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**From:** Nadine Pruckner  
**Sent:** 29/11/2024 11:28:46 AM  
**To:** Council Northernbeaches Mailbox  
**Cc:** [REDACTED]  
**Subject:** TRIMMED: DA2024/1495 - Issues of concerns re DA2024/1495 82 Pacific Pde in its current form  
**Attachments:** Plans\_-\_Master\_Set\_COMMENTS\_DA1495.pdf; SEE \_COMMENTS\_DA1495.pdf;

Dear Northern Beaches Council Team,

We are the owners of 11+12/ 2 Avon Road and would like to voice some concerns regarding DA2024/1495 -the replacement of an existing garage at our site boundary to our neighbours' property at 82 Pacific Pde.

As the title in the DA documents suggests - and as it was previously discussed with the neighbour - it should be a like for like replacement of an existing garage which is built directly at the boundaries to 2 Avon Rd and to 84 Pacific Pde. However the documented proposal differs from the existing build as indicated below:

### 1) Roof shape

The current garage features a gable roof with an east west running ridge in the centre of the roof whereas the proposal- in spite of mentioning a flat roof - shows a skillion roof with a pitch of 7.5degrees and the ridge right at the northern boundary instead of at the centre of the roof. Changing the roof to a skillion roof with only one fall is not a like for like replacement and will have a negative impact (**=increase**) on the overall height of the build.

### 2) Roof Ridge and Wall Height

The ridge of the existing gable roof has an RL of 26.610 ( RLs are taken from the provided survey). The gutter towards the northern neighbour 2 Avon Road (incorrectly marked as 82 Pacific on the survey) is currently 25.840 and the natural ground level has an RL of 22.380 at western corner/ 21.890 at the eastern corner (both taken from the top of a raised garden bed).

The wall is directly on the site boundary and is currently 3.46m -3.95m high from the top of the garden bed to the gutter.

As mentioned before, the proposal -although advertised as like for like replacement with a flat roof documents a skillion roof with a roof pitch of 7.5deg. The new roof ridge is located right at the boundary with an RL of 26.915. This RL is not only higher than the existing ridge by approx. 300mm but due to its relocation to the edge of the roof the boundary wall will now be over **a metre higher** than it is currently- resulting in an overall height of over 5m. (taken from an already raised garden bed- please note the adjacent walkway is another 500mm lower. )

This increase in wall height will seriously affect not only the backyard of our apartment block but especially the windows of unit 8/2 Avon Road.

Currently the top of the roof is approx. half height of the window. The proposed garage will be taller than the current one and its new roof level will now be higher than the existing top of the windows of unit 8's- completely blocking the sky. This will result in a negative impact on views and daylight.

### 3) Size of the Garage

The proposed width of the garage exceeds the current footprint by approx. 350mm.

#### 4) Solar access

Although advertised as pure replacement of the existing garage, the additional height of the proposed structure will cast an additional shadow onto the private open space / veggie patch of neighbour No84.

If it were a true like for like replacement there would be no additional shadow.

#### 5) Side setback and side boundary envelope

We are aware that the new built cannot comply with the current legislation in terms of side setback and side boundary envelope due to its existing location. We support a like for like replacement of the garage and would support a merit assessment IF the heights and extent of the existing structure are not exceeded. The site topography and its split level needs to be considered. ( The wall is much higher on our side of the property.)

#### 6) Existing timber fence between No82 and No 2

Our neighbour No 82 has previously asked for our permission for his builder to access the site via our backyard once construction will start. Although we are not happy about this inconvenience and are worried about our garden bed/ veggie patch we kindly ask that the garden bed and also the timber fence will be reinstated after the construction works have been finished. We only mention this because of previous bad experience with our neighbour to the other side (73 Oaks Ave), who never cleaned up/repared the boundary fence when their construction was completed.

In previous discussion with neighbour 82 it was discussed that this rebuild will be like for like and that the works are necessary as the existing structure is not adequate and dilapidated. However we trust that the development would be replaced as a true like for like without any increase in the height of the garage nor posing any negative impact on our amenities.

Unfortunately the proposal as it stands is not a like for like replacement.

#### 2 easy solutions come to mind:

Option A : revert back to gable roof with central ridge to lower the overall ridge height and maintain existing heights and provide a true like for like replacement.

Option B: change pitch of skillion roof from 7.5 deg to the min recommended fall (the selected kliplok roof profile can be installed at 1deg min roof pitch but 2deg is industry standard/recommended). The height change from gutter to ridge would then only be approx. 200mm. Unfortunately this option would only work if the proposed ceiling height of the garage is lowered to allow for the ridge to still be below the existing gutter level of 25.840. The wall height towards 2 Avon Rd would need to be in line with the existing RLs.

In summary we would like our neighbour to choose option A and provide a like for like replacement adhering to the existing heights.

This would guarantee the status quo of the amenities for our homes and also make the veggies grow happily in the veggie patch of 84 Pacific Pde - without affecting the ceiling height and functionality of the new garage of No 82.

I have taken the liberty of marking up the DA documents and the SEE to illustrate our concerns.

If you have any queries regarding our objections to the submission please don't hesitate to contact us. It seems there are options available to satisfy all involved parties and to achieve the best outcome for all of us residents.

Kind Regards,

Nadine Pruckner Unit 11/2 Avon Road  
David Borgnis Unit 12/2 Avon Road

11/2 Avon Rd  
Dee Why  
NSW 2099

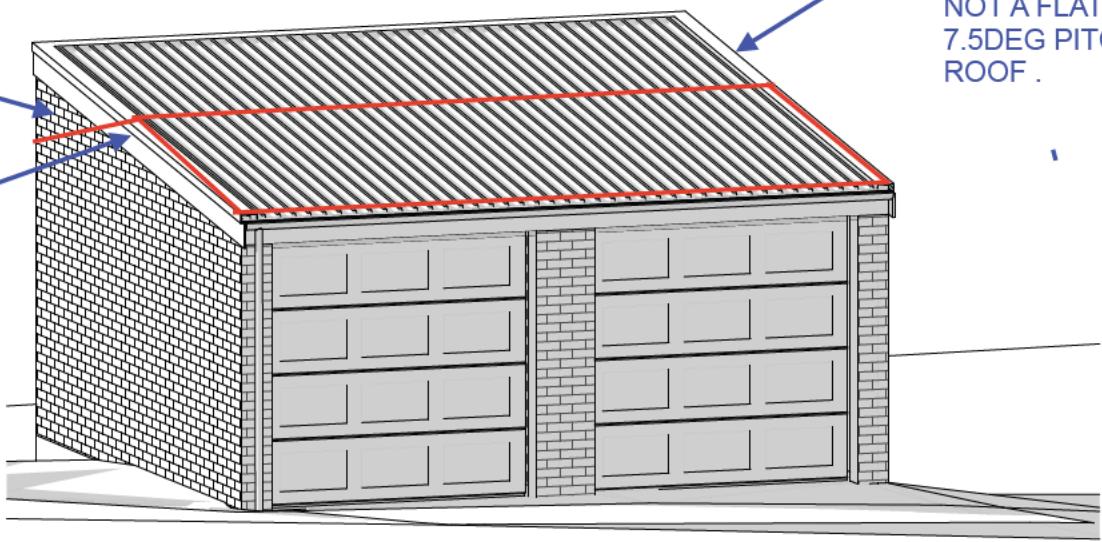
<b>Regulated Design Record</b>				
Project Address: 80-82 PACIFIC PARADE DEE WHY NSW 2099, SP 7795				
Project Title: DEMOLITION OF EXISTING GARAGE WITH LIKE FOR LIKE REPLACEMENT GARAGE AND NEW GARAGE SLAB				
Council No:		Body Corporate Reg No: N/A		
Drawing Title: 0000000000		Drawing No: DA 0000		
Rev	Date	Description	DIP Ref name	Reg No
1	18.10.2024	DA APPLICATION	Demolition Schedule	PCP 0000000000

# DA: DEVELOPMENT APPLICATION FOR THE DEMOLITION OF EXISTING DOUBLE GARAGE WITH LIKE FOR LIKE REPLACEMENT DOUBLE GARAGE WITH A FLAT ROOF AND NEW GARAGE SLAB AT : 80-82 PACIFIC RDE, DEE WHY NSW 2099 SP 7795

NOTES:  
USE FIGURED DIMENSIONS ONLY.  
DO NOT SCALE.  
ALL DIMENSIONS TO BE  
VERIFIED ON SITE.

