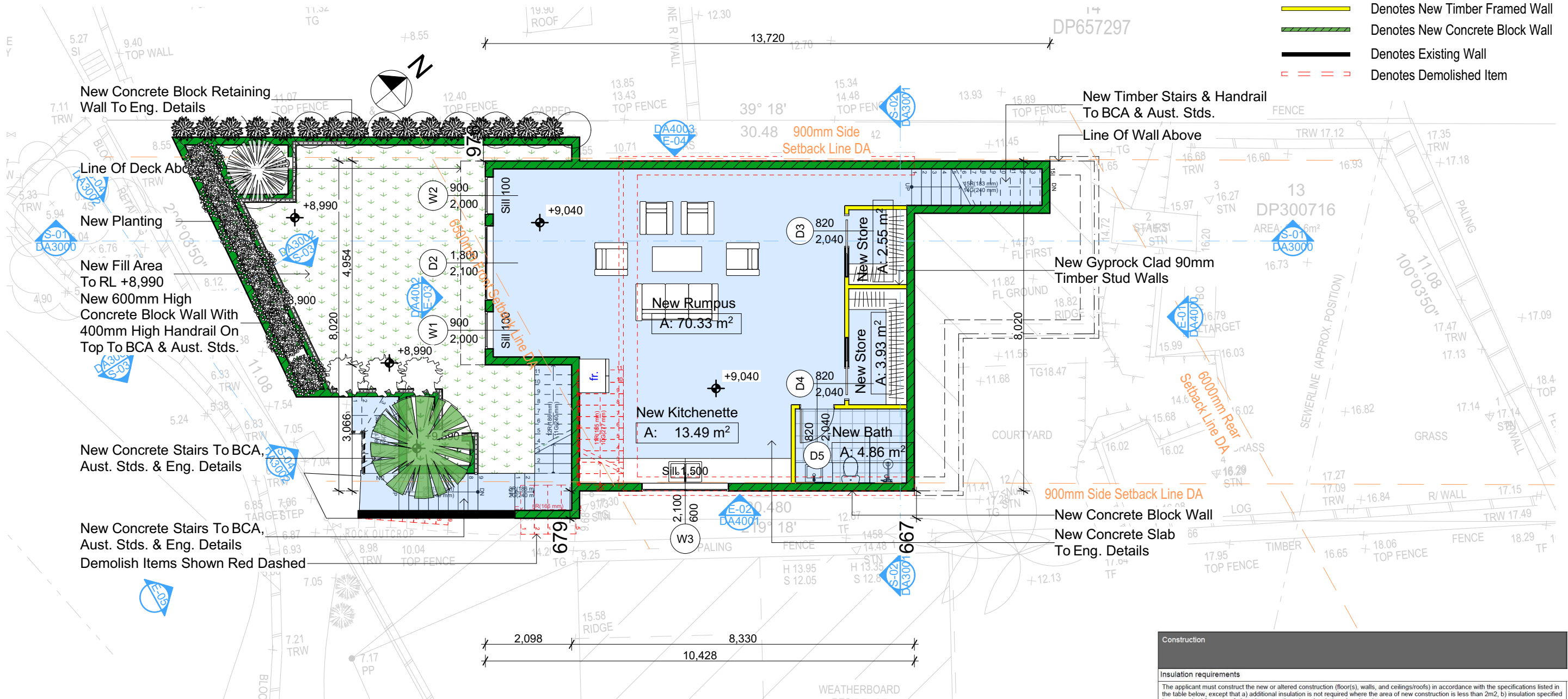
Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road, Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
GARAGE

PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: **4/05/21**
DRAWING NO.
DA2001

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Concrete Block Wall
 - Denotes Existing Wall
 - Denotes Demolished Item



2
-
STUDIO
1:100

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



© Copyright
Rapid Plans 2021

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans




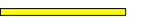



Checked
Plot Date: 24/05/2022
Project No: RP0320TAN
Project Status: DA-Rev1
Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road, Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :
**PLANS
STUDIO**
PROJECT NAME :
Alterations & Additions

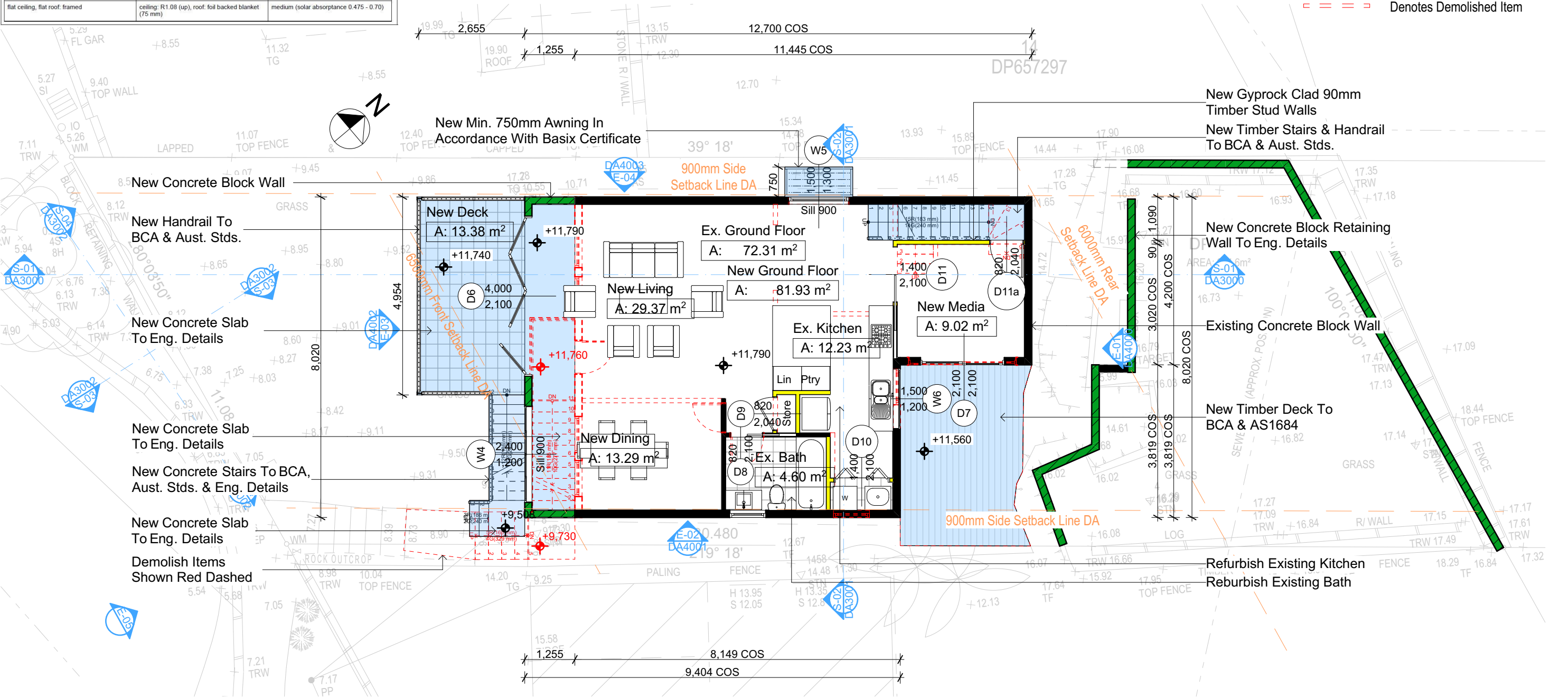
REVISION NO.
1
DATE:
4/05/21
DRAWING NO.
DA2002

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Concrete Block Wall
	Denotes Existing Wall
	Denotes Demolished Item

Wall Legend



3

GROUND FLOOR
1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing
specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window
or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



© Copyright
Rapid Plans 2021

Rapid Plans reserves all rights to this drawing, this drawing
remains the property of Rapid Plans and may not be copied
without written consent, all content including intellectual,
remain the property of Rapid Plans, all copies of this drawing
will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify
all errors and omissions to the Designer. Do not scale the
drawings. Drawings shall not be used for construction
purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



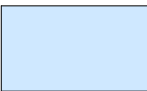




Checked
Plot Date: 24/05/2022
Project Status: GBJ
Project NO: RP0320TAN
DA-Rev1
Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
GROUND FLOOR
PROJECT NAME :
Alterations & Additions

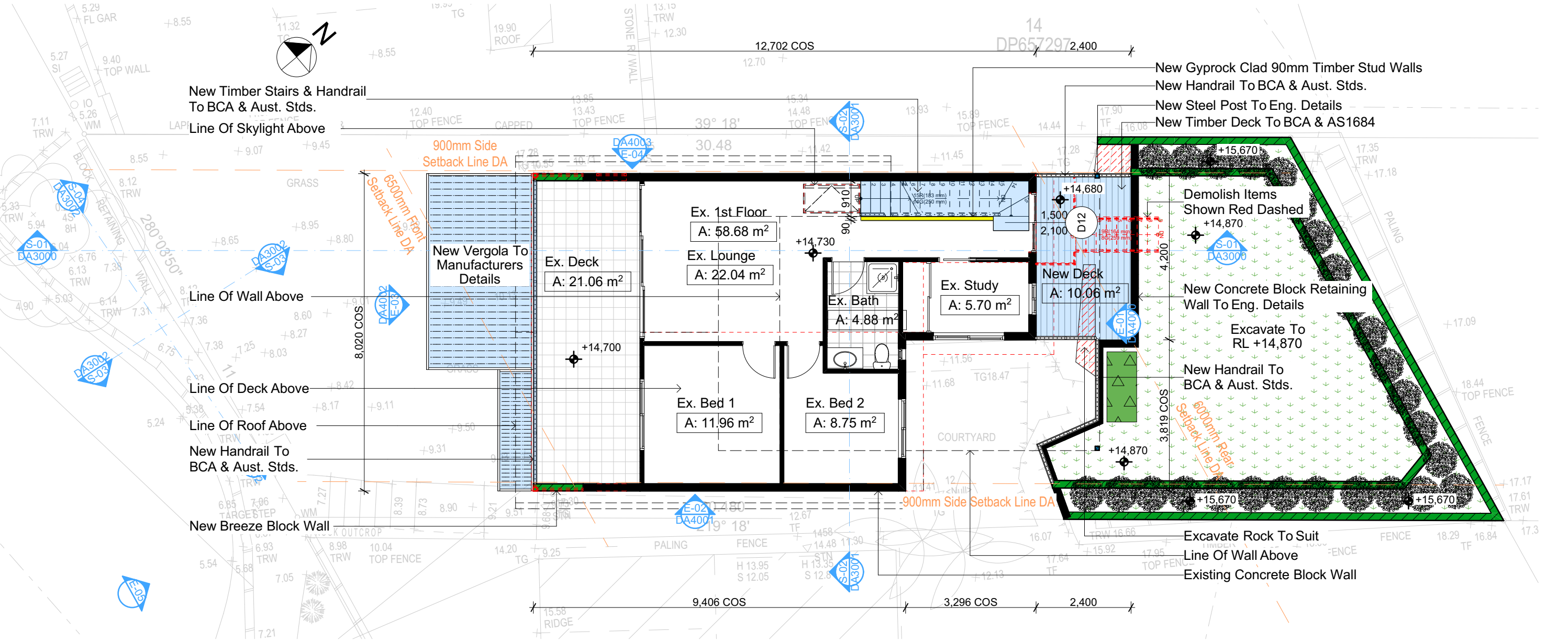
REVISION NO.
1
DATE:
4/05/21
DRAWING NO.
DA2003

