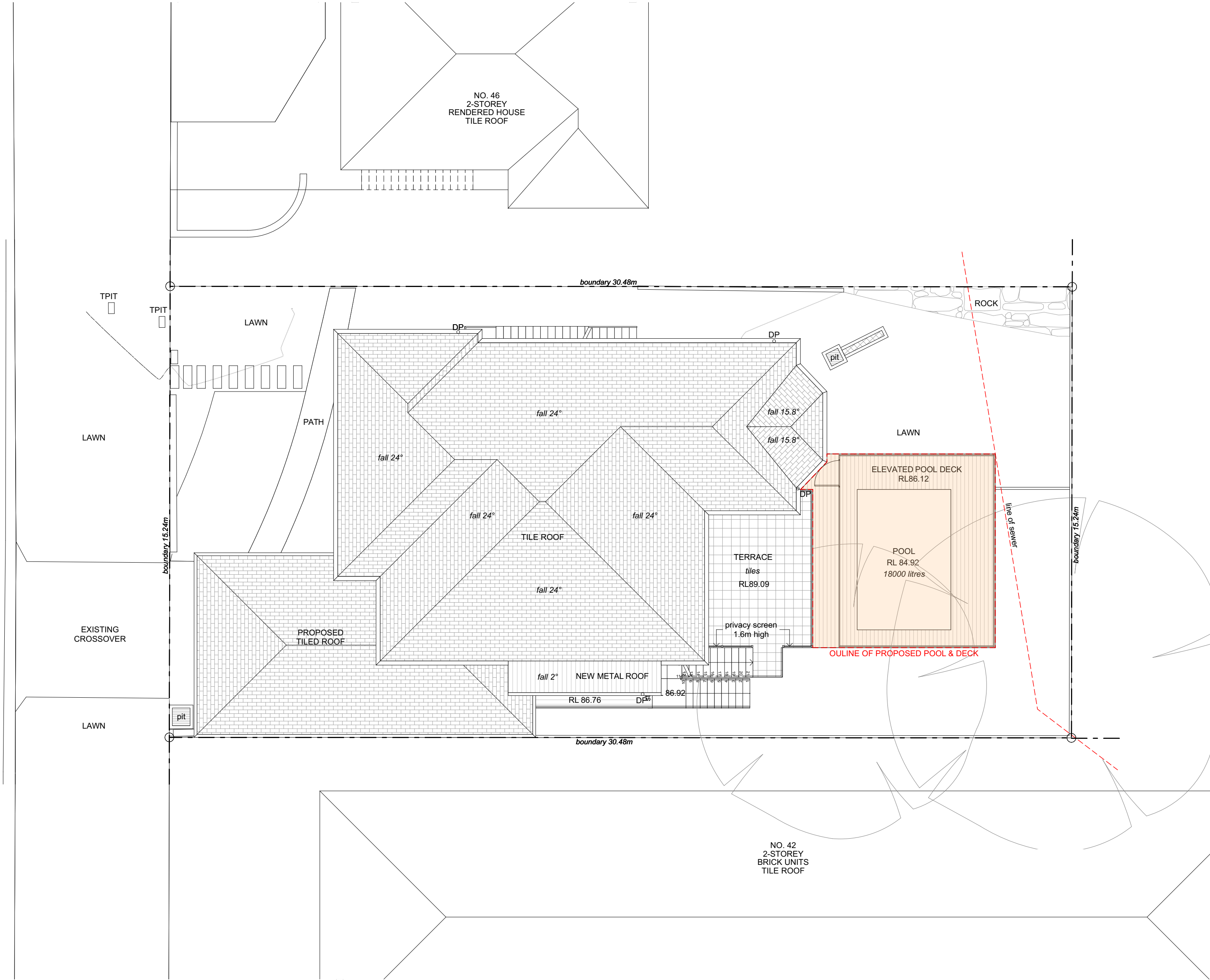
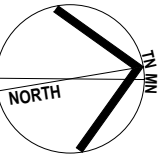