THIS IS NOT A LIKE FOR LIKE REPLACEMENT:  
THE EXISTING GARAGE FEATURES A GABLE ROOF WITH A CENTRAL RIDGE. THE PROPOSED SKILLION ROOF HAS A 300mm HIGHER RIDGE AND ITS NEW LOCATION AT THE BOUNDARY WALL TO 2 AVON ROAD WILL INCREASE THE HEIGHT OF THE EXISTING BOUNDARY WALL BY APPROX 1M.

THE PROPOSED ROOF IS NOT A FLAT ROOF BUT A 7.5DEG PITCHED SKILLION ROOF .



AFFECTED WINDOWS

EXISTING RIDGE + ROOF SHAPE SHOWN IN RED

COMMENTS FROM NEIGHBOUR 2 AVON ROAD IN BLUE

### DRAWING LIST

- DA 0000 : COVER PAGE
- DA 1001 : SITE PLAN/SITE ANALYSIS PLAN
- DA 1002 : DEMOLITION PLAN
- DA 2100 : GARAGE FLOOR LAYOUT PLAN
- DA 2200 : GARAGE ROOF PLAN
- DA 3200 : SECTIONS
- DA 4000 : ELEVATIONS
- DA 5000 : SHADOW DIAGRAM

Amendments:		
Issue	Amendment	Date
1	DEVELOPMENT APPLICATION	18.10.2024

CLIENT:  
SP 7795  
80-82 PACIFIC PARADE  
DEE WHY NSW 2099

**C A GROUP ARCHITECTS**



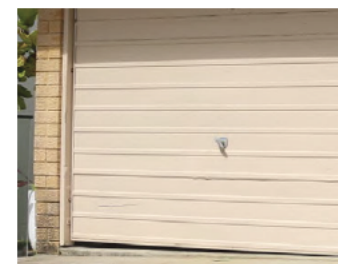
23 HENDY AVENUE  
COGEE NSW 2034  
PHONE: 0414 474 227  
FAX: 02 9664 7785  
RESPONSIBLE ARCHITECT:  
DENNIS KOURTIS, REG No 7495

PROJECT:  
REPLACEMENT OF OLD DOUBLE GARAGE WITH NEW GARAGE AND SLAB

TITLE:  
COVER PAGE

SCALE: N.T.S	DATE: OCTOBER 2024	DRAWN: WT	REVISION: 1	JOB NO: 2418	PROJ NO: DA 0000
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## EXTERNAL MATERIAL COLOUR SCHEDULE



1. FACE BRICK - TO MATCH EXISTING AUSTRAL BRICK - EVERYDAYLIFE RANGE - RETREAT OR SIM.

2. PANELLIFT GARAGE DOOR - TO MATCH EXISTING DOVER WHITE OR SIM.

3. FASCIA, GUTTER - TO MATCH EXISTING DOVER WHITE OR SIM. DOWN PIPE - CLASSIC CREAM OR SIM.

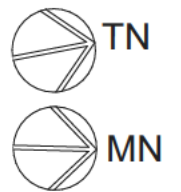
4. ROOF - KLIP LOK IN MONUMENT

**DEVELOPMENT APPLICATION**



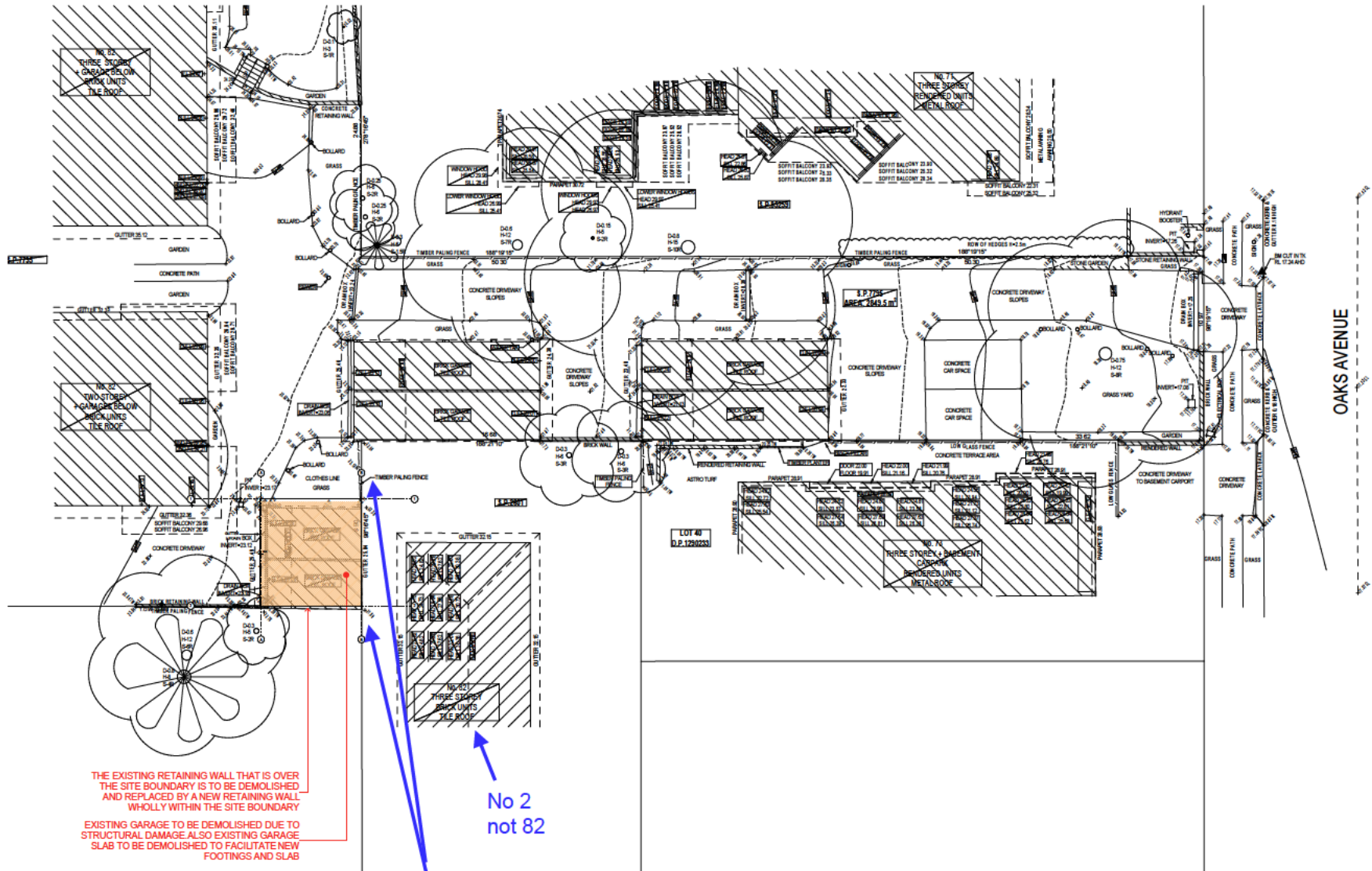
Regulated Design Record				
Project Address: 80-82 PACIFIC PARADE DEE WHY NSW 2008, SP 7795				
Project Title: DEMOLITION OF EXISTING GARAGE WITH LIKE FOR LIKE REPLACEMENT GARAGE AND NEW GARAGE SLAB				
Consent No:		Body Corporate Reg No: N/A		
Drawing Title: DEMOLITION PLAN		Drawing No: DA 1002		
Rev	Date	Description	DP Ref name	Reg No
1	18.10.2024	DA APPLICATION	Diastina Corle	PCP 000000

NOTES:  
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Amendments:

Issue	Amendment	Date
1	DEVELOPMENT APPLICATION	18.10.2024



**1 DEMOLITION PLAN**  
1:250

EXISTING STEP IN NATURAL GROUND LEVEL  
OF APPROX 800MM + EXISTING RETAINING WALL  
ALONG BDRY TO No 2

**DEVELOPMENT APPLICATION**

CLIENT:  
SP 7795  
80-82 PACIFIC PARADE  
DEE WHY NSW 2099

**C A GROUP ARCHITECTS**



23 HENDY AVENUE  
COGEE NSW 2034  
PHONE: 0414 474 227  
FAX: 02 9664 7785

RESPONSIBLE ARCHITECT:  
DENNIS KOKORIS, REG NO 7493

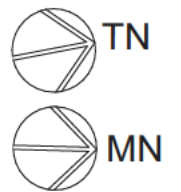
PROJECT:  
REPLACEMENT OF OLD DOUBLE GARAGE WITH NEW GARAGE AND SLAB

TITLE:  
DEMOLITION PLAN

SCALE: 1:250	DRAWN: 2418
DATE: OCTOBER 2024	DESIGNED: DA 1002
DRAWN BY: WT	REVISION: 1

Regulated Design Record				
Project Address: 80-82 PACIFIC PARADE DEE WHY NSW 2099, SP 7795				
Project Title: DEMOLITION OF EXISTING GARAGE WITH LIKE FOR LIKE REPLACEMENT GARAGE AND NEW GARAGE SLAB				
Consent No:		Body Corporate Reg No: N/A		
Drawing Title: GARAGE FLOOR LAYOUT		Drawing No: DA 2100		
Rev	Date	Description	DP Ref name	Reg No
1	18.10.2024	DA APPLICATION	Dimitris Kouritis	PCP 209999

NOTES:  
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Amendments:

Issue	Amendment	Date
1	DEVELOPMENT APPLICATION	18.10.2024

CLIENT:  
SP 7795  
80-82 PACIFIC PARADE  
DEE WHY NSW 2099

**C A GROUP ARCHITECTS**



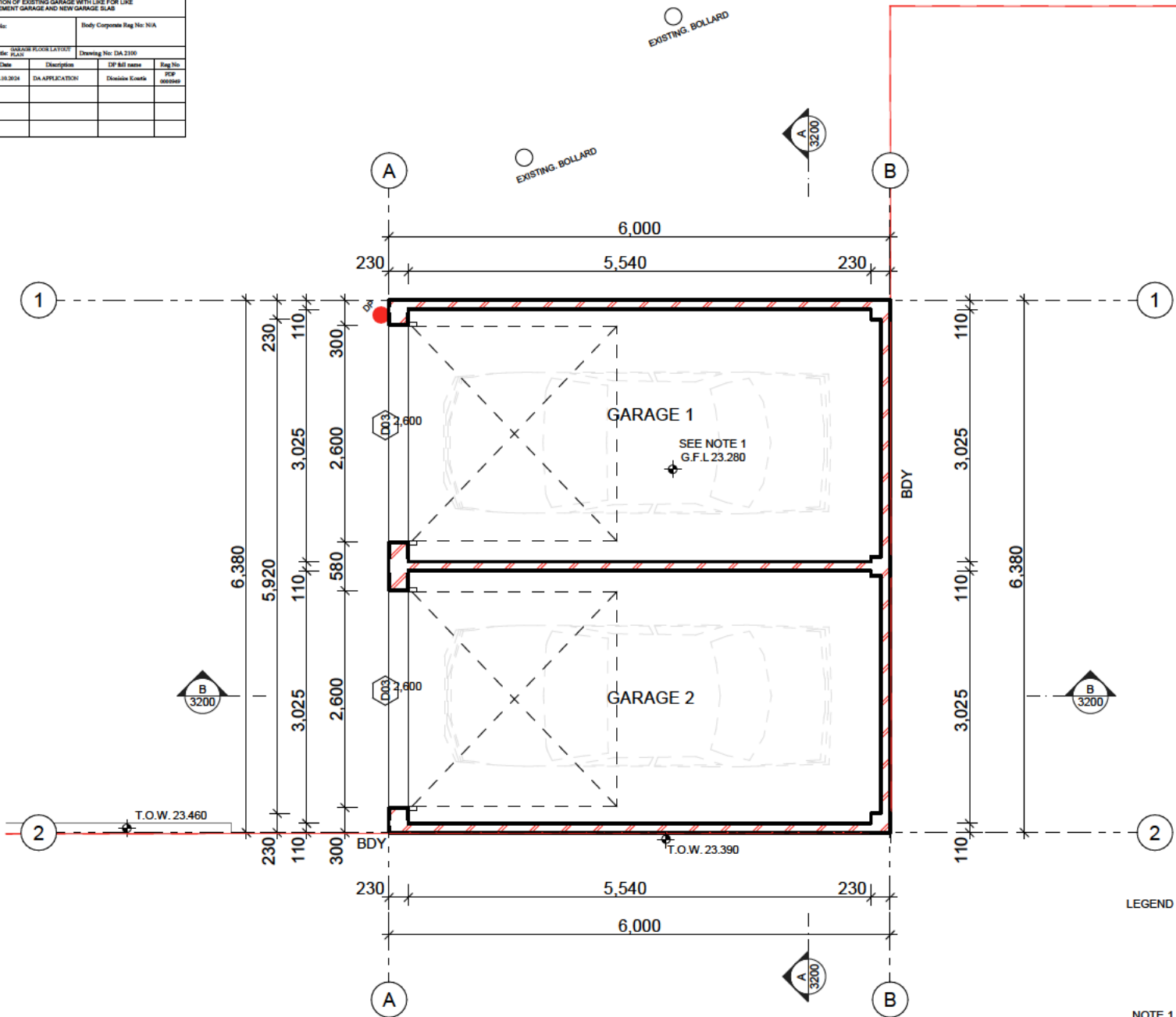
23 HENDY AVENUE  
COGEE NSW 2034  
PHONE: 0414 474 227  
FAX: 02 9664 7785

RESPONSIBLE ARCHITECT:  
DENNIS KOURITIS, REG NO 7493

PROJECT:  
REPLACEMENT OF OLD DOUBLE GARAGE WITH NEW GARAGE AND SLAB

TITLE:  
GARAGE FLOOR LAYOUT PLAN

SCALE: 1:50	DRAWING NO: 2418
DATE: OCTOBER 2024	PROJECT NO: DA 2100
DRAWN BY: WT	REVISION: 1



PROPOSED DOWNPIPE TO CONNECT TO THE EXISTING STORMWATER PIT AT IL23.17, REFER TO STORMWATER PLANS

PROPOSED Ø100mm DOWNPIPE TO BE CONVERTED TO A 150x100 RHS PIPE VIA AN IN-GROUND PIPE ADAPTOR, REFER TO STORMWATER PLANS

LEGEND  
● DP  
LOCATION OF DOWN PIPE (DP). BUILDER TO CROSS CHECK WITH APPROVED STORMWATER PLAN. SHOULD ANY DISCREPANCY BEEN IDENTIFIED APPROVED ENGINEERING PLAN TO TAKE PRECEDENCE

NOTE 1  
ACTUAL SURFACE LEVEL/FALL SUBJECT TO CIVIL ENGINEERS' DETAILING

NOTE 2  
PARKING IN ACCORDANCE WITH AS2890.1

**DEVELOPMENT APPLICATION**

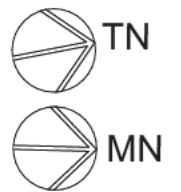
**1** **GROUND FLOOR**  
1:50

<b>Regulated Design Record</b>				
Project Address: 80-82 PACIFIC PARADE DEE WHY NSW 2099, SP 7795				
Project Title: DEMOLITION OF EXISTING GARAGE WITH LIKE FOR LIKE REPLACEMENT GARAGE AND NEW GARAGE SLAB				
Council No:		Body Corporate Reg No: N/A		
Drawing Title: GARAGE ROOF PLAN		Drawing No: DA 2200		
Rev	Date	Description	DIP full name	Reg No
1	18.10.2024	DA APPLICATION	Dimitrios Kouritis	PCP 0000000

