

A 3D architectural rendering of a modern, two-story house. The house has a grey exterior with horizontal siding and a black tiled roof. It features a large front porch with a white railing and a double garage on the left. There are several large windows, including a bay window on the right side of the ground floor. The house is set on a green lawn with trees in the background.

<h1 style="text-align: center;">YOUR STYLE</h1> <p style="text-align: center;">DESIGNER HOME ADDITIONS</p> <h2 style="text-align: center;">9938 5611</h2> <p style="text-align: center;">www.yourstyle.com.au</p>			
PO BOX 1183 • DEE WHY 2099 TEL : 9938 5611 FAX : 9938 5911 EMAIL : sales@yourstyle.com.au ABN 92 003 918 116 • ACN 003 918 116 WEB : www.yourstyle.com.au BUILDER LICENCE • 60007C A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD			
Client Name :	MATTHEW & REBECCA DUFF		
Client Address :	12 ARDSLEY AVENUE, FRENCHS FOREST 2086		
Client No. :	DUF 0119 01 DA		
All construction work to be performed in accordance with Australian Standards and Building Code of Australia 2013.			
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Project Number: DUF 0119 01 DA		Included Pages: 1 -	
Signed..... Date: Wednesday, 10 April 2019 Client's signature _____			
<u>Project Acceptance</u>			
We agree to these works in accordance with Your Style's Building Specification & Quote Document and this Design.			
Signed..... Date: Wednesday, 10 April 2019 Your Style Designer Home Additions _____			
Signed..... Date: Wednesday, 10 April 2019 Client's signature _____			
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Drawing Title :	PERSPECTIVES		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	
Plot Date :	Wednesday, 10 April 2019	Drawing No. :	1
File Location:	DUF 0119 01 DA.pln		
Your Style Construction Certificate Excludes: Items in red and/or listed here do not form part of Your Style's Construction Certificate and will not be approved for construction under Your Style's Construction Certificate and will require a separate CC Application. - - - - - -			

SITE CALCULATIONS

Site area = 702.5m²

Landscape Open Space = 428m²
AS PER EXISTING

Impervious & Excluded Area = 274.5m²
AS PER EXISTING

Landscape Open Space = 61%
AS PER EXISTING

EXISTING HOUSE AND PAVED AREAS

OFF STREET PARKING (TO GARAGE AND DRIVEWAY)

PROPOSED FIRST FLOOR ADDITION

- = Proposed Alterations
- = Existing / Impervious
- = To owners (proposed alterations)
- = Boundary Setbacks
- = Landscape Open Space

SCHEDULE OF WINDOWS & DOORS

No.	SILL RL	HEAD RL
1	136.25	138.15
2	132.80	133.80
3	136.55	136.94
4	132.80	133.80
5	136.55	136.94
* 6	131.70	133.80
7	133.56	135.00
8	133.83	135.00
* 9	132.55	134.55
10	133.56	135.00
11	132.55	135.00
12	132.55	135.00

* DENOTES DOOR

NOTES:

- THE POSITION OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE)
- NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. RELEVANT AUTHORITIES ARE TO BE NOTIFIED PRIOR TO ANY DEVELOPMENT
- ALL DIMENSIONS ARE BY TITLE ONLY & SUBJECT TO FINAL SURVEY
- CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
- NO INVESTIGATIONS HAVE BEEN MADE OF BUILDING RESTRICTIONS WHICH MAY APPLY TO THIS LAND
- CONTOUR INTERVAL 0.5M MINOR 1.0M MAJOR
- ORIGIN OF LEVELS: SSM 11054 RL 140.669 A.H.D.
- THE SPREAD AND HEIGHT OF TREES SHOWN ARE INDICATIVE ONLY AND CANNOT BE SHOWN ACCURATELY WITHOUT ADDITIONAL DETAILED SURVEY.
- BEARINGS SHOWN ARE RELATED TO MAGNETIC MERIDIAN

LEGEND

AC	- AIR CONDITIONER	MH	- MANHOLE
DP	- DAMP PROOF COURSE	PB	- POWER BOX
EB	- ELECTRICITY BOX	PC	- PRAM CROSSING
EP	- ELECTRICITY PIT	PP	- POWER POLE
FL	- FLOOR LEVEL	SMH	- SEWER MANHOLE
GM	- GAS METER	SO	- STORMWATER OUTLET
GS	- GAS SERVICE	SV	- STOP VALVE
GP	- GULLY PIT	S/W	- STORMWATER
HW	- HOT WATER HEATER	TEL	- TELECOMMUNICATIONS PIT
HYD	- HYDRANT	VC	- VEHICLE CROSSING
IC	- INSPECTION COVER	WM	- WATER METER
LH	- LAMP HOLE	WS	- WATER SERVICE
LP	- LIGHT POLE		

