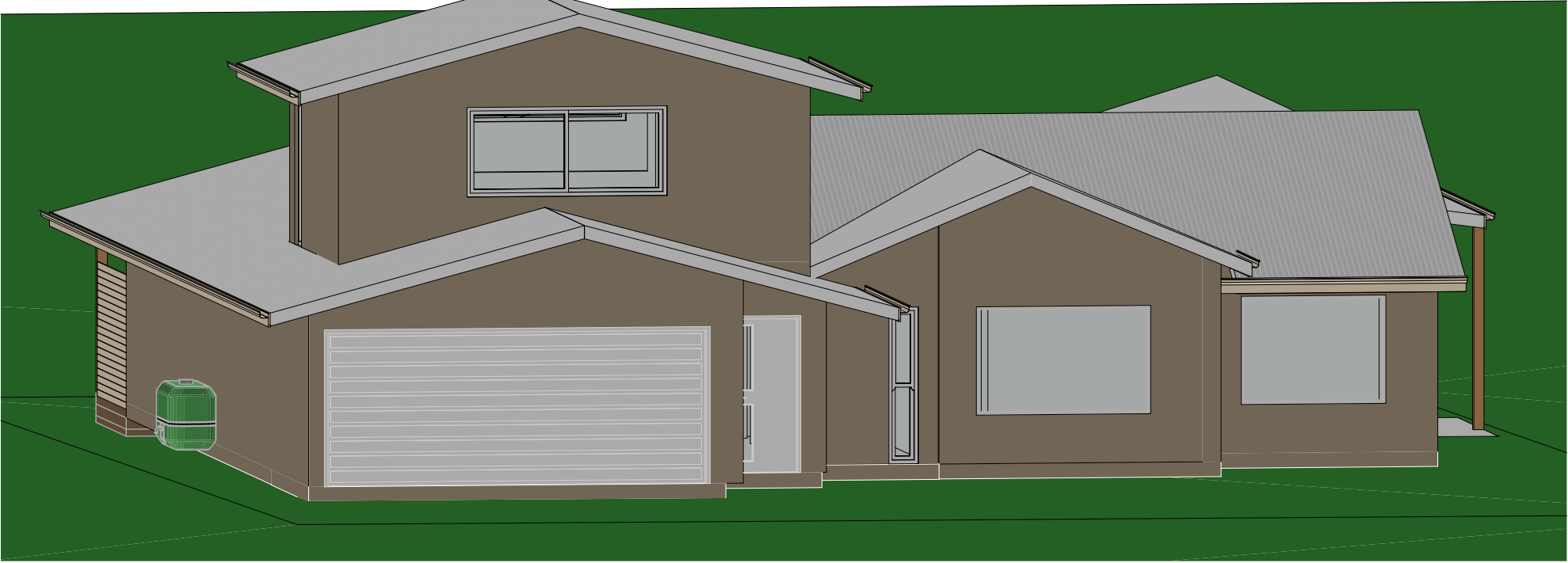




Location Map



Perspective

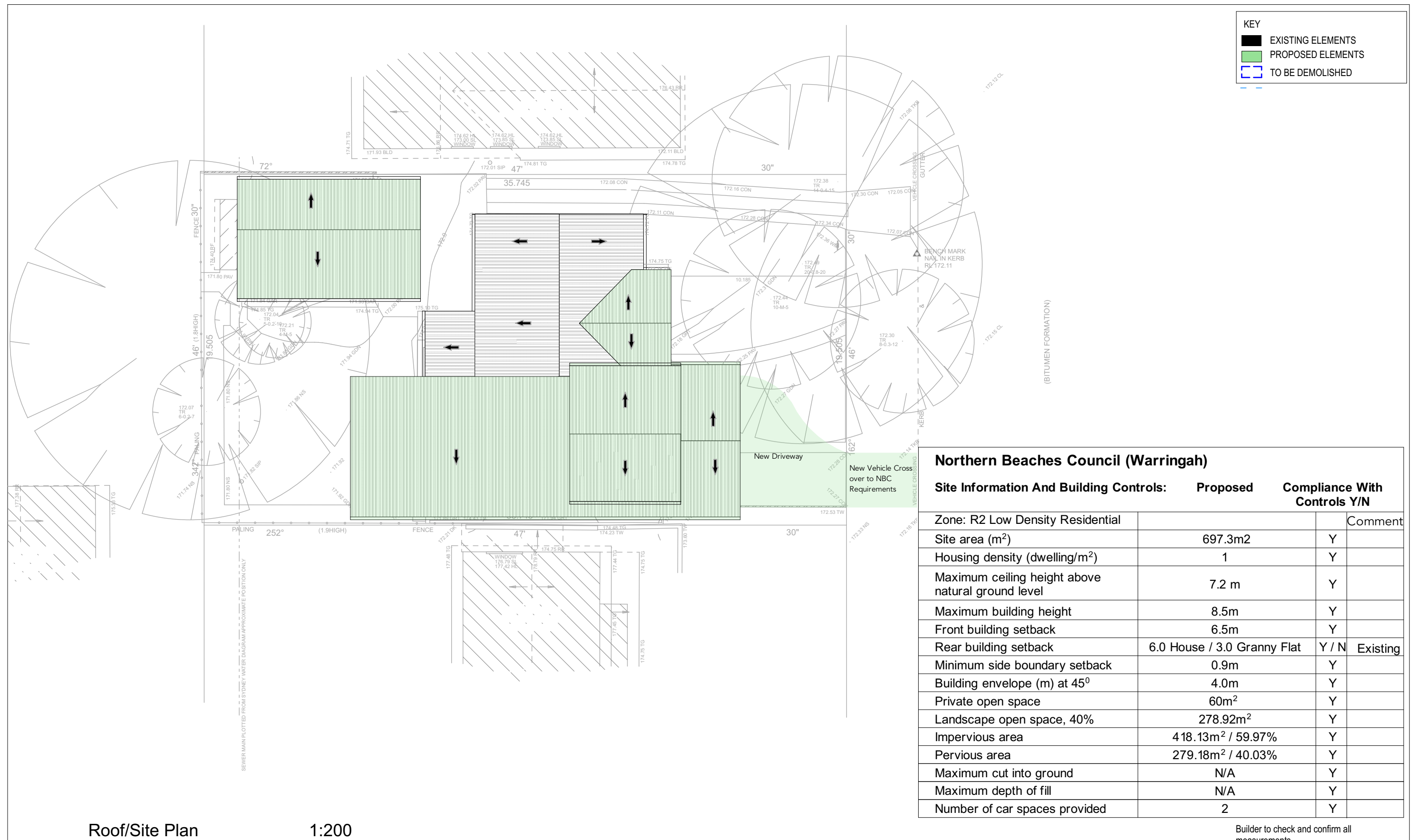




Creative HomePlans
PO Box 394, Forestville
NSW 2087

m: 0402 451 119
w: www.creativehomeplans.com.au
e: shane@creativehomeplans.com.au