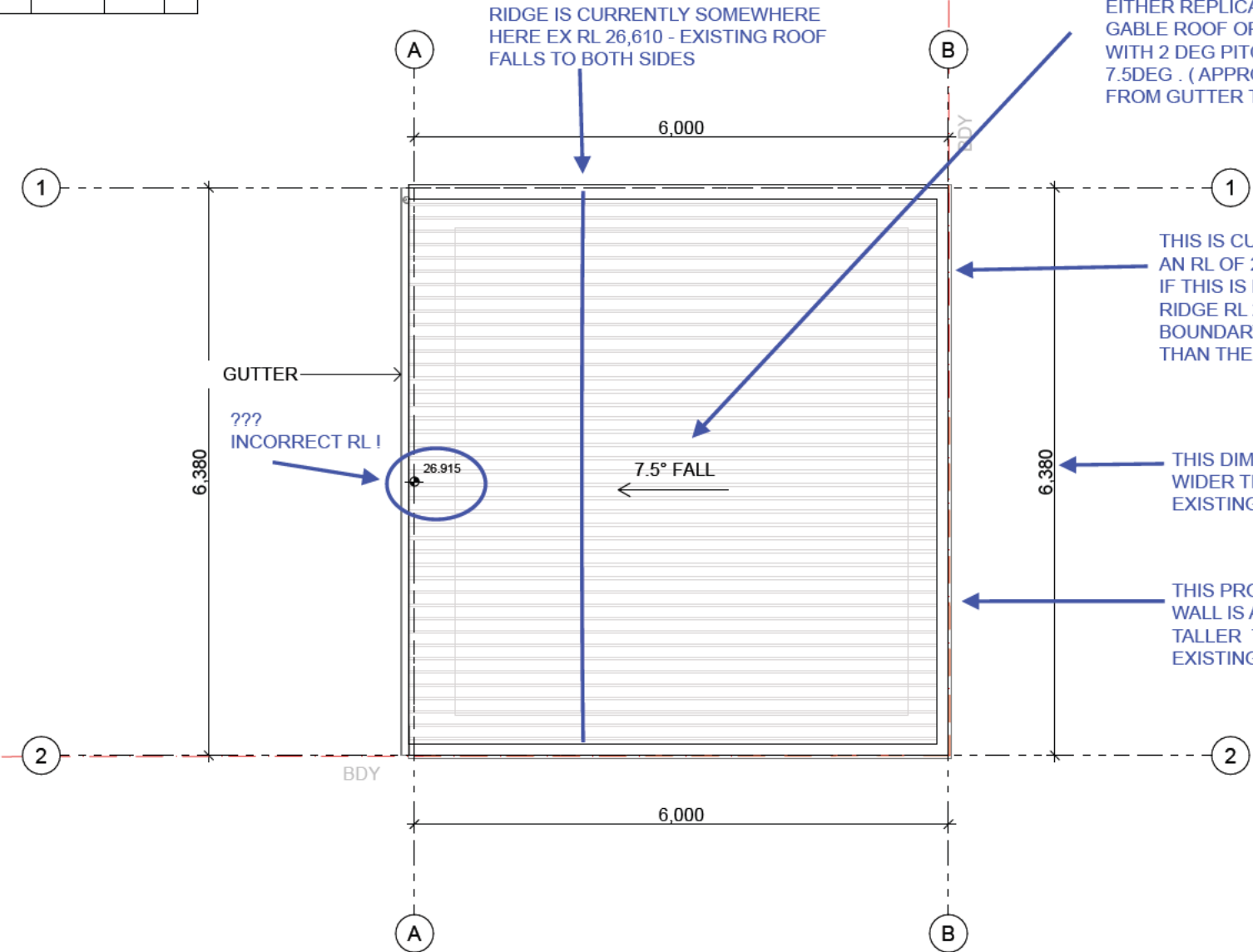
PROPOSED ROOF IS NOT A LIKE FOR LIKE REPLACEMENT AS IT IS HIGHER AND FALLS ONE WAY ONLY.

POSSIBLE SOLUTIONS TO LOWER THE ROOF RIDGE (TO BE IN LINE WITH EXISTING HEIGHT) ARE EITHER REPLICATE EXISTING GABLE ROOF OR SKILLION ROOF WITH 2 DEG PITCH INSTEAD OF 7.5DEG . ( APPROX 210MM RISE FROM GUTTER TO RIDGE)

NOTES:  
USE FIGURED DIMENSIONS ONLY.  
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Amendments:		
Issue	Amendment	Date
1	DEVELOPMENT APPLICATION	18.10.2024



THIS IS CURRENTLY GUTTER WITH AN RL OF 25.840. IF THIS IS PROPOSED TO BE THE RIDGE RL 26.915- THE WALL ON THE BOUNDARY WILL BE 1.075m TALLER THAN THE EXISTING !!

THIS DIMENSION IS WIDER THAN THE EXISTING GARAGE

THIS PROPOSED BDRY WALL IS APPROX 1M TALLER THAN THE EXISTING WALL

???  
INCORRECT RL!

RIDGE IS CURRENTLY SOMEWHERE HERE EX RL 26,610 - EXISTING ROOF FALLS TO BOTH SIDES

**1 GARAGE ROOF PLAN**  
1:50

**DEVELOPMENT APPLICATION**

CLIENT:  
SP 7795  
80-82 PACIFIC PARADE  
DEE WHY NSW 2099

**C A GROUP ARCHITECTS**



23 HENDY AVENUE  
COGEE NSW 2034  
PHONE: 0414 474 227  
FAX: 02 9664 7785

RESPONSIBLE ARCHITECT:  
DENNIS KOURITIS, REG No 7493

PROJECT:  
REPLACEMENT OF OLD DOUBLE GARAGE WITH NEW GARAGE AND SLAB

TITLE:  
GARAGE ROOF PLAN

SCALE 1:50	DWG NO 2418
DATE OCTOBER 2024	PROJ NO DA 2200
DRAWN WT	REVISION 1

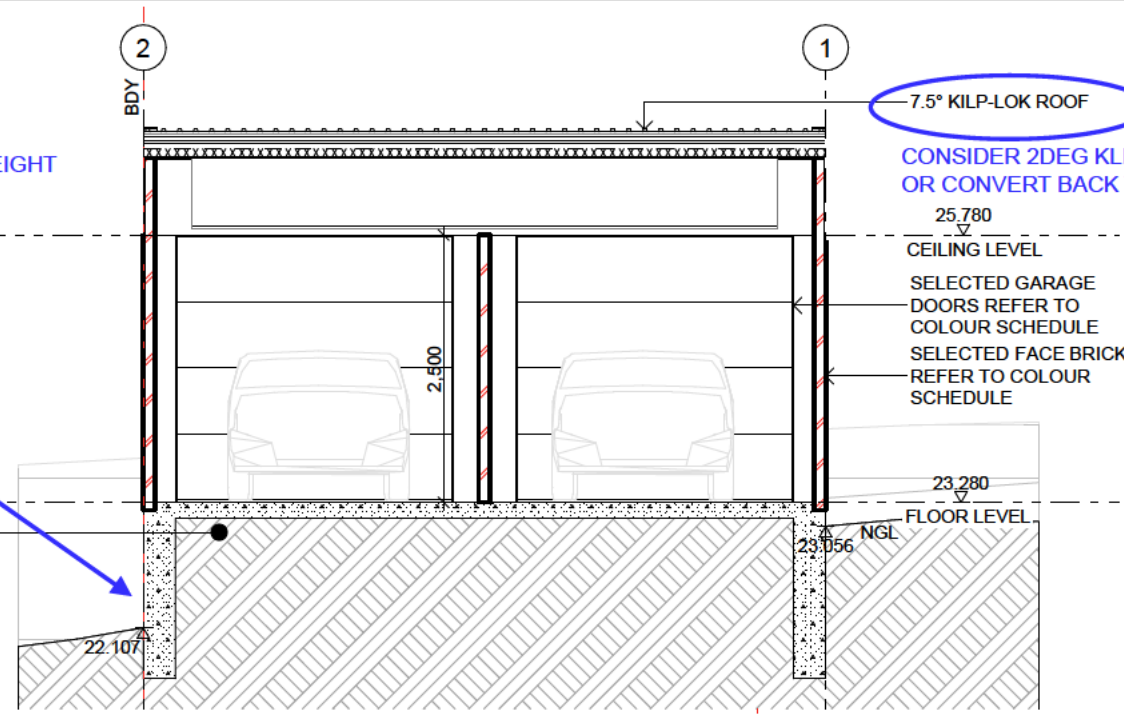


Regulated Design Record				
Project Address: 80-82 PACIFIC PARADE DEE WHY NSW 2099, SP 7795				
Project Title: DEMOLITION OF EXISTING GARAGE WITH LIKE FOR LIKE REPLACEMENT GARAGE AND NEW GARAGE SLAB				
Consent No:		Body Corporate Reg No: N/A		
Drawing Title: 88173000		Drawing No: DA 3200		
Rev	Date	Description	DP Ref name	Reg No
1	18.10.2024	DA APPLICATION	Dimitrios Kouritis	PCP 000000

PROPOSED WALL HEIGHT  
4.8M !  
EXISTING MAX WALL  
HEIGHT IS 4.5M !