REFERENCE:

10385/19

REG'D SURVEYOR

STUTCHBURY JAKUES PTY LTD
LAND SURVEYING CONSULTANTS

P.O. BOX 7249, BROOKVALE NSW 2100

PH: 8976 1600 FAX: 8976 1655 E-MAIL: info@stutchbury.net.au

DATE: 26/02/2019

SCALE: 1:100

DATUM: A.H.D.

SITE AREA: 702.5 m²

SHEET 1 OF 1 SHEETS

CLIENT: YOUR STYLE

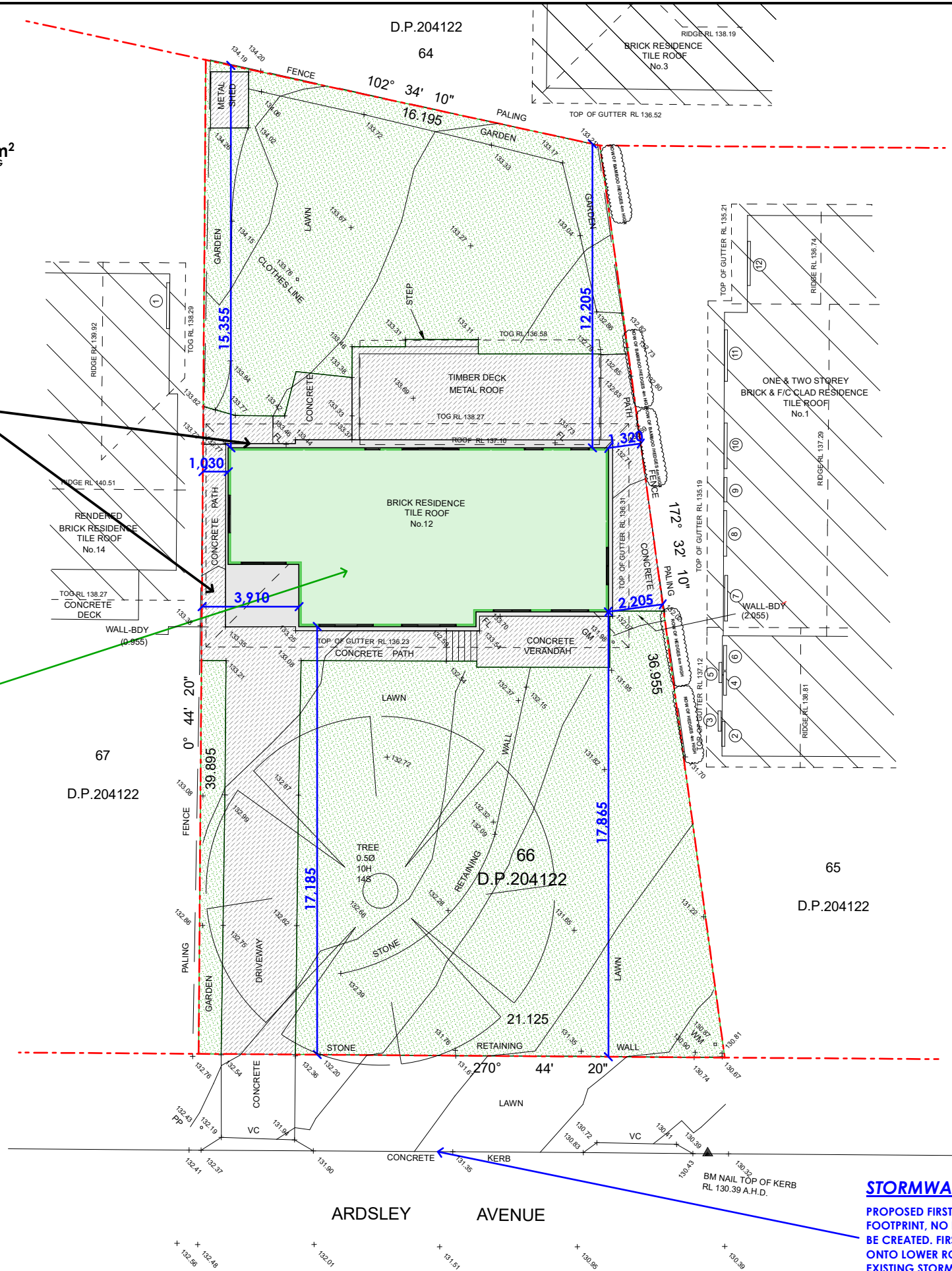
PROJECT: LEVEL & DETAIL SURVEY

LOT 66 D.P.204122

No.12 ARDSLEY AVENUE, FRENCHS FOREST.