UPPER BEACH ST



SITE PLAN
SCALE: 1:100



A	18.03.2024	Issue for DA Submission
ISSUE	DATE	DESCRIPTION



Nominated Architect: Martin Bednarczyk | NSW ARB #8912
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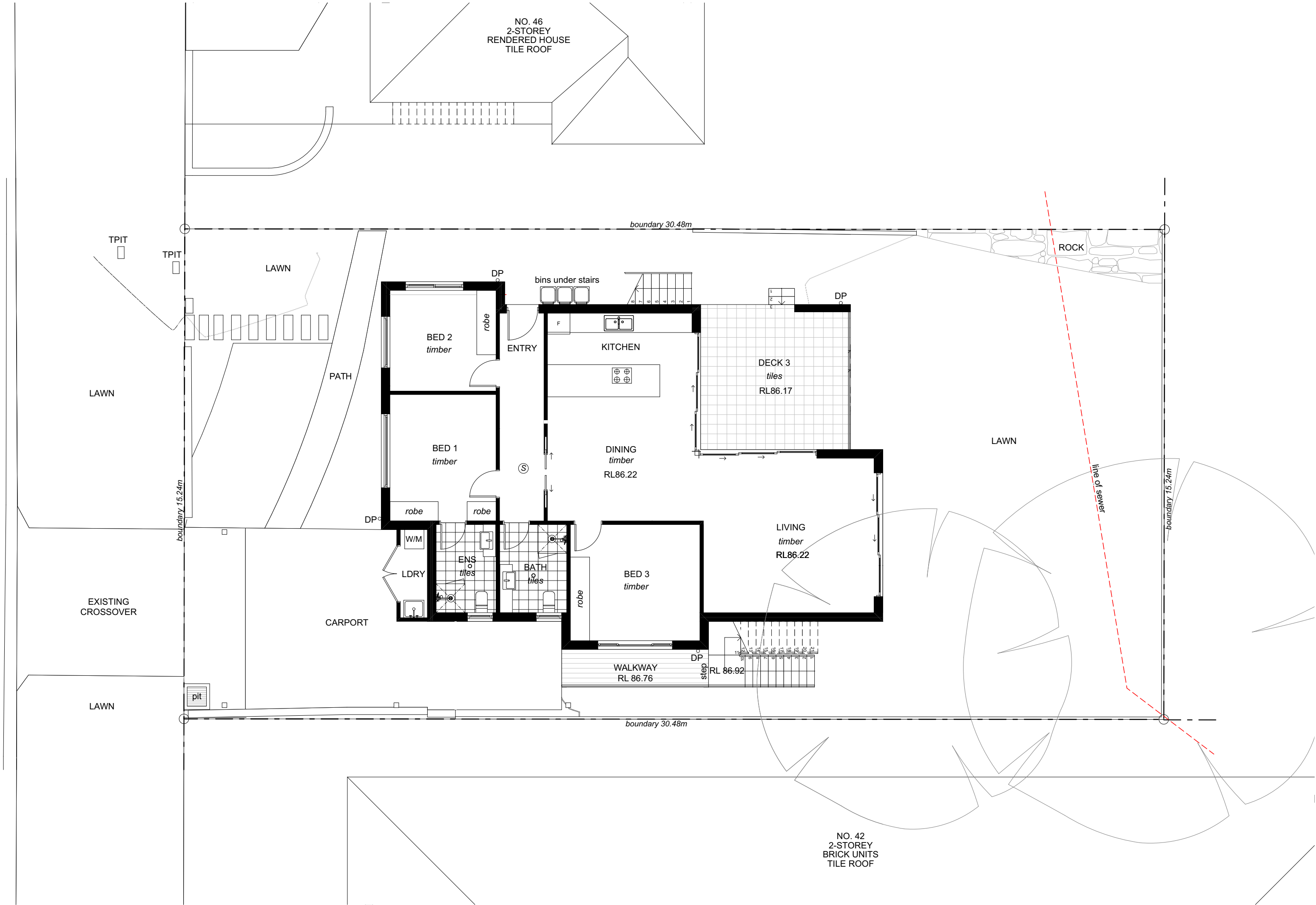
PROJECT:
Alterations and Additions
44 Upper Beach St, Balgowlah