EXISTING STEP IN NATURAL  
GROUND LEVEL  
OF APPROX 1100MM  
ALONG BDY TO No 84

EXISTING GROUND LEVEL  
TO BE MAINTAINED  
  
VEGGIE PATCH No 84



7.5° KILP-LOK ROOF

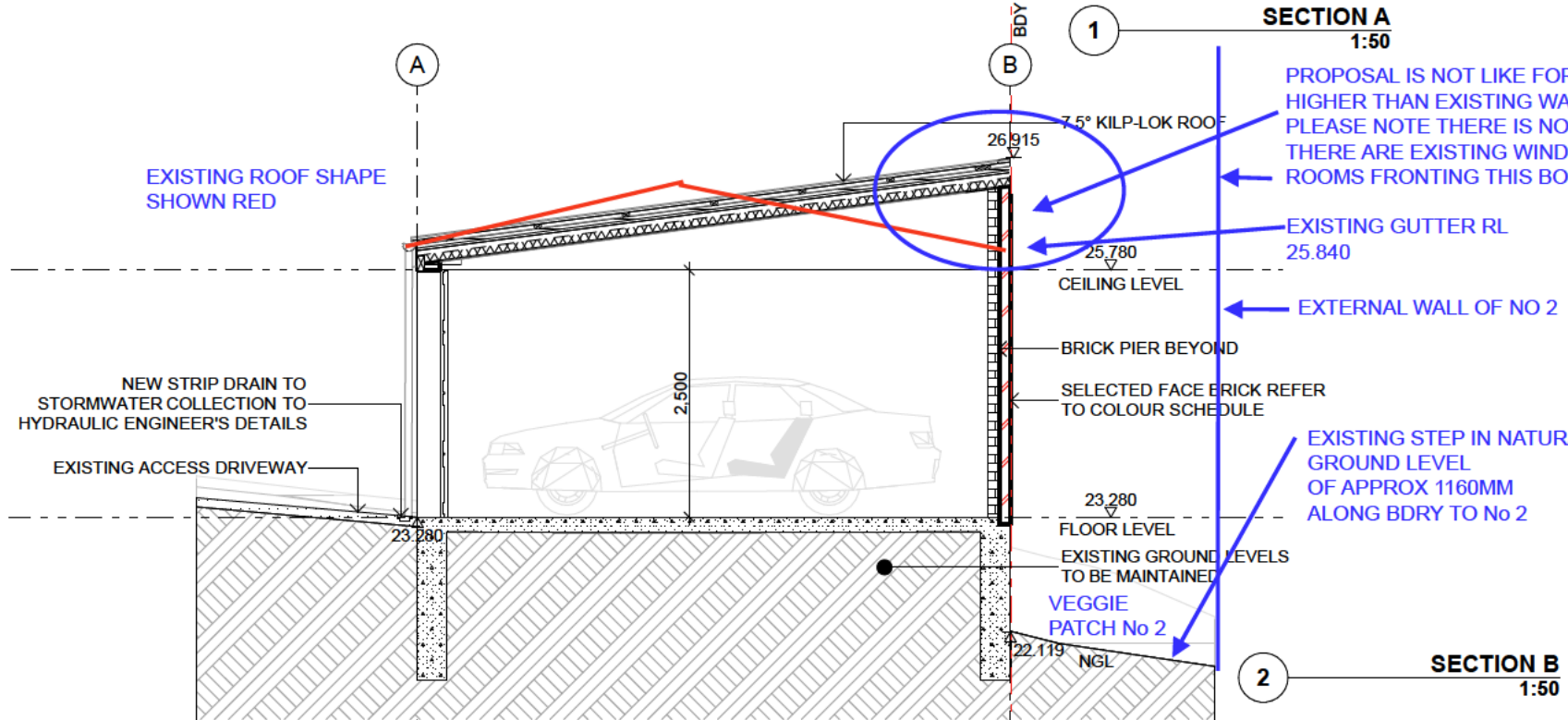
CONSIDER 2DEG KLIP LOK ROOF TO LOWER RIDGE HEIGHT  
OR CONVERT BACK TO GABLE ROOF

25.780  
CEILING LEVEL

SELECTED GARAGE  
DOORS REFER TO  
COLOUR SCHEDULE  
SELECTED FACE BRICK  
REFER TO COLOUR  
SCHEDULE

23.280  
FLOOR LEVEL

SECTION A  
1:50



EXISTING ROOF SHAPE  
SHOWN RED

NEW STRIP DRAIN TO  
STORMWATER COLLECTION TO  
HYDRAULIC ENGINEER'S DETAILS

EXISTING ACCESS DRIVEWAY

PROPOSAL IS NOT LIKE FOR LIKE BUT 1M  
HIGHER THAN EXISTING WALL.  
PLEASE NOTE THERE IS NO SIDE SETBACK AND  
THERE ARE EXISTING WINDOWS TO HABITABLE  
ROOMS FRONTING THIS BOUNDARY WALL

EXISTING GUTTER RL  
25.840

EXTERNAL WALL OF NO 2

EXISTING STEP IN NATURAL  
GROUND LEVEL  
OF APPROX 1160MM  
ALONG BDY TO No 2

SECTION B  
1:50

DEVELOPMENT APPLICATION

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Amendments:

Issue	Amendment	Date
1	DEVELOPMENT APPLICATION	18.10.2024

SP 7795  
80-82 PACIFIC PARADE  
DEE WHY NSW 2099

**C A GROUP  
ARCHITECTS**



23 HENDY AVENUE  
COGEE NSW 2034  
PHONE: 0414 474 227  
FAX: 02 9664 7785

RESPONSIBLE ARCHITECT:  
DENNIS KOURITIS, REG No 7493

PROJECT:  
REPLACEMENT OF OLD DOUBLE  
GARAGE WITH NEW GARAGE AND  
SLAB

SECTIONS

SCALE 1:50	DRAWN WT	DATE OCTOBER 2024	REVISED 1	DWG NO 2418	TITLE DA 3200
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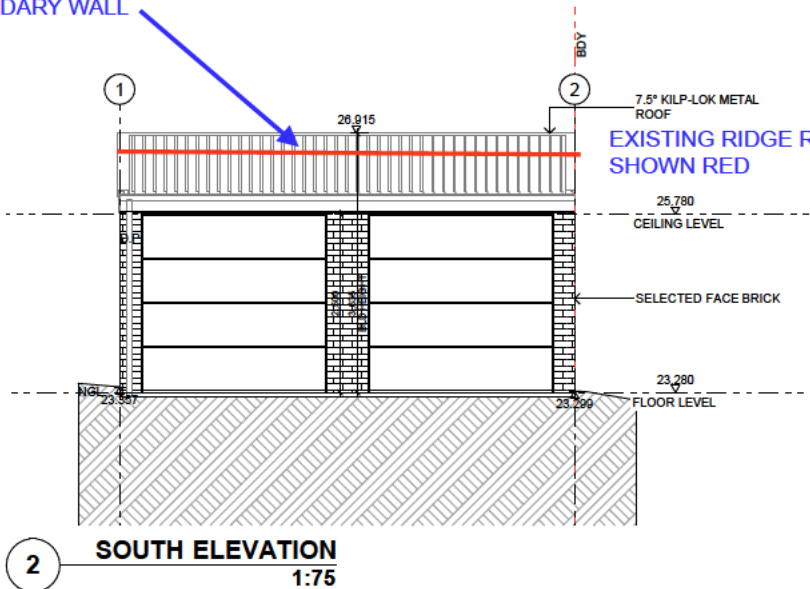
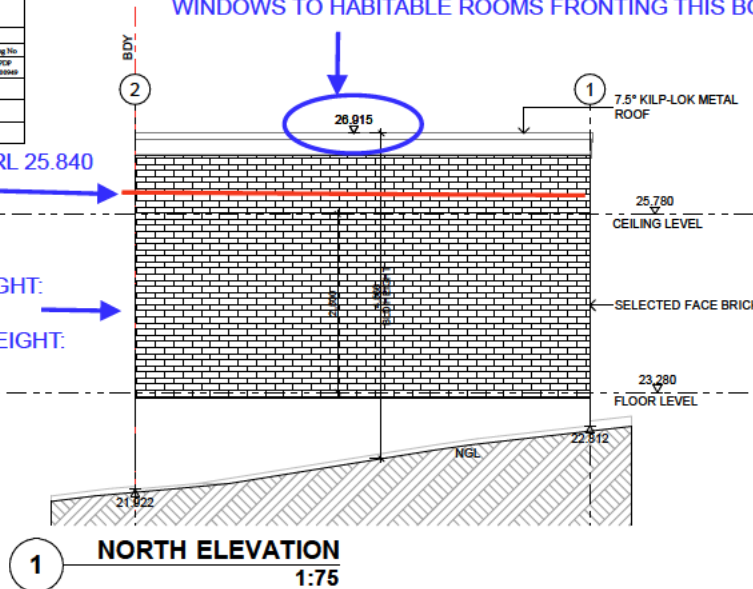
Regulated Design Record				
Project Address: 80-82 PACIFIC PARADE DEE WHY NSW 2099, SP 7795				
Project Title: DEMOLITION OF EXISTING GARAGE WITH LIKE FOR LIKE REPLACEMENT GARAGE AND NEW GARAGE SLAB				
Consent No:		Body Corporate Reg No: N/A		
Drawing Title: ELEVATIONS		Drawing No: DA 4100		
Rev	Date	Description	DP Ref name	Reg No
1	18.10.2024	DA APPLICATION	Dimitrios Kouretis	PCP 0000000