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Concrete Block Wall
	Denotes Existing Wall
	Denotes Demolished Item

Wall Legend



4

FIRST FLOOR
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

© Copyright
Rapid Plans 2021

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO: 24/05/2022
Project Status: RP0320TAN
DA-Rev1

Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
FIRST FLOOR

PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
4/05/21
DRAWING NO.
DA2004

Construction		
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

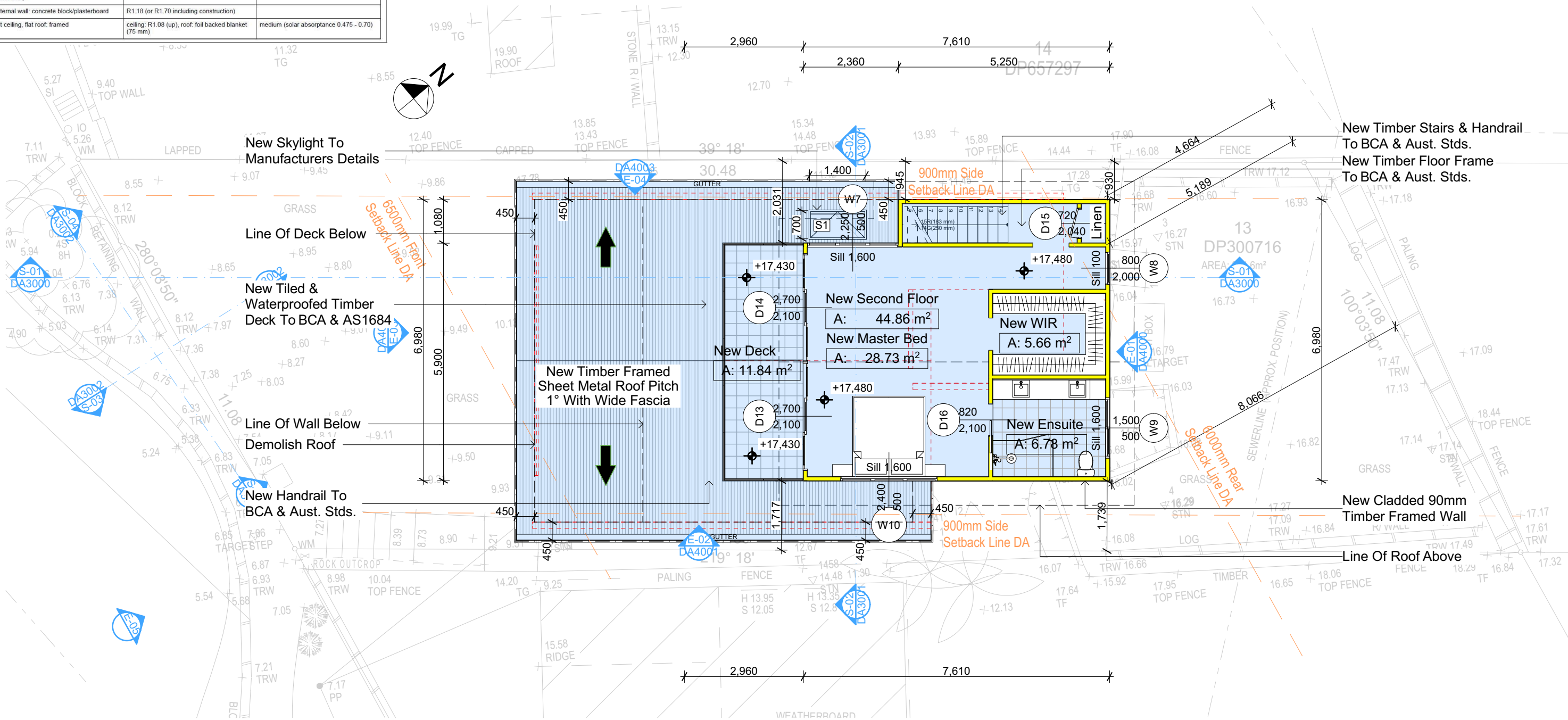
Glazing requirements			
The following requirements must also be satisfied in relation to each skylight: Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.98	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Demolished Item



5 Second Floor Plan
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing
specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window
or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



© Copyright
Rapid Plans 2021

Rapid Plans reserves all rights to this drawing, this drawing
remains the property of Rapid Plans and may not be copied
without written consent, all content including intellectual,
remain the property of Rapid Plans, all copies of this drawing
will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify
all errors and omissions to the Designer. Do not scale the
drawings. Drawings shall not be used for construction
purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO: 24/05/2022
Project Status: RP0320TAN
DA-Rev1
Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
SECOND FLOOR
PROJECT NAME :
Alterations & Additions

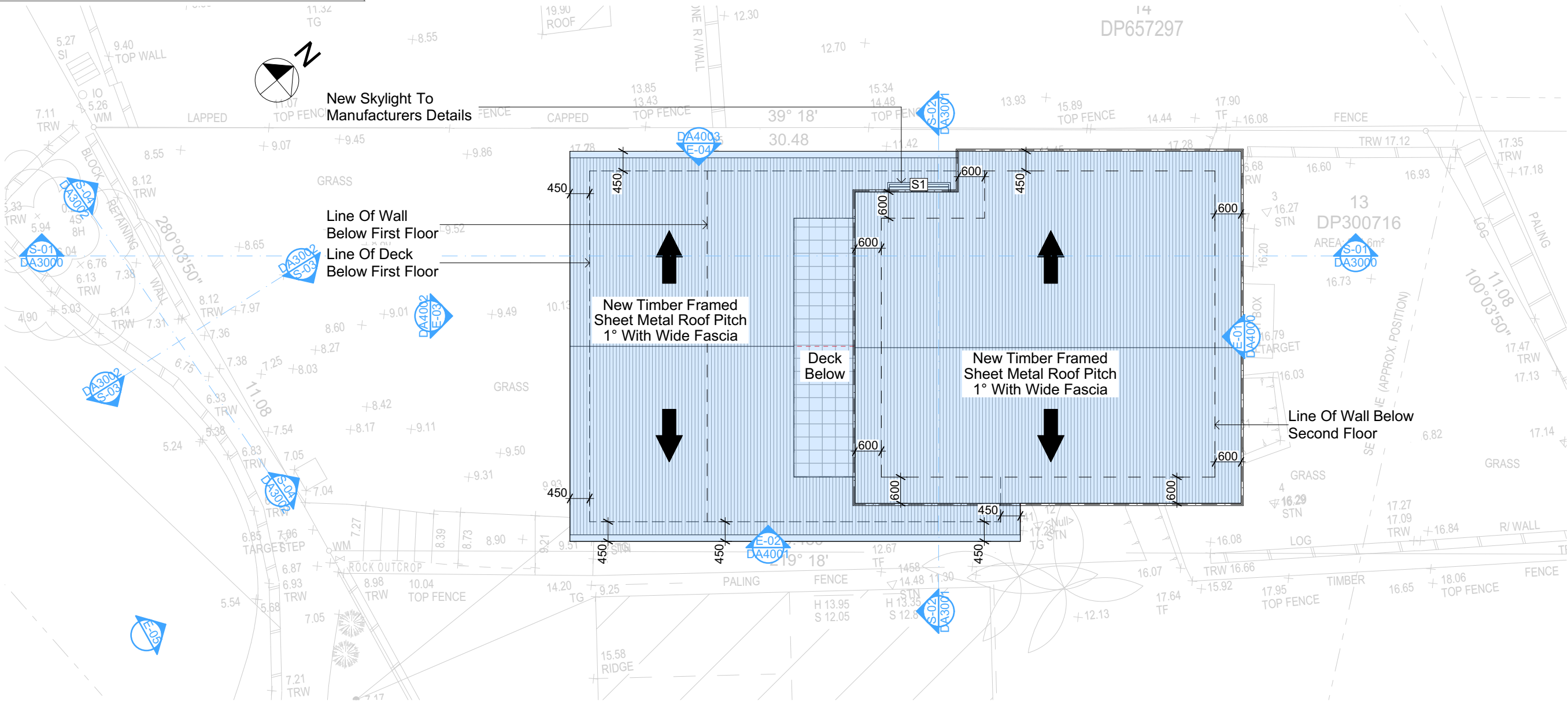
REVISION NO.
1
DATE: 4/05/21
DRAWING NO.
DA2005

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Glazing requirements			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.98	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Denotes New Works



6
-
ROOF
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing
specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window
or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

