

Development Application for
Primary & Secondary Dwellings



at:
2033 PITTWATER ROAD
BAYVIEW NSW 2104

for:
MR PAUL OPPEDISANO

date:
8 AUGUST 2019


issue:
A.

Drawing No:	Drawing Title:	Issue:
DA-1000	COVER SHEET	A.
DA-1001	SITE ANALYSIS PLAN	A.
DA-1002	SITE PLAN	A.
DA-1010	DEMOLITION PLAN	A.
DA-1201	UPPER & LOWER GROUND FLOOR PLANS	A.
DA-1202	FIRST FLOOR & ROOF PLANS	A.
DA-1301	SECTIONS A & B	A.
DA-1310	DRIVEWAY SECTION	A.
DA-1401	NORTH-EAST & SOUTH-WEST ELEVATIONS	A.
DA-1402	SOUTH-EAST & NORTH-WEST ELEVATIONS	A.
DA-1501	DEVELOPMENT SUMMARY	A.
DA-1601	SHADOW DIAGRAMS	A.
DA-1801	EXCAVATION & FILL PLAN	A.
DA-1810	EROSION & SEDIMENT CONTROL PLAN	A.
DA-2001	PHOTOMONTAGE	A.

BASIX COMMITMENTS SUMMERY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE)				
Assessor # BDAV/13/1521 BASIX Certificate # 1026920M Assessor's Certificate # 15212435				
Assessor's name: Ved Baheti m: 0421 530 876 e: ved@outsourceideas.com.au				
WATER	No hot water reticulation required			
Fixtures	All shower heads	All toilets	All kitchen taps	All bathrooms taps
Rating	4 Star(>4.5 But<=6L/Min)	4 star	5 star	5 star
Alternate water source				
Rain Water Tank	Type	Size	Roof area connected	Connections
	Individual RWT	2000L	80 m2	Landscape only
Swimming pool		Outdoors: Individual		
	Volume	Heated	Cover	Shaded

ENERGY				
Hot water	Type	Rating		
	Individual, gas instantaneous		6 star	
Mech. Ventilation	System		Operation Control	
Bath	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
L'dry	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Kitchen	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Cooling System	Type	Living areas	Bed rooms	
	1-phase airconditioning/ zoned		EER 3.0 - 3.5	EER 3.0 - 3.5
Heating System	Type	Living areas	Bed rooms	
	1-phase airconditioning/ zoned		EER 3.0 - 3.5	EER 3.0 - 3.5
Alternate Energy	min 1 kw peak solar panel			
Artificial Lighting	Primary type of artificial lighting is fluorescent or light emitting diode (LED)			
Dedicated	Toilets, L'dry & Hallway	Living	Kitchen	Bed rooms
	Yes	Yes	Yes	Yes
Others	Indoor private Cloth Line		No	
	Outdoor or sheltered Cloth Line		Yes	
	Well ventilated Fridge space		No	
	Kitchen Cook top / Oven		Gas Cook top + Electric Oven	
THERMAL	As per thermal simulation carried out by assessor			

Assessor # BDAV/13/1521 Assessor's Cert # 15212435			
Thermal Load & NatHERS Spec			
Unit no.	Heating load MJ/m2/yr	Cooling load MJ/m2/yr	Star Rating
House	38	20	5.3
Sec Dwelling	35	22	5.6
Total	73	42	10.9
Average	36.5	21	5.4
Ceiling Insulation: R2.5			
External wall Insulation: R2.0			
Roof type / colour (Hebel Powerfloor + concrete topping slab + pebble surface) , medium colour, SA (0.475 -0.7)			
External Glazing: ALM-002-01 A: Aluminium B SG Clear U=6.7 SHGC= 0.7			
All External door & window to be weather sealed			
Exhaust fans / Downlights to be sealed (if any)			
Eaves / shading as per drawings			

**Energy Rating**

Certificate Number _15212435

☐ single-dwelling rating


☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

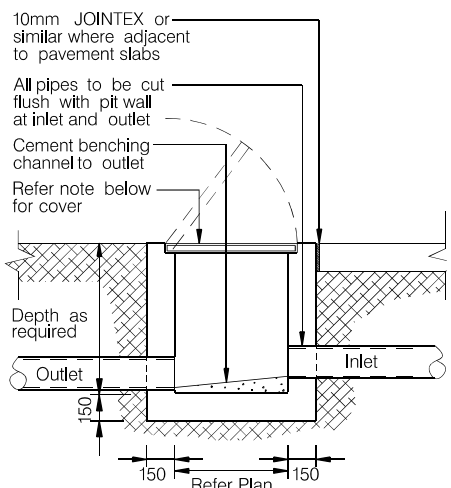
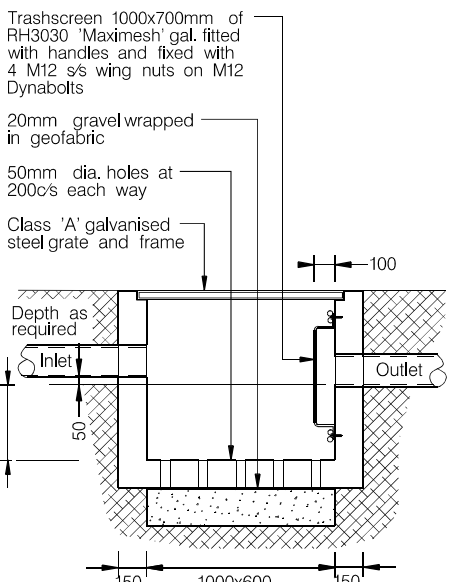
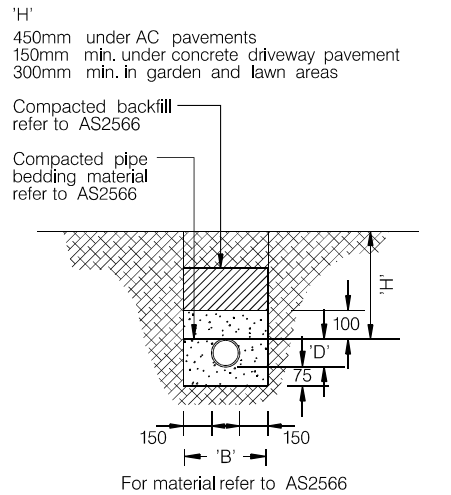
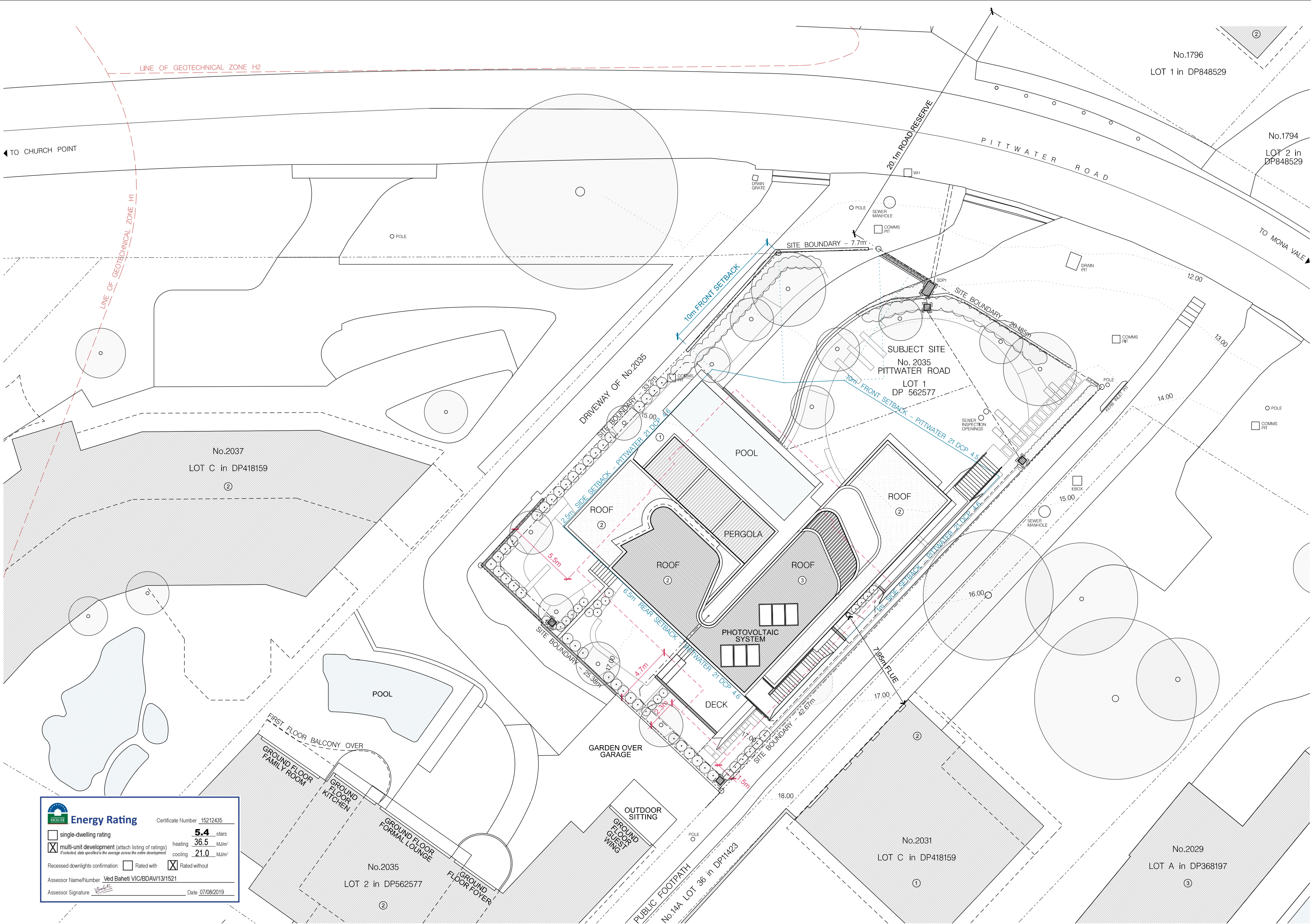
heating **36.5** MJ/m²

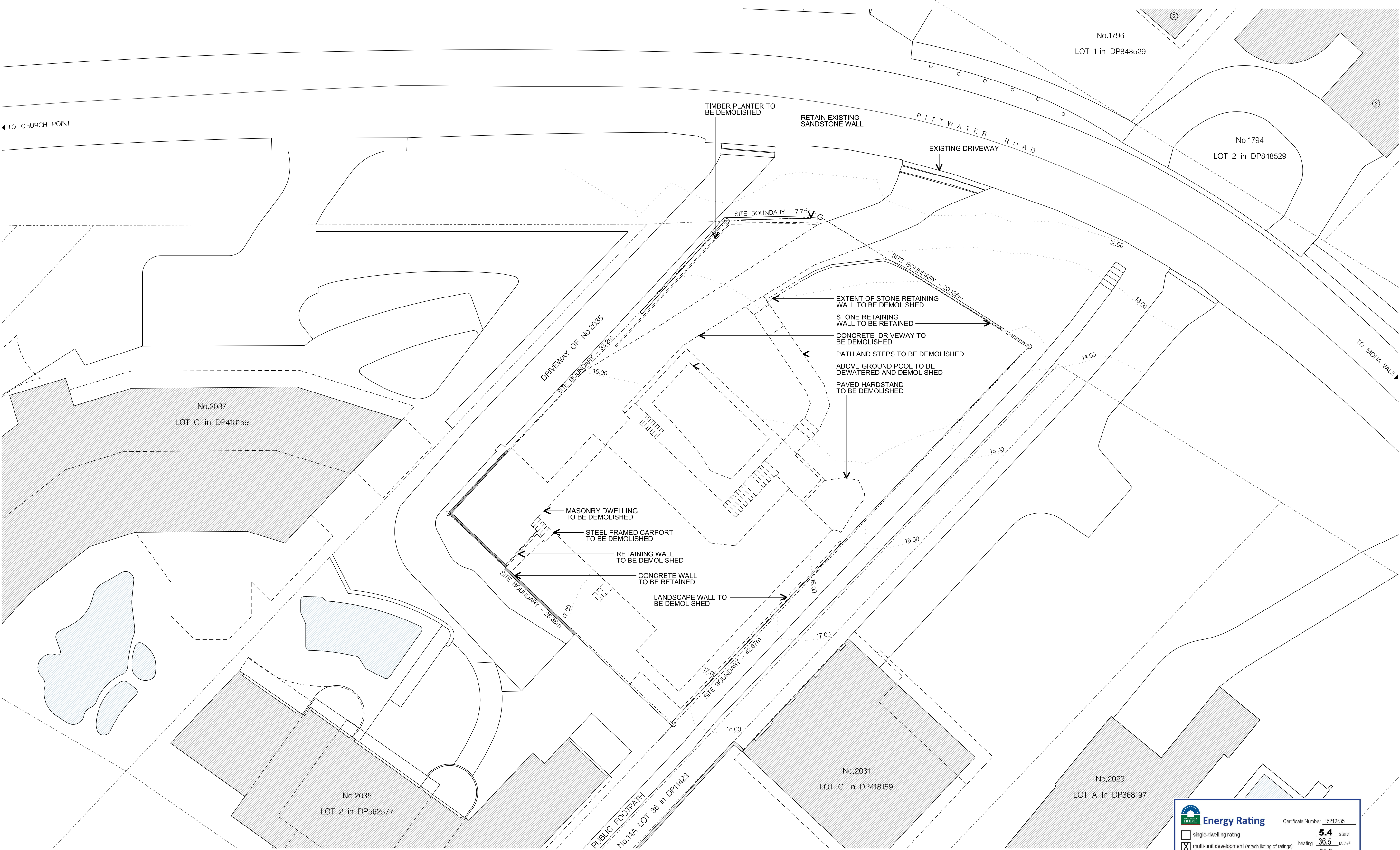
cooling **21.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without


Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature  Date 07/08/2019





01 DEMOLITION PLAN
1:200

**Energy Rating**

Certificate Number 15212435


☐ single-dwelling rating

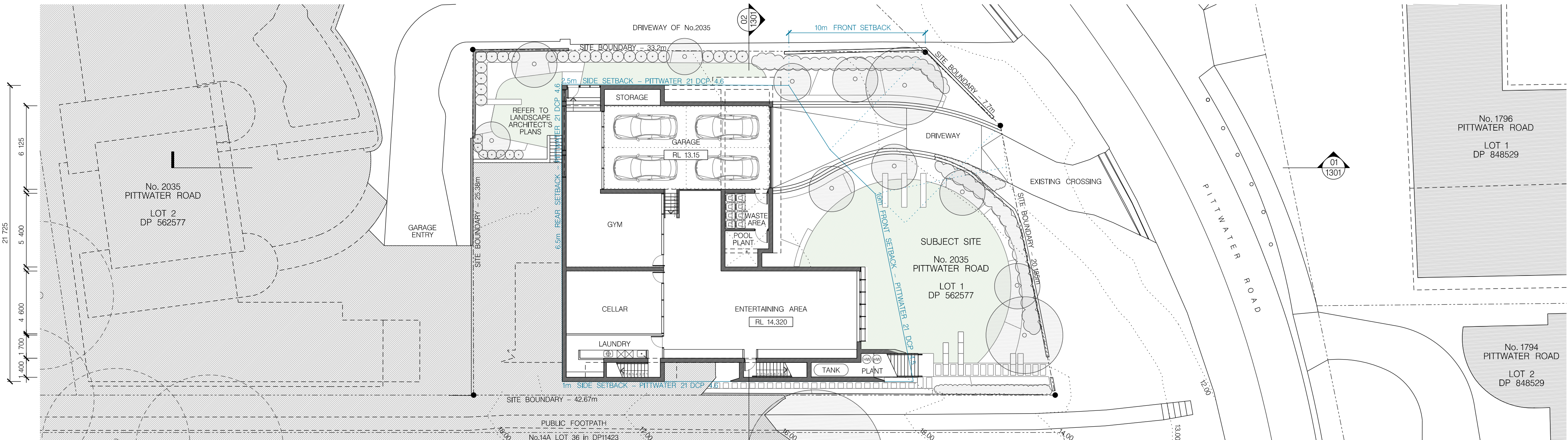
☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating **5.4** stars
cooling **36.5** MJ/m²
21.0 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

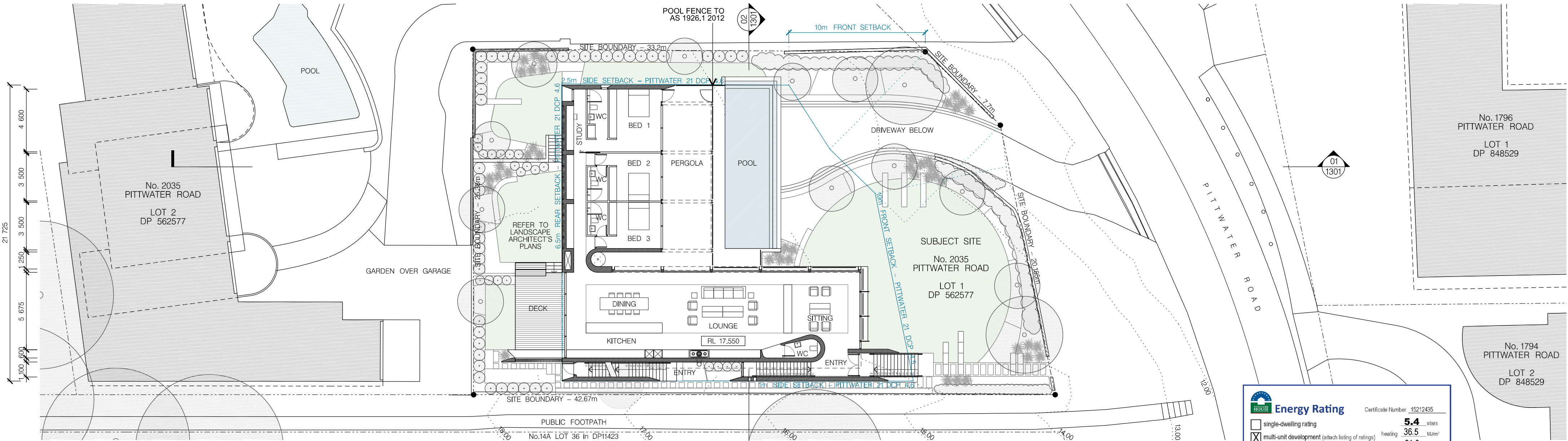
Assessor Name/Number Ved Baheti VIC/BD4V13/1521

Assessor Signature  Date 07/08/2019



02 LOWER GROUND FLOOR PLAN

1:200



01 UPPER GROUND FLOOR PLAN

1:200

Energy Rating Certificate Number 15212435

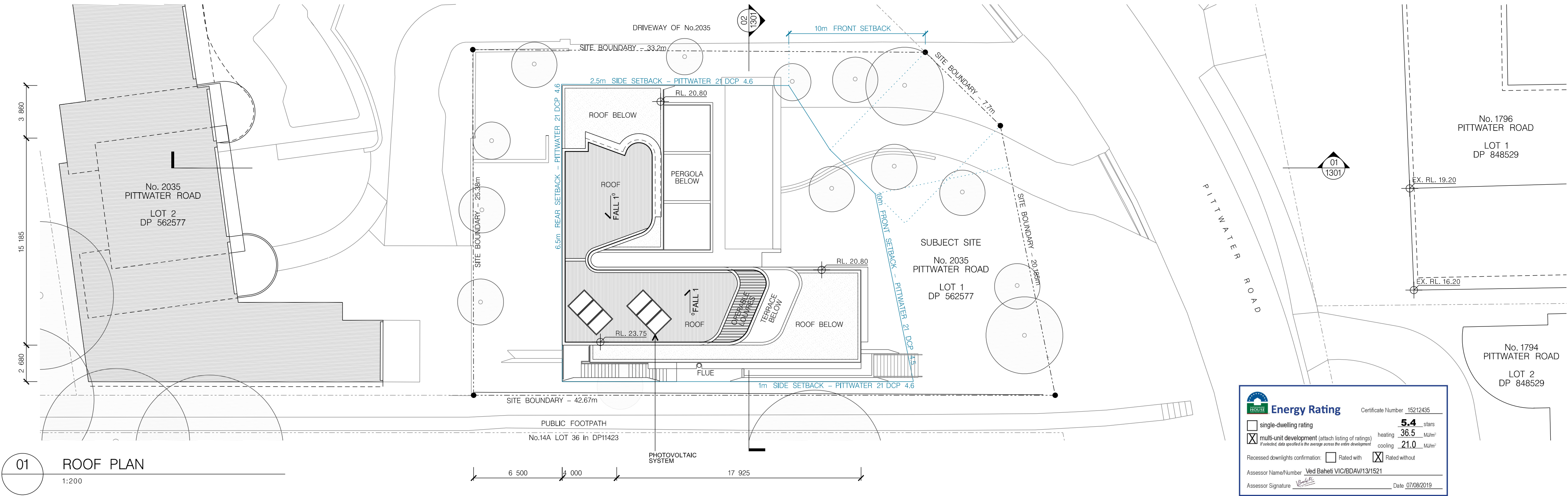
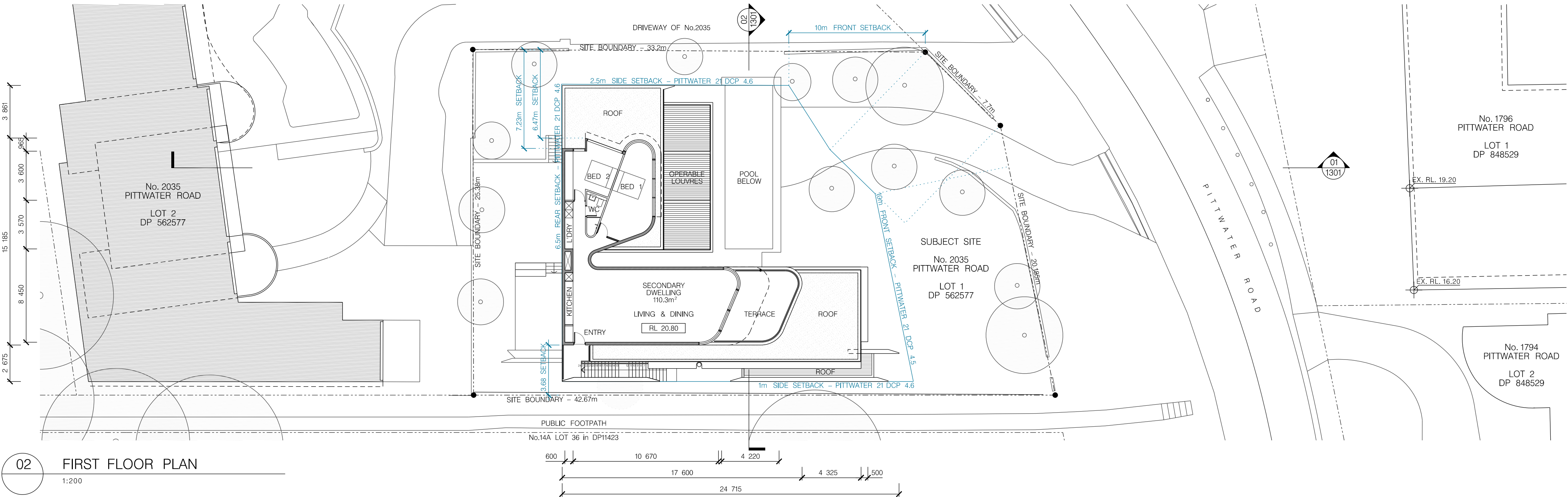
☐ single-dwelling rating **5.4** stars

☒ multi-unit development (attach listing of ratings) heating **36.5** MJ/m² cooling **21.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDV131521

Assessor Signature *Ved Baheti* Date 07/08/2019



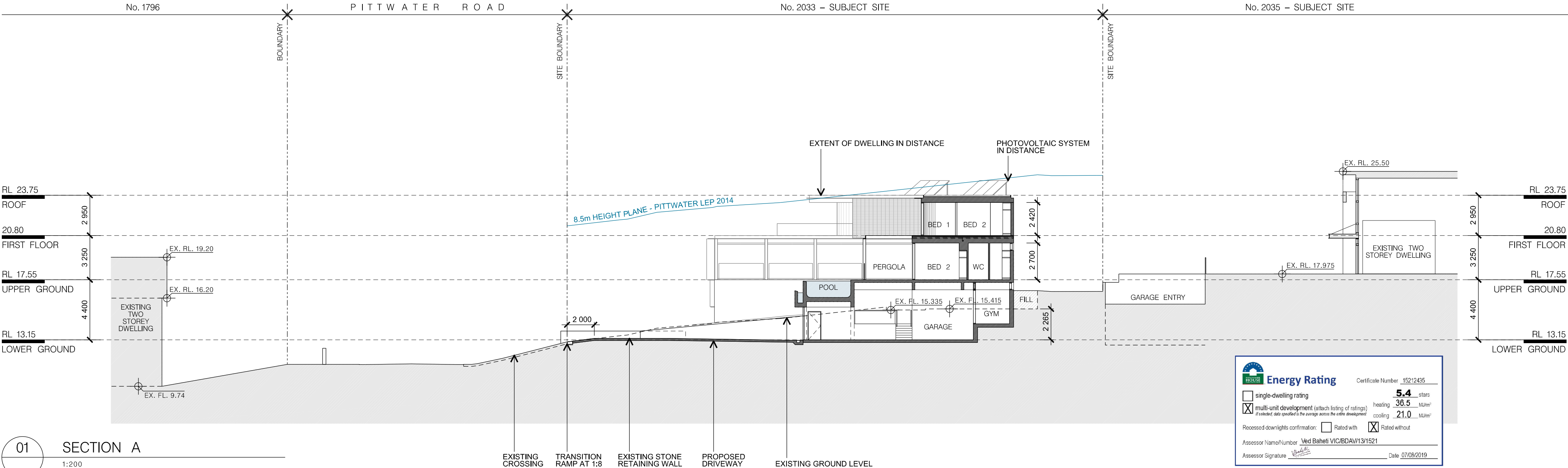
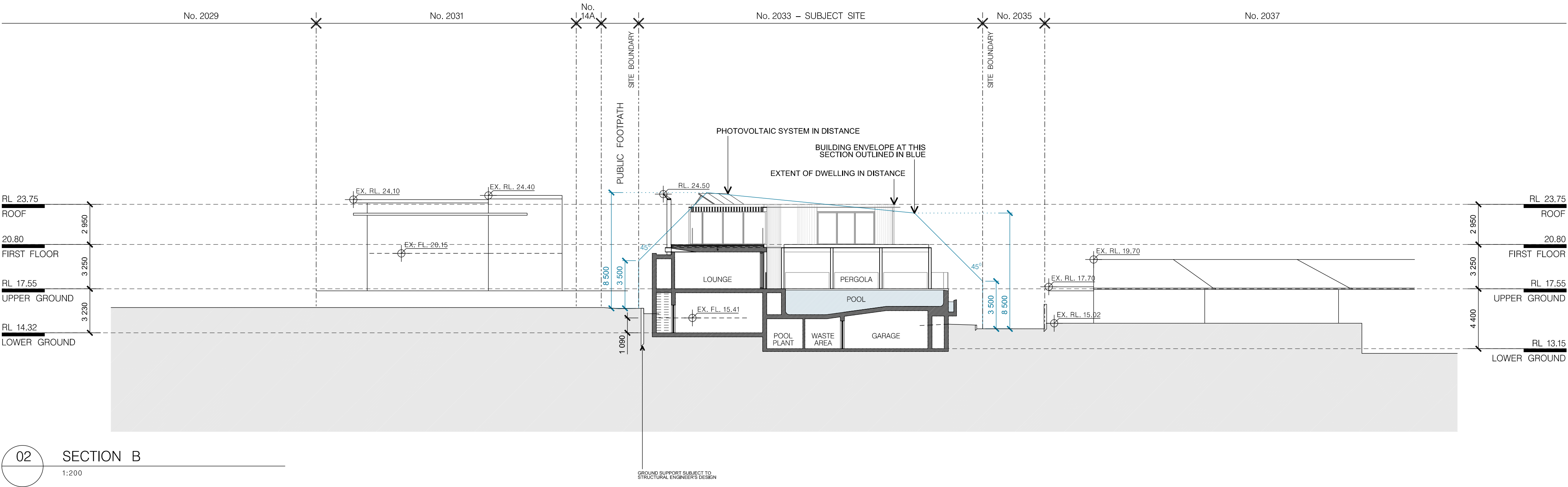
Energy Rating Certificate Number 15212435

☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating **5.4** stars
cooling **36.5** MJ/m²
cooling **21.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BD4V/13/1521
Assessor Signature *Ved Baheti* Date 07/08/2019



Energy Rating Certificate Number 15212435

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

heating **5.4** stars

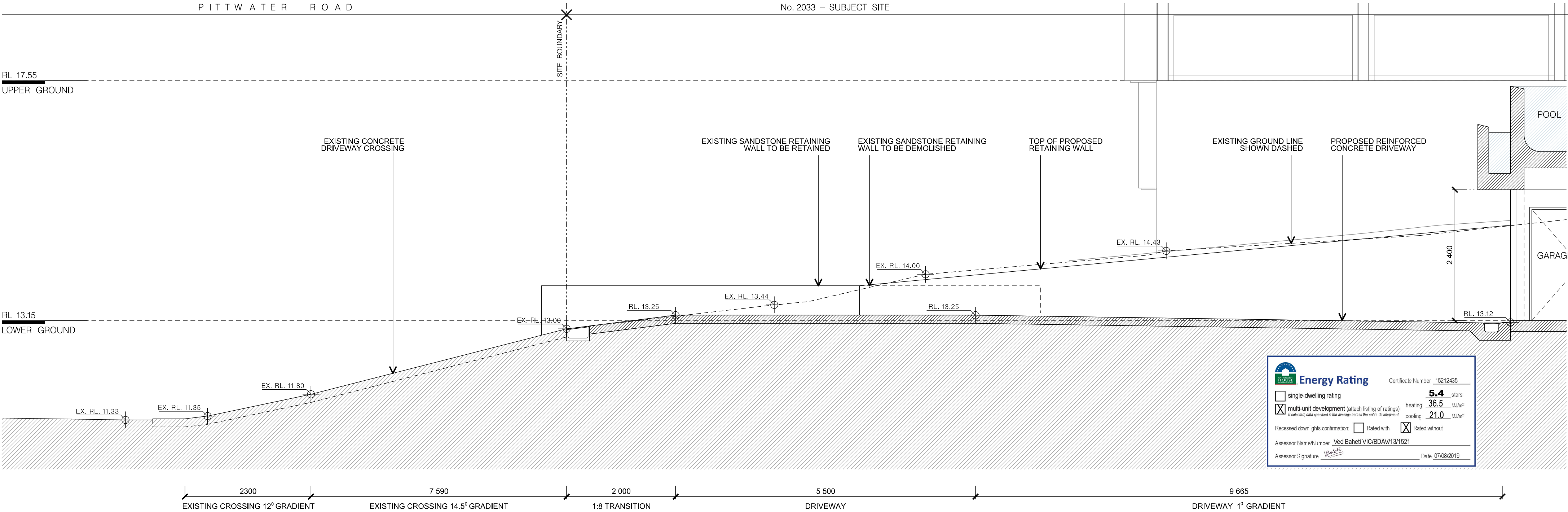
cooling **36.5** MJ/m²


cooling **21.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDVA/13/1521

Assessor Signature *Ved Baheti* Date 07/08/2019



**Energy Rating**

Certificate Number 15212435

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development


heating **5.4** stars

cooling **36.5** MJ/m²

cooling **21.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDV/13/1521

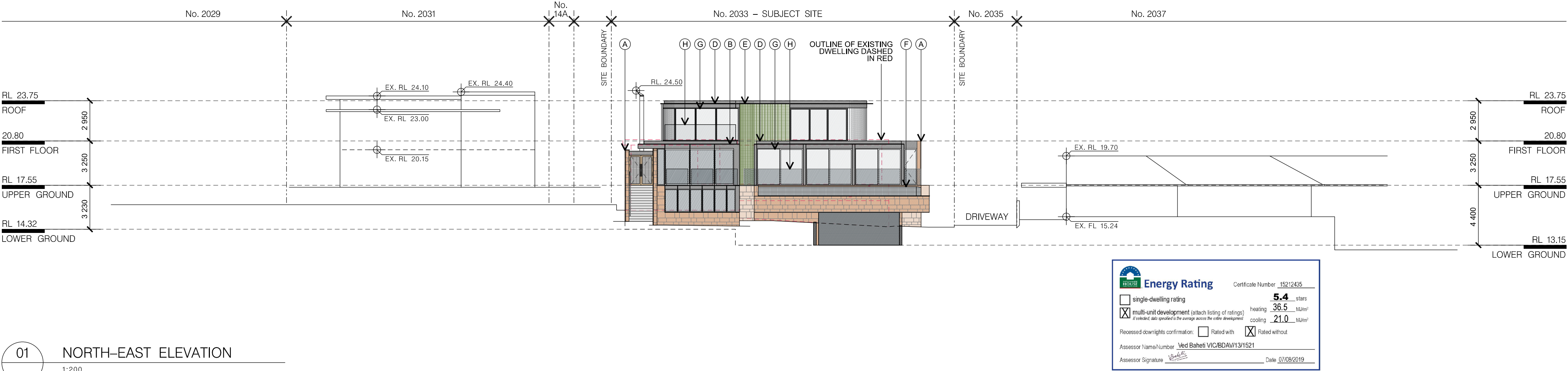
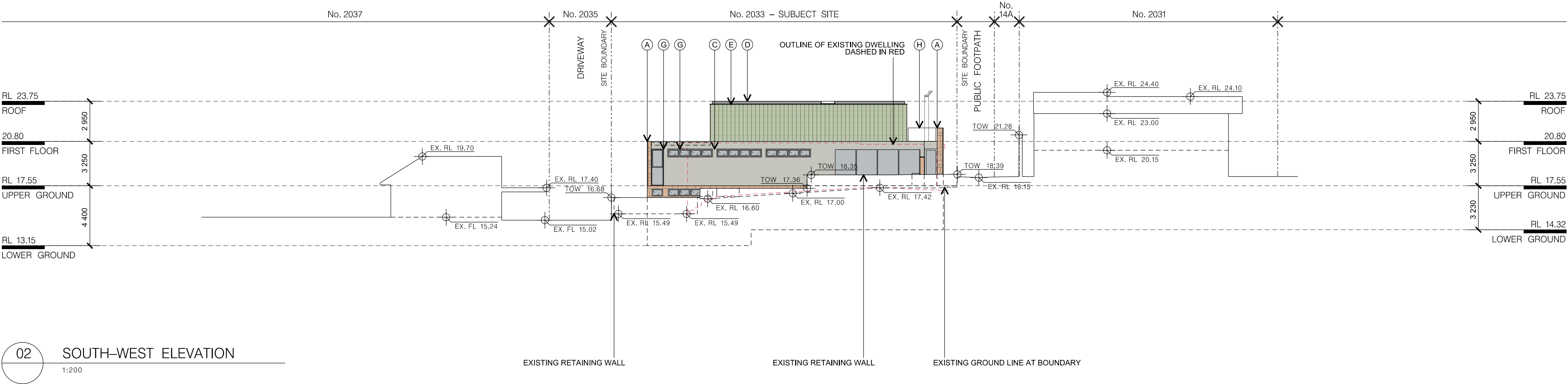
Assessor Signature  Date 07/08/2019

01

DRIVEWAY SECTION

1:50

Prepared by: Aaron Vumbaca Pty Ltd ABN 51 169 733 902 ACN 169 733 902 GPO Box 1360 Sydney NSW 2001 info@vumbaca.com.au www.vumbaca.com.au 0415 508 110		Key:	Drawing Notes:	Project Notes: 1. NOT FOR CONSTRUCTION - DA PURPOSES ONLY 2. THIS DOCUMENT IS THE PROPERTY OF AARON VUMBACA PTY LTD. THIS DRAWING SHALL ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED. THE UNAUTHORISED USE AND REPRODUCTION OF THIS DRAWING IS PROHIBITED. 3. THIS DA DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL PROJECT CONSULTANT INFORMATION. © COPYRIGHT	Project: OPPEDISANO RESIDENCE Project Address: 2033 PITTWATER ROAD BAYVIEW NSW 2104 Applicant: MR P. OPPEDISANO	Plan No.: DA-1310 Date: 8.8.2019	Drawing Title: DRIVEWAY SECTION Scale: 1:50 Issue: A. Size: A2 <div>00.5122.5m</div>
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Energy Rating Certificate Number 15212435

☐ single-dwelling rating **5.4** stars

☒ multi-unit development (attach listing of ratings) heating **36.5** MJ/m² cooling **21.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAN/13/1521

Assessor Signature *Ved Baheti* Date 07/08/2019

SCHEDULE OF MATERIALS

A SANDSTONE CLADDING	B OFF FORM CONCRETE	C RENDERED MASONRY	D PAINTED STEELWORK	E GLAZED GREEN WALL TILES	F GLAZED POOL TILES	G ALUMINIUM FRAMED GLAZING	H FRAMELESS GLASS BALUSTRADE

Prepared by: Aaron Vumbaca Pty Ltd
ABN 51 169 733 902
ACN 169 733 902
GPO Box 1360 Sydney NSW 2001
info@vumbaca.com.au
www.vumbaca.com.au
0415 508 110

Key:

Drawing Notes:

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Project:

OPPEDISANO RESIDENCE

Project Address:

2033 PITTVATER ROAD
BAYVIEW NSW 2104

Applicant:

MR P. OPPEDISANO

Plan No.: DA-1401

Date: 8.8.2019

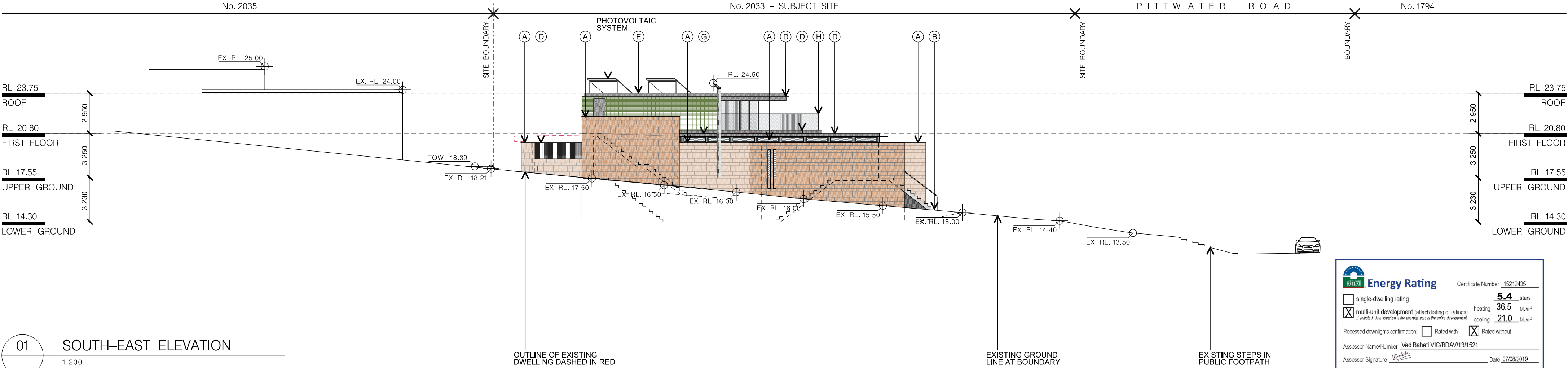
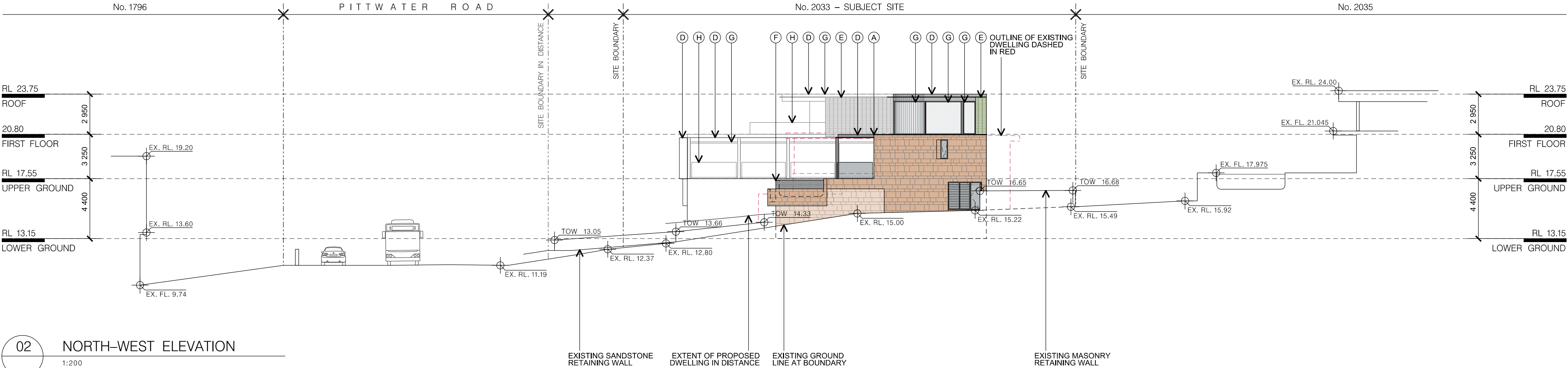
Drawing Title: NORTH-EAST & SOUTH-WEST ELEVATIONS

Scale: 1:200

Issue: A.

Size: A2

0 1 2 4 5 10m



Energy Rating Certificate Number 15212435

☐ single-dwelling rating **5.4** stars

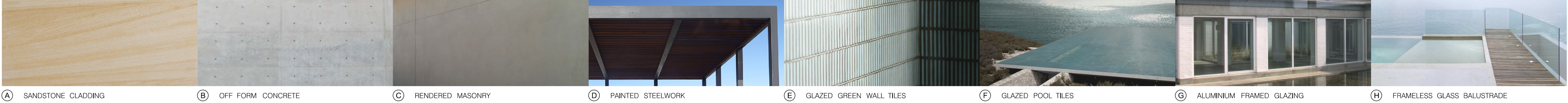
☒ multi-unit development (attach listing of ratings) heating **36.5** MJ/m² cooling **21.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

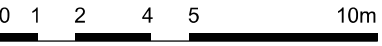
Assessor Name/Number Ved Baheti VIC/BDAY/13/1521

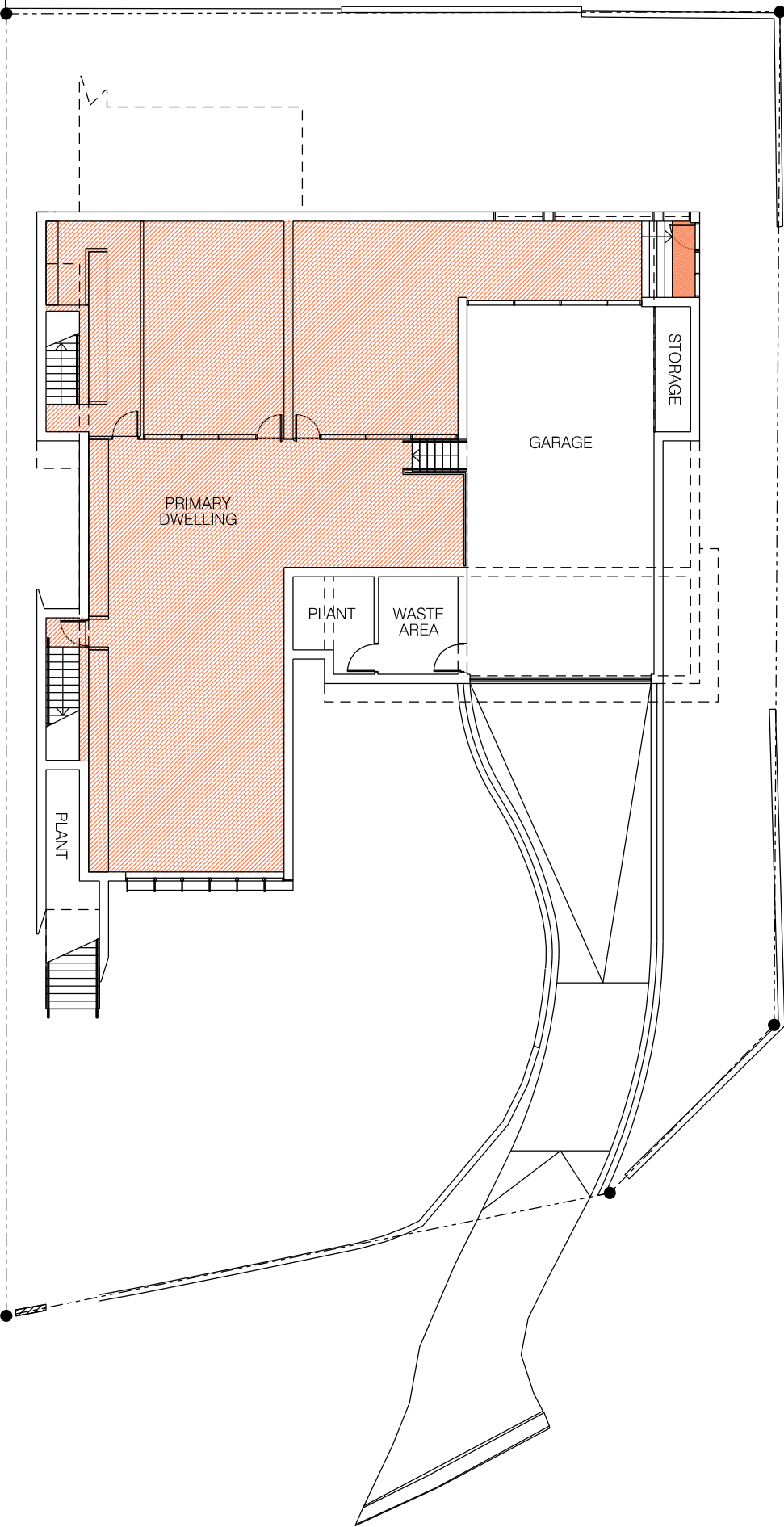
Assessor Signature *Ved Baheti* Date 07/08/2019

SCHEDULE OF MATERIALS



Prepared by: Aaron Vumbaca Pty Ltd ABN 51 169 733 902 ACN 169 733 902 GPO Box 1360 Sydney NSW 2001 info@vumbaca.com.au www.vumbaca.com.au 0415 508 110	Key:	Drawing Notes:	Project Notes: 1. NOT FOR CONSTRUCTION - DA PURPOSES ONLY 2. THIS DOCUMENT IS THE PROPERTY OF AARON VUMBACA PTY LTD. THIS DRAWING SHALL ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED. THE UNAUTHORISED USE AND REPRODUCTION OF THIS DRAWING IS PROHIBITED. 3. THIS DA DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL PROJECT CONSULTANT INFORMATION. © COPYRIGHT	Project: OPPEDISANO RESIDENCE Project Address: 2033 PITTWATER ROAD BAYVIEW NSW 2104 Applicant: MR P. OPPEDISANO	Plan No.: DA-1402 Date: 8.8.2019 Drawing Title: SOUTH-EAST & NORTH-WEST ELEVATIONS Scale: 1:200 Issue: A. Size: A2
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01 GFA SUMMARY
1:200 LOWER GROUND FLOOR

PRINCIPAL DWELLING AREA SUMMARY	
GFA OF LOWER GROUND FLOOR	224.4sqm
GFA OF UPPER GROUND FLOOR	216.8sqm
TOTAL GFA OF PRINCIPAL DWELLING	441.2sqm
SECONDARY DWELLING AREA SUMMARY	
*25% OF PRINCIPAL DWELLING	110.3sqm
GFA OF FIRST FLOOR	110.3sqm
TOTAL GFA OF SECONDARY DWELLING	110.3sqm

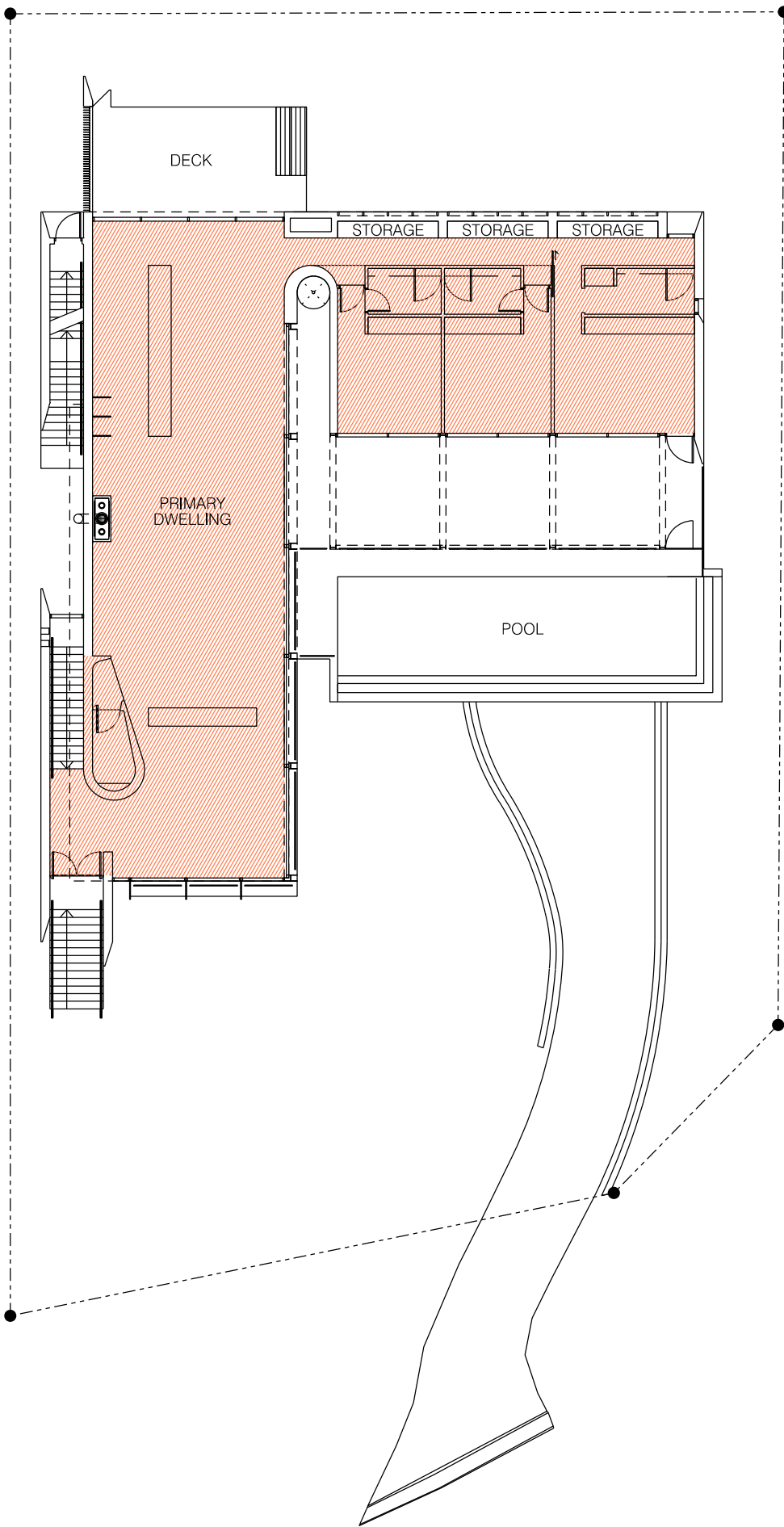
*5.4 Controls relating to miscellaneous permissible uses

(g) Secondary dwellings

If development for the purposes of a secondary dwelling is permitted under this Plan, the total floor area of the dwelling (excluding any area used for parking) must not exceed whichever of the following is the greater:

- (a) 60 square metres.
(b) 25% of the total floor area of the principal dwelling.

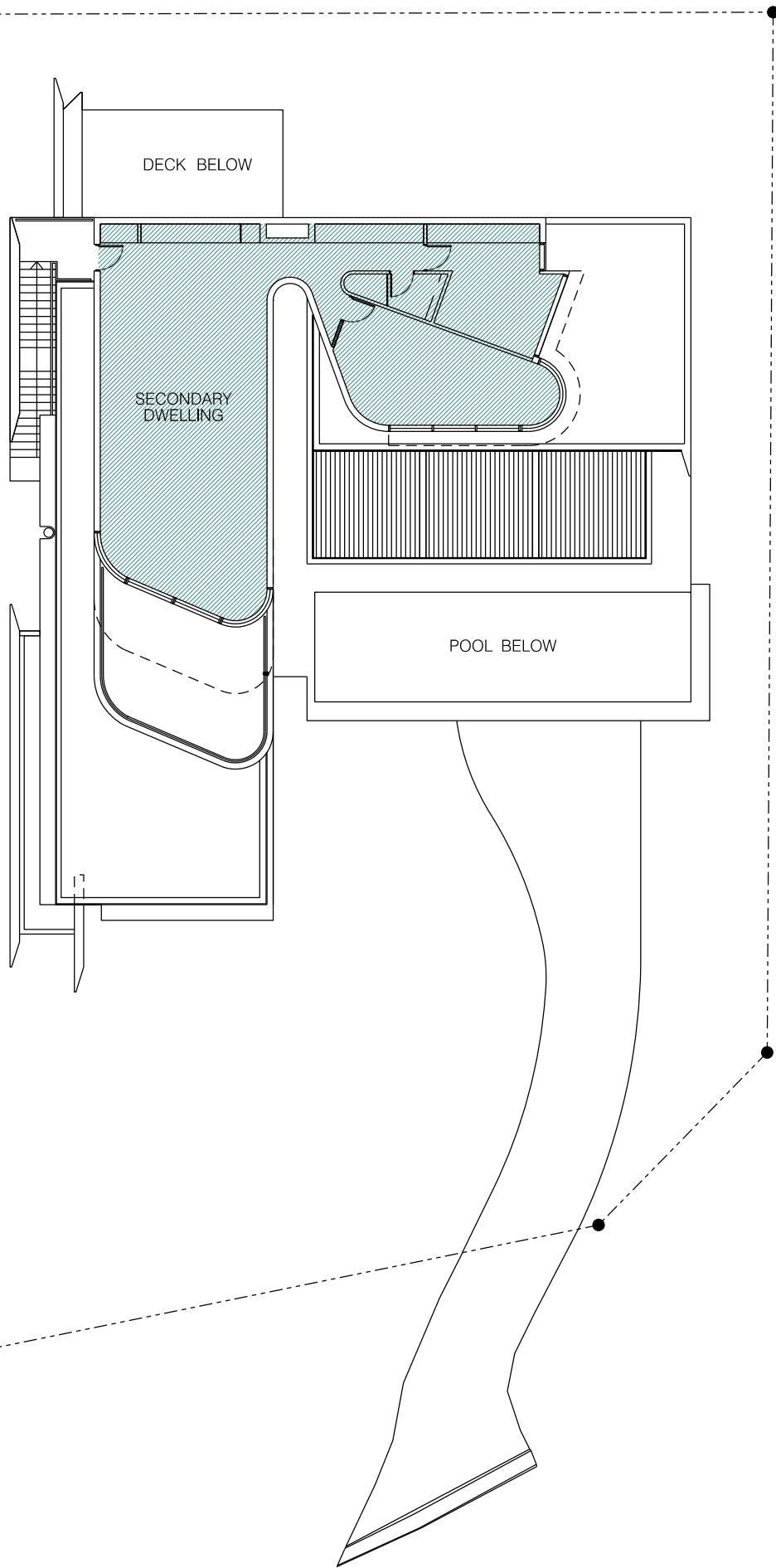
Source: Pittwater Local Environmental Plan 2014



02 GFA SUMMARY
1:200 UPPER GROUND FLOOR

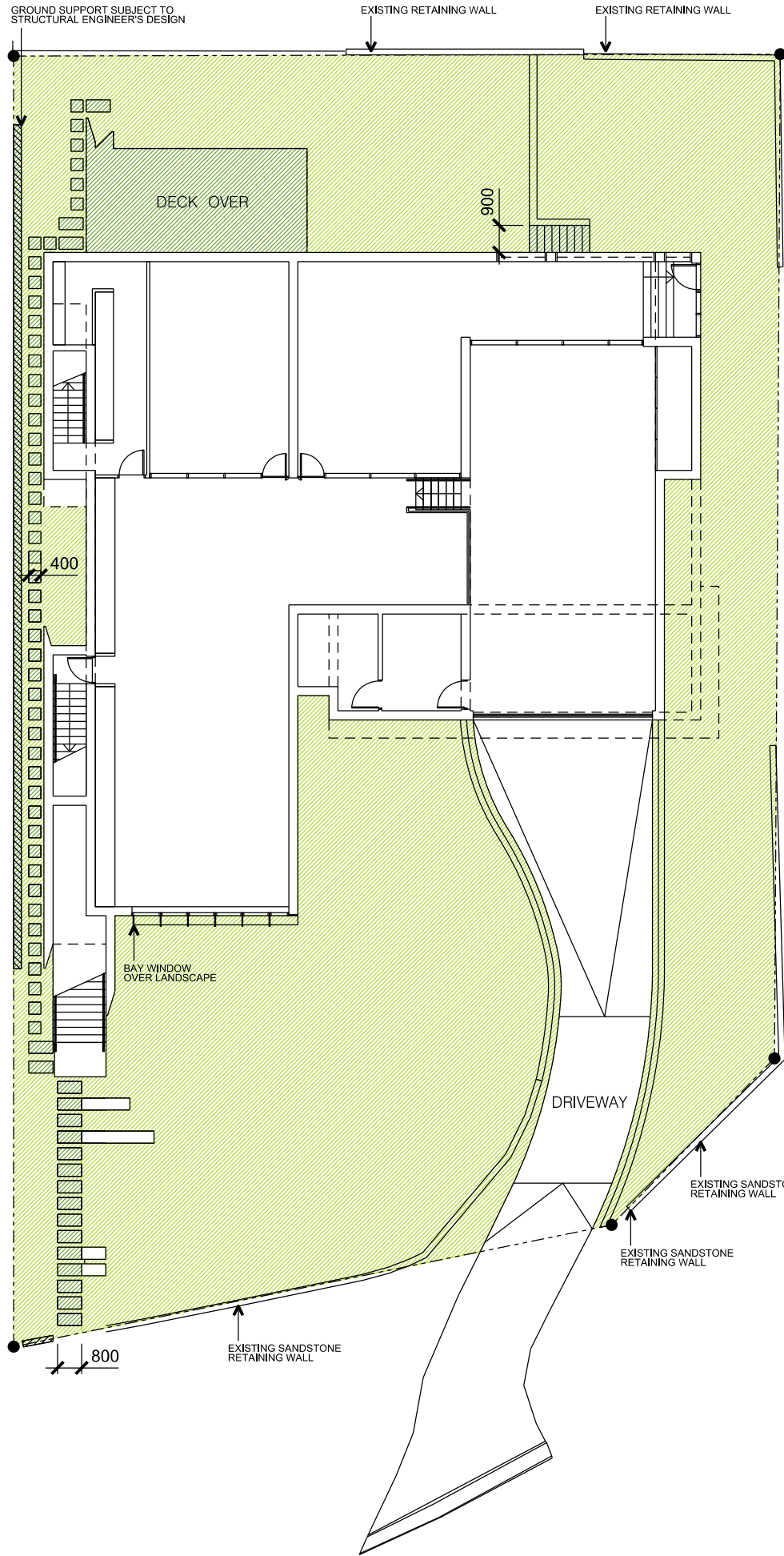
GFA DEFINITION	
<i>gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:</i>	
<i>the area of a mezzanine, and habitable rooms in a basement or an attic, and any shop, auditorium, cinema, and the like, in a basement or attic, but excludes:</i>	
<i>any area for common vertical circulation, such as lifts and stairs, and any basement, storage, and vehicular access, loading areas, garbage and services, and plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and car parking to meet any requirements of the consent authority (including access to that car parking), and any space used for the loading or unloading of goods (including access to it), and terraces and balconies with outer walls less than 1.4 metres high, and voids above a floor at the level of a storey or storey above.</i>	

Source: Pittwater Local Environmental Plan 2014



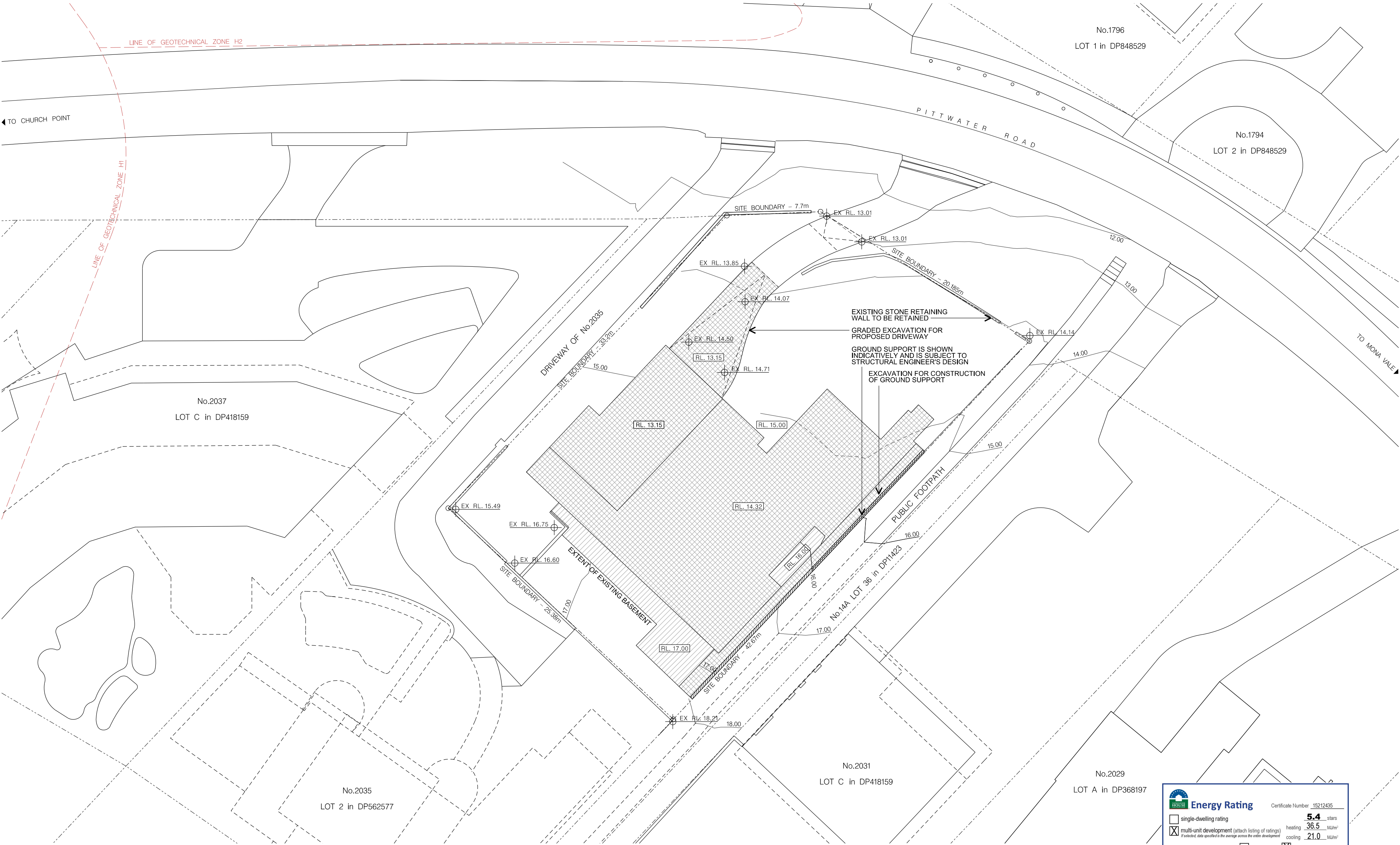
03 GFA SUMMARY
1:200 FIRST FLOOR

Energy Rating		Certificate Number 15212435
<input type="checkbox"/> single-dwelling rating		5.4 stars
<input checked="" type="checkbox"/> multi-unit development (attach listing of ratings)	heating 36.5 MJ/m ²	
	cooling 21.0 MJ/m ²	
Recessed downlights confirmation:	<input type="checkbox"/> Rated with	<input checked="" type="checkbox"/> Rated without
Assessor Name/Number	Ved Baheti VIC/BDAN/13/1521	
Assessor Signature	Date 07/08/2019	



04 LANDSCAPE AREA SUMMARY
1:200 LOWER GROUND FLOOR

SITE AREA	1,002sqm**
60% LANDSCAPE AREA	601.2sqm
D4.10 LANDSCAPE AREA – VARIATIONS***	
<i>Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:</i>	
i) impervious areas less than 1 metre in width (e.g. pathways and the like);	
ii) for single dwellings on land zoned R2 Low Density Residential or E4 Environmental Living, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. rooted or unrooted pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).	
LANDSCAPE AREA	501.6sqm
LANDSCAPE AREA D4.10 VARIATION	48.3sqm
TOTAL LANDSCAPE AREA	(54.9%) 549.9sqm
** Detailed survey prepared by Robert Friend Surveys Pty Ltd (drawing No. 17102-1-A) dated November 2017	
*** Pittwater 21 Development Control Plan	



01 EXCAVATION & FILL PLAN

1:200

Prepared by:

Aaron Vumbaca Pty Ltd

ABN 51 169 733 902
ACN 169 733 902
GPO Box 1360 Sydney NSW 2001
info@vumbaca.com.au
www.vumbaca.com.au
0415 508 110

Key:

Drawing Notes:

- EXTENT OF EXCAVATION - 575m³ APPROX.
- EXTENT OF FILL - 95m³ APPROX.
- INDICATIVE ZONE OF GROUND SUPPORT

EXTENT OF EXCAVATION, EXCLUDES STRUCTURAL THICKNESSES AND FOOTING DEPTHS WHICH ARE SUBJECT TO STRUCTURAL ENGINEER'S DESIGN

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Project:
OPPEDISANO RESIDENCE

Project Address:
2033 PITTWATER ROAD
BAYVIEW NSW 2104

Applicant:
MR P. OPPEDISANO

Plan No.:
DA-1801

Date:
8.8.2019

Drawing Title:
EXCAVATION & FILL PLAN

Scale:
1:200

Issue:
A.

Size:
A2

Energy Rating

Certificate Number 15212435

5.4 stars

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

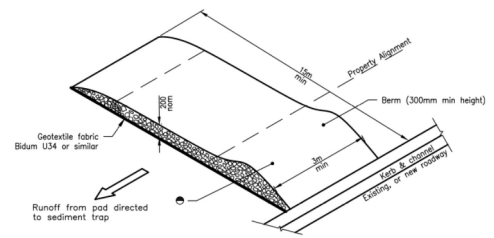
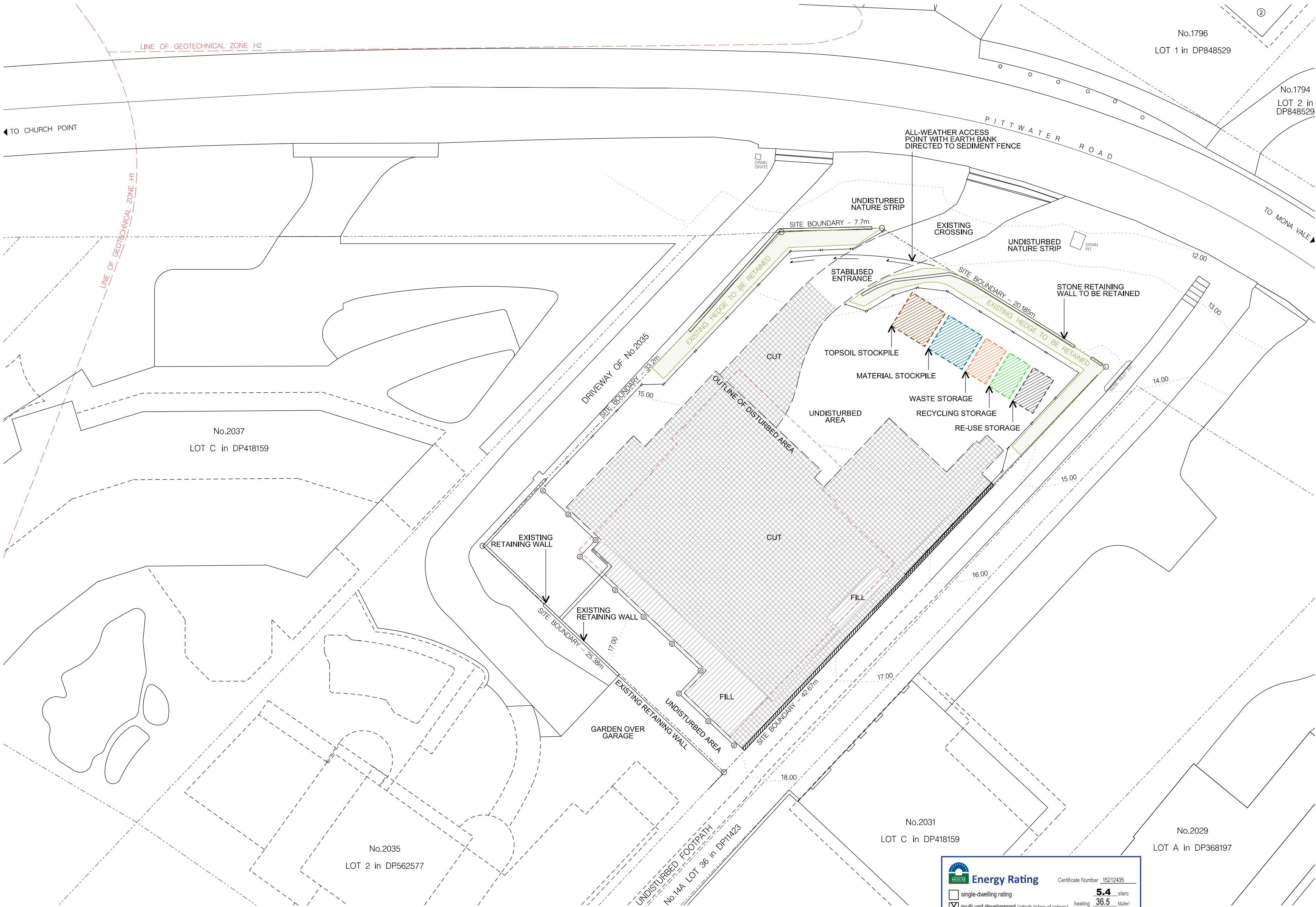
heating **36.5** MJ/m²

cooling **21.0** MJ/m²

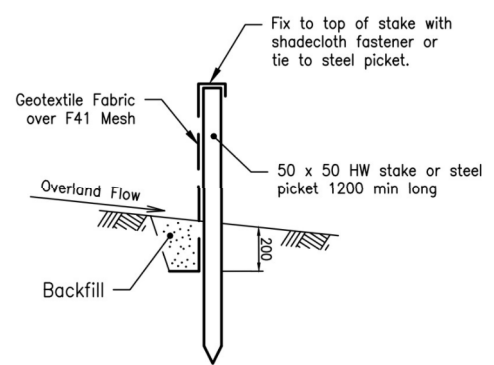
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Assessor Name/Number Ved Baheti VIC/BDV/13/1521

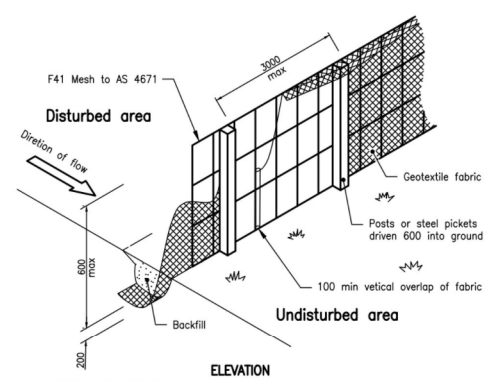
Assessor Signature Date 07/08/2019



DETAIL 1 - STABILISED SITE ACCESS



DETAIL 2 - SEDIMENT FENCE



DETAIL 3 - SEDIMENT FENCE

01 EROSION & SEDIMENT CONTROL PLAN
1:200 INCLUDING WASTE MANAGEMENT

Energy Rating Certificate Number 15212435

Single-dwelling rating: **5.4** stars

Multi-unit development (attach listing of ratings): heating **36.5** MJ/m², cooling **21.0** MJ/m²

Recessed downlights confirmation: ☐ Rated with, ☒ Rated without

Assessor Name/Number: Ved Baheti VIC/BD4W13/1521

Assessor Signature: [Signature] Date: 07/08/2019