PROPOSAL IS NOT LIKE FOR LIKE BUT 1M HIGHER THAN EXISTING WALL.  
PLEASE NOTE THERE IS NO SIDE SETBACK AND THERE ARE EXISTING  
WINDOWS TO HABITABLE ROOMS FRONTING THIS BOUNDARY WALL

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EXISTING GUTTER RL 25.840  
SHOWN RED

EXISTING WALL HEIGHT:  
3.9M  
PROPOSED WALL HEIGHT:  
5M !

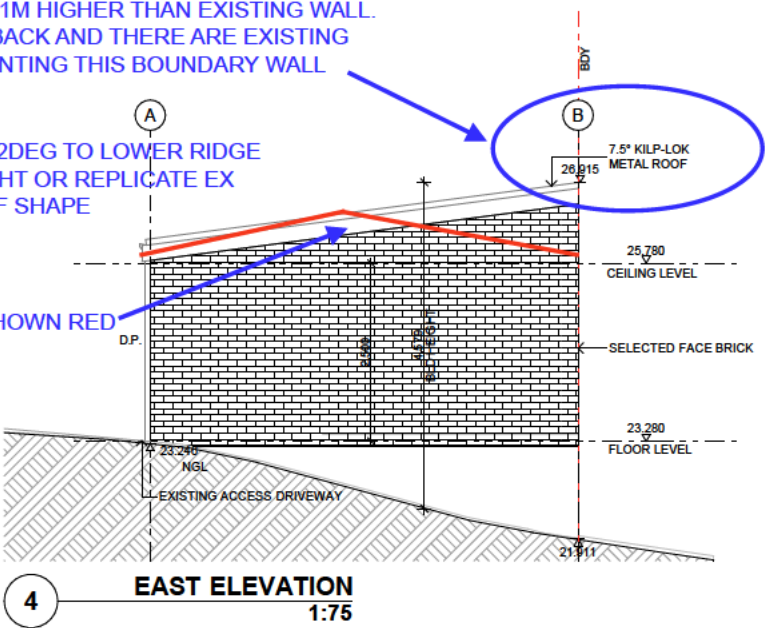
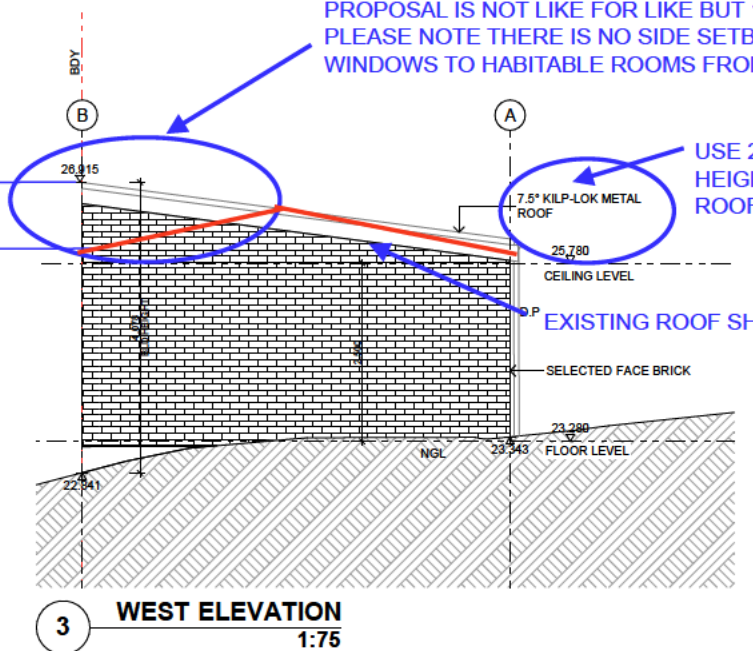


EXISTING RIDGE RL 26.610  
SHOWN RED

PROPOSAL IS NOT LIKE FOR LIKE BUT 1M HIGHER THAN EXISTING WALL.  
PLEASE NOTE THERE IS NO SIDE SETBACK AND THERE ARE EXISTING  
WINDOWS TO HABITABLE ROOMS FRONTING THIS BOUNDARY WALL

1075mm  
HIGHER  
THAN  
EXISTING

USE 2DEG TO LOWER RIDGE  
HEIGHT OR REPLICATE EX  
ROOF SHAPE



Amendments:

Issue	Amendment	Date
1	DEVELOPMENT APPLICATION	18.10.2024

CLIENT:  
SP 7795  
80-82 PACIFIC PARADE  
DEE WHY NSW 2099

**C A GROUP  
ARCHITECTS**



23 HENDY AVENUE  
COGEE NSW 2034  
PHONE: 0414 474 227  
FAX: 02 9664 7785

RESPONSIBLE ARCHITECT:  
DENNIS KOURETIS, REG NO 7493

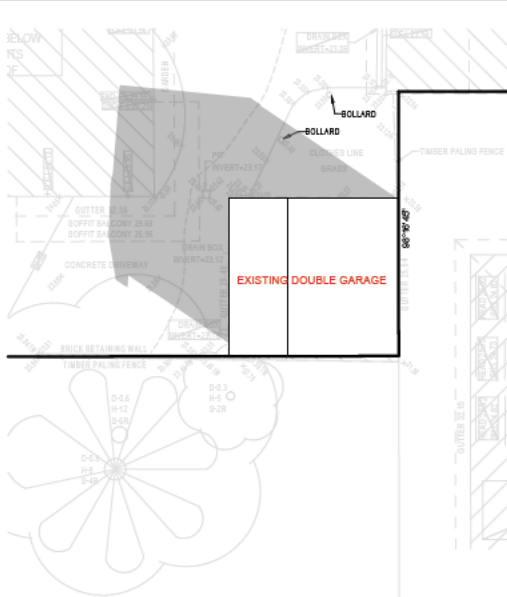
PROJECT:  
REPLACEMENT OF OLD DOUBLE  
GARAGE WITH NEW GARAGE AND  
SLAB

TITLE:  
ELEVATIONS

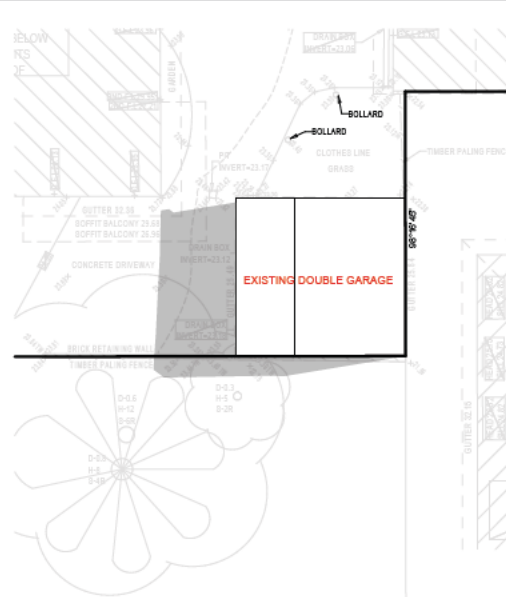
SCALE: 1:75	DRAWN: 2418
DATE: OCTOBER 2024	DESIGNED: DA 4100
DRAWN: WT	REVISION: 1