© Copyright
Rapid Plans 2021



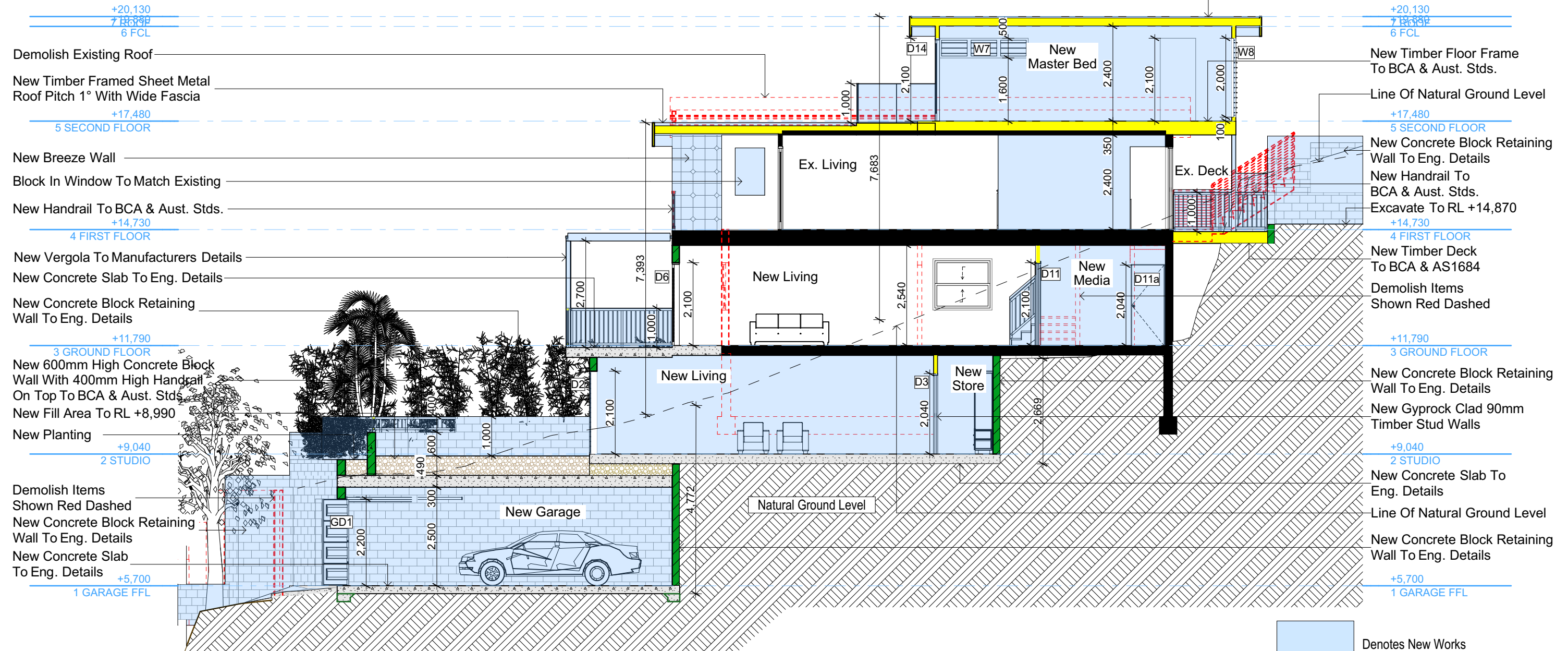
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked: GBJ
Plot Date: 24/05/2022
Project NO: RP0320TAN
Project Status: DA-Rev1
Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
ROOF
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
4/05/21
DRAWING NO.
DA2006



S-01 SECTION 1
1:100

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

Wall Legend

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works


Denotes New Timber Framed Wall

Denotes New Concrete Block Wall

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item



Rapid Plans
Building Design and Architectural Drafting

100/100 Rapid Plans
PO Box 6239 Pirbright Forest, QLD 4009
Ph: (07) 5561-8845, Mobile: 0414-546-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021

bdqa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdqa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density All Plans to be read in conjunction with Basix Certificate 153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item.

New Works to be constructed shown in Shaded/Blue

Construction

Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls.

Roof Timber Framed to have R1.08 Insulation.

Insulation to External Concrete Block, Timber Framed Walls R1.70.

Refer to Engineers drawings for structural details.

All work to Engineers Specifications and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS 2208-2007.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix

Basix Certificate Number A415449_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client: Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

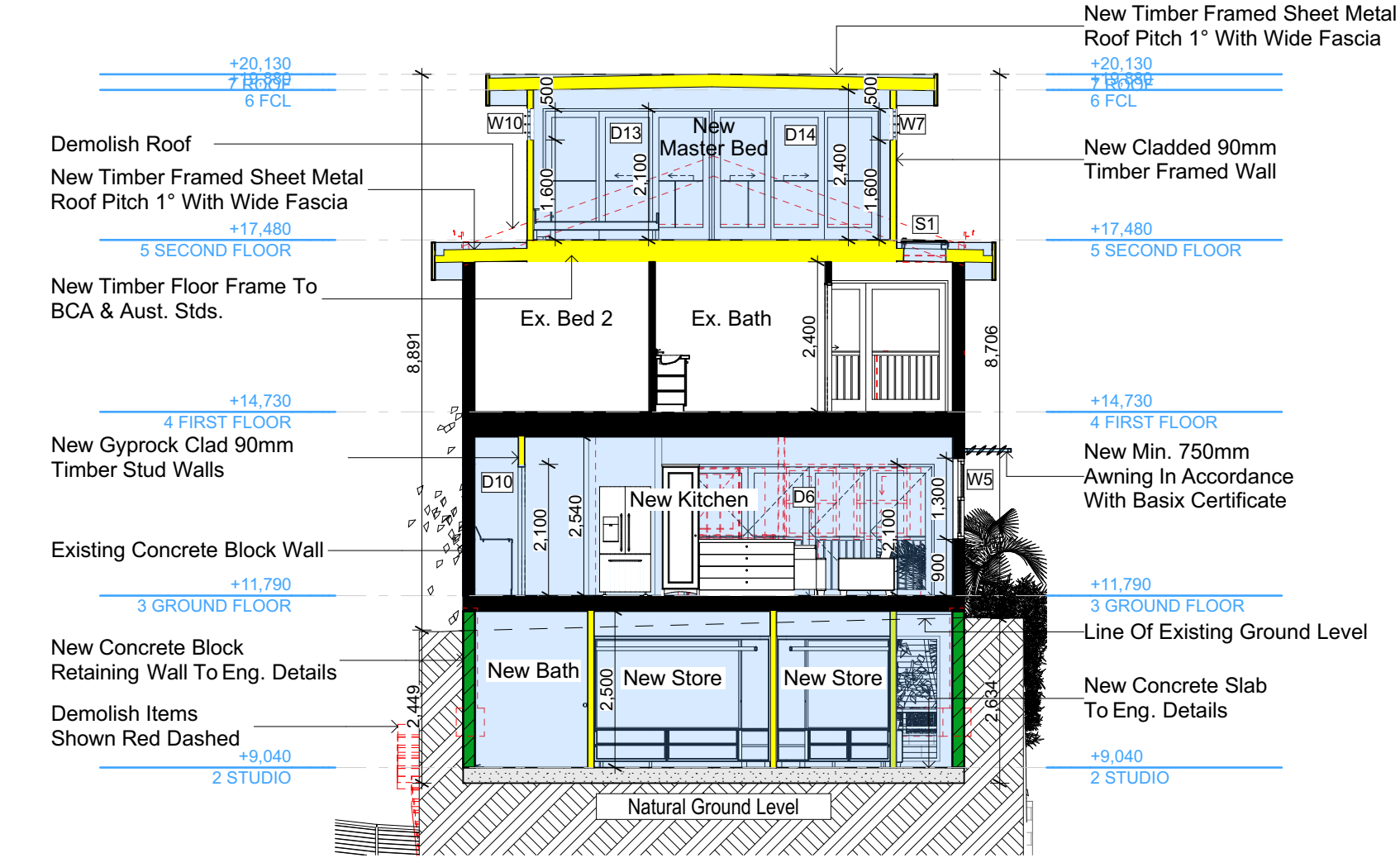
DRAWING TITLE: SECTIONS
SECTION 2

PROJECT NAME: Alterations & Additions

REVISION NO. REVISION NO.
1 4/05/21

DRAWING NO. DA3001

Plot Date: 24/05/2022
Sheet Size: A3



S-02 SECTION 2 1:100

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client: Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