LGA: NORTHERN BEACHES

SITE PLAN



STORMWATER MANAGEMENT

PROPOSED FIRST FLOOR ADDITION IS WITHIN THE EXISTING FOOTPRINT, NO INCREASE IN STORMWATER RUN-OFF WILL BE CREATED. FIRST FLOOR ADDITION TO HAVE SPREADERS ONTO LOWER ROOFS AND FLOW INTO STREET GUTTER VIA EXISTING STORMWATER CONNECTION.

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Your Style Designer Home Additions

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Client's signature

Drawing Title : SITE PLAN

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE

Scale : 1:200

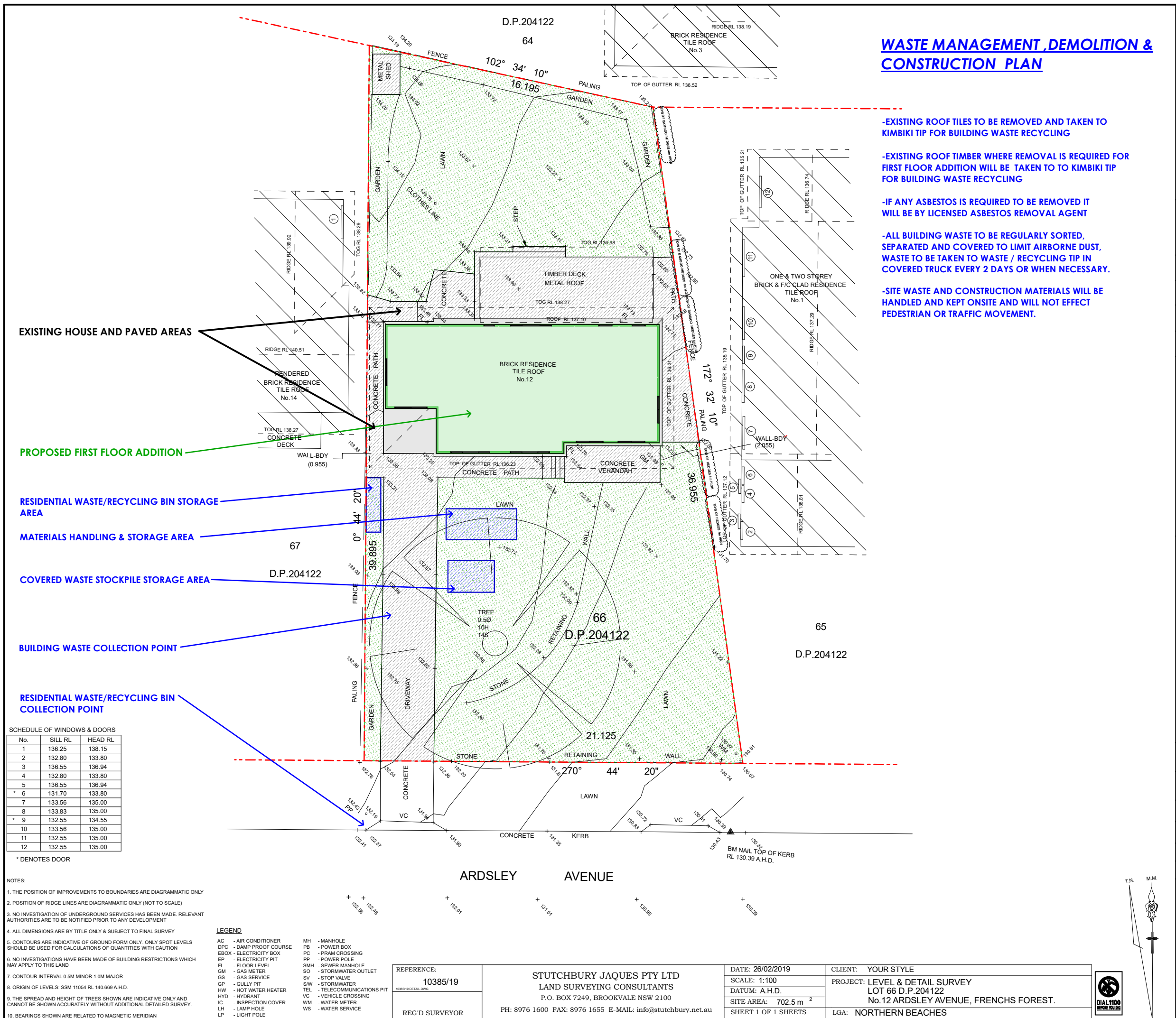
Plot Date : Wednesday, 10 April 2019

Drawing No. : 3

File Location: DUF 0119 01 DA.pln

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Drawing Title : WASTE/DEMO/CONSTRUCTION PLAN

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE **Scale :** 1:200

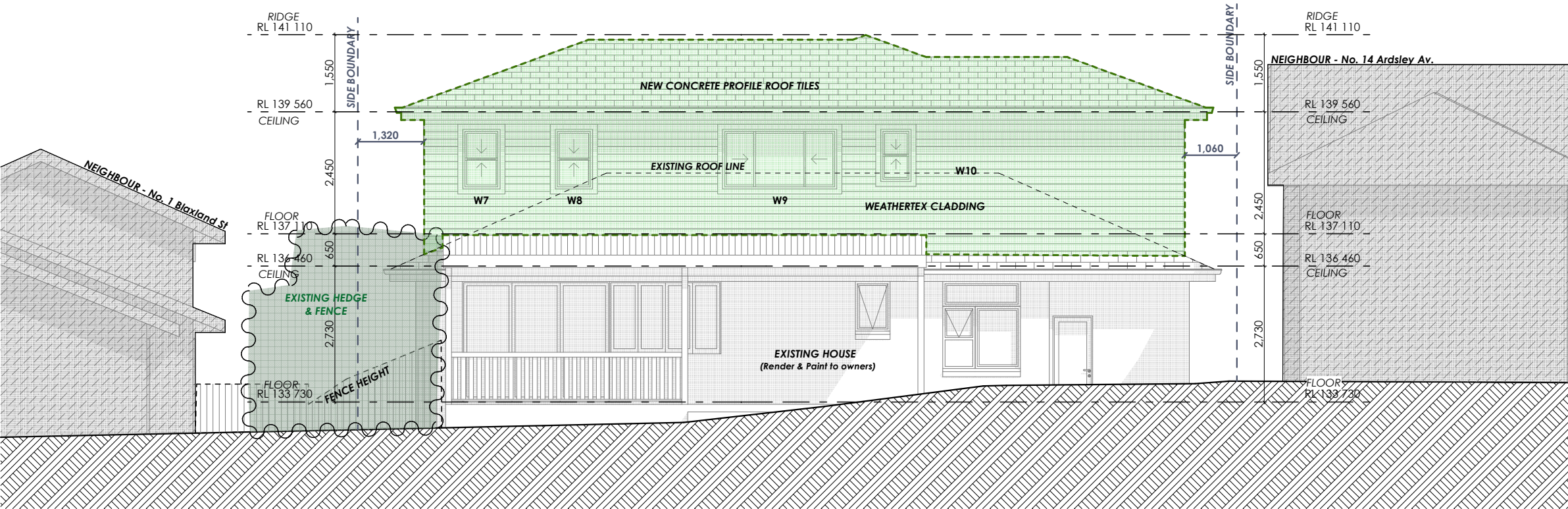
Plot Date : Wednesday, 10 April 2019 **Drawing No. :** 4