**DEVELOPMENT APPLICATION**

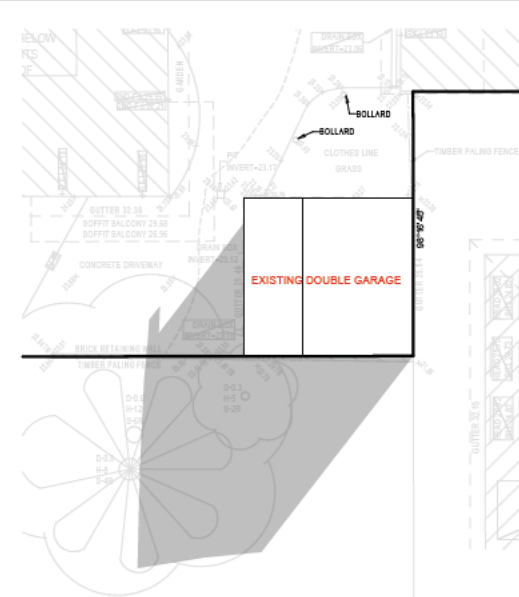
Regulated Design Record				
Project Address: 80-82 PACIFIC PARADE DEE WHY NSW 2099, SP 7795				
Project Title: DEMOLITION OF EXISTING GARAGE WITH LIKE FOR LIKE REPLACEMENT GARAGE AND NEW GARAGE SLAB				
Drawing No: DA5000		Body Corporate Reg No: N/A		
Rev	Date	Description	DIP Ref name	Reg No
1	18.10.2024	DA APPLICATION	Dawkins Kerrie	PCP 060969



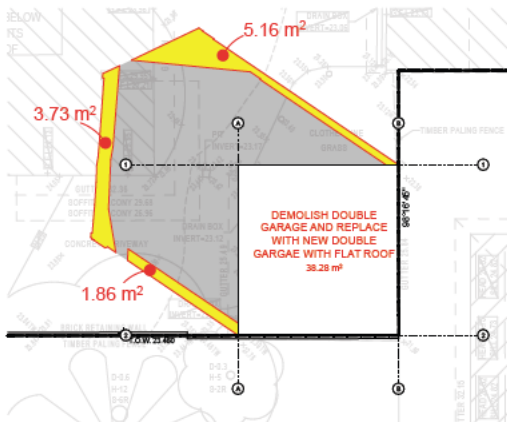
1 EXISTING 9AM 21ST JUNE  
1:200



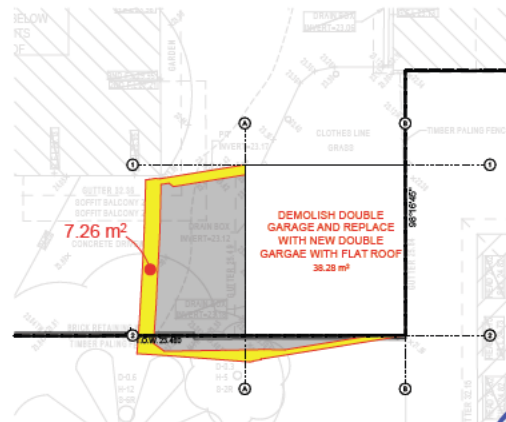
2 EXISTING 12PM 21ST JUNE  
1:200



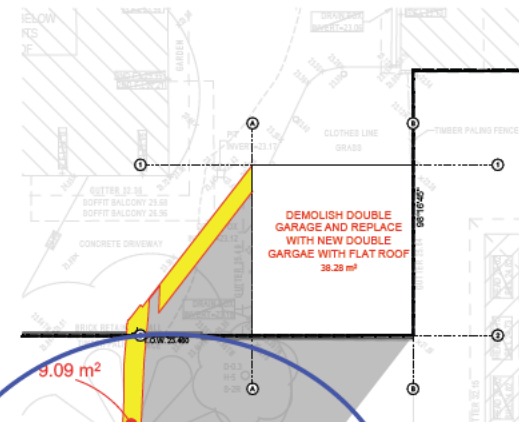
3 EXISTING 3PM 21ST JUNE  
1:200



4 PROPOSED 9AM 21ST JUNE  
1:200

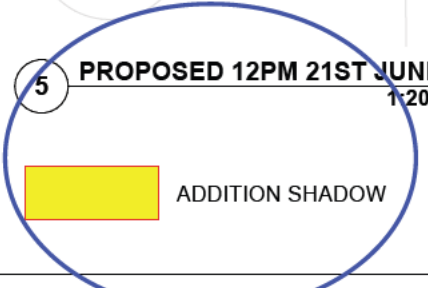


5 PROPOSED 12PM 21ST JUNE  
1:200



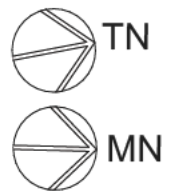
6 PROPOSED 3PM 21ST JUNE  
1:200

IF ITS LIKE FOR LIKE - WHY IS THERE AN ADDITIONAL SHADOW ??????  
PROPOSED ROOF SHOULD NOT BE HIGHER THAN EXISTING



DEVELOPMENT APPLICATION

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Amendments:

Issue	Amendment	Date
1	DEVELOPMENT APPLICATION	18 10 2024

CLIENT:  
SP 7795  
80-82 PACIFIC PARADE  
DEE WHY NSW 2099

C A GROUP  
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PROJECT:  
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GARAGE WITH NEW GARAGE AND  
SLAB

TITLE:  
SHADOW DIAGRAM

SCALE: 1:200	DWG NO: 2418
DATE: OCTOBER 2024	PROJ NO: DA 5000
DRAWN: WT	REVISION: 1

## 6. Warringah Development Control Plan 2011

The following specific development controls apply to the development site and the proposed alterations and additions to an existing residential flat building development.

Warringah Development Control Plan 2011			
Clause	Required	Provided	Complies
<b>Part B: Built Form Controls</b>			
<b>B1 Wall Heights</b>			
	Does not apply to R3 zoned land.	N/A	N/A
<b>B2 Number of Storeys</b>			
	Max. number of storeys - 3 storeys	Single storey proposed	Yes
<b>B3 Side Boundary Envelope</b>			
1.	Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of: • 4 metres, or • 5 metres as identified on the map.	A side boundary envelope of 5 metres applies to the site. As the proposed garage is only 3.635m in height, the structure complies.	Yes
2.	On land within the R3 Medium Density Residential zone, above and below ground structures and private open space, carparking, vehicle access ramps, balconies, terraces, and the like shall not encroach the side boundary envelope.	Noted	<p>THE PROPOSED WALL HEIGHT ALONG BDRY No 2 IS 5.025 m AND ALONG BDRY No 84 4.5m DUE TO THE NATURAL STEP IN TERRAIN . THE BOUNDARY WALL IS APPROX 1 M HIGHER THAN THE EXISTING STRUCTURE ! PLEASE REPLACE AND REBUILD TO MATCH EXISTING DIMENSIONS + HEIGHTS.</p> <p>WE UNDERSTAND THE DEVELOPMENT CANNOT COMPLY WITH CURRENT SIDE SETBACK AND SIDE BOUNDARY ENVELOPE REGULATIONS DUE TO ITS EXISTING LOCATION, BUT SHOULD BE ASSESSED ON MERIT - AS LONG AS IT STICKS TO THE EXISTING HEIGHTS AND EXTENTS - WHICH IS UNFORTUNATELY NOT THE CASE WITH THE CURRENT PROPOSAL.</p>
<b>B4 Site Coverage</b>			
	The site is not identified on the DCP Map Site Coverage.	N/A	N/A
<b>B5 Side Boundary Setbacks</b>			
1.	Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries as shown on the map.		