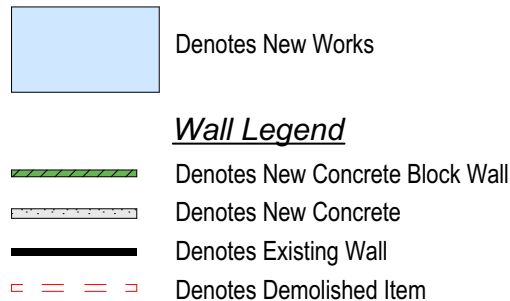
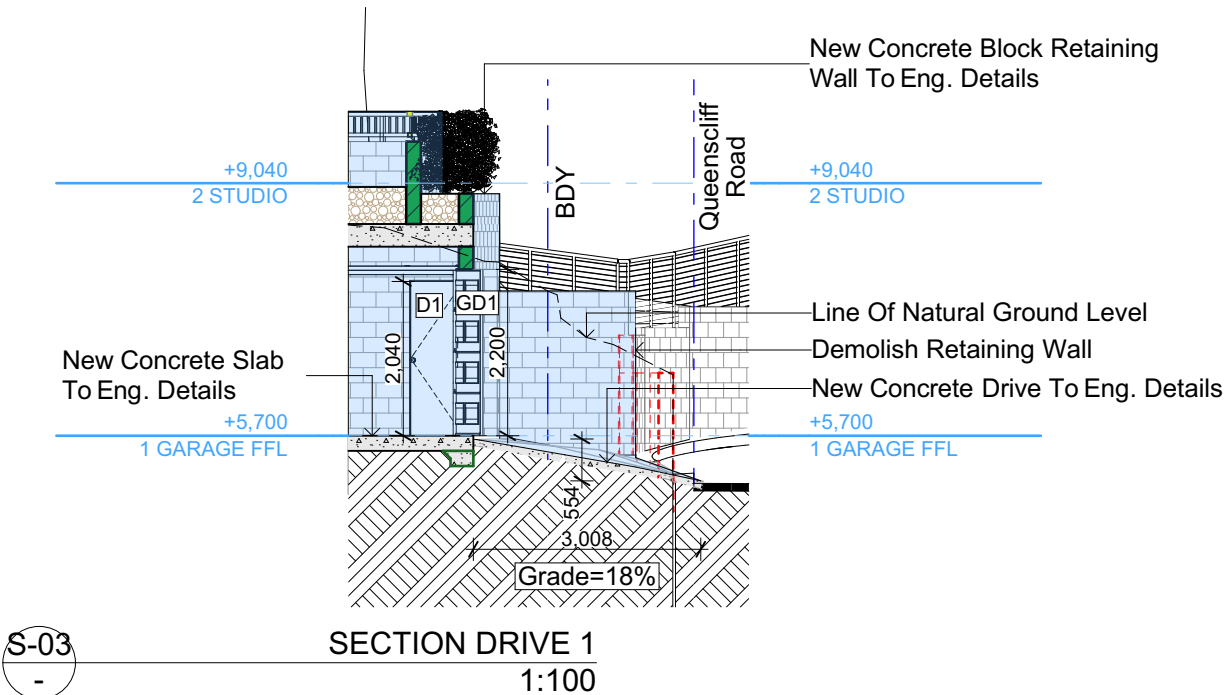
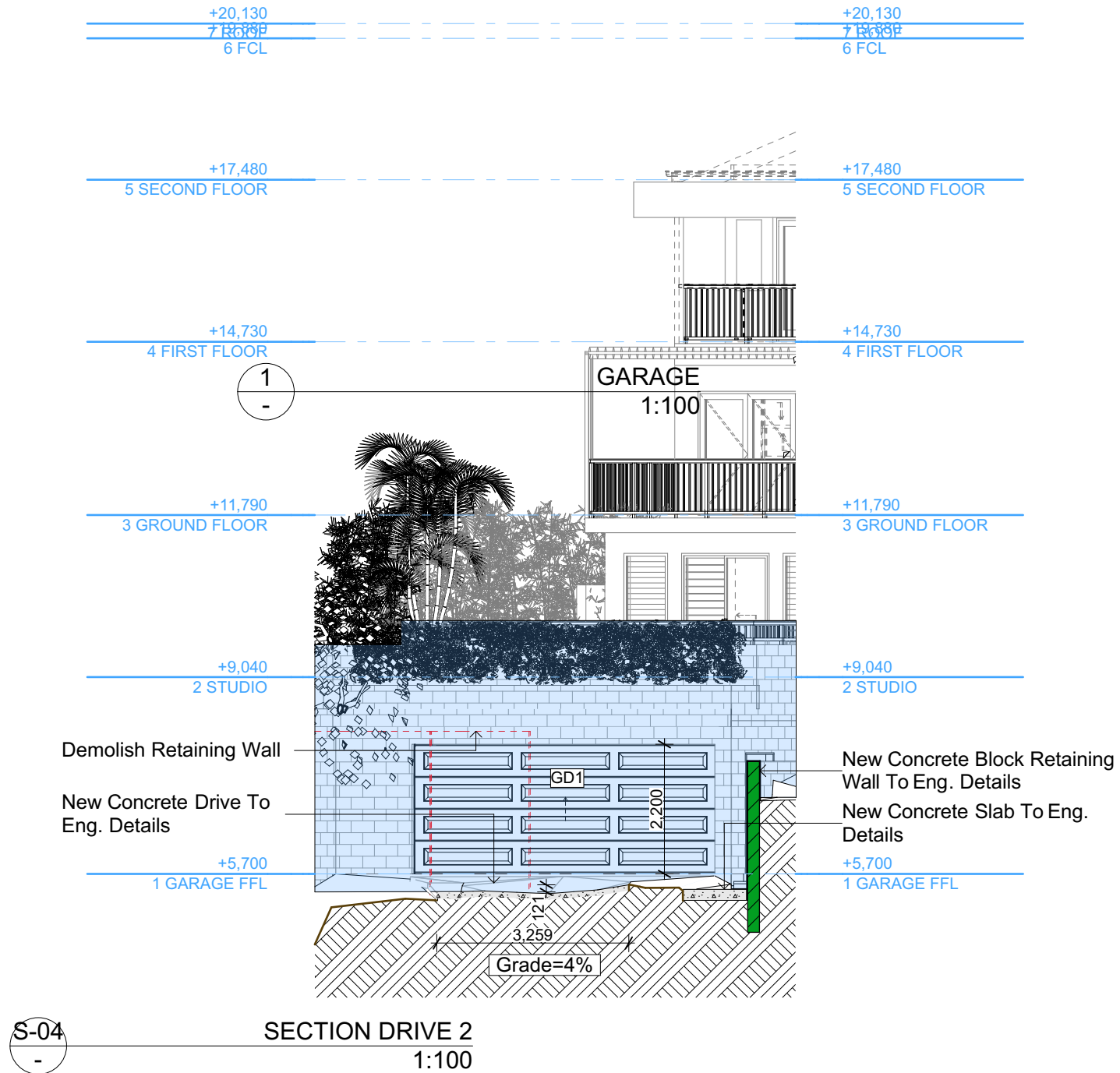
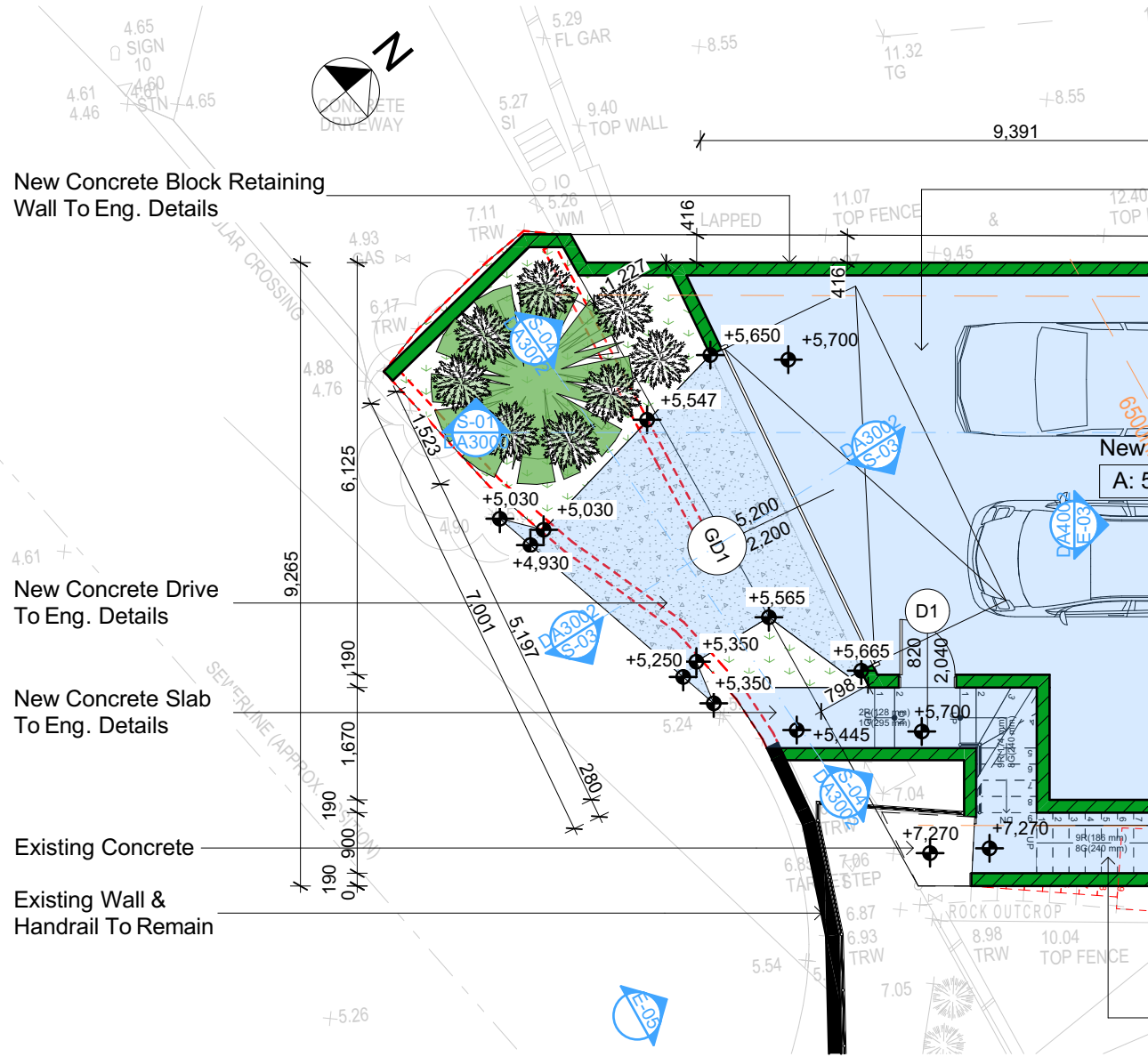
DRAWING TITLE: SECTIONS
SECTION 2

PROJECT NAME: Alterations & Additions

REVISION NO. REVISION NO.
1 4/05/21

DRAWING NO. DA3001

Plot Date: 24/05/2022
Sheet Size: A3



These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

World Plans
PO Box 6239 Pirbright Forest, St Albans, Hertfordshire, UK
Tel: +44 (0)1438 854545, Mobile: +44 (0)1438 854545
Email: info@rapidplans.co.uk

© Copyright Rapid Plans 2021

bdaa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remains the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density All Plans to be read in conjunction with Basic Certificate 153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item.
New Works to be constructed shown in Shaded/Blue
Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls, Roof Timber Framed to have R1.08 Insulation, Insulation to External Concrete Block, Timber Framed Walls R1.70 Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2007
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked: GBJ
Plot Date: 24/05/2022
Project NO.: RP032017AN
Project Status: DA-Rev1

Client: Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE: SECTIONS
SECTION DRIVE