Alterations and Additions
Alterations and Additions for Mr Edmund Nockolds
5 Forest Glen Cres, Belrose 2085

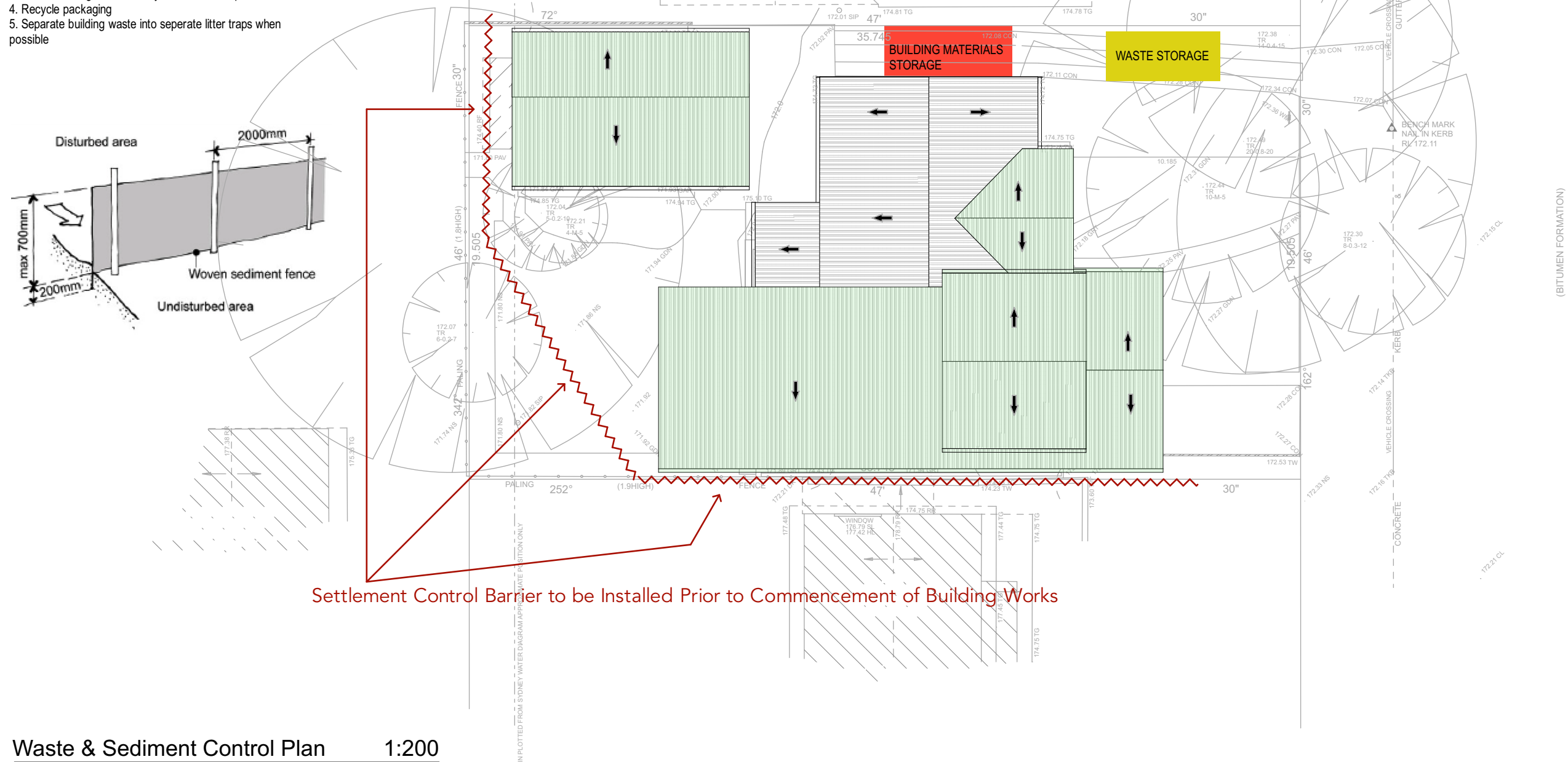
Drawing List	
Dwg No.	Description
DA01	Cover Page
DA02	Survey Plan
DA03	Site/Roof Plan
DA04	Site Analysis Plan
DA05	Waste & Sediment Control Plan
DA06	Stormwater Management Plan
DA07	Landscape Open Space Plan
DA08	Existing Ground Floor Plan
DA09	Demolition Plan Ground Floor
DA10	New Ground Floor
DA11	New First Floor
DA12	Elevations 1 - Main Dwelling
DA13	Elevations 2 - Main Dwelling
DA14	Elevations 3 - Secondary Dwelling
DA15	Sections
DA16	Shadow Diagrams June 21st 9am
DA17	Shadow Diagrams June 21st 12pm
DA18	Shadow Diagrams June 21st 3pm
DA19	Colours & Finishes Schedule
DA20	Basix Certificate Main Dwelling
DA21	Basix Certificate Main Dwelling
DA22	Basix Certificate Secondary Dwellig
DA23	Basix Certificate Secondary Dwelling
DA24	Door And Window Schedule Main Dwelling
DA25	Door And Window Schedule Secondary Dwelling
DA26	Perspective 1