CLIENT:
Ben Masfield & Rosalyn Whiley
44 Upper Beach St, Balgowlah

SHEET TITLE:
Site Plan

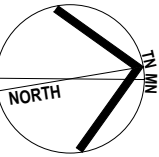
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DRAWN: Andrew **A2 DA01.01** a

UPPER BEACH ST



EXISTING GROUND FLOOR PLAN

SCALE 1:100



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PROJECT:
Alterations and Additions
44 Upper Beach St, Balgowlah

CLIENT:
Ben Masfield & Rosalyn Whaley
44 Upper Beach St, Balgowlah

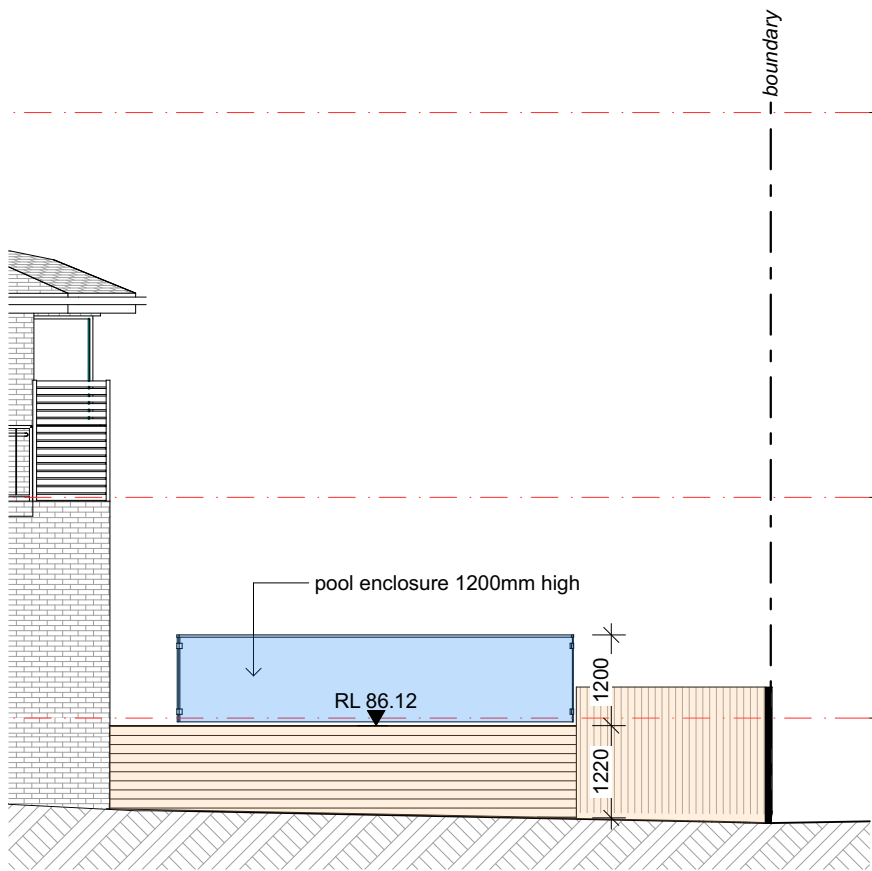
SHEET TITLE:
Existing Ground Floor Plan

SCALE: 1:100 @ A3 SHEET SIZE: DWG NO: REVISION:
DRAWN: Andrew **A2 DA02.01** a

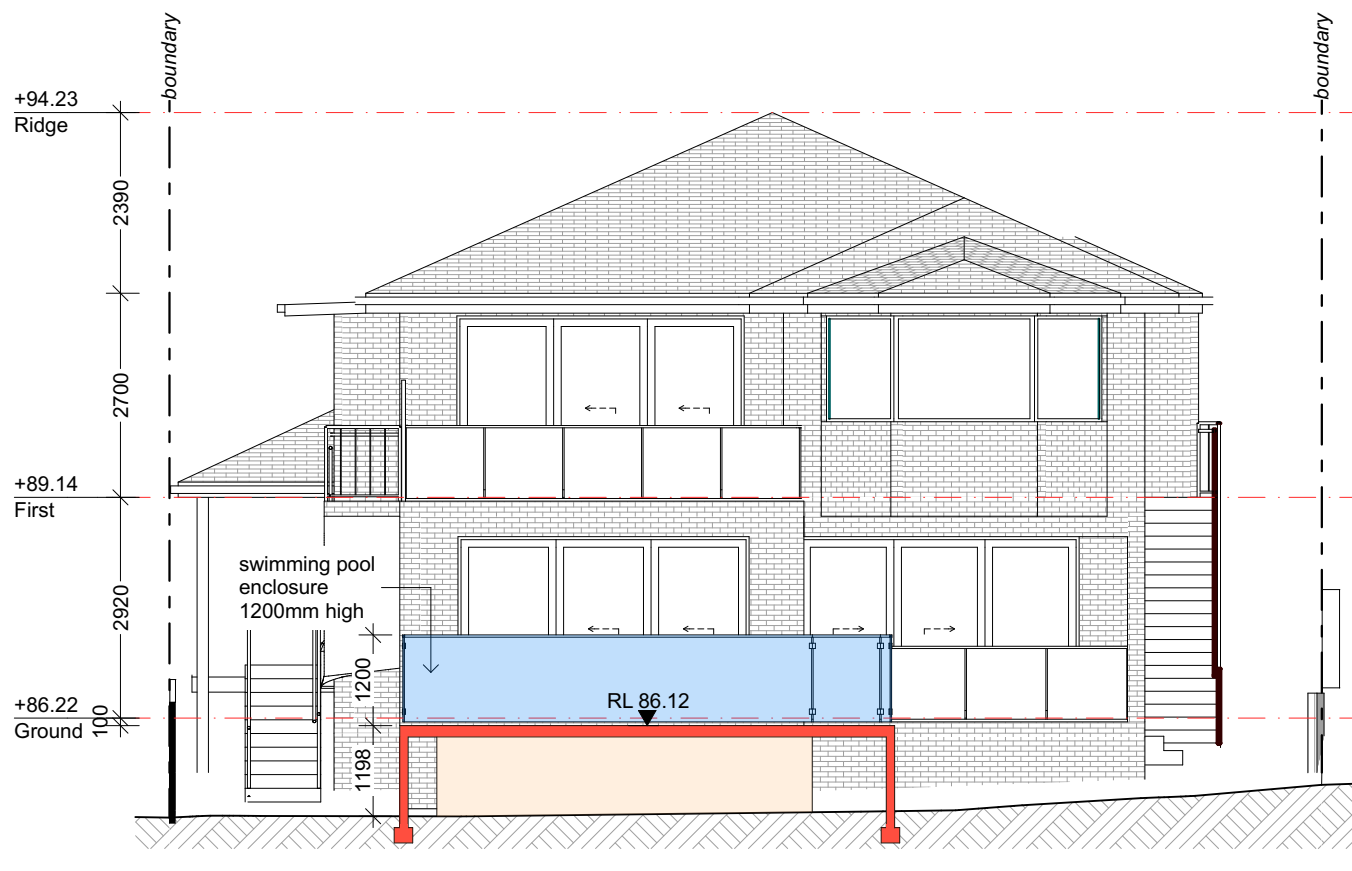


SCALE 1:100

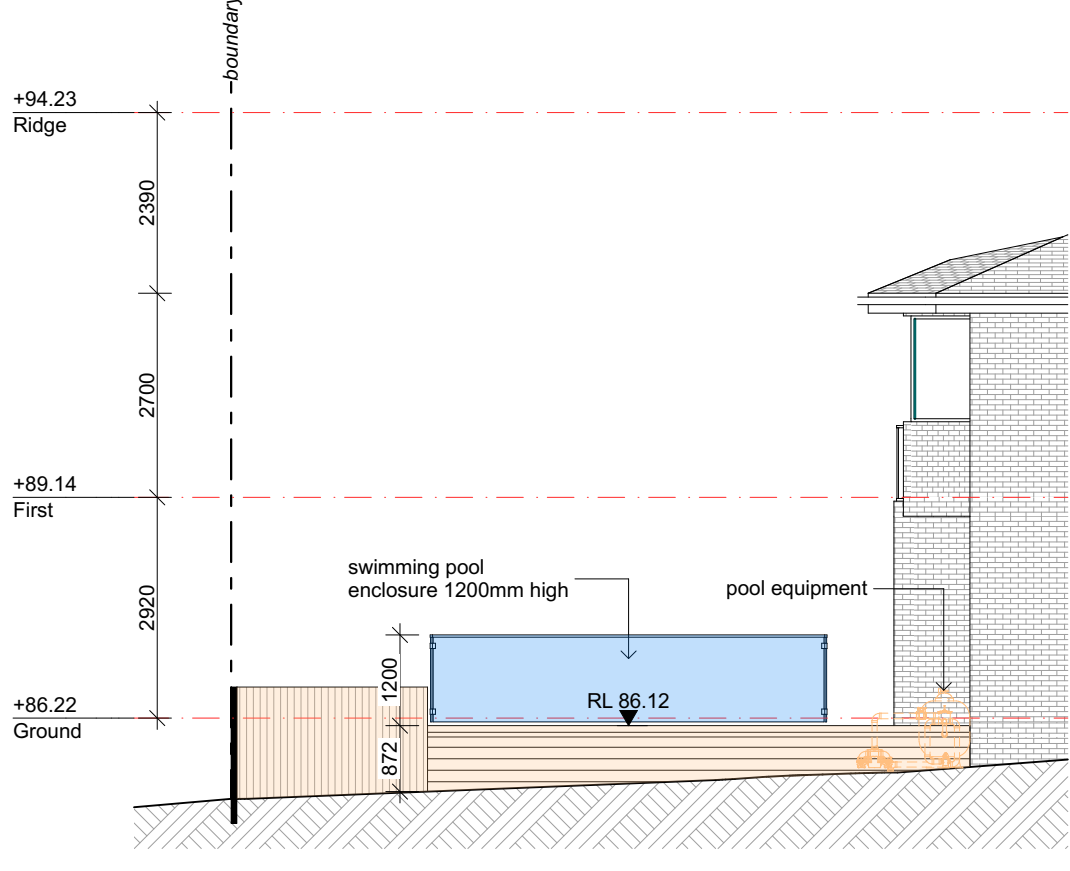
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A2 DA03.01 a