PROJECT NAME: **Alterations & Additions**

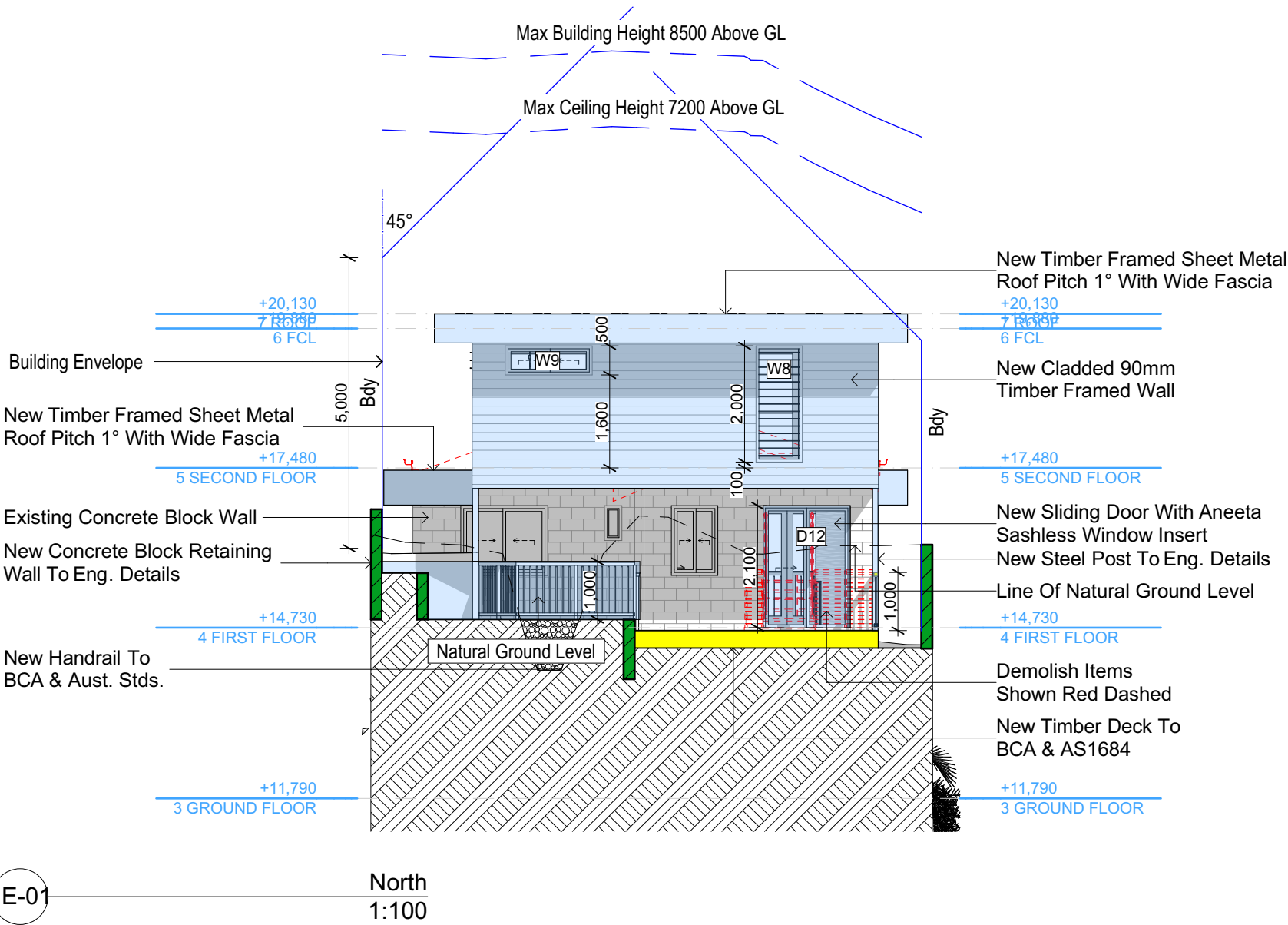
REVISION NO.	REVISION NO.
1	4/05/21

DRAWING NO.: **DA3002**

Plot Date: 24/05/2022
Sheet Size: A3

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	SW	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SW	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	1.26	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SW	2.88	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	NW	1.95	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W6	NE	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NE	1.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	0.75	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SE	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	SW	3.78	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SW	8.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D7	SE	4.41	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D12	NE	3.15	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D13	SW	5.67	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	SW	5.67	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



© Copyright
Rapid Plans 2021

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked: GBJ
Plot Date: 24/05/2022
Project NO: RP0320TAN
Project Status: DA-Rev1

Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road, Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 1

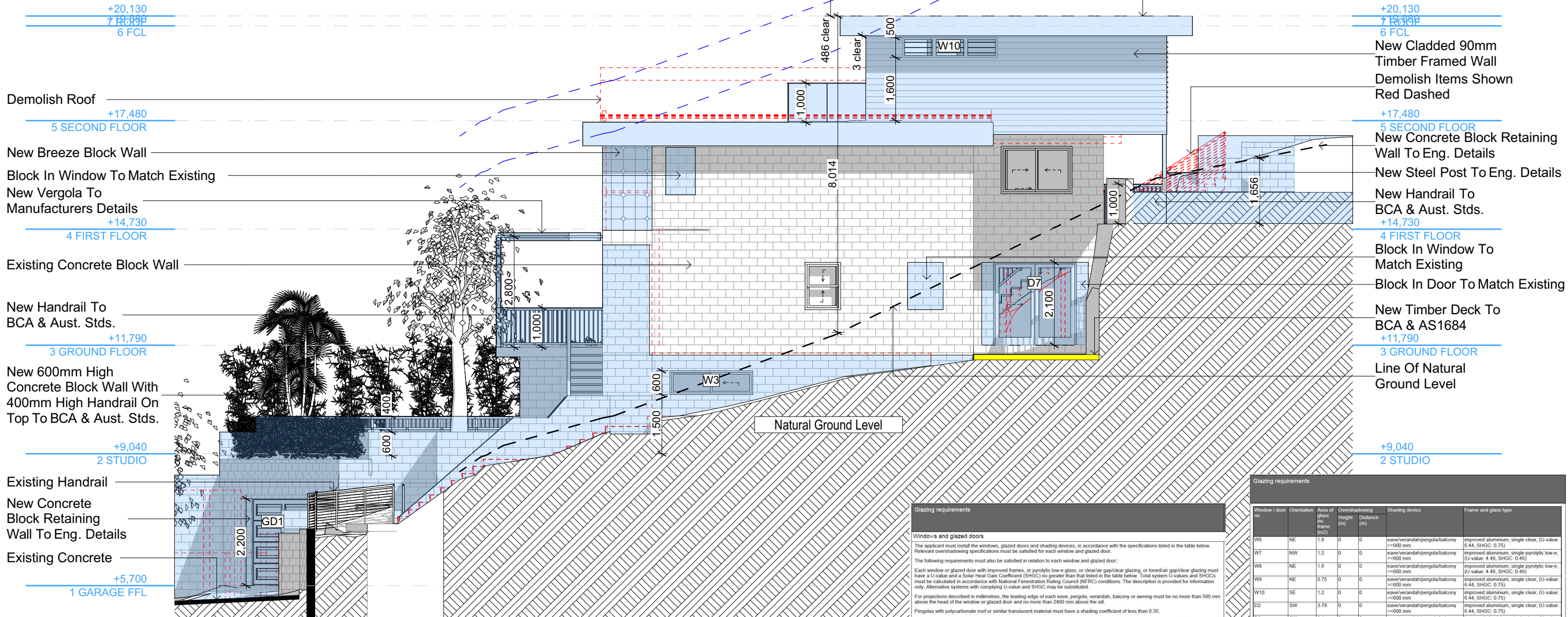
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
4/05/21
DRAWING NO.
DA4000

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item



E-02

East
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A415449_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

- additional insulation is not required where the area of new construction is less than 2m²
- insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9305-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
© Copyright
Rapid Plans 2021

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked: GBJ
Plot Date: 24/05/2022
Project NO: RP0320TAN
Project Status: DA-Rev1
Client: Jasmine Tan & Domenico Capogregio
Site: 153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 2

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE:

4/05/21

DRAWING NO.

DA4001

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	SW	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SW	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	1.26	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SW	2.88	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	NW	1.95	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W6	NE	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NE	1.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	0.75	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SE	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	SW	3.78	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SW	8.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D7	SE	4.41	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D12	NE	3.15	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D13	SW	5.67	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	SW	5.67	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



Denotes New Works



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Demolished Item

New Timber Framed Sheet Metal
Roof Pitch 1° With Wide Fascia

New Cladded 90mm
Timber Framed Wall

New Handrail To
BCA & Aust. Stds.

Building Envelope At
Second Floor

Building Envelope At
Ground Floor & First Floor

New Min. 750mm
Awning In Accordance
With Basix Certificate

Line Of Natural
Ground Level

New Fill Area To RL +8,990

New Concrete Block Retaining
Wall To Eng. Details

New Concrete Block Retaining
Wall To Eng. Details

Max Building Height 8500 Above NGL
Taken At Second Floor

Max Ceiling Height 7200 Above NGL
Taken At Second Floor

Max Building Height 8500 Above GL
Max Ceiling Height 7200 Above GL

New Timber Framed Sheet Metal
Roof Pitch 1° With Wide Fascia

New Vergola To
Manufacturers Details

New Concrete Block Wall
Line Of Natural Ground Level
Taken At Second Floor


New 600mm High Concrete Block
Wall With 400mm High Handrail
On Top To BCA & Aust. Stds.

New Concrete Stairs To BCA,
Aust. Stds. & Eng. Details
New Concrete Block Retaining
Wall To Eng. Details
New Concrete Slab To Eng. Details

E-03

South
1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION



Rapid Plans
Building Design and Architectural Drafting

100/100 Rapid Plans Pty Ltd
PO Box 6239 Paradise Point QLD 4059 2096
Ph: (07) 5505-8845 Mob: 0414-546-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021

bdqa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdqa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item.
New Works to be constructed shown in Shaded/Blue
Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.


Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE : ELEVATIONS
ELEVATIONS 3

PROJECT NAME : **Alterations & Additions**

REVISION NO.	REVISION NO.
1	4/05/21

DRAWING NO. **DA4002**

Plot Date: 24/05/2022
Sheet Size: A3

New Timber Framed Sheet Metal
Roof Pitch 1° With Wide Fascia

New Cladded 90mm
Timber Framed Wall

New Concrete Block Retaining
Wall To Eng. Details

New Steel Post
To Eng. Details

New Handrail To
BCA & Aust. Stds.