					<p>The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.</p>	<p>Creative HomePlans PO Box 394, Forestville NSW 2087</p> <p>m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au</p>		<p>North</p> 	<p>Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001</p>	Drawing Title <div>Site/Roof Plan</div>				
										Scale <div>1:200</div>	A3 Client <div>Mr Edmund Nockolds</div>			
A	28/08/2019	Alterations and Additions	DS	SR						Status <div>DA</div>	Job No. <div>19101</div>	Drawing No. <div>DA03</div>	Start Date <div>29/06/19</div>	Issue <div>A</div>
Issue	Issue Date	Description	Drawn	Approved										



1. Install Sediment Barrier on East side of Property and to neighbouring properties to North & South
2. Connect gutter to new flatroof into existing downpipe to side of Living
3. Clean and Clear footpath and Roadway as required
4. Store all hard waste and litter in designated area
5. Preserve as much grassed area as possible

1. Store hard waste in away which avoids material loss caused by wind or water
2. Avoid waste by ordering materials only in required quantities
3. Re-use roofing and order recycled roof tiles if possible.
4. Recycle packaging
5. Separate building waste into separate litter traps when possible



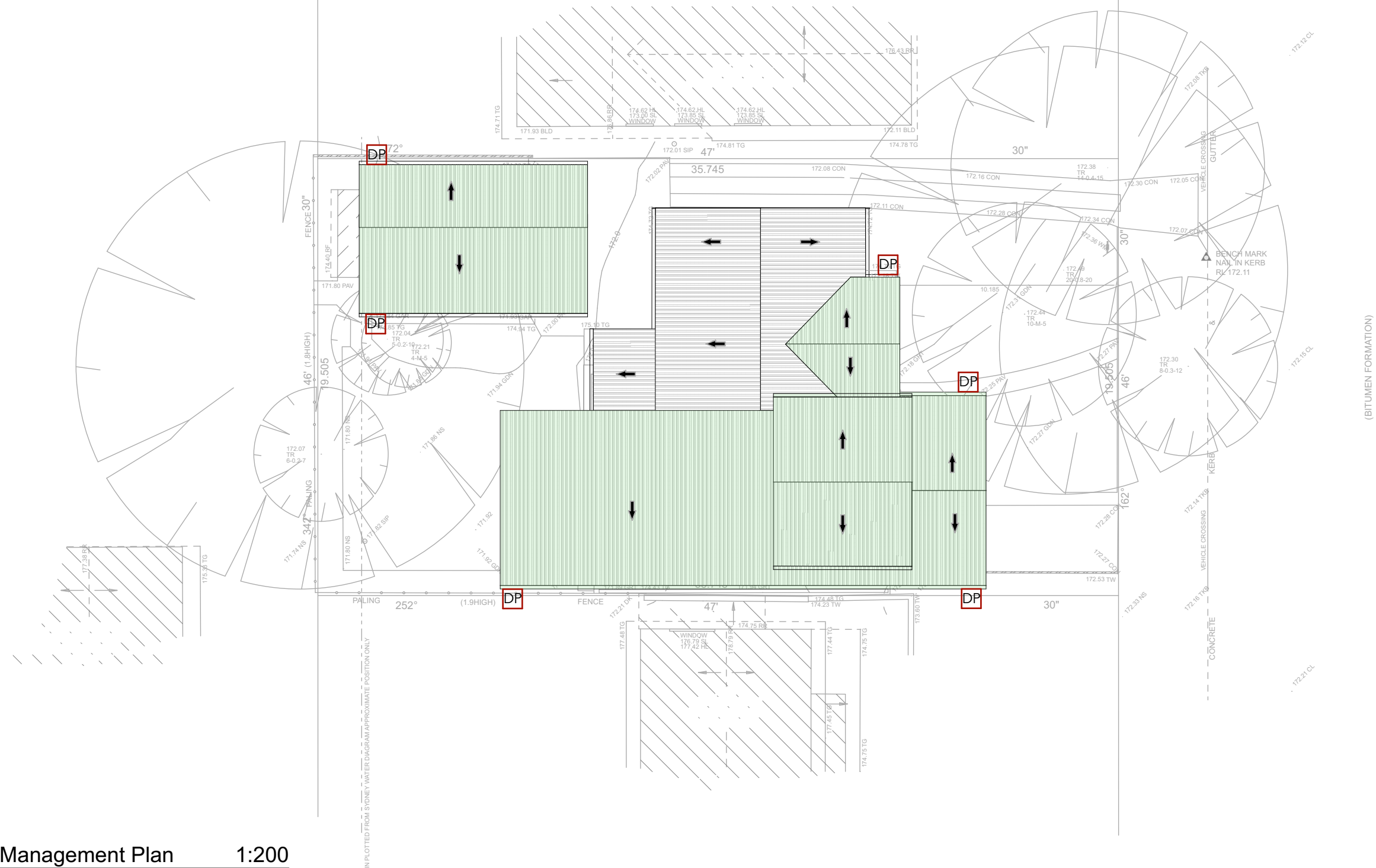
Waste & Sediment Control Plan 1:200

Builder to check and confirm all
measurements
on site prior to commencement

					<p>The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.</p>	<p>Creative HomePlans PO Box 394, Forestville NSW 2087</p> <p>m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au</p>		<p>North</p> 	<p>Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001</p>	Drawing Title Waste & Sediment Control Plan				
										Scale 1:200	A3	Client Mr Edmund Nockolds		
A	28/08/2019	Alterations and Additions	DS	SR						Status DA	Job No. 19101	Drawing No. DA05	Start Date 29/06/19	Issue A
Issue	Issue Date	Description	Drawn	Approved										



Granny Flat Downpipes to be Connected to Original Garage Stormwater Line

New House Downpipes to be Connected to Existing Stormwater Line Once Checked and Approved to Be Adequate By Plumber