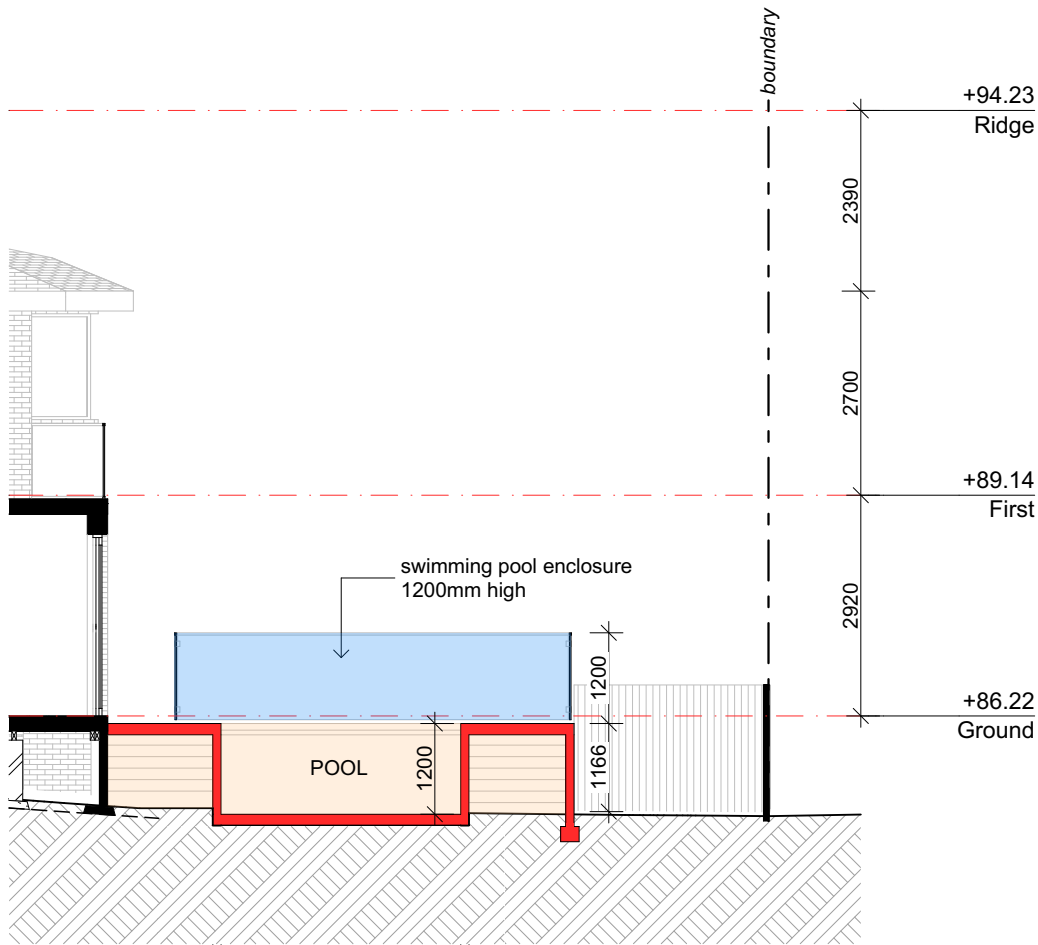
EAST ELEVATION
SCALE 1:100



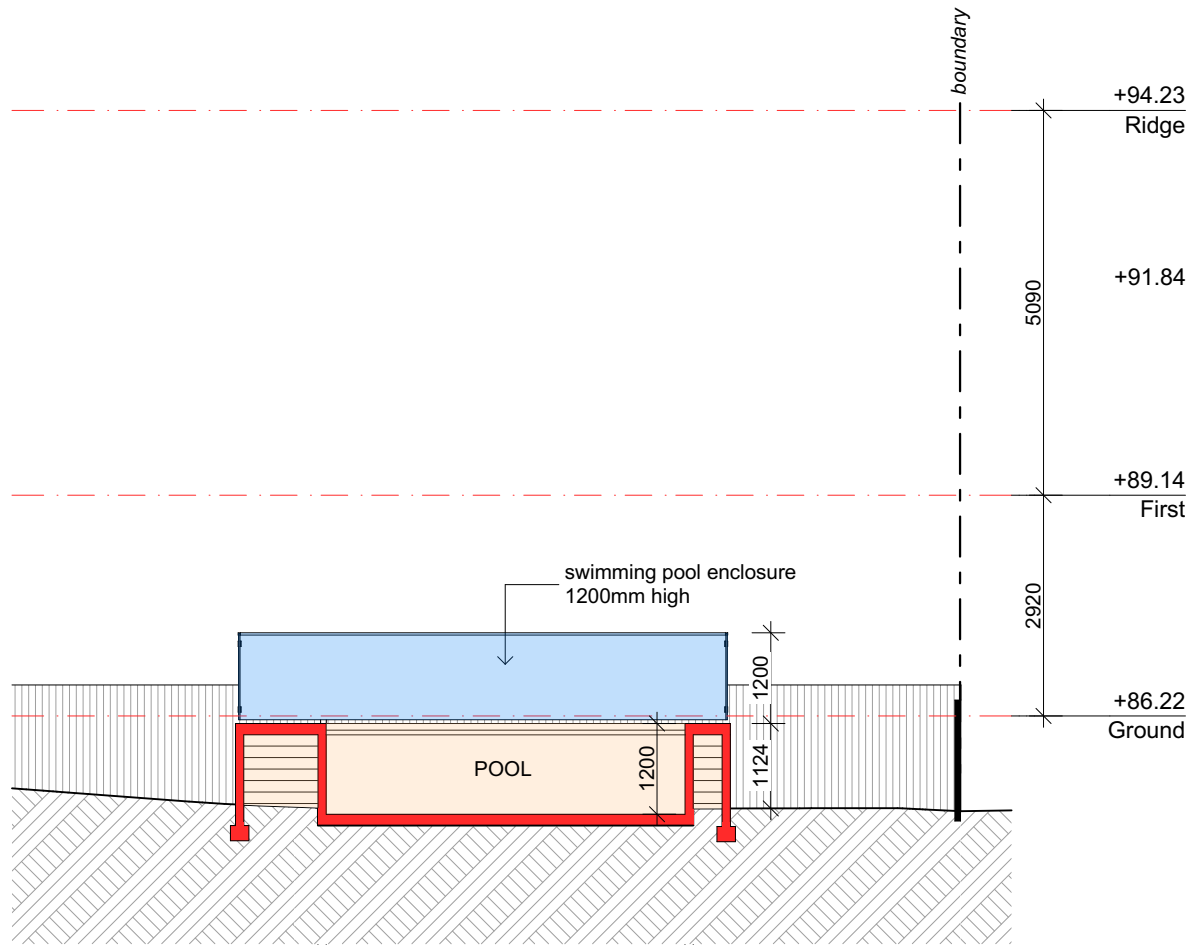
NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



SECTION A-A
SCALE 1:100



SECTION B-B
SCALE 1:100

LEGEND:

- new element
- new glazing

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PROJECT:
Alterations and Additions
44 Upper Beach St, Balgowlah

CLIENT:
Ben Masfield & Rosalyn Whiley
44 Upper Beach St, Balgowlah

SHEET TITLE:
Elevations and Sections

SCALE: 1:100 @ A3 SHEET SIZE: DWG NO: REVISION:
DRAWN: Andrew **A2 DA04.01** a

MAINTENANCE


Maintenance applies to all landscape materials installed by landscape contractor. Maintain area for 120 days, unless stated otherwise by council.


- water all garden areas, twice weekly
- remove all weeds
- replace plants which fail to establish with plants of similar size & quantity
- prune & shape plants where necessary
- make good any erosion
- make good defects which may occur
- remove rubbish weekly or as required
- lawn areas are to be mowed once grass has reached a height of 75mm

TREE PROTECTION

- a protection zone is to be established around tree(s) to be protected
- chain link (or similar) fencing to be installed around protection zone as far from the tree's base as the site allows
- protection zone shall be cleared of weed species and competative vegetation
- protection zone is to be sign posted
- provide a permanent source of water to the tree
- mulch (75-100mm thick) to be placed on ground within fenced area.
- temporary irrigation to be provided within enclosure to enable water to be applied to the tree without entering the enclosure
- the tree to be watered twice weekly for 3 hours (unless weather conditions warrant variation)

LEGEND

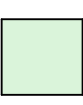
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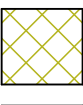
CR
Cordyline 'Red Fountain'
(dwarf cordyline)
Height 1m, 0.2m pots
(native)
- 


CO
Correa alba
(costal correa)
Height 1m, 0.2m pots
(native)

Site Area	461.6m ²
Landscape Area	
Minimum Required	35%
Provided	170.8m ²
%	73.18%
Total Open Space	
Proposed	233.4m ²
%	50.56%
Pool Area	
Maximum Required	30%
Provided	15.0m ²
%	6.43%