File Location: DUF 0119 01 DA.pln

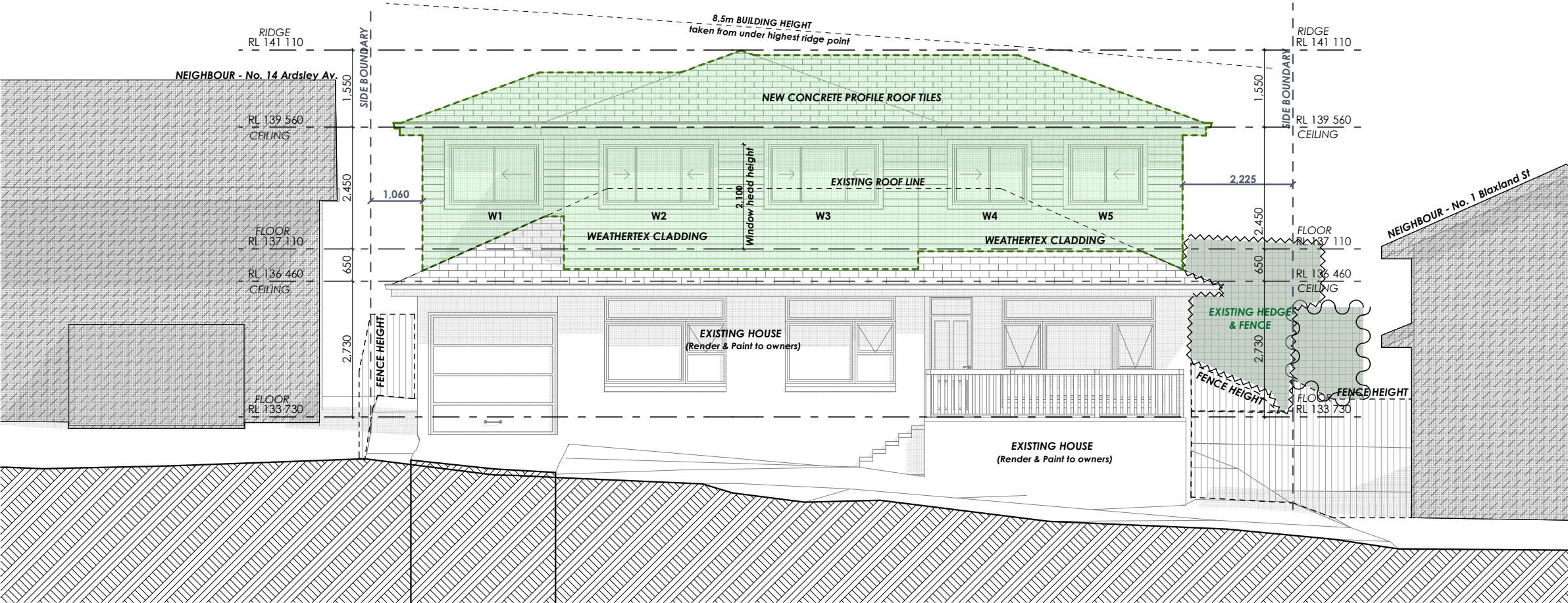
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-
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-

ELEVATIONS (NORTH & SOUTH)



1 NORTH ELEVATION 1:100



2 SOUTH ELEVATION 1:100



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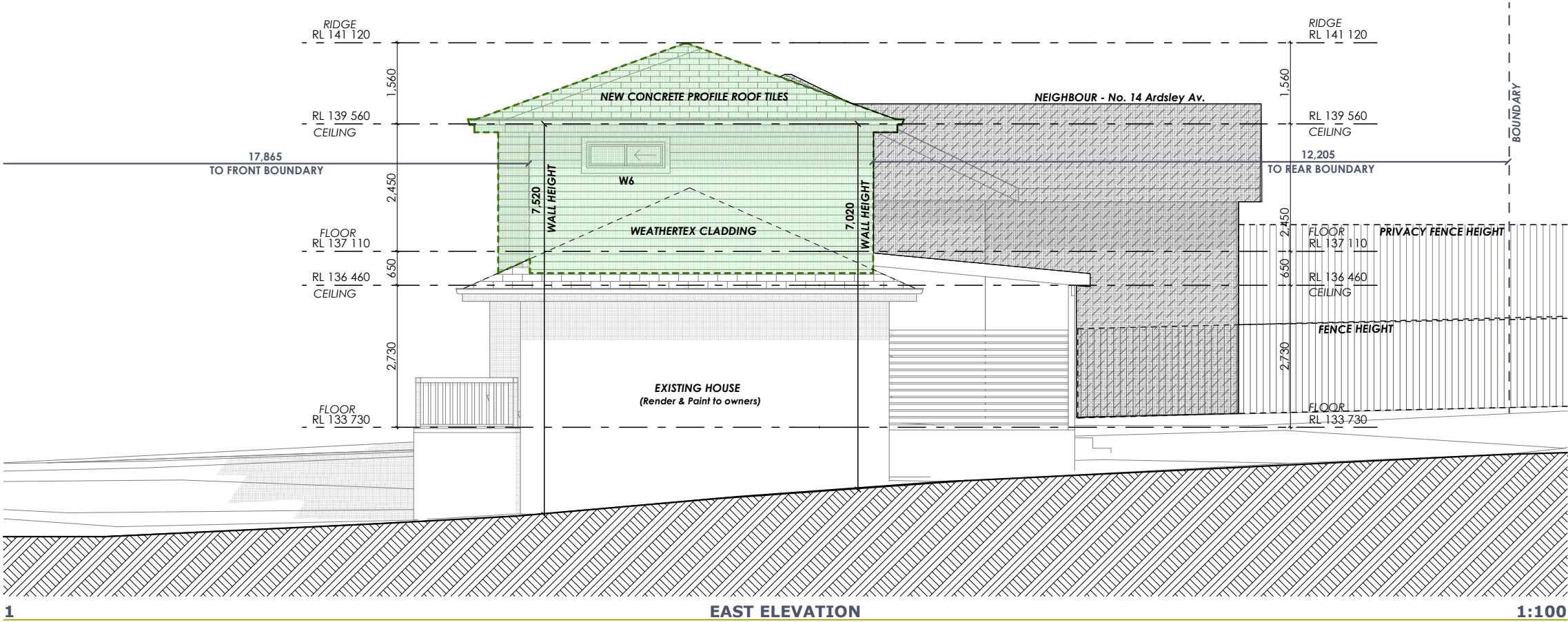
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Drawing Title :	ELEVATIONS		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Wednesday, 10 April 2019	Drawing No. :	7
File Location:	DUF 0119 01 DA.pln		

