

Location Map





Creative HomePlans PO Box 394, Forestville NSW 2087

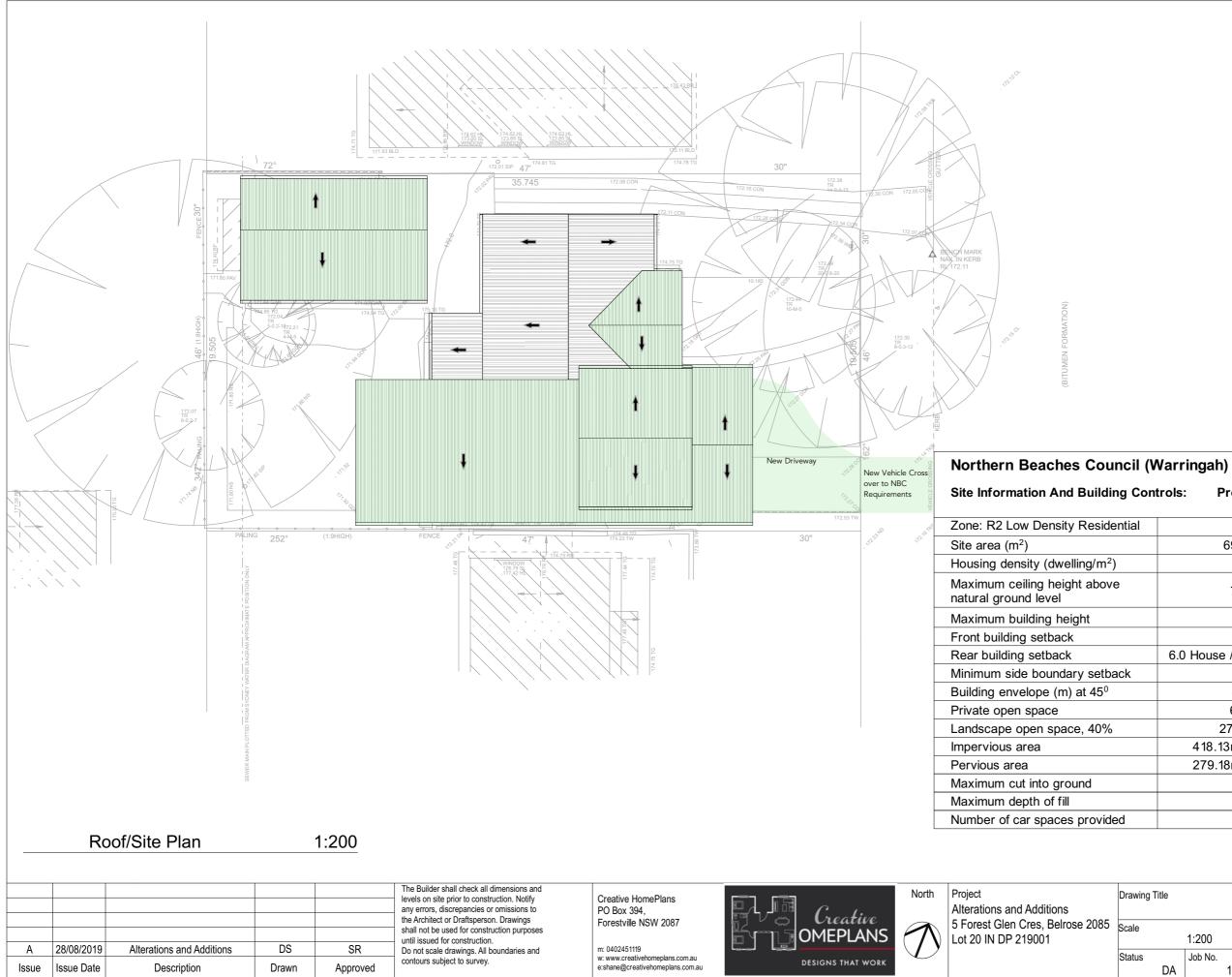


m: 0402 451 119 w: www.creativehomeplans.com.au e. shane@creativehomeplans.com.au

Alterations and Additions

Alterations and Additions for Mr Edmund Nockolds 5 Forest Glen Cres, Belrose 2085

Drawing List						
Dwg No.	Description					
DA01	Cover Page					
DA02	Survey Plan					
DA03	Site/Roof Plan					
DA04	Site Analysis Plan					
DA05	Waste & Sediment Control Plan					
DA06	Stormwater Management Plan					
DA07	Landscape Open Space Plan					
DA08	Existing Ground Floor Plan					
DA09	Demolition Plan Ground Floor					
DA10	New Ground Floor					
DA11	New First Floor					
DA12	Elevations 1 - Main Dwelling					
DA13	Elevations 2 - Main Dwelling					
DA14	Elevations 3 - Secondary Dwelling					
DA15	Sections					
DA16	Shadow Diagrams June 21st 9am					
DA17	Shadow Diagrams June 21st 12pm					
DA18	Shadow Diagrams June 21st 3pm					
DA19	Colours & Finishes Schedule					
DA20	Basix Certificate Main Dwelling					
DA21	Basix Certificate Main Dwelling					
DA22	Basix Certificate Secondary Dwellig					
DA23	Basix Certificate Secondary Dwelling Door And Window Schedule Main					
DA24	Byollingd Window Schedule					
DA25	Secondary Dwelling					
DA26	Perspective 1					

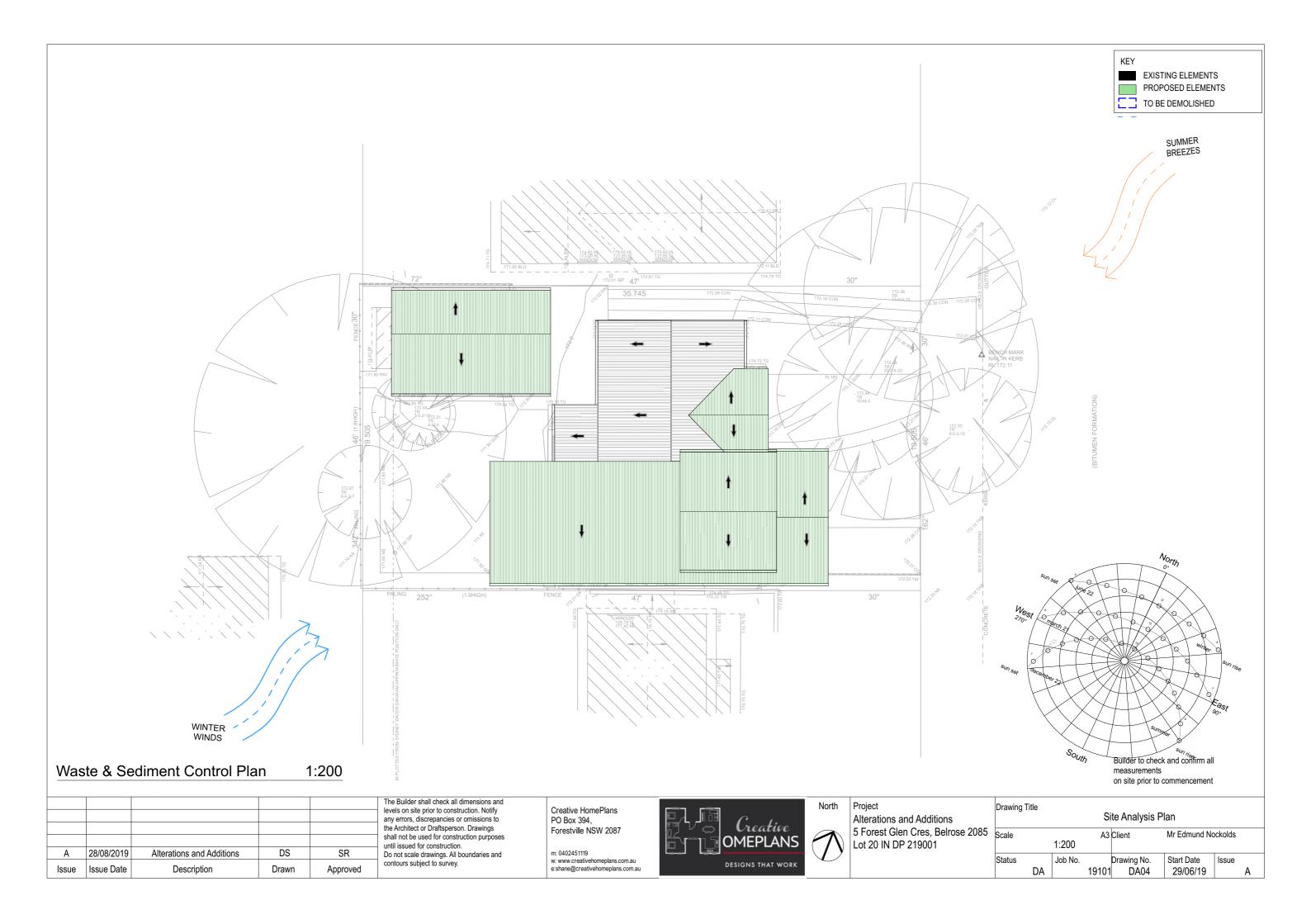


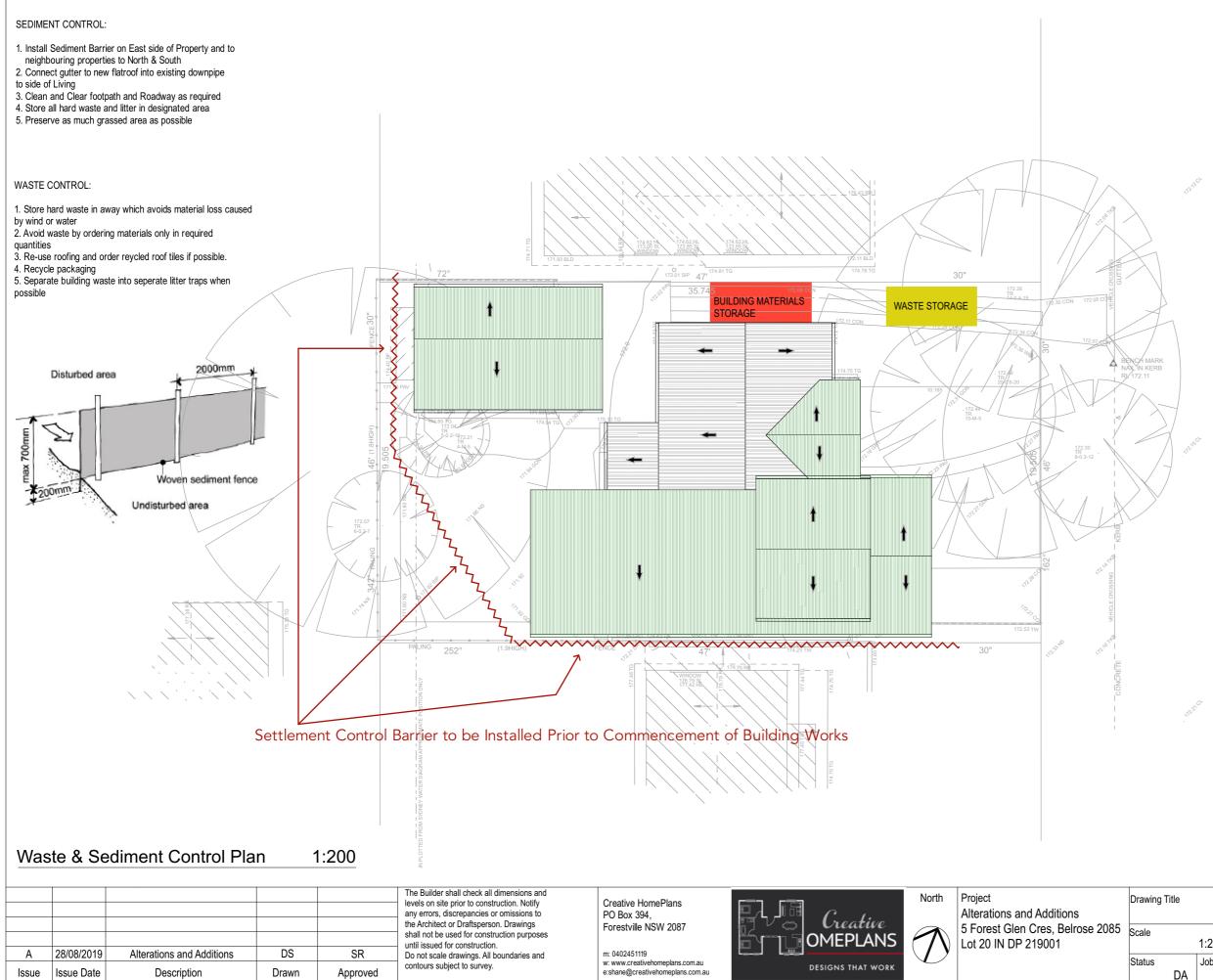


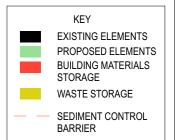
EXISTING ELEMENTS PROPOSED ELEMENTS TO BE DEMOLISHED

ng Cont	rols: Propos		nplianco ontrols	
ential				Comment
	697.3n	n2	Y	
)	1		Y	
'e	7.2 m	l	Y	
	8.5m		Y	
	6.5m		Y	
	6.0 House / 3.0 (Granny Flat	Y / N	Existing
ack	0.9m		Y	
	4.0m		Y	
	60m ²		Y	
)	278.92r	n²	Y	
	418.13m ² /	59.97%	Y	
	279.18m ² / 4	40.03%	Y	
	N/A		Y	
	N/A		Y	
ed	2		Y	

	Drawing Tit	tle	Site/Roof Plan							
Scale 1:200			1:200	A3 Client Mr Edmund Nockolds			ckolds			
	Status	DA	Job No.	19101	Drawing No. DA03	Start Date 29/06/19	Issue	A		

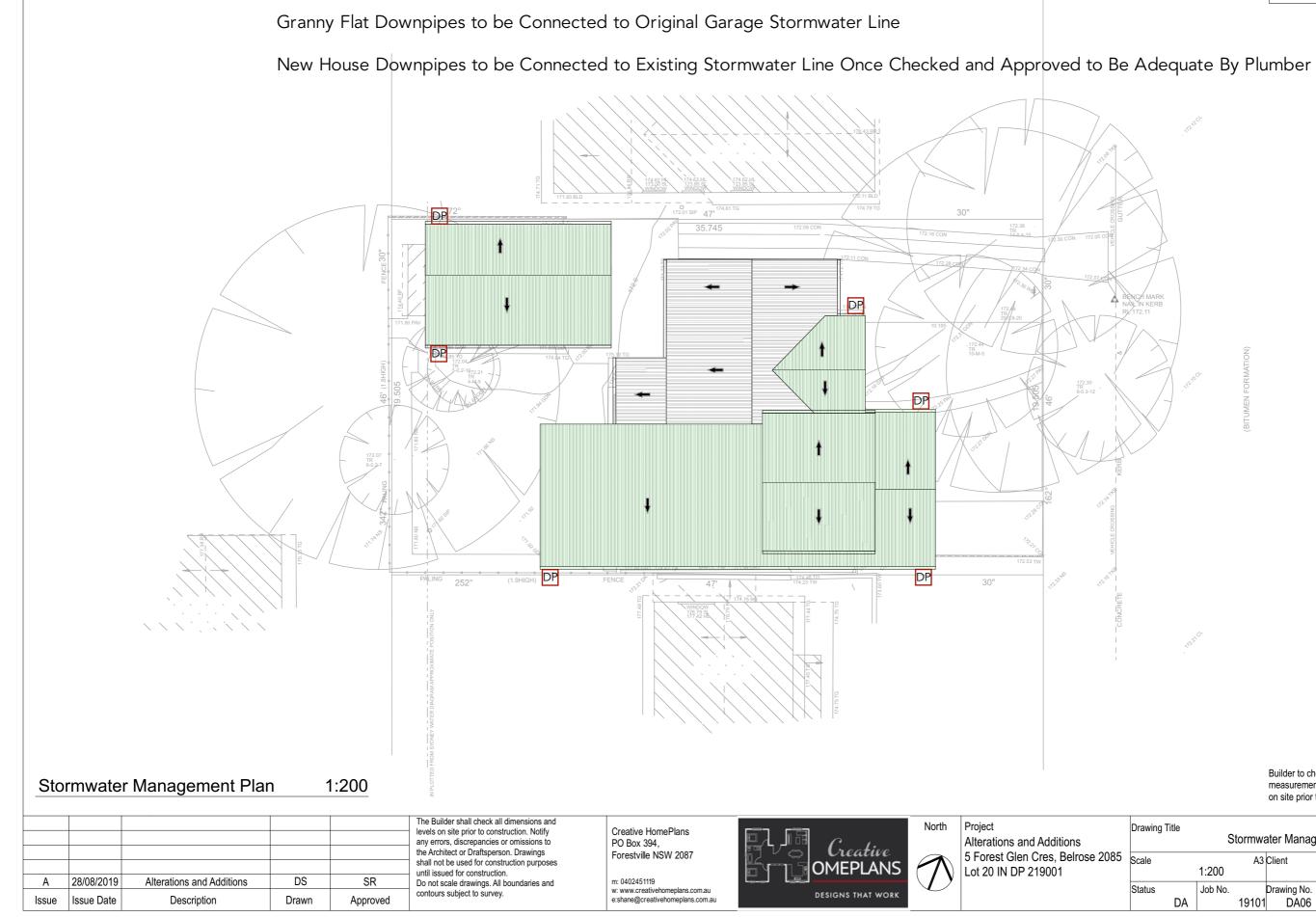






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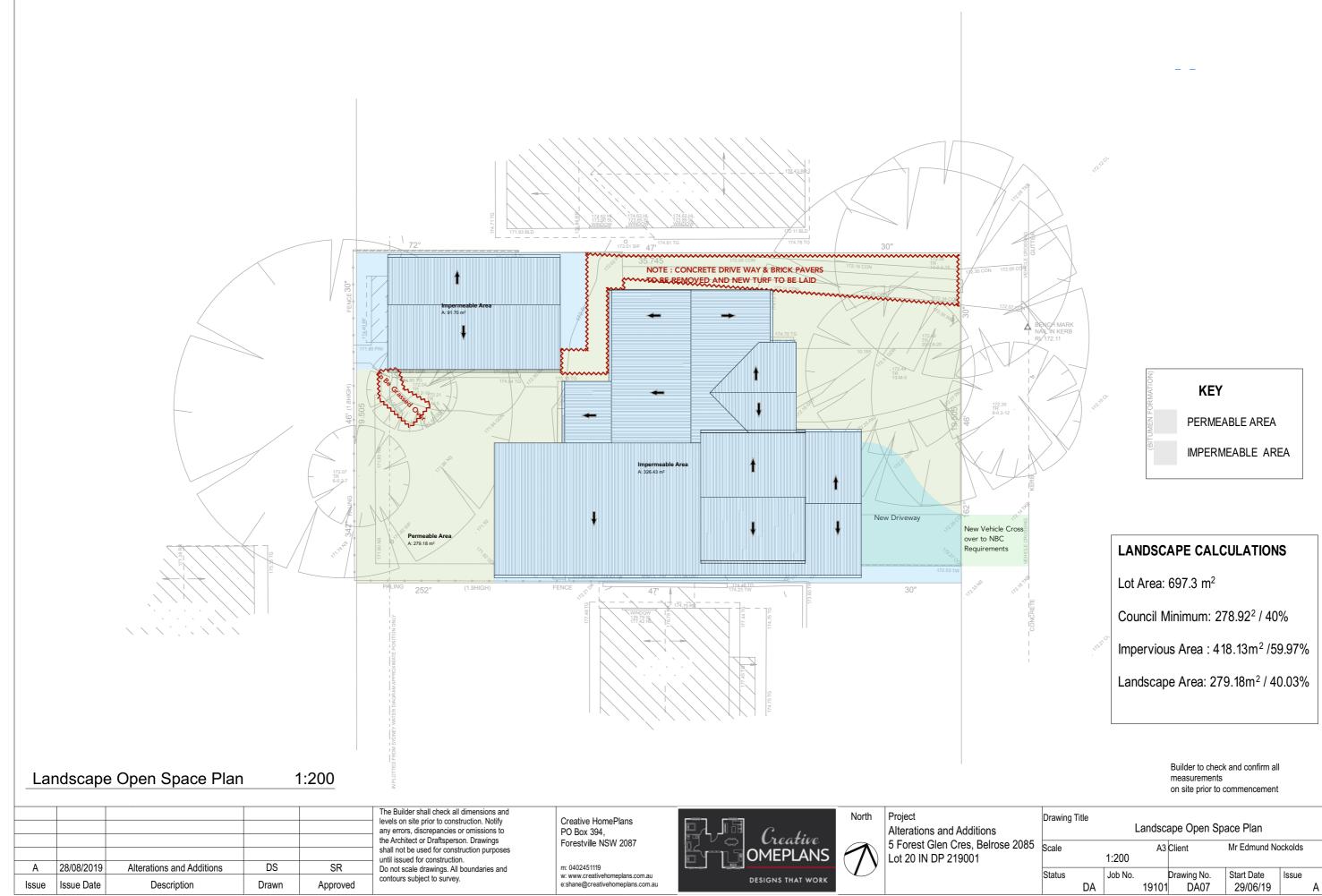
Drawing T	ïtle	Waste & Sediment Control Plan							
Scale 1:200			A3	Client	Mr Edmund No	ockolds			
Status	DA	Job No.	19101	Drawing No. DA05	Start Date 29/06/19	lssue A			



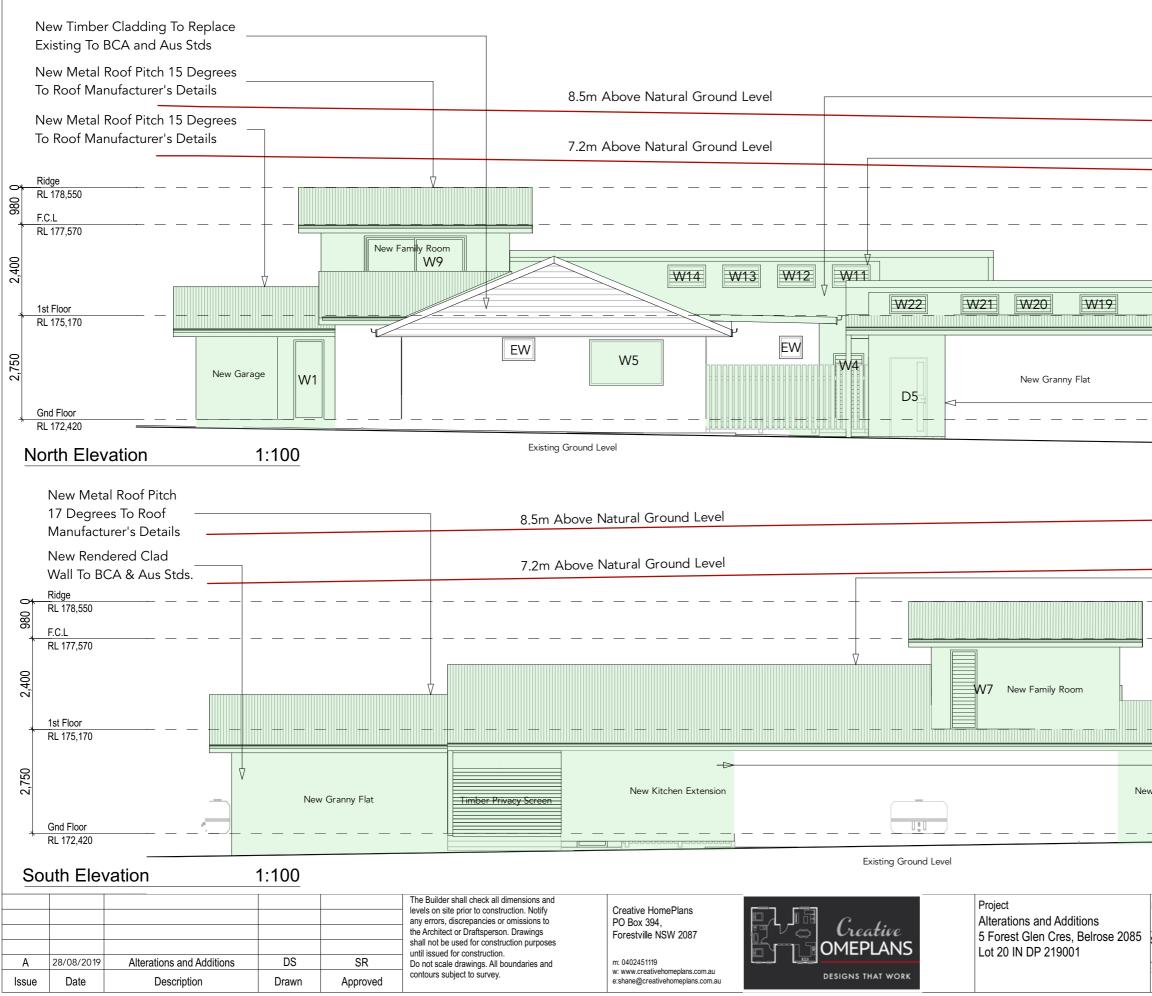


EXISTING ELEMENTS PROPOSED ELEMENTS

	Drawing Title	е	Stormwater Management Plan							
Scale 1:200		A3	A3 Client Mr Edmund Nockolds		ockolds					
5	Status		Job No.		Drawing No.	Start Date	Issue			
	[DA		19101	DA06	29/06/19	A			

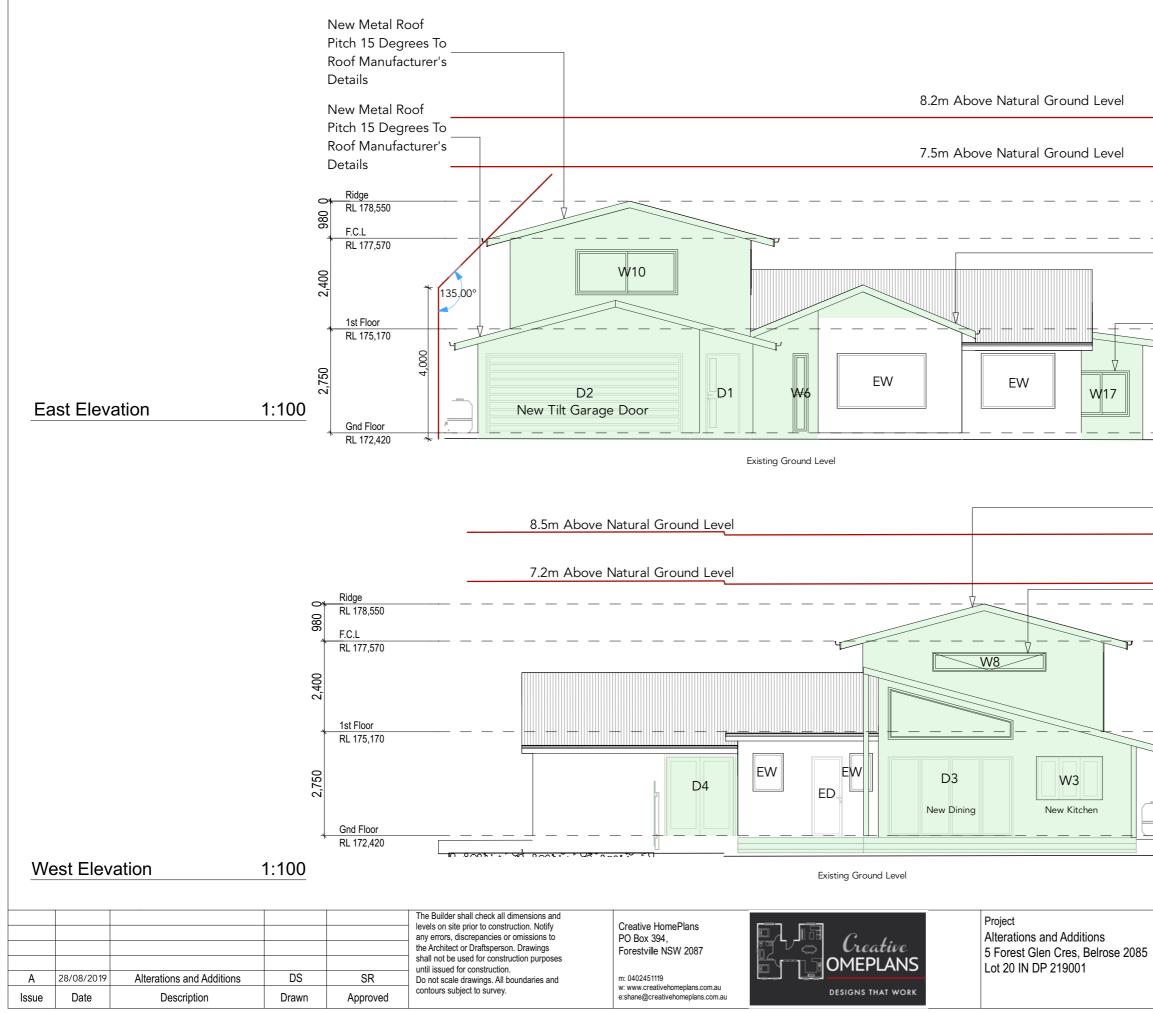


Drawing T	Title	Landscape Open Space Plan							
Scale	Scale 1:200		A3	Client	nt Mr Edmund Nockolds				
Status	DA	Job No.	19101	Drawing No. DA07	Start Date 29/06/19	Issue A			



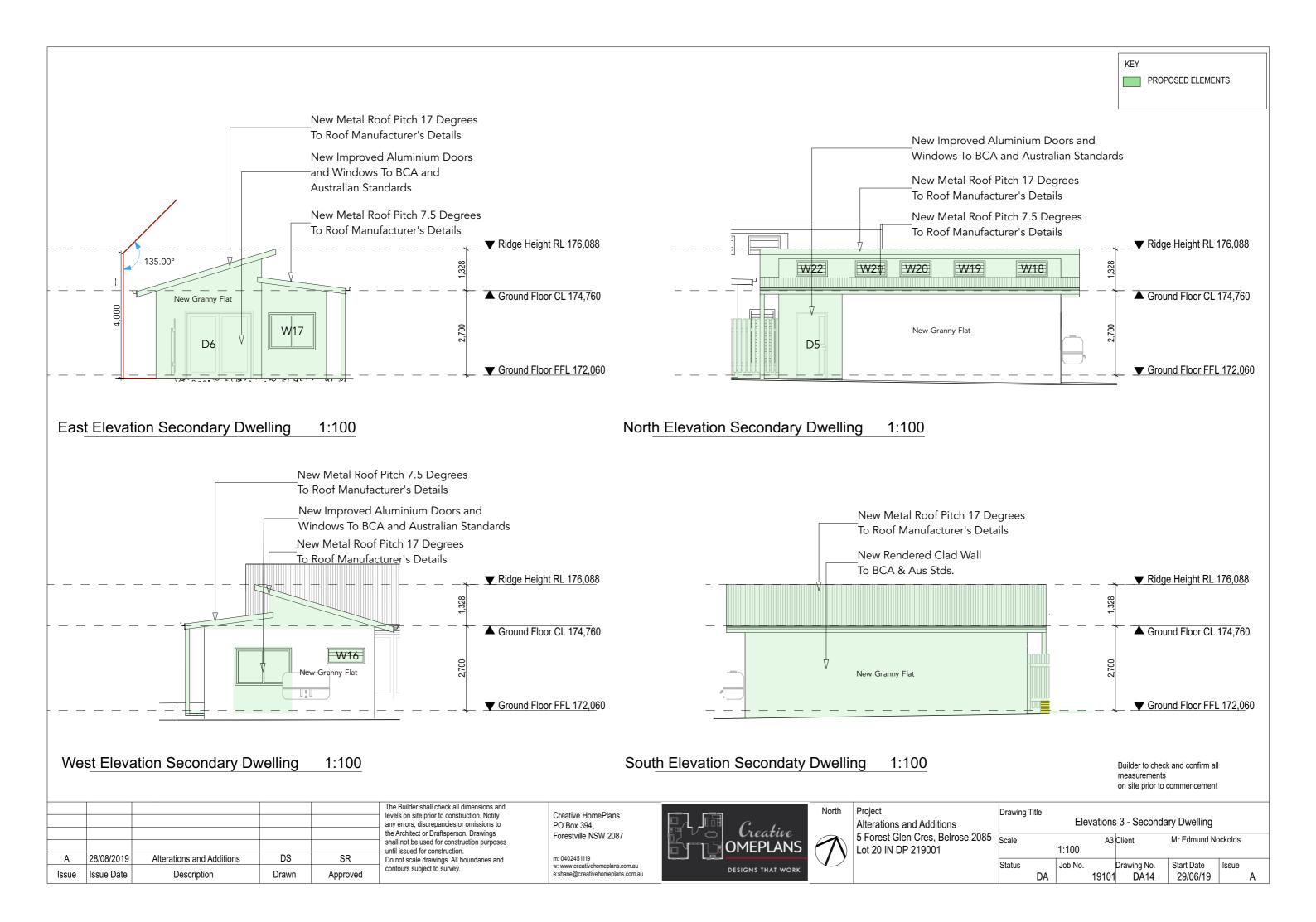
KEY PROPOSED ELEMENTS
New Rendered Clad Wall To BCA & Aus Stds. New Improved Aluminium Doors and Windows To BCA and Aus Stds. New Metal Roof Pitch 17 Degrees To Roof Manufacturer's Details New Metal Roof Pitch
New Improved Aluminium Doors and Windows To BCA and Aus Stds.
 New Metal Roof Pitch 15 Degrees To Roof Manufacturer's Details New Metal Roof Pitch 15 Degrees To Roof Manufacturer's Details New Rendered Clad Wall To BCA & Aus Stds.

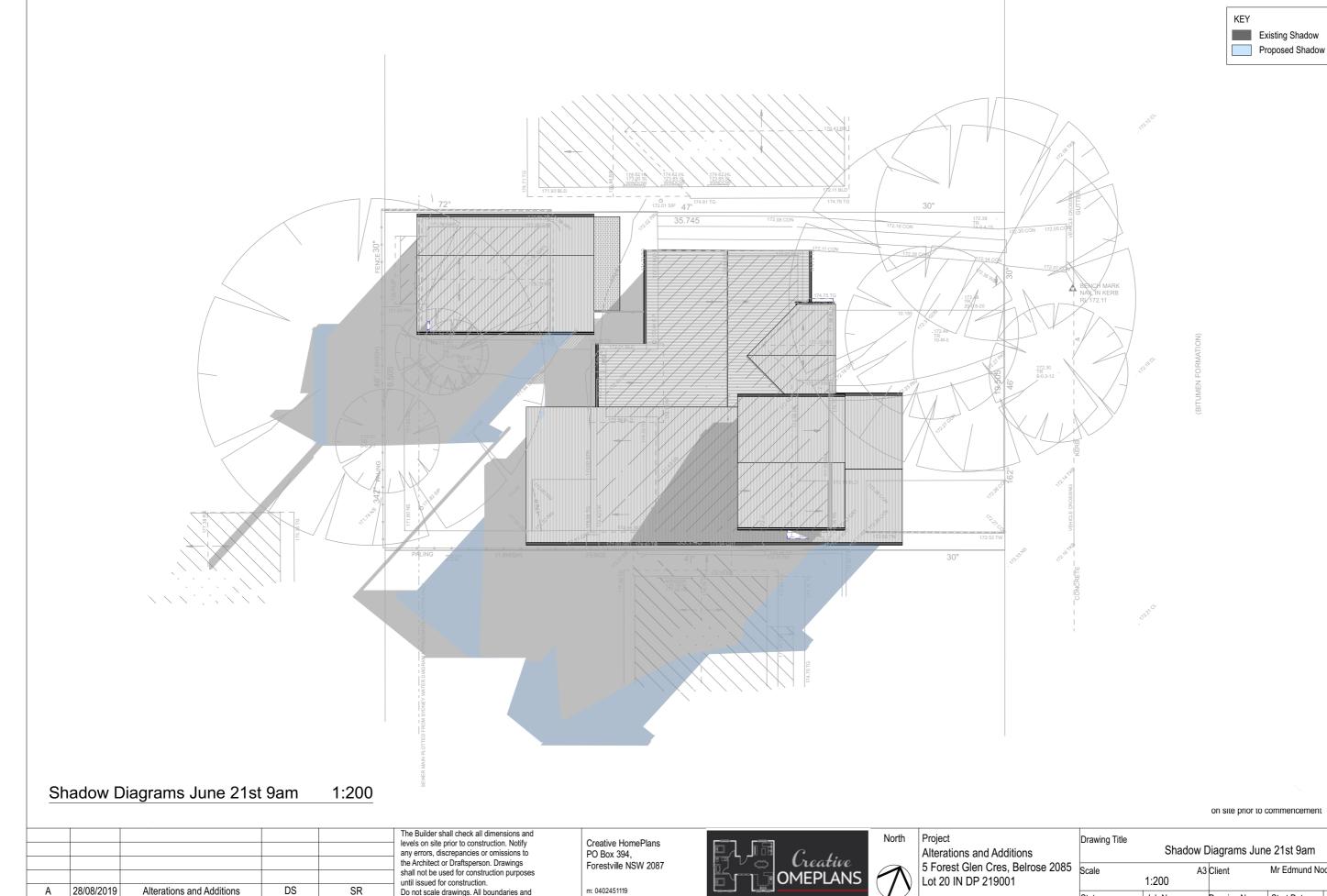
Drawing	g Title Elevations 1 - Main Dwelling							
Scale 1:100		A3	A3 Client Mr Edmund Nockolds					
Status	DA	Job No.	19101	Drawing No. DA12	Start Date 29/06/19	lssue A		



KEY PROPOSED ELEMENTS
 New Metal Roof to Match Existing Pitch To Roof Manufacturer's Details New Improved Aluminium Doors and Windows To BCA and Australian Standards
New Metal Roof Pitch ——15 Degrees To Roof Manufacturer's Details
New Improved Aluminium Doors and Windows To BCA and Australian Standards
Ч. —
Builder to check and confirm all measurements on site prior to commencement Drawing Title

Elevations 2 - Main Dwelling								
Scale A3 1:100			Client	Mr Edmund Nockolds				
Status	DA	Job No.	19101	Drawing No. DA13	Start Date 29/06/19	lssue A		





m: 0402451119

w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au

DESIGNS THAT WORK

SR

Approved

Drawn

Do not scale drawings. All boundaries and

contours subject to survey.

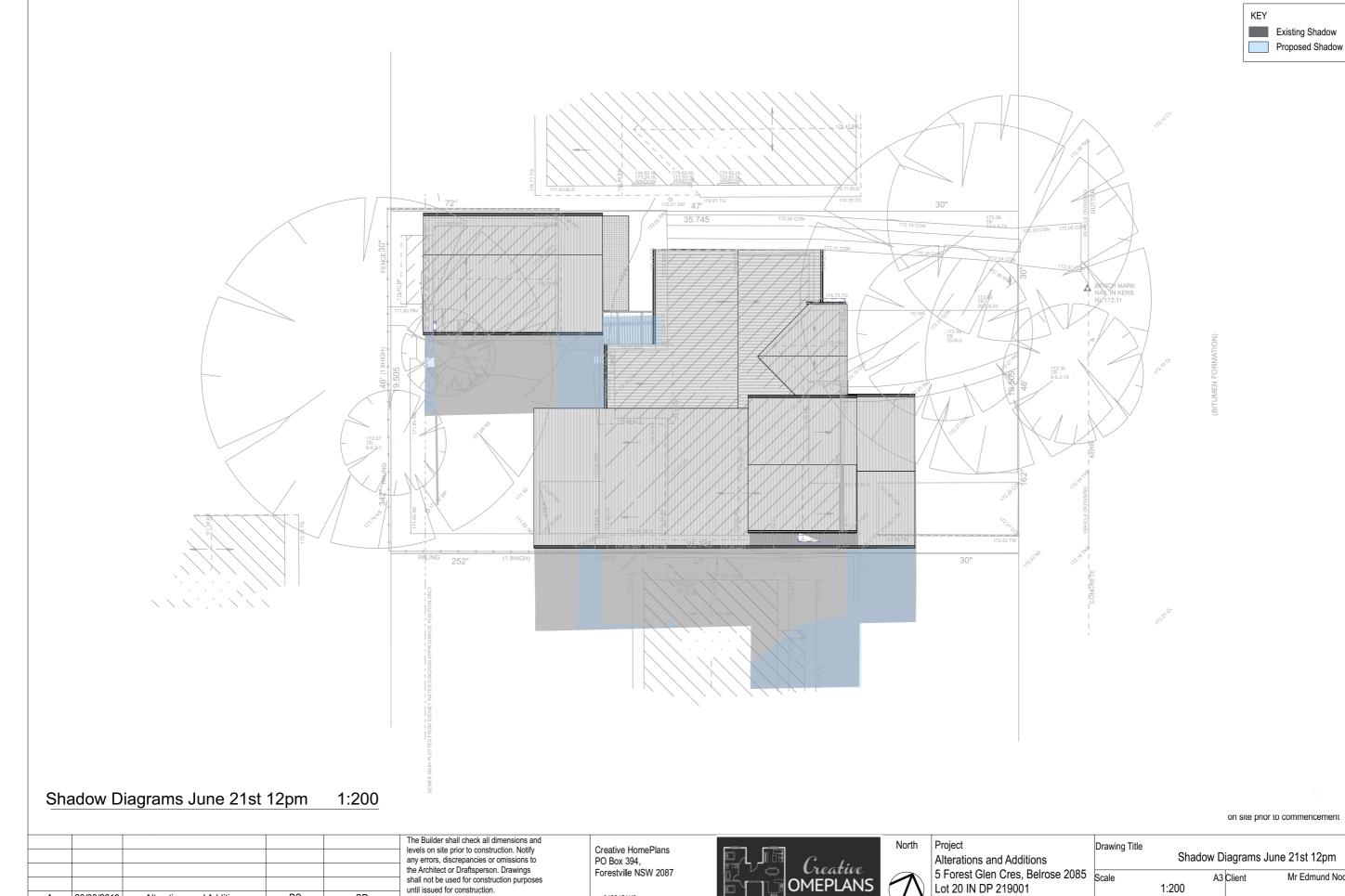
Α

Issue Issue Date

Description



Drawing	Drawing Title Shadow Diagrams June 21st 9am								
Scale A 1:200			A3	Client Mr Edmund Nockolds					
Status	DA	Job No.	19101	Drawing No. DA16	Start Date 29/06/19	lssue A			



m: 0402451119 w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au

28/08/2019

Issue Issue Date

Α

Alterations and Additions

Description

DS

Drawn

SR

Approved

Do not scale drawings. All boundaries and

contours subject to survey.

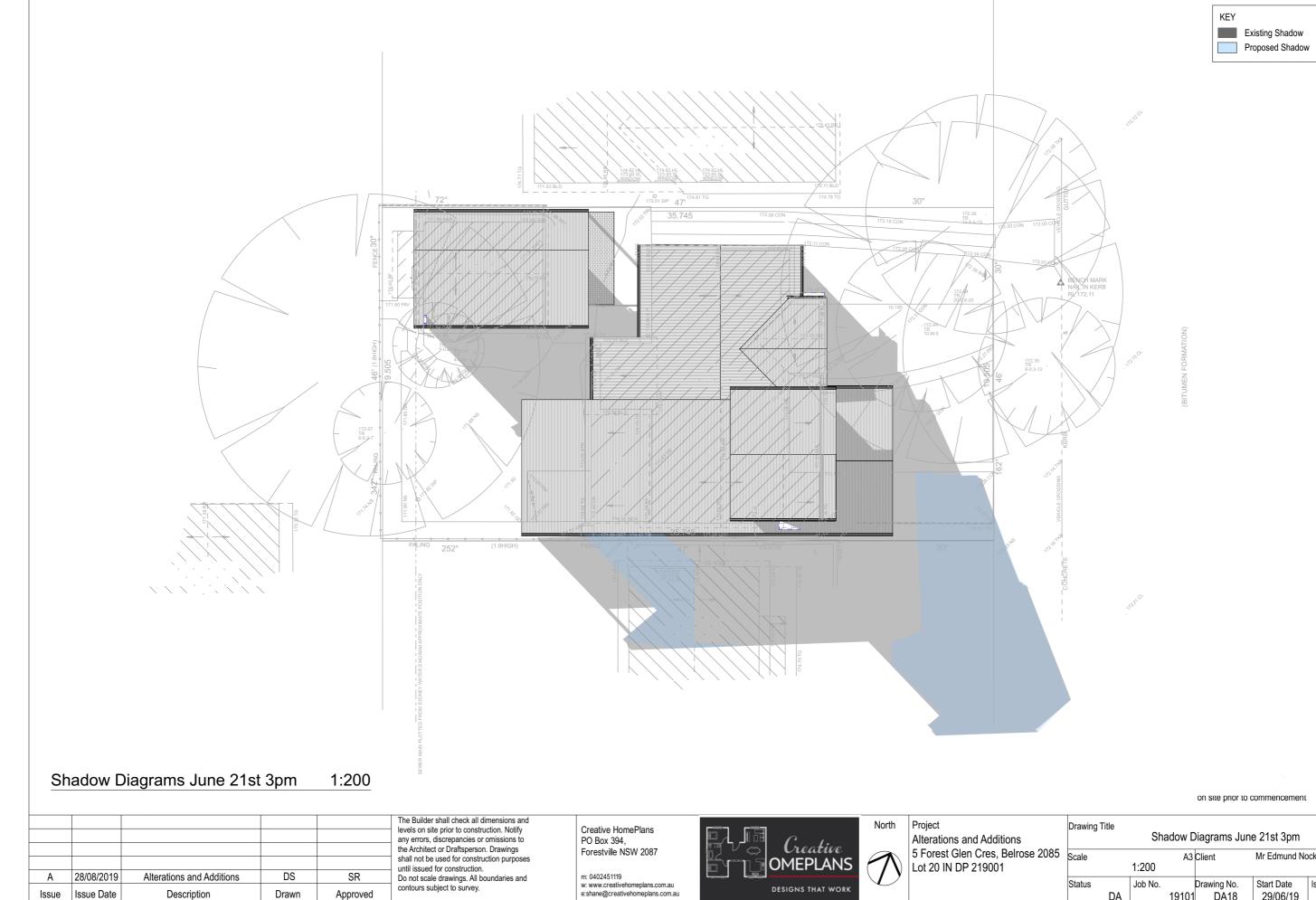
OMEPLANS DESIGNS THAT WORK

Lot 20 IN DP 219001

(/ N

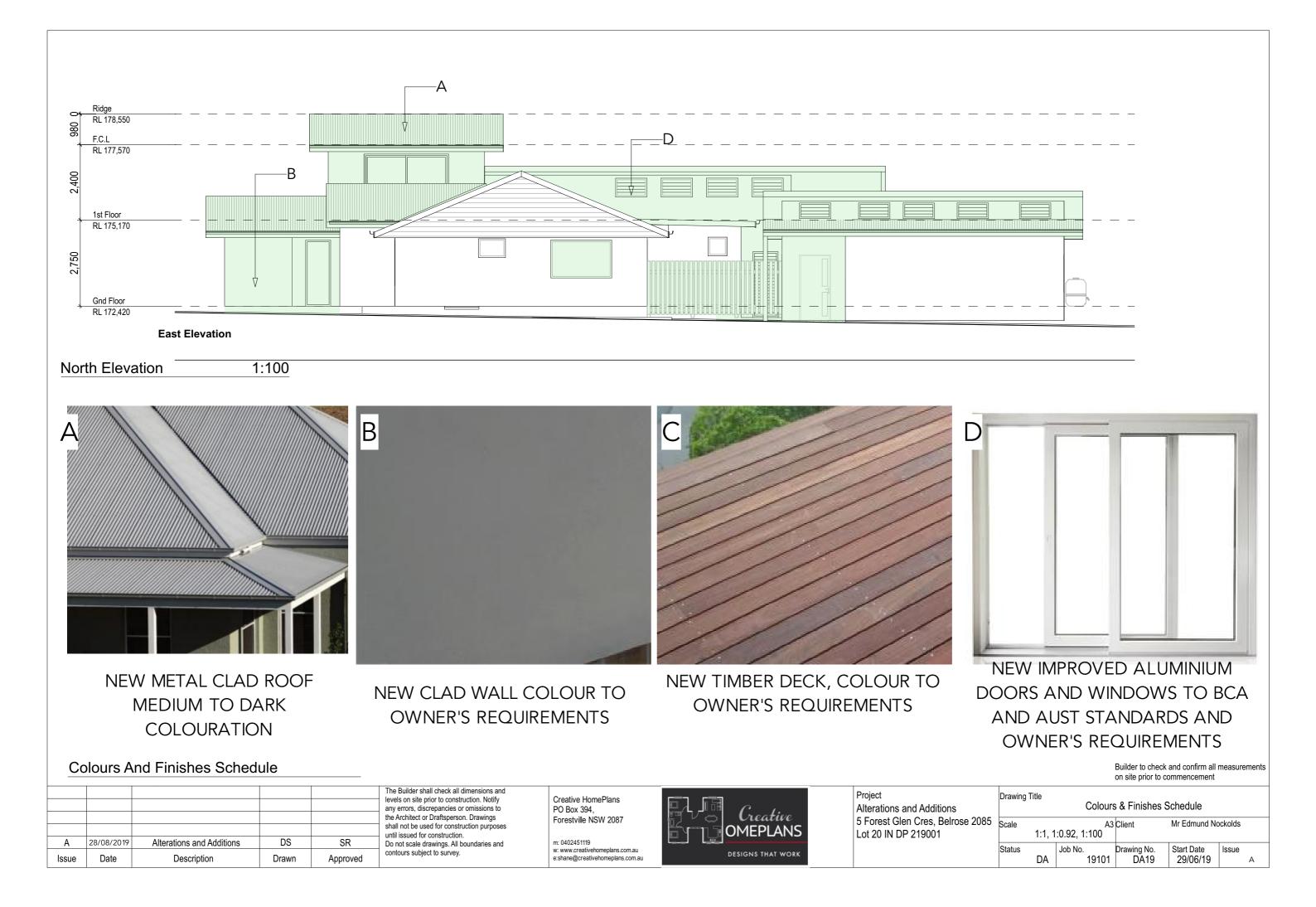


Dr	Drawing Title Shadow Diagrams June 21st 12pm								
Scale 1:200			A3	Client Mr Edmund Nockolds					
St	atus	DA	Job No.	19101	Drawing No. DA17	Start Date 29/06/19	Issue A		





Drawing Ti	tle	Sha	adow D)iagrams Jun	e 21st 3pm	
Scale		1:200	A3	Client	Mr Edmund No	ockolds
Status	DA	Job No.	19101	Drawing No. DA18	Start Date 29/06/19	lssue A



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling Certificate number: 1046086S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary Date of issue: Wednesday, 30 October 2019 To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW Planning & Environment

Project name	Forest Glen	
Street address	5 Forest Glen Cres	cent Belrose 2085
Local Government Area	Northern Beaches	Council
Plan type and plan number	deposited 219001	
Lot no.	20	
Section no.	-	
Project type	separate dwelling h	ouse
No. of bedrooms	4	
Project score		
Water	✔ 43	Target 40
Thermal Comfort	V Pass	Target Pas
Energy	56	Target 50

Certificate Prepared by Name / Company Name: Creative Home

ABN (if applicable): 69145888446

Description of project

					Water Commitments
Project address		Assessor details and therm			Landscape
Project name	Forest Glen	Assessor number	n/a		
Street address	5 Forest Glen Crescent Belrose 2085	Certificate number	n/a		The applicant must plant indigenous or low water use spec
Local Government Area	Northern Beaches Council	Climate zone	n/a		Fixtures
Plan type and plan number	Deposited Plan 219001	Area adjusted cooling load (MJ/m ² .year) n/a		
Lot no.	20	Area adjusted heating load (MJ/m ² .year) n/a		The applicant must install showerheads with a minimum ra all showers in the development.
Section no.	-	Project score			The applicant must install a toilet flushing system with a m
Project type		Water	¥ 43	Target 40	
Project type	separate dwelling house		· · ·		The applicant must install taps with a minimum rating of 6
No. of bedrooms	4	Thermal Comfort	V Pass	Target Pass	The applicant must install basin taps with a minimum ratio
Site details		Energy	¥ 56	Target 50	
te area (m²)	697		*		Alternative water
of area (m²)	279				Rainwater tank
onditioned floor area (m2)	154.95				The applicant must install a rainwater tank of at least 2000
nconditioned floor area (m2)	9.75				accordance with, the requirements of all applicable regulat
tal area of garden and lawn (m2)	279				The applicant must configure the rainwater tank to collect development (excluding the area of the roof which drains t
					The applicant must connect the rainwater tank to:
					 all toilets in the development
					at least one outdoor tap in the development (Note: NS consumption in areas with potable water supply.)
		0 Certificate No.: 1046096S Wee			BASDX Planning & Environment www.basix.nsw.gov.au

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features		i i i i i i i i i i i i i i i i i i i		
The dwelling must not have more than 2 storeys.				_
The conditioned floor area of the dwelling must not exceed 3	00 square metres.			
The development of a state of a second state of		· ·	· ·	•
The dwelling must not contain open mezzanine area exceeding 25 square metres.			 ✓ 	
The dwelling must not contain third level habitable attic room	 ✓ 	 	~	
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/rebelow.	pof of the dwelling in accordance with the specifications listed in the	table	~	~
Construction	Additional insulation required (R-Value) C	ther specifications		
floor - concrete slab on ground, 26 square metres	nil			
floor - suspended floor above open subfloor, 18.22 square metres, framed	0.8 (or 1.5 including construction) (down)			
	2.00 (or 2.40 including construction)			
clad)	nil			
clad) internal wall shared with garage - plasterboard		nventilated; medium (:	solar absorptance 0.475	i-0.70)
external wall - framed (weatherboard, fibre cement, metal clad) internal wall shared with garage - plasterboard ceiling and roof - flat ceiling / pitched roof ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3.95 (up), roof: foil backed blanket (55 mm) u		solar absorptance 0.475 absorptance 0.475-0.70	,
clad) internal wall shared with garage - plasterboard ceiling and roof - flat ceiling / pitched roof ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3.95 (up), roof: foil backed blanket (55 mm) u ceiling: 4.24 (up), roof: foil backed blanket (55 mm) fr	amed; medium (solar		,
clad) internal wall shared with garage - plasterboard ceiling and root - flat ceiling / pitched roof ceiling and root - raked ceiling / pitched or skillion roof, framed	ceiling: 3.95 (up), roof: foil backed blanket (55 mm) u	amed; medium (solar		,

Planning & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_10_0 Certificate No.: 1046086S Wednesday, 30 October 2019

BASIX Planning & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_10_0 Certificate No.: 1046086S Wednesday, 30 October 2019

Windows, glazed doors and skylights The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specification issue of the table. Revealed and the table acceleration with specification issue to assisted for each window and glazed door. The dwelling may have 1 skylight (-0.7 square metres) which is not listed in the table. The following requirements must also be satisfied in relation to each window and glazed door: For the following glass and frame types, the certifier check can be performed by visual inspection. Aluminium single clear Aluminium double (air) clear The bruPVC/fibreglass single clear Timber/uPVC/fibreglass double (air) clear For other glass or frame types, ach window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be accounted in Accountion. With National Ferenstration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. Window/glazed door no. Maximum Maximum Vith (mm) Type Shading Device (Dimension within the table tothe below are for the shadowing 10%) Overshadowing 10%) North facing Wind 2100 800 U-value: 5.6, SHGC: 0.389 - 0.451 eave 600 mm, 400 mm above head not overshadowed	> > > >
specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. Image: Content of the stable of the table. The dwelling may have 1 skylight (-0.7 square metres) which is not listed in the table. Image: Content of the table. Image: Content of the table. The dollowing requirements must also be satisfied in relation to each window and glazed door: Image: Content of the table. Image: Content of table of table. Image: Content of table of table. - For the following glass and frame types, the certifier check can be performed by visual inspection. - Aluminium single clear Image: Content of table of table of table. Image: Content of table	
The following requirements must also be satisfied in relation to each window and glazed door: For the following glass and frame types, the certifier check can be performed by visual inspection. Aluminium single clear Aluminium double (air) clear Timber/uPVC/fibreglass single clear Timber/uPVC/fibreglass double (air) clear For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Sofar Heat Cain Coefficient (SHEC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Counci (NFRC) conditions. Frame and glass types and SHGC must be aclouded in accordance with National Fenestration Rating Counci (NFRC) conditions. Frame and glass types how in the table below are for reference only. Window/glazed door no. Maximum Maximum width Type Shading Device (Dimension within Overshadowing 10%) North facing Wi04 2100 800 U-value: 5.6, SHGC: 0.389 - 0.451 eave 600 mm, 400 mm above head not overshadowed Revised State State Cain Counce in the state of the set of	> > >
For the following glass and frame types, the certifier check can be performed by visual inspection. Aluminium single clear Aluminium double (air) clear Timber/uPVC/fibreglass single clear Timber/uPVC/fibreglass double (air) clear Timber/uPVC/fibreglass of trans types, ach window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Sofar Heat Cain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types show in the table below are for reference only. Window/glazed door no. Maximum Massimum Maximum width Type Shading Device (Dimension within Overshadowing Work	> >
Aluminium single clear Aluminium double (air) clear Aluminium double (air) clear Truber/uPVC/Ibreglass single clear Timber/uPVC/Ibreglass double (air) clear Timber/uPVC/Ibreglass Timber/uPVC/Ibreglass Timber/uPVC/Ibreglass Timber/uPVC/Ibreglass Timber/uPVC/Ibreglass Timber/uPVC/Ibreglass Timber/uPVC/Ibreglass Timber/uPVC/Ibreg	~
Aluminium double (air) clear Timber/uPVC/Ibreglass single clear Timber/uPVC/Ibreglass double (air)	
TimberluPVCfibreglass single clear TimberluPVCfibreglass single clear TimberluPVCfibreglass double (air) clear TimberluPVCfibreglass double (air) clear TimberluPVCfibreglass double (air) clear Tord the glass of trame types, ach window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Cain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. Window/glazed door no. Maximum Maximum width Type Shading Device (Dimension within Overshadowing Work 2100 800 U-value: 5.6, SHGC: 0.389 - 0.451 eave 600 mm, 400 mm above head not overshadowed	
TimberluPVCflbreglass double (air) clear For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than the tisde and a Soart Heat Cain Ccefficient (SHGC) within the range of those listed. Total system U values and SHGC must be acludated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. Window/glazed door no. Maximum Maximum width Type Shading Device (Dimension within Covershadowing 10%) North facing W04 2100 800 U-value: 5.6, SHGC: 0.389 - 0.451 eve 600 mm, 400 mm above head not overshadowed	
For other glass or frame types, each window and glased door must be accompanied with certification showing a U usale no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Penestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. Window/glazed door no. Maximum Maximum width (mm) Type Shading Device (Dimension within for the state the she table below are for reference only. North facing W04 2100 800 U-value: 5.6, SHGC: 0.369 - 0.451 eve 600 mm, 400 mm above head not overshadowed	
than that listed and a Solar Heat Cain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types difference only. Window/glazed door no. Maximum Maximum width Type Shading Device (Dimension within Overshadowing 10%) North facing W04 2100 800 U-value: 5.6, SHGC: 0.369 - 0.451 seve 600 mm, 400 mm above head not overshadowed	1
height (mm) (mm) 10%) North facing W04 2100 800 U-value: 5.6, SHGC: 0.389 - 0.451 exve 600 mm, 400 mm above head not overshadowed	~
W04 2100 800 U-value: 5.6, SHGC: 0.369 - 0.451 eave 600 mm, 400 mm above head not overshadowed	
(aluminium, single, Lo-Tsol Low-e) of window or glazed door	
W05 1450 1950 U-value: 5.6, SHGC: 0.369 - 0.451 eave 600 mm, 400 mm above head not overshadowed of window or glazed door not overshadowed	
W09 1200 2700 U-value: 5.6, SHGC: 0.369 - 0.451 eave 600 mm, 400 mm above head not overshadowed of window or glazed door	
W11 600 1000 U-value: 5.6, SHGC: 0.369 - 0.451 eave 600 mm, 400 mm above head not overshadowed of window or glazed door not overshadowed	
W12 600 1000 U-value: 5.6, SHGC: 0.369 - 0.451 eave 600 mm, 400 mm above head of window or glazed door not overshadowed	

Window/glazed door no.	Maximum height (mm)	Ma (m
W13	600	100
W14	600	100
East facing	1	
W01	2100	800
W06	2100	400
W10	1200	270
South facing	1	
W07	2100	700
West facing		
W08	500	300
D03	2100	330
D04	2100	180
W03	1150	175
	1200	330

Schedule of BASIX commitments

Basix Certificate

BASIX

A 28/08/2019 Alterations and Additions DS SR Issue Issue Date Description Drawn Approved	The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Creative HomePlans PO Box 394, Forestville NSW 2087 until issued for construction. Do not scale drawings. All boundaries and contours subject to survey. m: 0402451119 w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au	Creative OMEPLANS Designs that work
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page 4/9

page 1/9

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North Project Alterations and Additions

5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 25 square metres of the site.	¥	¥	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		¥	¥
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		¥	~
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		¥	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		¥	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	¥	¥	¥
The applicant must configure the rainwater tank to collect rain runoff from at least 169 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		¥	¥
The applicant must connect the rainwater tank to:			
all toilets in the development		¥	4
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		¥	V

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page 3/9

mum width)	Туре	Shading Device (Dimension within 10%)	Overshadowing
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 800 mm above head of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 800 mm above head of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.324 - 0.396 (aluminium, single, Lo-Tsol Low-e)	verandah 3000 mm, 3500 mm above base of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	verandah 3000 mm, 3000 mm above base of window or glazed door	not overshadowed
	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	verandah 3000 mm, 200 mm above base of window or glazed door	not overshadowed

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page 6/9

Drawing	g Title	Ba	asix Ce	ertificate Main	Dwelling		
Scale	1:2.28,	1:2.31, 1		Client	Mr Edmund No	ockolds	
Status	DA	Job No.	19101	Drawing No. DA20	Start Date 29/06/19	Issue	A

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas nstantaneous with a performance of 5 stars.	~	¥	¥
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a		¥	¥
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a		¥	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase irconditioning; Energy rating: 5 Star		¥	~
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		¥	~
/entilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		¥	~
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		¥	~
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		¥	¥
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the ollowing rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or ght emitting diode (LED) langs:			
at least 4 of the bedrooms / study;		¥	~
at least 1 of the living / dining rooms; dedicated		¥	~
the kitchen: dedicated			

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
all bathrooms/toilets; dedicated		~	~
the laundry; dedicated			
all hallways; dedicated		Ĵ	Ĵ
Natural lighting		Ţ	Ţ
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	~	~	~
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	¥	~	~
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		¥	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		¥	

Legend	
In these commitment	ts, "applicant" means the person ca
	ied with a v in the "Show on DA p tion is to be lodged for the propose
	ied with a v in the "Show on CC/ g development certificate for the pr
Commitments identif final) for the develop	ied with a v in the "Certifier check ment may be issued.

BASIX Planning & Environment www.basix.nsw.gov.au

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to	Creative HomePlans PO Box 394.		North	Project Alterations and Additions
					the Architect or Draftsperson. Drawings shall not be used for construction purposes	Forestville NSW 2087	To Creative		5 Forest Glen Cres, Belrose 2085
					until issued for construction.				Lot 20 IN DP 219001
А	28/08/2019	Alterations and Additions	DS	SR	Do not scale drawings. All boundaries and	m: 0402451119		\mathbf{V}	
Issue	Issue Date	Description	Drawn	Approved	contours subject to survey.	w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au	DESIGNS THAT WORK	U	

n carrying out the development. IA plans" column must be shown on the plans accompanying the development application for the proposed development (if a cosed development). IC/CDC plans and spects" column must be shown in the plans and specifications accompanying the application for a construction proposed development. Beck" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim of

Version: 3.0 / DARWINIA_3_10_0 Certificate No.: 1046086S Wednesday, 30 October 2019

page 9/9

Drawing Ti	itle	Basix Certificate Main Dwelling							
Scale		1:2.28	A3	Client	Mr Edmund No	ockolds			
Status		Job No.		Drawing No.	Start Date	Issue			
	DA		19101	DA21	29/06/19	A			

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling Certificate number: 1050251S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary Date of issue: Wednesday, 30 October 2019 To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW Planning & Environment

Project summary						
Project name	Forest Glen Granny F	Forest Glen Granny Flat				
Street address	5 Forest Glen Crescer	nt Belrose 2085				
Local Government Area	Northern Beaches Co	uncil				
Plan type and plan number	deposited 219001					
Lot no.	20					
Section no.	-					
Project type	separate dwelling hou	se				
No. of bedrooms	1					
Project score						
Water	✔ 44	Target 40				
Thermal Comfort	V Pass	Target Pass				
Energy	50	Target 50				

Name / Company Name: Creative Homeplans	
ABN (if applicable): 69145888446	

page 1/9

Description of project

Plan type and plan number Deposited Plan 219001 Area adjusted cooling load (MJ/m²-year) n/a Lot no. 20 Area adjusted cooling load (MJ/m²-year) n/a Section no. - Project score Project score	
Plan type and plan number Deposited Plan 219001 Area adjusted cooling load (MJ/m²-year) n/a .ot no. 20 Area adjusted cooling load (MJ/m²-year) n/a Section no. - Project Score Project Score	
Lot no. 20 Area adjusted heating load (MJ/m².year) n/a Section no Project score Project score	
Section no. Project score	
Project type Water 44 Tame	
	40
Project type separate dwelling house	-10
No. of bedrooms 1 Thermal Comfort Pass Targe	Pass
Site details Energy V 50 Targe	50
Site area (m ²) 697	
Roof area (m ²) 67	
Conditioned floor area (m2) 35.78	
Jnconditioned floor area (m2) 5.57	
Fotal area of garden and lawn (m2) 30	

Schedule of BASIX commitments

BASIX

page 5/9

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check		
General features					
The dwelling must not have more than 2 storeys.	~	~	~		
The conditioned floor area of the dwelling must not exceed 3	00 square metres.		~	~	~
The dwelling must not contain open mezzanine area exceed	ing 25 square metres.		~	~	~
The dwelling must not contain third level habitable attic room	L.		~	~	~
Floor, walls and ceiling/roof			-		
The applicant must construct the floor(s), walls, and ceiling/rebelow.	oof of the dwelling in accordance with the specifications liste	d in the table	~	~	~
Construction	Additional insulation required (R-Value)	ecifications			
floor - concrete slab on ground	nil				
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)				
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)				
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)				
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)				
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (55 mm)	framed; n	nedium (solar	absorptance 0.475-0.70	0)
	Illed in accordance with Part 3.12.1.1 of the Building Code of				
In some climate zones, insulation should be installed	ed with due consideration of condensation and associated in	teraction with a	ajoining buildir	ig materials.	
IX Planning & Environment www.basix.nsw.gov.au	Version: 3.0 / DARWINIA 3 10 0 Certificate No.: 1050	064.C W	dnesdav. 30 Oct	2010	p

Planning & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_10_0 Certificate No.: 1050251S Wednesday, 30 October 2019

					DA plans	plans & specs	check
Windows, glazed do	ors and skyligh	ts					
			evices described in the table below, in a ons must be satisfied for each window a		~	¥	~
The dwelling may have 1 s	~	¥	~				
The following requirement:	s must also be satisf	ied in relation to each	window and glazed door:		~	¥	¥
For the following glass	and frame types, the	e certifier check can b	e performed by visual inspection.				~
- Aluminium single cl	ear						
- Aluminium double (air) clear						1
- Timber/uPVC/fibreg	glass single clear						
- Timber/uPVC/fibred	alass double (air) cle	ar					
	e types, each windo		st be accompanied with certification sh	owing a U value no greater			
 For other glass or fram than that listed and a 	Solar Heat Gain Co rdance with National	w and glazed door mu efficient (SHGC) withir	ist be accompanied with certification sh n the range of those listed. Total system Council (NFRC) conditions. Frame and	n U values and SHGC must			~
 For other glass or fram than that listed and a be calculated in acco table below are for re 	Solar Heat Gain Co rdance with National	w and glazed door mu efficient (SHGC) withir	n the range of those listed. Total system	n U values and SHGC must	sion within	Overshadowing	~
 For other glass or fram than that listed and a be calculated in acco table below are for re Window/glazed door no. 	Solar Heat Gain Co rdance with National ference only. Maximum	w and glazed door mu efficient (SHGC) within Fenestration Rating (Maximum width	n the range of those listed. Total systen Council (NFRC) conditions. Frame and	n U values and SHGC must glass types shown in the Shading Device (Dimens	sion within	Overshadowing	~
For other glass or fram than that listed and a be calculated in acco table below are for re Window/glazed door no. North facing	Solar Heat Gain Co rdance with National ference only. Maximum	w and glazed door mu efficient (SHGC) within Fenestration Rating (Maximum width	n the range of those listed. Total systen Council (NFRC) conditions. Frame and	n U values and SHGC must glass types shown in the Shading Device (Dimens		Overshadowing not overshadowed	~
 For other glass or fram than that listed and a be calculated in according 	Solar Heat Gain Co rdance with National ference only. Maximum height (mm)	w and glazed door mu efficient (SHGC) within Fenestration Rating (Maximum width (mm)	n the range of those listed. Total system Council (NFRC) conditions. Frame and Type	n U values and SHGC must glass types shown in the Shading Device (Dimens 10%) eave 600 mm, 150 mm at	cove head		~
For other glass or fram than that listed and a be calculated in acco- table below are for re Window/glazed door no. North facing W18	Solar Heat Gain Co rdance with National ference only. Maximum height (mm) 500	w and glazed door mu efficient (SHGC) within Fenestration Rating (Maximum width (mm) 1000	the range of those listed. Total system Council (NFRC) conditions. Frame and Type U-value: 5.4, SHGC: 0.522 - 0.638 (aluminum, single, H=Tsol Low=) U-value: 5.4, SHGC: 0.522 - 0.638	n U values and SHCC must glass types shown in the Shading Device (Dimens 10%) eave 600 mm, 150 mm at of window or glazed door eave 600 mm, 150 mm at	cove head	not overshadowed	~
For other glass or fram than that listed and a be calculated in acco table below are for re Window/glazed door no. North facing W18	Solar Heat Gain Co rdance with National ference only. Maximum height (mm) 500 500	w and glazed door mu efficient (SHGC) within Fenestration Rating (Maximum width (mm) 1000 1000	Type Type U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, H-Tsol Low-0 U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, H-Tsol Low-0 U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, H-Tsol Low-0 U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, H-Tsol Low-0)	n U values and SHGC must glass types shown in the Shading Device (Dimens 10%) eave 600 mm, 150 mm at of window or glazed door eave 600 mm, 150 mm at of window or glazed shor	oove head oove head oove head	not overshadowed	~

				-		-		
Planning & Environment	www.basix.nsw.go	v.au Version	n: 3.0 / DARWINIA_	3_10_0	Certificat	te No.: 1050251S	Wednesday, 30 O	ctober 2019

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
East facing					
W17	1200	1500	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	verandah 2000 mm, 600 mm above base of window or glazed door	not overshadowed
D6	2100	2100	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	awning (fixed) 750 mm, 2300 mm above base of window or glazed door	not overshadowed
West facing					
W16	500	2100	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 900 mm above head of window or glazed door	not overshadowed
D7	2100	1800	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 1100 mm above head of window or glazed door	not overshadowed

BASIX Planning & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_10_0 Certificate No.: 1050251S Wednesday, 30 October 2019

Basix Certificate

				The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings	Creative HomePlans PO Box 394,	Creative	North	Project Alterations and Additions	Drawing T		ificate Secon	dary Dwellig	
A 28/08/2019	Alterations and Additions	DS	SD.	shall not be used for construction purposes until issued for construction.	Forestville NSW 2087	OMEPLANS		5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001		A: 2.28, 1:2.31, 1:2.30:	3 Client	Mr Edmund No	ockolds
Issue Issue Date	Description	Drawn	Approved	Do not scale drawings. All boundaries and contours subject to survey.	w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au	DESIGNS THAT WORK	U		Status	DA Job No. 1910	Drawing No. 1 DA22	Start Date 29/06/19	Issue A

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying
development certificate issued, for the proposed development, that BASIX commitments be complied with.
development defandate issued, for the proposed development, that bronk committenents be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 5 square metres of the site.	¥	¥	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		~	~
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		*	~
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		¥	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		*	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	¥	¥	¥
The applicant must configure the rainwater tank to collect rain runoff from at least 67 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		¥	~
The applicant must connect the rainwater tank to:			
all toilets in the development		~	~
the cold water tap that supplies each clothes washer in the development		~	¥
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		v	~

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page 3/9

page 6/9

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	¥	¥	¥
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a		¥	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a		¥	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 6 Star		¥	¥
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		¥	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		¥	~
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		<u> </u>	~
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		¥	¥
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word 'dedicated' appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) large:			
at least 1 of the bedrooms / study; dedicated		4	4
at least 1 of the living / dining rooms; dedicated			
- the Distance dedicated		¥	×
the kitchen; dedicated		v	v

DA plans plans & specs check Lege • all bathroomstollets; dedicated In the In the In the
the laundry dedicated
all hallways; dedicated developments ide
certificate / compl
Natural lighting Commitments de
e applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
he applicant must install a window and/or skylight in 1 bathroom(s)tollet(s) in the development for natural lighting.
Other
he applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX effinitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.
XX Planning & Environment www.basik.rew.gov.au Version: 3.0 / DARWINIA. 3.10.0 Centificate No.: 10502515 Wednesday, 30 October 2019 page 89

Legend
In these commitments, "applicant" means the person carryi
Commitments identified with a v in the "Show on DA plan development application is to be lodged for the proposed de
Commitments identified with a win the "Show on CC/CDC certificate / complying development certificate for the propo
Commitments identified with a v in the "Certifier check" confinal) for the development may be issued.

. BASIX Planning & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_10_0 Certificate No.: 1050251S Wednesday, 30 October 2019 page 7/9

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes	Creative HomePlans PO Box 394, Forestville NSW 2087	Creative OMEPLANS		Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001
Α	28/08/2019	Alterations and Additions	DS	SR	until issued for construction. Do not scale drawings. All boundaries and	m: 0402451119		\mathbf{y}	
Issue	Issue Date	Description	Drawn	Approved	contours subject to survey.	w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au	DESIGNS THAT WORK	\cdot	

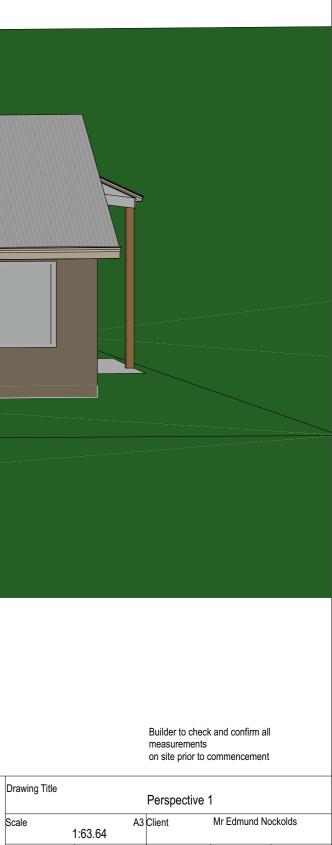
rrying out the development. Ians' column must be shown on the plans accompanying the development application for the proposed development (if a development). DC plans and specs' column must be shown in the plans and specifications accompanying the application for a construction sposed development.

column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or

Builder to check and confirm all measurements on site prior to commencement page 9/9

Drawing Title Basix Certificate Secondary Dwelling									
Scale A3 1:2.28			A3	3 Client Mr Edmund Nockolds					
Status	DA	Job No.	19101	Drawing No. DA23	Start Date 29/06/19	Issue	A		

Perspective 1	1:63.6	64				
	ions and Additions	DS Drawn	 The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au	Creatin OMEPLAN Designs that w	and Additions In Cres, Belrose 208 2 219001



Scale		1:63.64	AS	Chent		ICKUIUS	
Status		Job No.		Drawing No.	Start Date	Issue	
	DA		19101	DA26	29/06/19		Α