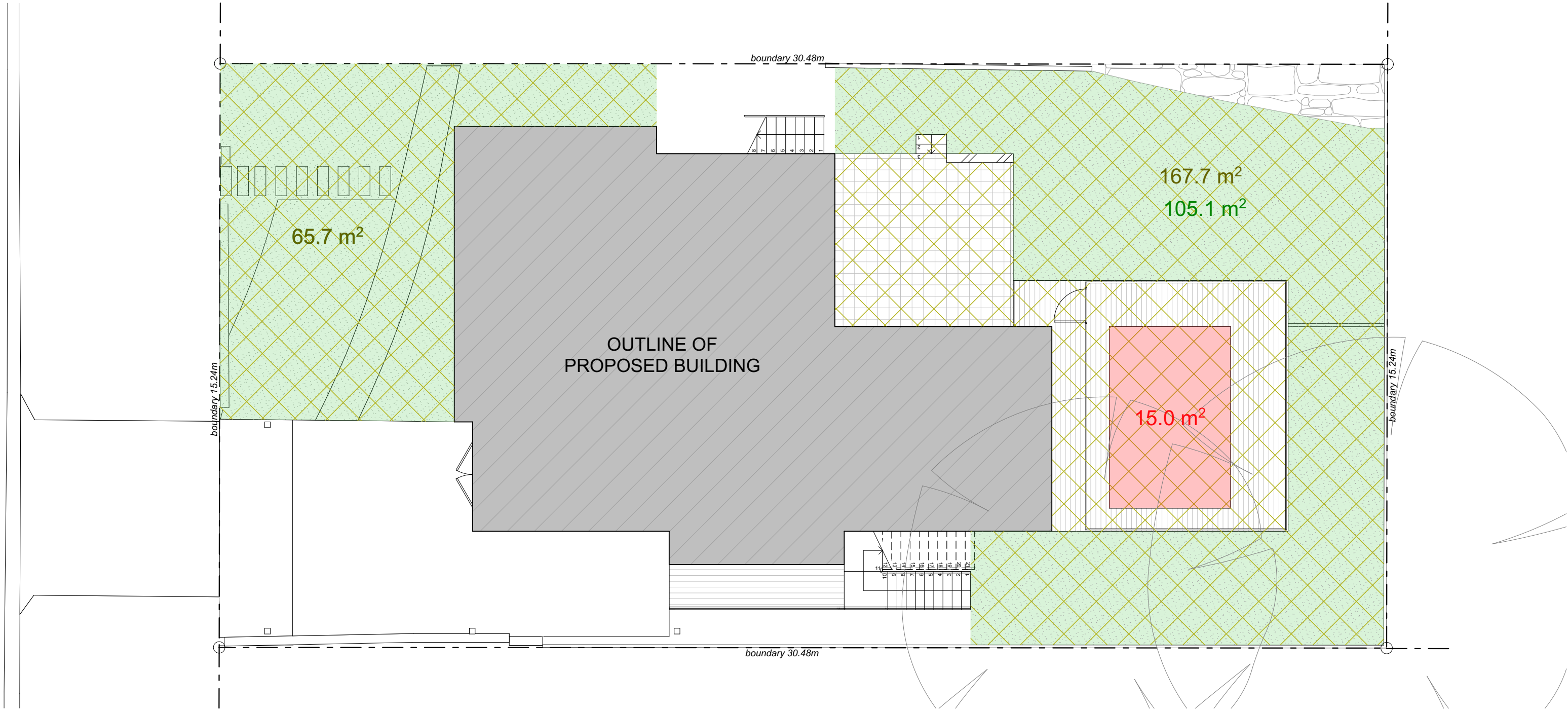
LEGEND

- 

Landscape Area
- 

Total Open Space
- 

Pool Area



LANDSCAPE PLAN

SCALE 1:100

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SHEET TITLE:
Landscape Plan

SCALE: 1:100 @ A3	SHEET SIZE:	DWG NO:	REVISION:
DRAWN: Andrew	A2	DA06.01	a