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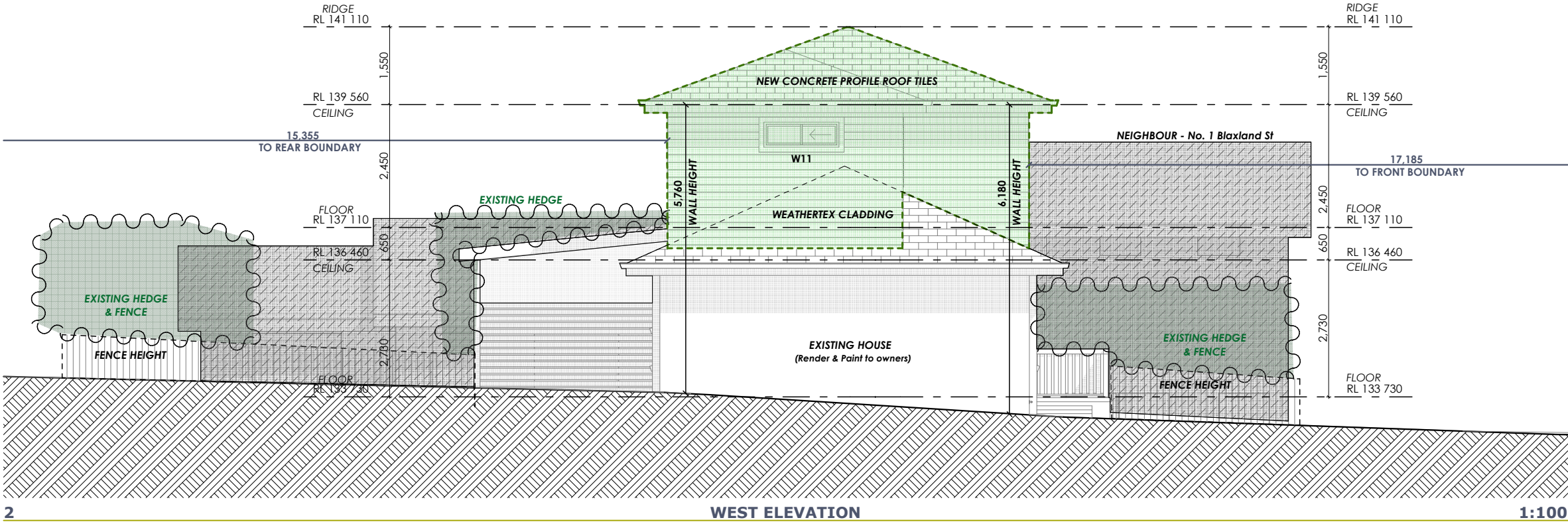
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ELEVATIONS (EAST & WEST)



1 EAST ELEVATION

1:100



2 WEST ELEVATION

1:100



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Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Wednesday, 10 April 2019	Drawing No. :	8
File Location:	DUF 0119 01 DA.pln		

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