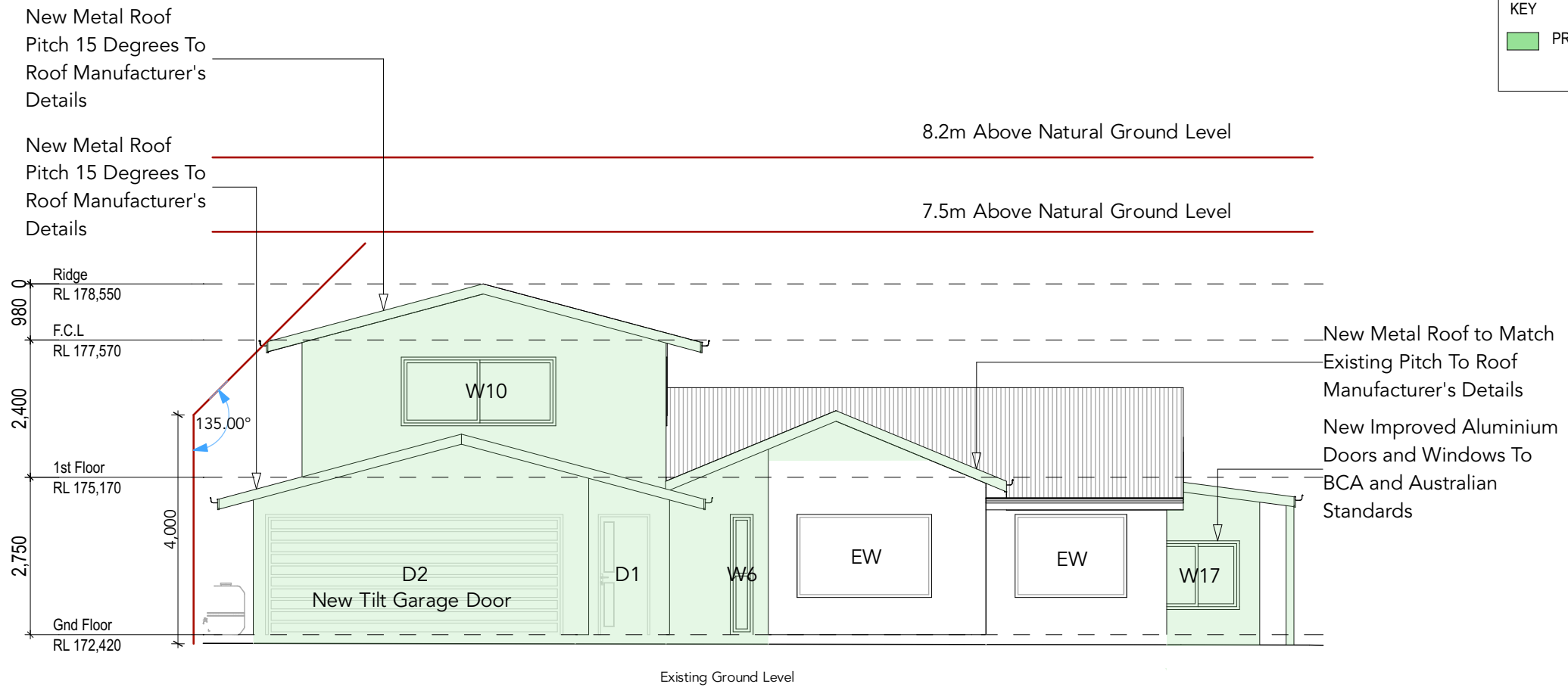
Stormwater Management Plan 1:200

Builder to check and confirm all measurements on site prior to commencement

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		North 	Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001	Drawing Title Stormwater Management Plan				
										Scale 1:200	A3	Client Mr Edmund Nockolds		
A	28/08/2019	Alterations and Additions	DS	SR						Status DA	Job No. 19101	Drawing No. DA06	Start Date 29/06/19	Issue A
Issue	Issue Date	Description	Drawn	Approved										