Excavate To RL +14,870

New Timber Deck
To BCA & AS1684

New Min. 750mm
Awning In Accordance
With Basix Certificate

Existing Concrete Block Wall

Line Of Natural Ground Level

+9,040
2 STUDIO

+5,700
1 GARAGE FFL

E-04

West
1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES

153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction

Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number A415449_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing

specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window

or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Denotes New Works

Wall Legend

Denotes New Concrete Block Wall
Denotes Demolished Item

+20,130
7 R63P
6 FCL

New Timber Framed Sheet Metal
Roof Pitch 1° With Wide Fascia

+17,480
5 SECOND FLOOR

Block In Window To
Match Existing

New Breeze Block Wall

+14,730

4 FIRST FLOOR

New Vergola To
Manufacturers Details

Existing Concrete Block Wall

New Handrail To BCA
& Aust. Stds.

+11,790

3 GROUND FLOOR

New Concrete Slab To Eng. Details

New 600mm High Concrete Block
Wall With 400mm High Handrail
On Top To BCA & Aust. Stds.

+9,040

2 STUDIO

New Concrete Block

Retaining Wall To Eng. Details

+5,700

1 GARAGE FFL

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	SW	1.8	0	0	eave/verandah/pergola/balcony >=800 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SW	1.8	0	0	eave/verandah/pergola/balcony >=800 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	1.26	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SW	2.88	0	0	eave/verandah/pergola/balcony >=800 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	NW	1.95	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W6	NE	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NE	1.8	0	0	eave/verandah/pergola/balcony >=800 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	0.75	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SE	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	SW	3.78	0	0	eave/verandah/pergola/balcony >=800 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SW	8.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D7	SE	4.41	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D12	NE	3.15	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D13	SW	5.67	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	SW	5.67	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

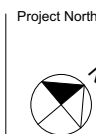


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9305-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
© Copyright
Rapid Plans 2021

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date: 24/05/2022
Project NO: RP0320TAN
Project Status: DA-Rev1
Client: Jasmine Tan & Domenico Capogreco
Site: 153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 4

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE:

4/05/21

DRAWING NO.

DA4003

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works

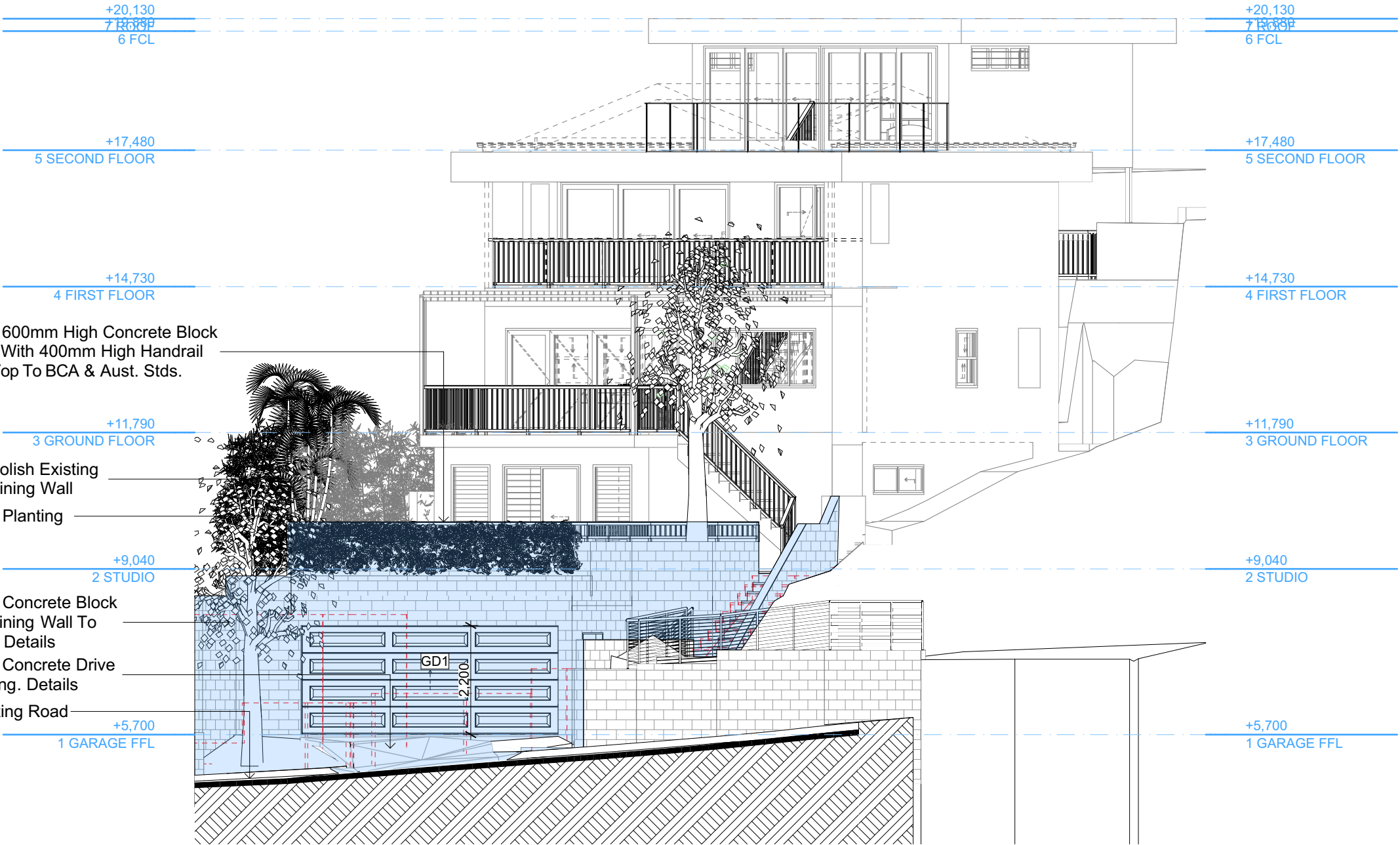
—

Denotes Existing Item

==

Denotes Demolished Item

Wall Legend



E-05
-
Elevation Front Fence
1:100

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Pirrama NSW 1512
Ph: (02) 9550-8845, Mobile: 0414-946-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021



bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



bdaa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
New Works to be constructed shown in Shaded/Blue

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client: Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE : ELEVATIONS
ELEVATION FRONT FENCE

PROJECT NAME :
Alterations & Additions

REVISION NO.	REVISION NO.
1	4/05/21

DRAWING NO.: **DA4004**

Plot Date: 24/05/2022
Sheet Size: A3



2
-

Perspective Front 2
1:200



1
-

Perspective Front
1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



World Plans
PO Box 6239 Fitzroy South VIC 3065
Tel : (03) 9350-8845 Mobile: 0414-946-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**



**ACCREDITED
BUILDING DESIGNER**

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
New Works to be constructed shown in Shaded/Blue

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A415449_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE

PROJECT NAME :
Alterations & Additions

REVISION NO.	REVISION NO.
1	4/05/21

DRAWING NO. **DA5000**

Plot Date: 24/05/2022
Sheet Size: A3



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Skylight (Typical).
Owner To Confirm Type & Colour



Denotes Cladding (Typical).
Owner To Confirm Type & Colour



Denotes Concrete Driveway (Typical).
Owner To Confirm Type & Colour



Denotes Vergola (Typical).
Owner To Confirm Type & Colour



Denotes Breeze Wall(Typical).
Owner To Confirm Type & Colour



Denotes Glass Balustrade (Typical).
Owner To Confirm Type & Colour



Denotes Vertical Alluminium Balustrade (Typical).
Owner To Confirm Type & Colour



Denotes Tiled Deck (Typical).
Owner To Confirm Type & Colour



Denotes Timber Deck (Typical).
Owner To Confirm Type & Colour



Denotes Concrete Block Wall (Typical).
Owner To Confirm Type & Colour

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



Website: www.rapidplans.com.au

PO Box 6239 Fitzroy Creek QLD 4072

Phone: (07) 5561-8845 Mobile: 0414-545-024

Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021



BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA



ACCREDITED

BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density

153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item.

New Works to be constructed shown in Shaded/Blue

Construction

Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls

Roof Timber Framed to have R1.08 Insulation

Insulation to External Concrete Block, Timber Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specifications and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A415449_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ

Plot Date: 24/05/2022

Project NO.: RP032017AN

Project Status DA-Rev1

Client

Jasmine Tan & Domenico Capogreco

Site:

153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE

SHADOW PLANS

MATERIAL & COLOUR

SAMPLE BOARD

PROJECT NAME:

Alterations & Additions

REVISION NO.

1

DRAWING NO.

DA5001

REVISION NO.