	<ul style="list-style-type: none"> <li>Variations will be considered for existing narrow width allotments, where compliance is unreasonable in the context of surrounding medium density development for basement carparking and private open space.</li> <li>Basement car parking may extend:                     <ul style="list-style-type: none"> <li>Up to 2 metres from the side boundary, and</li> <li>No more than 1 metre above ground level (existing)</li> </ul> </li> <li>Private open space may extend:                     <ul style="list-style-type: none"> <li>Up to 3.5 metres from a side boundary</li> </ul> </li> </ul>	<p>N/A</p> <p>N/A</p> <p>N/A</p>	<p>DCP SIDE BOUNDARY SETBACK FOR THE SUBJECT SITE IS 4.5m WHICH IN THIS CASE IS NOT ACHIEVABLE. WE UNDERSTAND THAT THE OWNERS OF THE SUBJECT SITE ARE SEEKING A MERIT ASSESSMENT TO BE ABLE TO REBUILT THE GARAGE AT THE SAME LOCATION WITH ZERO SETBACKS AT BOTH BOUNDARIES. HOWEVER TO AVOID ANY NEGATIVE IMPACT ON THE AMENITIES OF THE NEIGHBOURS THIS REPLACEMENT NEEDS BE OF SAME SIZE AND HEIGHT AS THE EXISTING STRUCTURE. HOWEVER THE PROPOSAL IN ITS CURRENT FORM IS TALLER AND WIDER THAN THE EXISTING STRUCTURE AND WILL AFFECT THE NEIGHBOURS.</p>
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<b>B6 Merit Assessment of Side Boundary Setbacks</b>	
<p>1.</p> <p>2.</p>	<p>Side boundary setbacks will be determined on a merit basis and will have regard to:</p> <ul style="list-style-type: none"> <li>streetscape;</li> <li>amenity of surrounding properties; and</li> <li>setbacks of neighbouring development</li> </ul> <p>Generally, side boundary setback areas are to be landscaped and free of any above or below ground structures, car parking or site facilities other than driveways and fences.</p> <p><b>Comments</b></p> <p>As noted above, the existing garage was approved with zero setbacks to both side boundaries. In this regard, there is no further impact from the new structure as that which currently exists. It is also noted that the new garage is single storey in height and is located internally to the site and is therefore not viewed from the public domain...but viewed from the neighbours who live here 24/7 !</p> <p>The siting of the garage on the boundaries will not cause any further impact to neighbouring properties, given that the proposal is just a replacement of the existing garage...IF IT IS JUST A REPLACEMENT , THEN PLEASE REPLACE IT LIKE FOR LIKE - same height same size !              THANK YOU !</p>

<b>C8 Demolition and Construction</b>			
1.	All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the <u>Waste</u> Management Guidelines and all relevant Development Applications must be accompanied by a <u>Waste Management Plan</u> .	A Waste Management Plan will accompany the DA.	Yes
<b>C9 Waste Management</b>			
1.	All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the <u>Waste</u> Management Guidelines and all relevant Development Applications must be accompanied by a <u>Waste Management Plan</u> .	A Waste Management Plan will accompany the DA.  INCORRECT. THE PROPOSAL DOES NOT MAINTAIN THE HEIGHT OF THE EXISTING GARAGE BUT INCREASES THE BUILDING HEIGHT BY OVER 1M AT THE BOUNDARY TO No 2 AND BY MIN 300mm TOWARDS BDRY TO No 84!	Yes
<b>Part D Design</b>			
<b>D6 Access to Sunlight</b>			
1.	Development should avoid unreasonable overshadowing any public open space.	The proposed garage maintains the height of the existing garage and does not result in any overshadowing that would restrict direct sunlight to adjoining living and POS areas.  THE PROPOSED DEVELOPMENT WILL CAST ADDITIONAL SHADOW ON THE VEGGIE PATCH OF No 84. IT SHOULD ADHERE TO THE EXISTING HEIGHT !	Yes
2.	At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.		
<b>D7 Views</b>			
1.	Development shall provide for the reasonable sharing of views.	The proposed location and height of the garage structure does not impede any existing view corridors.	Yes INCORRECT - AN INCREASE OF 1M HEIGHT AT THE BOUNDARY WALL WILL HAVE AN IMPACT ON VIEWS OF NEIGHBOUR 2 AVON ROAD.
<b>D8 Privacy</b>			
1.	Building layout should be designed to optimise privacy for occupants of the development and occupants of adjoining properties.	It is considered that the proposed garage structure will not result in any adverse impacts to visual or acoustic privacy.	Yes

2.	Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking.		
3.	The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass.		
4.	The windows of one dwelling are to be located so they do not provide direct or close views (ie from less than 9 metres away) into the windows of other dwellings.		
5.	Planter boxes, louvre screens, pergolas, balcony design and the like are to be used to screen a minimum of 50% of the principal private open space of a lower apartment from overlooking from an upper apartment.		

**D9 Building Bulk**

1.	Side and rear setbacks are to be progressively increased as wall height increases.	As noted above, a zero setback is proposed for the single storey garage structure.	Considered satisfactory in this instance.
2.	Large areas of continuous wall planes are to be avoided by varying building setbacks and using appropriate techniques to provide visual relief.	The design of the garage is the same as the existing garage structure.	Yes
3.	On sloping land, the height and bulk of development (particularly on the downhill side) is to be minimised, and the need for cut and fill reduced by designs which minimise the building footprint and allow the building mass to step down the slope. In particular:	N/A THEN IT NEEDS TO BE SAME SIZE AND HEIGHT AS EXISTING STRUCTURE. THE PROPOSAL AS IT IS IS NOT THE SAME AS THE EXISTING. ROOF HEIGHT ( OR SHAPE AND HEIGHT) WILL NEED TO BE AMENDED TO MATCH EXISTING.	N/A

	<ul style="list-style-type: none"> <li>The amount of fill is not to exceed one metre in depth.</li> <li>Fill is not to spread beyond the footprint of the building.</li> <li>Excavation of the landform is to be minimised.</li> </ul>	<p>HOWEVER THE PROPOSED ROOF RIDGE IS 300mm HIGHER THAN EXISTING AND THE BDRY WALL TO No 2 IS OVER 1m TALLER !!!                  DUE TO THE SLOPING TOPOGRAPHY OF THE SITE AND ITS LOCATION RIGHT AT THE SITE BDRY THIS WALL WILL APPEAR EVEN MORE IMPOSING</p>	
4.	Building height and scale needs to relate to topography and site conditions.	The height of the proposed garage is single storey, which is consistent with the existing garage structures and is considered suitable for the existing site conditions. ?	Yes
5.	Orientate development to address the street.	N/A	
6.	Use colour, materials and surface treatment to reduce building bulk.	Colours and materials will match the existing garages.	Yes
7.	Landscape plantings are to be provided to reduce the visual bulk of new building and works.	N/A	N/A
8.	Articulate walls to reduce building mass.	The rectangular nature of the garage is suitable for its intended purpose.	Considered satisfactory.
<b>D10 Building Colours and Materials</b>			
1.	In highly visible areas, the visual impact of new development (including any structures required to retain land) is to be minimized through the use of appropriate colours and materials and landscaping.	The location is not highly visible.	N/A
2.	The colours and materials of development on sites adjoining, or in close proximity to, <u>bushland</u> areas, waterways or the beach must blend in to the natural landscape.	<p>N/A</p> <p>... APART FOR THE 12 + FAMILIES THAT LIVE DIRECTLY BEHIND IT IN PROPERTIES No 2 + No 84 !</p> <p>THE NEIGHBOURS HAD AGREED TO REPLACING THE GARAGE LIKE FOR LIKE - WITHOUT ANY INCREASE IN SIZE NOR HEIGHT !                  BTW IT IS VISIBLE !!!!</p>	N/A



3.	The colours and materials used for <u>alterations and additions</u> to an existing structure shall complement the existing external building façade.	The proposed colours and materials will match the existing garages.	Yes
<b>D11 Roofs</b>			
1.	Lift overruns, plant and other mechanical equipment are not to detract from the appearance of roofs.	N/A	N/A
2.	Roofs should complement the roof pitch and forms of the existing buildings in the streetscape.	A simple skillion roof is proposed which incorporates a pitch consistent with the other garages on the site.	Yes
3.	Articulate the roof with elements such as dormers, gables, balconies, verandahs and pergolas.	N/A	N/A
4.	Roofs shall incorporate eaves for shading.	N/A	N/A
5.	Roofing materials should not cause excessive glare and reflection.	The proposed roof colour will not cause glare.	Yes
6.	Service equipment, lift overruns, plant and other mechanical equipment on the roof shall be minimised by integrating as many services, etc as possible into the building.	N/A	N/A
<b>Part E: The Natural Environment</b>			
<b>E1 Preservation of Trees or Bushland Vegetation</b>			
1.	Authority to clear a tree or other vegetation is regulated in this plan in accordance with State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 i.e. 'Vegetation SEPP'. In particular, Part 2 of the Vegetation SEPP sets out the authority to clear vegetation and Part 3 provides for Council to	The proposal does not involve the removal of any vegetation.	N/A
		HOWEVER CONSTRUCTION WORK WILL DESTROY EXISTING PLANTING IN RAISED PLANTER @ 2 AVON ROAD AND IMPACT EX VEGGIE PATCH ON @ 84 PACIFIC PDE	