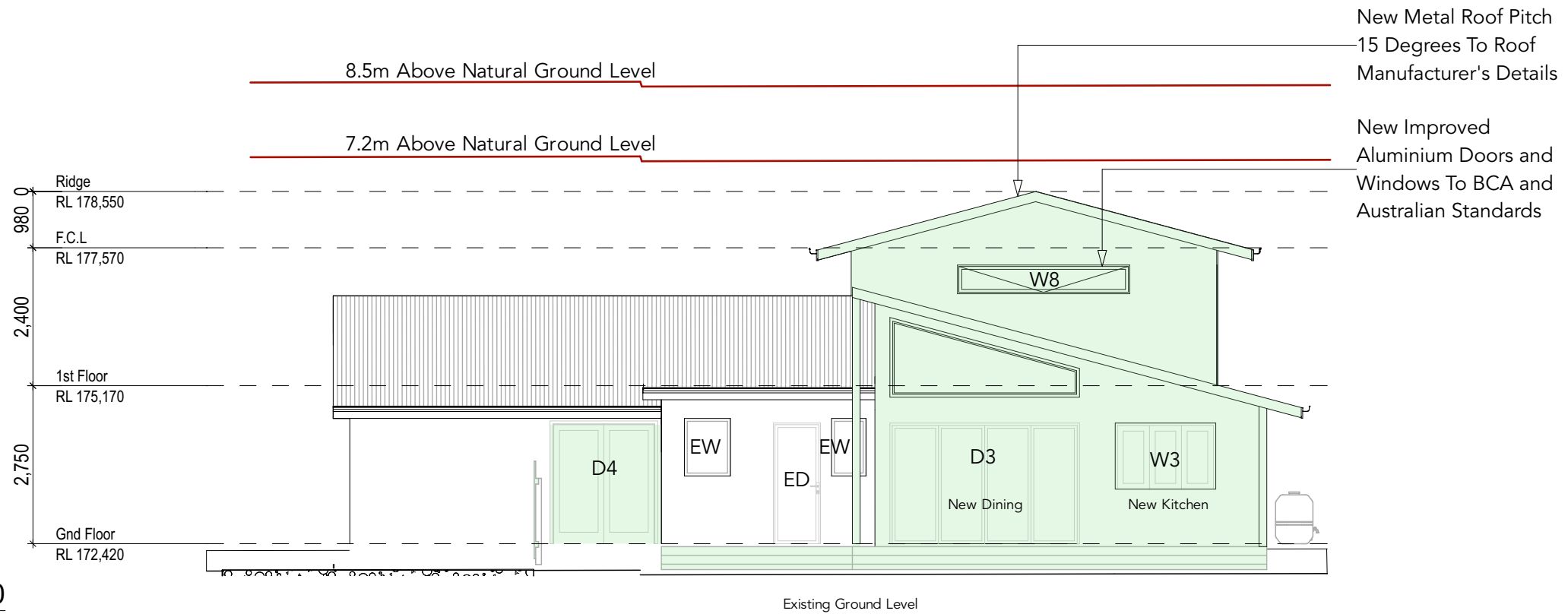
East Elevation

1:100




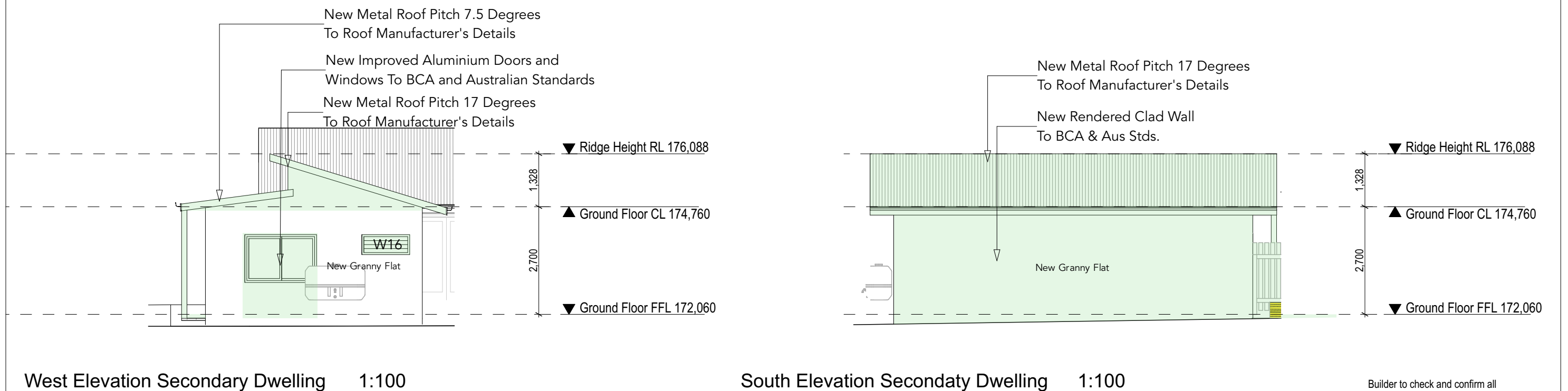
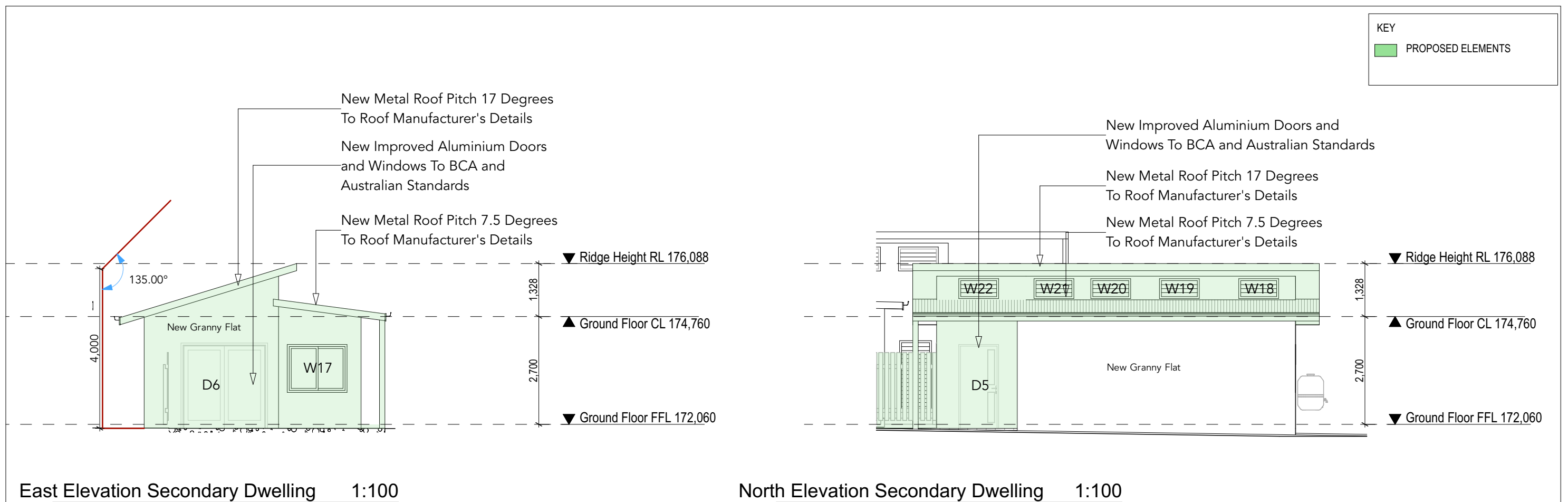
West Elevation