4/05/21

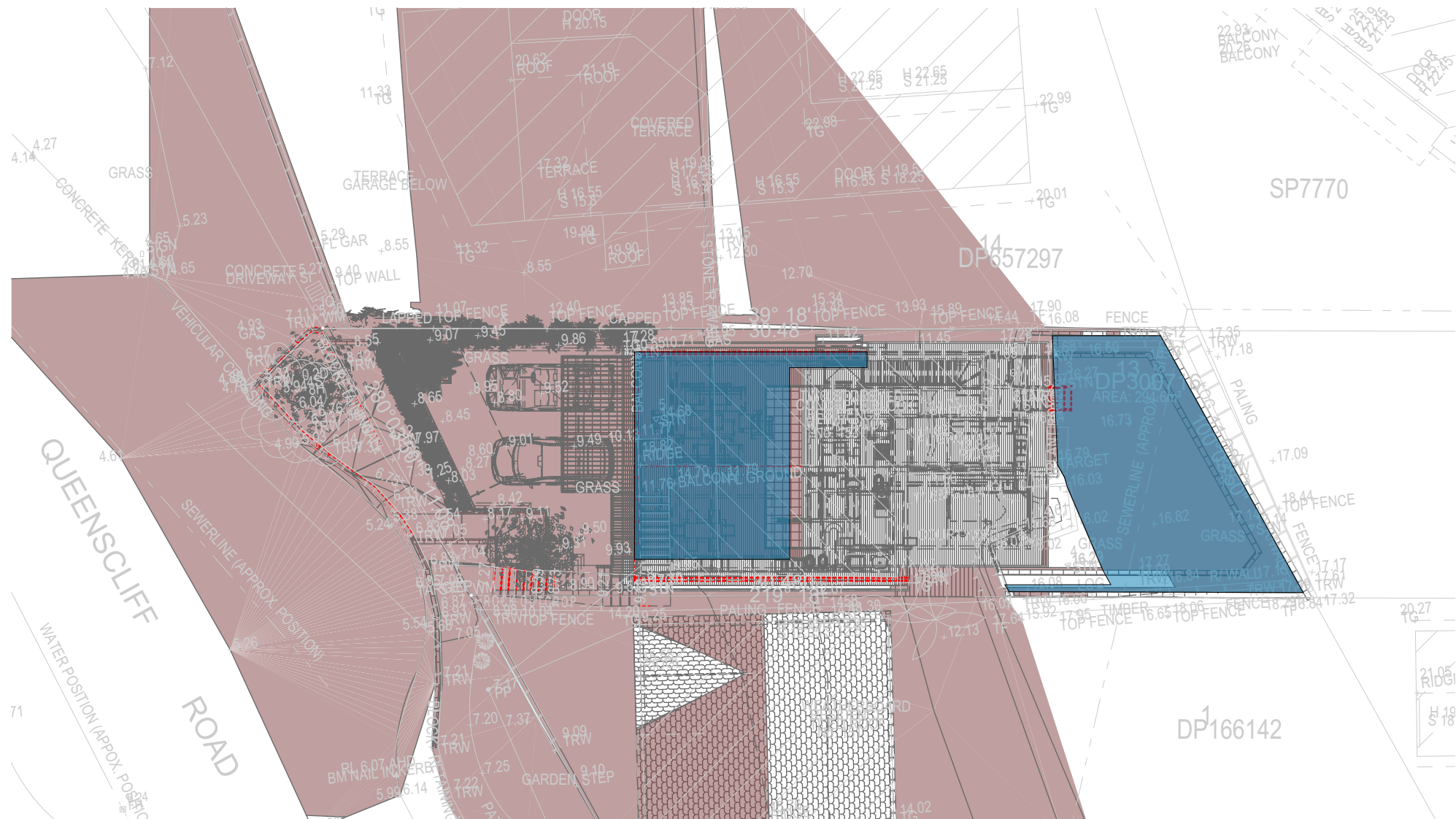
Plot Date:

24/05/2022

Sheet Size: A3

Denotes Existing Shadow

Denotes Proposed Shadow



01

SHADOW PLAN 21 JUN at 0900h
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing
specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window
or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

© Copyright
Rapid Plans 2021



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 24/05/2022
Project NO: RP0320TAN
Project Status: DA-Rev1

Client
Site: Jasmine Tan & Domenico Capogreco
153 Queenscliff Road,
Queenscliff 2096

Sheet Size: A3

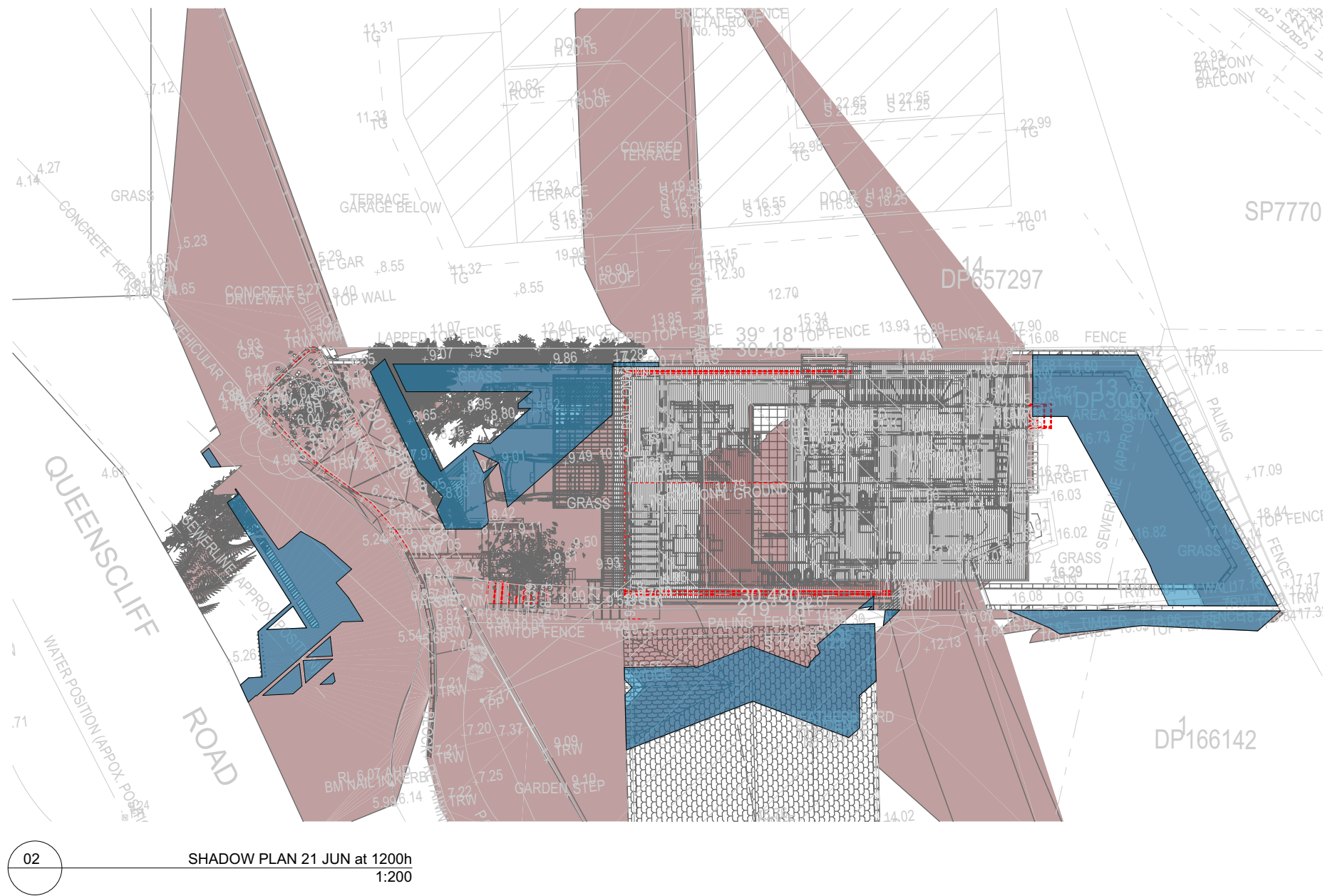
DRAWING TITLE : SHADOW PLANS
Shadow Plan 21 Jun at 0900h

PROJECT NAME : Alterations & Additions

REVISION NO.
1
DATE
4/05/21
DRAWING NO.
DA5002

Denotes Existing Shadow

Denotes Proposed Shadow



**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing
specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window
or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



© Copyright
Rapid Plans 2021

Rapid Plans reserves all rights to this drawing, this drawing
remains the property of Rapid Plans and may not be copied
without written consent, all content including intellectual,
remain the property of Rapid Plans, all copies of this drawing
will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify
all errors and omissions to the Designer. Do not scale the
drawings. Drawings shall not be used for construction
purposes until issued by the Designer for construction.



**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



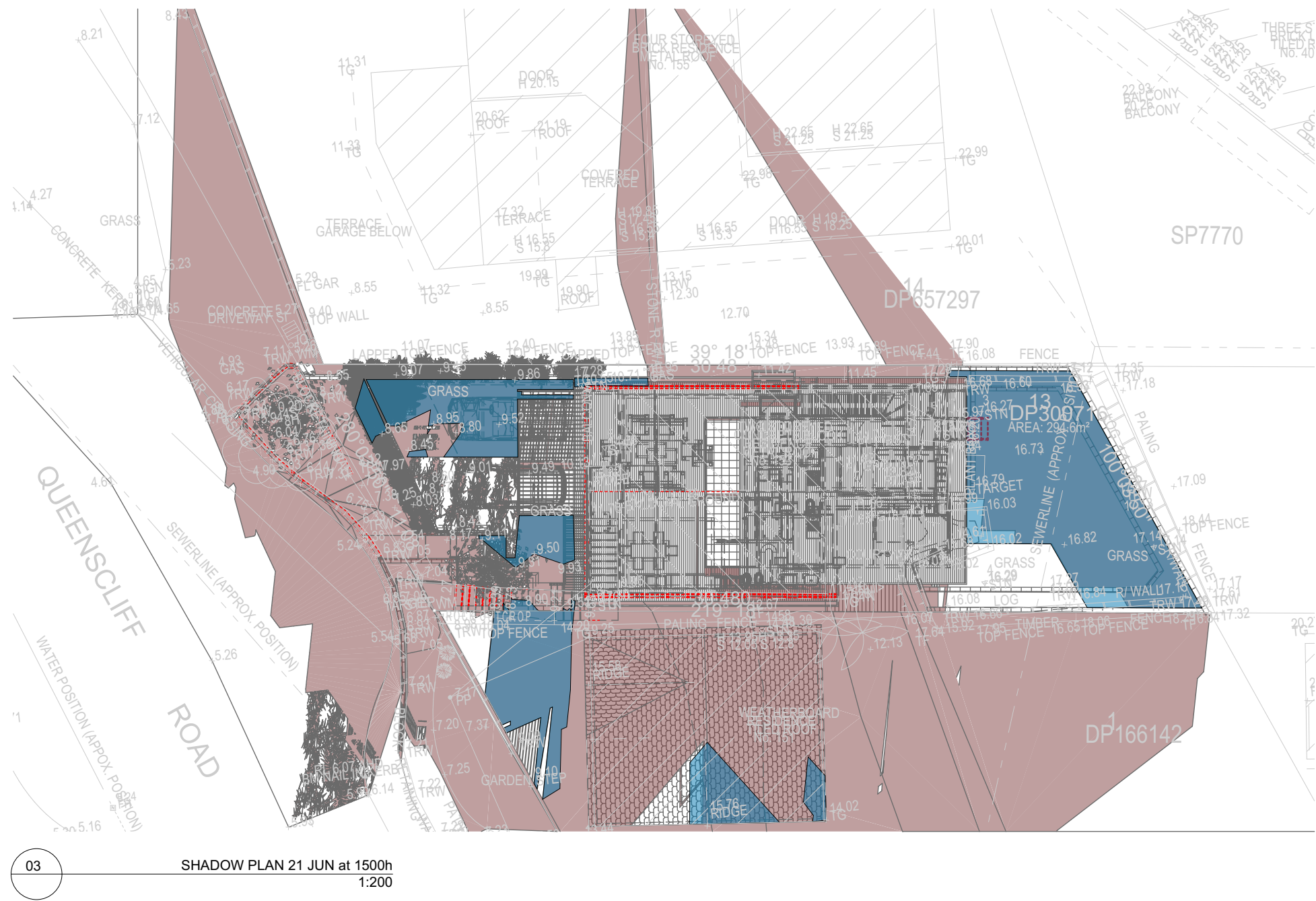
Checked
Plot Date: GBJ
Project NO: 24/05/2022
Project Status: RP0320TAN
DA-Rev1
Client
Site: Jasmine Tan & Domenico Capogreco
153 Queenscliff Road,
Queenscliff 2096
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**Shadow Plan 21 Jun at
1200h**
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
4/05/21
DRAWING NO.
DA5003