1:100

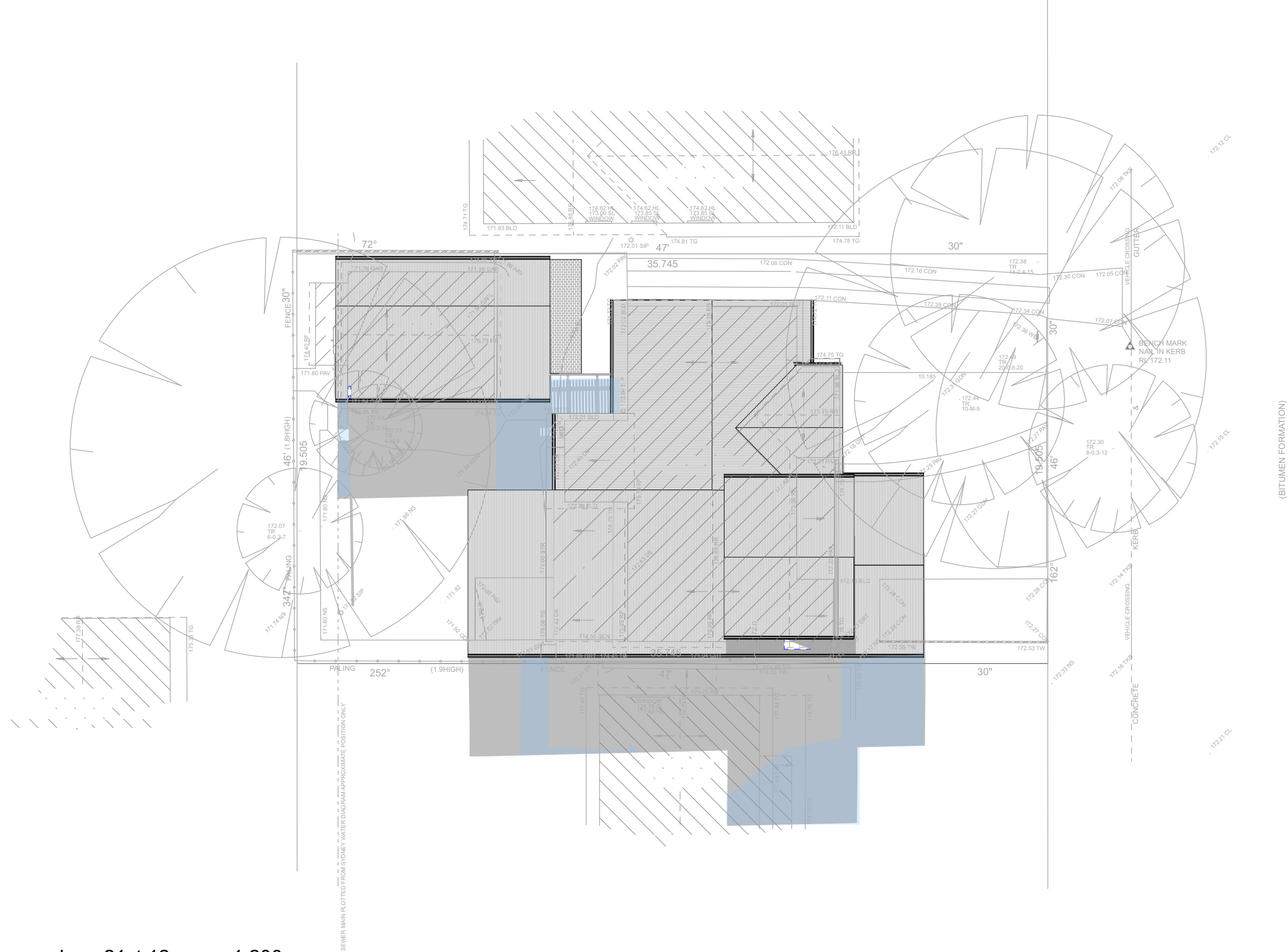


Builder to check and confirm all measurements
on site prior to commencement

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001	Drawing Title Elevations 2 - Main Dwelling				
									Scale 1:100	A3	Client Mr Edmund Nockolds		
A	28/08/2019	Alterations and Additions	DS	SR					Status DA	Job No. 19101	Drawing No. DA13	Start Date 29/06/19	Issue A
Issue	Date	Description	Drawn	Approved									



					<p>The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction.</p> <p>Do not scale drawings. All boundaries and contours subject to survey.</p>	<p>Creative HomePlans PO Box 394, Forestville NSW 2087</p> <p>m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au</p>		<p>North</p> 	<p>Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001</p>	<p>Drawing Title Elevations 3 - Secondary Dwelling</p>				
										<p>Scale 1:100</p>	<p>Client Mr Edmund Nockolds</p>			
A	28/08/2019	Alterations and Additions	DS	SR										
Issue	Issue Date	Description	Drawn	Approved										
										<p>Status DA</p>	<p>Job No. 19101</p>	<p>Drawing No. DA14</p>	<p>Start Date 29/06/19</p>	<p>Issue A</p>



KEY

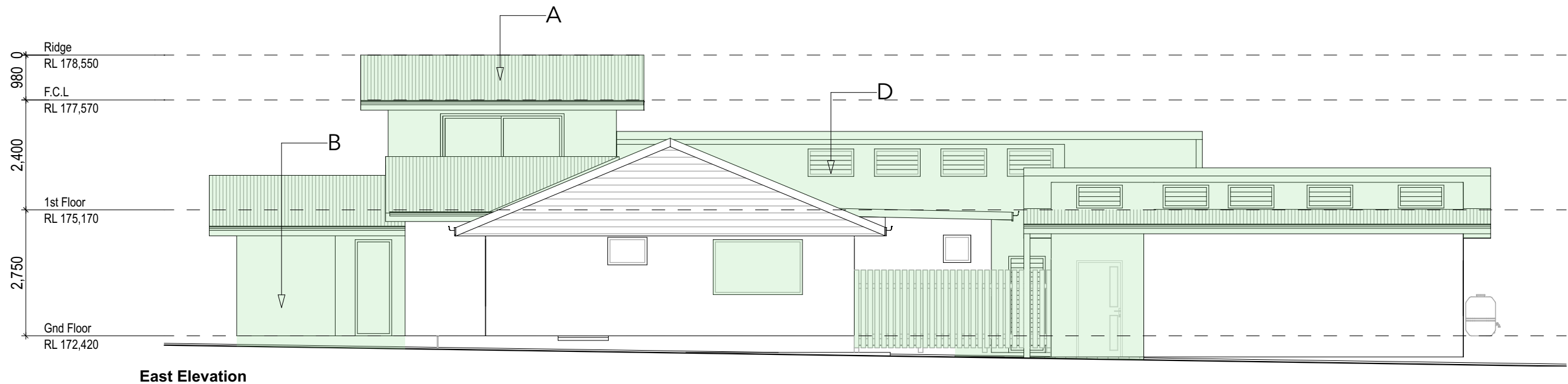
Existing Shadow

Proposed Shadow

Shadow Diagrams June 21st 12pm 1:200

on site prior to commencement

					<div>The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.</div>	<div>Creative HomePlans PO Box 394, Forestville NSW 2087</div> <div>m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au</div>	<div><div></div></div> <div>North</div> <div><div></div></div>	<div>Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001</div>	Drawing Title Shadow Diagrams June 21st 12pm				
									Scale 1:200	A3	Client Mr Edmund Nockolds		
A	28/08/2019	Alterations and Additions	DS	SR					Status DA	Job No. 19101	Drawing No. DA17	Start Date 29/06/19	Issue A
Issue	Issue Date	Description	Drawn	Approved									



North Elevation 1:100



NEW METAL CLAD ROOF
MEDIUM TO DARK
COLOURATION



NEW CLAD WALL COLOUR TO
OWNER'S REQUIREMENTS




NEW TIMBER DECK, COLOUR TO
OWNER'S REQUIREMENTS



NEW IMPROVED ALUMINIUM
DOORS AND WINDOWS TO BCA
AND AUST STANDARDS AND
OWNER'S REQUIREMENTS

Colours And Finishes Schedule

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001	Drawing Title Colours & Finishes Schedule				
									Scale 1:1, 1:0.92, 1:100		A3	Client Mr Edmund Nockolds	
A	28/08/2019	Alterations and Additions	DS	SR					Status DA	Job No. 19101	Drawing No. DA19	Start Date 29/06/19	Issue A
Issue	Date	Description	Drawn	Approved									

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1046086S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 30 October 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Forest Glen	
Street address	5 Forest Glen Crescent Belrose 2085	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 219001	
Lot no.	20	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✔ 43	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 56	Target 50

Certificate Prepared by

Name / Company Name: Creative HomePlans

ABN (if applicable): 69145888446

Description of project

Project address		Assessor details and thermal loads	
Project name	Forest Glen	Assessor number	n/a
Street address	5 Forest Glen Crescent Belrose 2085	Certificate number	n/a
Local Government Area	Northern Beaches Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 219001	Area adjusted cooling load (MJ/m²·year)	n/a
Lot no.	20	Area adjusted heating load (MJ/m²·year)	n/a
Section no.	-	Project score	
Project type	separate dwelling house	Water	✓ 43 Target 40
No. of bedrooms	4	Thermal Comfort	✓ Pass Target Pass
Site details		Energy	✓ 56 Target 50
Site area (m²)	697		
Roof area (m²)	279		
Conditioned floor area (m2)	154.95		
Unconditioned floor area (m2)	9.75		
Total area of garden and lawn (m2)	279		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 25 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 169 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development		✓	✓
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features				
The dwelling must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground, 26 square metres	nil			
floor - suspended floor above open subfloor, 18.22 square metres, framed	0.8 (or 1.5 including construction) (down)			
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)			
internal wall shared with garage - plasterboard	nil			
ceiling and roof - flat ceiling / pitched roof	ceiling: 3.95 (up), roof: foil backed blanket (55 mm)	unventilated; medium (solar absorptance 0.475-0.70)		
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 4.24 (up), roof: foil backed blanket (55 mm)	framed; medium (solar absorptance 0.475-0.70)		
Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
<ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/uPVC/fibreglass single clearTimber/uPVC/fibreglass double (air) clearFor other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.				✓		✓
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing	
North facing						
W04	2100	800	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed	
W05	1450	1950	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed	
W09	1200	2700	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed	
W11	600	1000	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed	
W12	600	1000	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed	

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W13	600	1000	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
W14	600	1000	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
East facing					
W01	2100	800	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
W06	2100	400	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 800 mm above head of window or glazed door	not overshadowed
W10	1200	2700	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 800 mm above head of window or glazed door	not overshadowed
South facing					
W07	2100	700	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
West facing					
W08	500	3000	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
D03	2100	3300	U-value: 5.6, SHGC: 0.324 - 0.396 (aluminium, single, Lo-Tsol Low-e)	verandah 3000 mm, 3500 mm above base of window or glazed door	not overshadowed
D04	2100	1800	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 600 mm, 400 mm above head of window or glazed door	not overshadowed
W03	1150	1750	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	verandah 3000 mm, 3000 mm above base of window or glazed door	not overshadowed
W15	1200	3300	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	verandah 3000 mm, 200 mm above base of window or glazed door	not overshadowed

Basix Certificate

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		North 	Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001	Drawing Title Basix Certificate Main Dwelling				
										Scale 1:2.28, 1:2.31, 1:2.30		A3 Client Mr Edmund Nockolds		
A	28/08/2019	Alterations and Additions	DS	SR						Status DA	Job No. 19101	Drawing No. DA20	Start Date 29/06/19	Issue A
Issue	Issue Date	Description	Drawn	Approved										

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 Star		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 4 of the bedrooms / study;at least 1 of the living / dining rooms; dedicatedthe kitchen; dedicated		✓ ✓ ✓	✓ ✓ ✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">all bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated		✓ ✓ ✓	✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

Builder to check and confirm all measurements on site prior to commencement

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au		North 	Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001	Drawing Title Basix Certificate Main Dwelling				
										Scale 1:2.28		A3 Client Mr Edmund Nockolds		
A	28/08/2019	Alterations and Additions	DS	SR						Status DA	Job No. 19101	Drawing No. DA21	Start Date 29/06/19	Issue A
Issue	Issue Date	Description	Drawn	Approved										

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1050251S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 30 October 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Forest Glen Granny Flat	
Street address	5 Forest Glen Crescent Belrose 2085	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 219001	
Lot no.	20	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	1	
Project score		
Water	✓ 44	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

Certificate Prepared by	
Name / Company Name:	Creative Homeplans
ABN (if applicable):	69145888446

Description of project

Project address		Assessor details and thermal loads	
Project name	Forest Glen Granny Flat	Assessor number	n/a
Street address	5 Forest Glen Crescent Belrose 2085	Certificate number	n/a
Local Government Area	Northern Beaches Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 219001	Area adjusted cooling load (MJ/m²·year)	n/a
Lot no.	20	Area adjusted heating load (MJ/m²·year)	n/a
Section no.	-	Project score	
Project type		Water	✓ 44 Target 40
Project type	separate dwelling house	Thermal Comfort	✓ Pass Target Pass
No. of bedrooms	1	Energy	✓ 50 Target 50
Site details			
Site area (m²)	697		
Roof area (m²)	67		
Conditioned floor area (m2)	35.78		
Unconditioned floor area (m2)	5.57		
Total area of garden and lawn (m2)	30		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 5 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 67 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the developmentthe cold water tap that supplies each clothes washer in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓ ✓ ✓	✓ ✓ ✓

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features				
The dwelling must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground	nil			
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)			
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)			
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)			
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)			
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (55 mm)	framed; medium (solar absorptance 0.475-0.70)		
Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			



Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights				
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.		✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.		✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door: <ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/UPVC/fibreglass single clearTimber/UPVC/fibreglass double (air) clearFor other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.		✓	✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W18	500	1000	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 150 mm above head of window or glazed door	not overshadowed
W19	500	1000	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 150 mm above head of window or glazed door	not overshadowed
W20	500	1000	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 150 mm above head of window or glazed door	not overshadowed
W21	500	1000	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 150 mm above head of window or glazed door	not overshadowed
W22	500	1000	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 150 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
East facing					
W17	1200	1500	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	verandah 2000 mm, 600 mm above base of window or glazed door	not overshadowed
D6	2100	2100	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	awning (fixed) 750 mm, 2300 mm above base of window or glazed door	not overshadowed
West facing					
W16	500	2100	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 900 mm above head of window or glazed door	not overshadowed
D7	2100	1800	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 1100 mm above head of window or glazed door	not overshadowed

Basix Certificate

Builder to check and confirm all measurements on site prior to commencement

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		North 	Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001	Drawing Title Basix Certificate Secondary Dwellig				
										Scale 1:2.28, 1:2.31, 1:2.30		A3 Client Mr Edmund Nockolds		
										Status DA	Job No. 19101	Drawing No. DA22	Start Date 29/06/19	Issue A
A	28/08/2019	Alterations and Additions	DS	SR										
Issue	Issue Date	Description	Drawn	Approved										

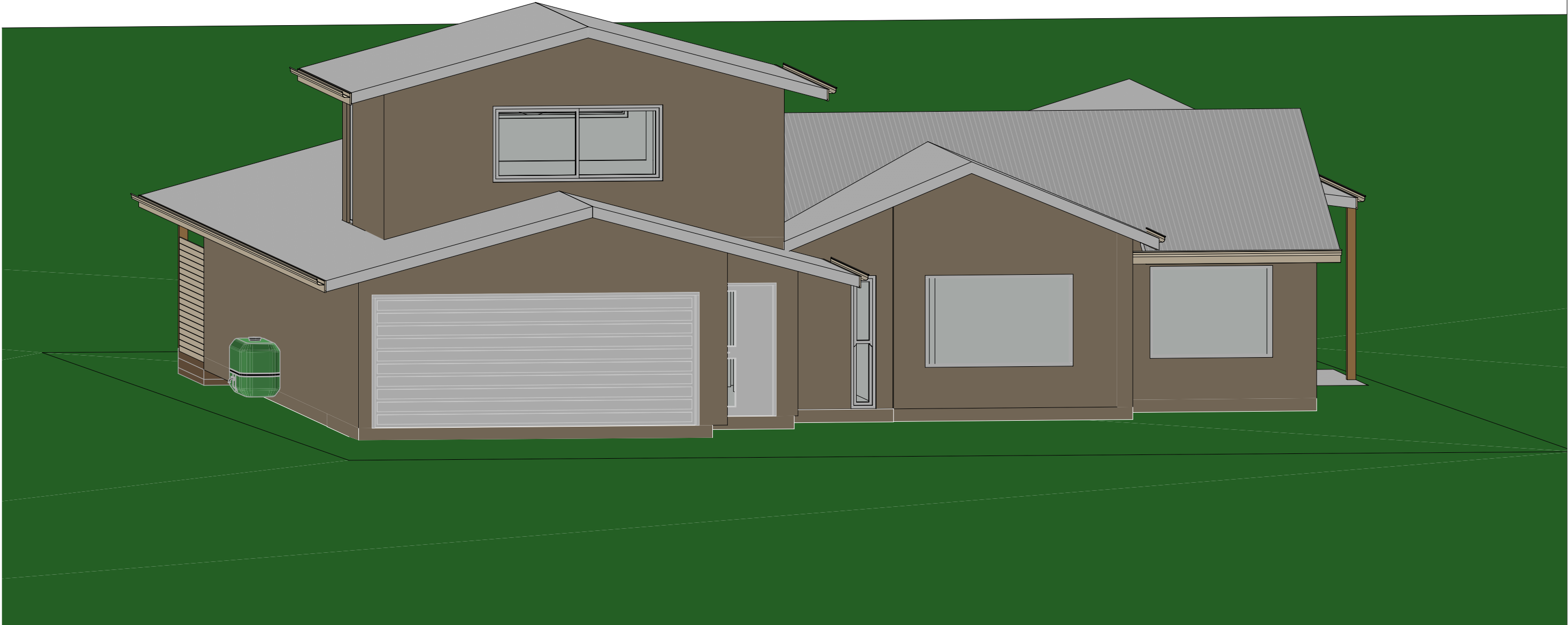
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 6 Star		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 1 of the bedrooms / study; dedicatedat least 1 of the living / dining rooms; dedicatedthe kitchen; dedicated		✓ ✓ ✓	✓ ✓ ✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">all bathrooms/toilets; dedicated		✓	✓
<ul style="list-style-type: none">the laundry; dedicated		✓	✓
<ul style="list-style-type: none">all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.


Builder to check and confirm all measurements on site prior to commencement

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au		North 	Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001	Drawing Title Basix Certificate Secondary Dwelling				
										Scale 1:2.28	A3	Client Mr Edmund Nockolds		
A	28/08/2019	Alterations and Additions	DS	SR						Status DA	Job No. 19101	Drawing No. DA23	Start Date 29/06/19	Issue A
Issue	Issue Date	Description	Drawn	Approved										



Perspective 11:63.64

Builder to check and confirm all measurements on site prior to commencement

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		North 	Project Alterations and Additions 5 Forest Glen Cres, Belrose 2085 Lot 20 IN DP 219001	Drawing Title Perspective 1				
										Scale 1:63.64		A3 Client Mr Edmund Nockolds		
A	28/08/2019	Alterations and Additions	DS	SR						Status DA	Job No. 19101	Drawing No. DA26	Start Date 29/06/19	Issue A
Issue	Issue Date	Description	Drawn	Approved										