Denotes Existing Shadow

Denotes Proposed Shadow



NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



© Copyright
Rapid Plans 2021



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO: 24/05/2022
Project Status: RP0320TAN
DA-Rev1

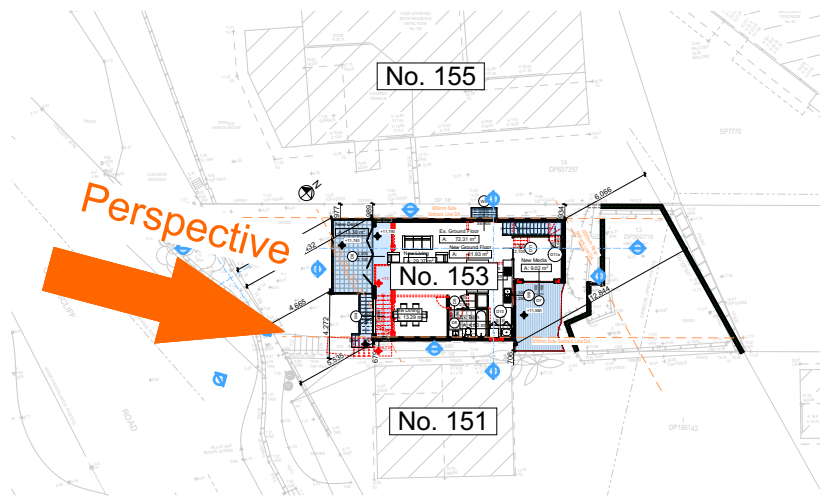
Client
Site: Jasmine Tan & Domenico Capogreco
153 Queenscliff Road,
Queenscliff 2096

Sheet Size: A3

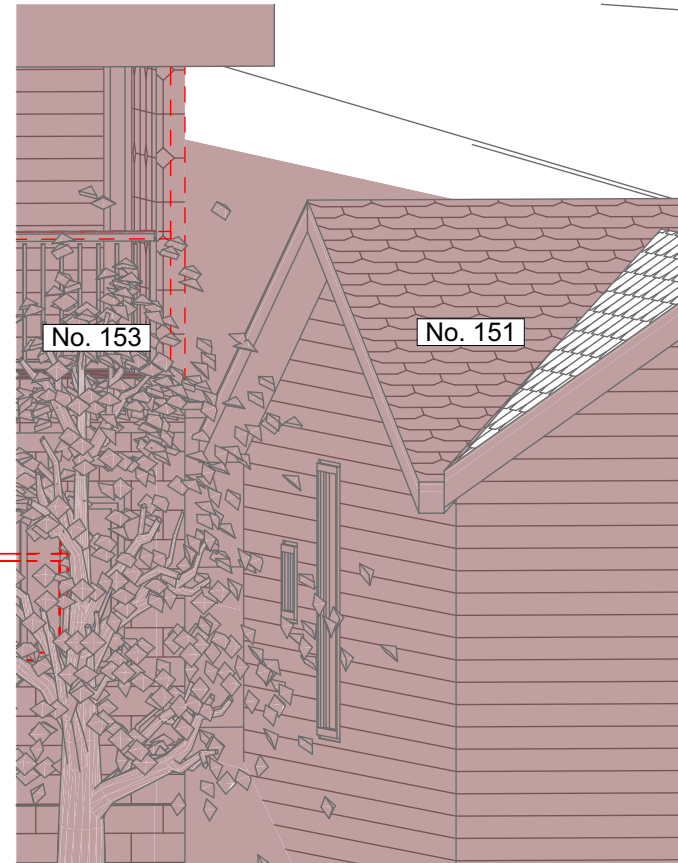
DRAWING TITLE : SHADOW PLANS
Shadow Plan 21 Jun at 1500h

PROJECT NAME : Alterations & Additions

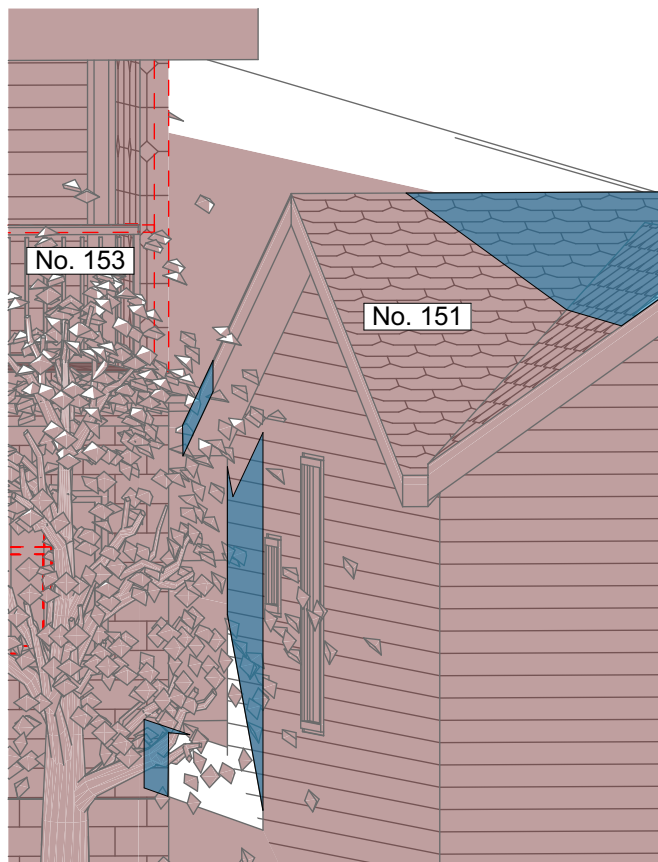
REVISION NO.
1
DATE: 4/05/21
DRAWING NO.
DA5004



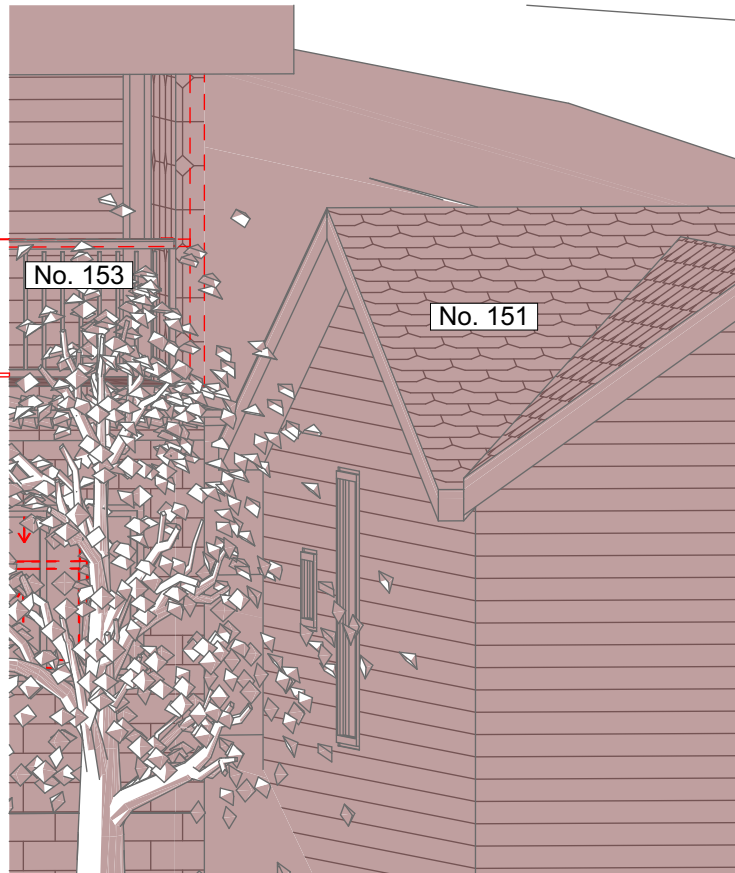
SITE PLAN
1:500



Shadow Elevation 21 Jun 0900h
1:50



Shadow Elevation 21 Jun 1200h
1:50



Shadow Elevation 21 Jun 1500h
1:50



Denotes Existing Shadow



Denotes Proposed Shadow



© Copyright Rapid Plans 2021



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item
New Works to be constructed shown in Shaded/Blue

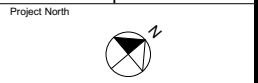
Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2017
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	294.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	59%	Yes
Maximum cut into gnd (m)	4772mm	Yes
Maximum depth of fill (m)	500mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 24/05/2022
Project NO.: RP032071AN
Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogreco

Site: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
1 4/05/21

DRAWING NO.
DA5005

Plot Date: 24/05/2022
Sheet Size: A3

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION