

52 Lauderdale Avenue, Fairlight, NSW, 2094

Construction Management Plan

Prepared for: Platform Architects

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Project Details

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I.....have due authorization and delegation to sign this Construction Management Plan on behalf of the Company listed above and take responsibility for ensuring compliance with our commitment specified herein.

Signed.....Dated.....

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Appendix C – Site Layout Plan

Appendix D – Dial Before You Dig Service Locations

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Summary

This construction management plan has been prepared on behalf of DA Properties as supporting documentation for the Development Application made to Northern Beaches Council.

The report addresses major factors that influence the construction process of the site and provides steps to be taken to ensure the works are implemented with safety and efficiency as priorities.

Should the circumstances or parameters change in this construction management plan, then the construction management process should be reassessed.

Overview

The site contains an existing two-storey dwelling to be demolished.

The proposed development involves the construction of a dual occupancy / two semi-detached dwellings with a new crossover.

Construction will mainly be contained within the title boundary, with the footpath along the frontage being occupied during construction, and adequate measures to protect the amenity of the adjoining properties and council property have been considered with details outlined below.

Permit Conditions

This endorsed construction management plan must be implemented and complied with at all times to the satisfaction of the responsible authority unless with further written approval of the responsible authority.

Construction Timeline

Construction is planned to commence during September 2019 and is expected to be completed by September 2020.

More detail is contained within this report.

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1 Site Conditions, Public Amenity, Safety, and Site Security

1.1 General

1.1.1 Dilapidation Report

The Construction Contractor will prepare a dilapidation report of the existing boundary conditions of the site including the following items or items listed in the Development Consent:

- Nature Reserve
- Lauderdale Avenue Footpath
- Kerbings along Lauderdale Avenue
- Fences of adjoining properties

1.1.2 Services locations and protection

See Appendix D for all services plans.

GAS

Jemena Gas mains run along the southern end of the Lauderdale Avenue road reserve and also partially along the 52/54 Lauderdale Avenue frontages.

WATER

Sydney Water water mains run along the southern end of the Lauderdale Avenue road reserve.

Sydney Water sewer mains run along the eastern boundary of the site within the adjoining property boundary and partially along the southern end of the Lauderdale Avenue road reserve.

ELECTRICITY

Powerlines do not directly run along the site's frontage, but relatively high powerlines run across majority of Lauderdale Avenue. There is also a power pole located at the site frontage.

Though it is not anticipated that these power lines will cause any disruption during construction works, caution will still be taken during throughout construction to ensure any large vehicles are not at risk when entering the site and passing the area.

Disruptions to service supply are not anticipated but should any road opening be required; appropriate permits will be sought from the relevant service authorities.

Note: Dial Before You Dig plans are only valid for a period of 30 days following the date of enquiry. The information provided above and in Appendix D was obtained from Dial Before You Dig on 25.01.19.

1.1.3 Protection Works Notice – issued by Private Certifying Authority

Prior to issuing a building permit, the building surveyor will advise if a protection works notice is required. Protection works is usually only required where the building work is close to structures or vegetation on neighbouring properties.

Protection works may be required where there are structures other than paling fences built on the boundary and works are proposed in close proximity to these structures. If protection works are required, the following will be required:

- Notify affected neighbours by serving a Protection work notice, prepared by your private certifying authority
- Get appropriate insurance
- Prepare a survey of adjoining properties
- Pay expenses incurred

1.2 Public Amenity and Safety Measures

1.2.1 Clearing Roads & Footpaths

In the event that there are any spillages either from the top or base of construction vehicles, public roads or footpaths will be immediately cleaned manually with shovel, scraper and broom. Spillages will not be hosed nor allowed to flow down storm water drains.

1.2.2 Street Pedestrian Management

The footpath which currently runs along the site's frontage, will be temporarily closed during the construction period. Traffic signage located around the site will inform pedestrians of the upcoming footpath closure and redirect them to the other side of Lauderdale Avenue.

Any person will not, without a permit, undertake any activity which is likely to or does damage, interfere with or destroy anything in, on or under any road or Council land including, without limitation, any fence, tree, tree band / guard, sign, sprinkler, service conduit, hydrant or other assets vested in or under the control of the Council.

Surrounding footpaths on Lauderdale Avenue will be kept in their original condition and should not be obstructed unless authorised. Should the footpath become cracked and uneven at any stage through the construction process, Northern Beaches Council will be notified for a course of action to be taken.

Any damage to council assets throughout the development will be reinstated to the standard and satisfaction of the responsible authority and at the cost of the permit holder with any relevant permits or consent obtained from Council.

Trade vehicles accessing the site will be made aware of the surrounding residential properties and ensure they are cautious of the occupants and local pedestrians

Refer to Section 3 for details relating to Traffic Management.

See Appendix G – Traffic Management Plan for pedestrian redirection layout.

1.2.3 Public Protection Safety Provision During Construction Activities

An appropriately trained spotter/traffic manager will supervise all large delivery vehicles to ensure public safety – particularly during unloading/loading where risk to public safety may be heightened

1.2.4 On-site Safety and Protection

All persons, whether construction or authorised visitors entering the site must wear the necessary Personal Protective Equipment (PPE) provisions including hard toed shoes and high visibility gear. All workers should have safety glasses, hard hats and ear plugs available for use when appropriate.

1.3 Fencing, Lighting & Site Security

1.3.1 Construction Site Security

The construction site will be fenced with hoarding along the site frontage on Lauderdale Avenue. Existing fencing is located around the other boundaries of the site. If upon inspection, these fences are not within the acceptable conditions or the appropriate height, they will be further reinforced or replaced with temporary wire fencing.

All fences will be inspected and made secure prior to commencement of work and maintained at all times.

Fencing should be appropriately secured with dust-restricting cloth (if mesh wire fencing), with a height of at least 1.8 metres. The site gate will be closed where deliveries are not occurring.

1.3.2 Perimeter Fencing Lining

All perimeter chain wire fencing will be lined & securely fixed with shade cloth as a dust control barrier.



1.3.3 Site Lighting

Any overhead lighting provided for after-hours site security and safety will be pointing directly downwards and baffled to minimise light intrusion on adjoining lots.

1.3.4 Non-authorised Entry by Site Users

All visitors are to report to the site office/site supervisor before entering the site – this will be clearly signed. All construction access gates are to be securely locked at the end of each day.

1.3.5 Site Signage

Standard site signage will be installed on all site entries to identify project contact details, safety procedures and activities relating to high-risk construction activities and use of large equipment and plant.



2 Permits to be obtained from Council

All relevant Local Law permits must be obtained prior to the commencement of any works and all permit conditions must be complied with.

2.1 Asset Protection Permit – Issued by Council

The site manager will ensure public assets and infrastructure – such as footpaths, drains, nature strips, roads and vehicle crossovers – are reinstated if damaged as a result of building works.

Evidence that council assets have not being damaged or affected will be supported by the contents of the dilapidation report.

If during the course of construction, the footpath or the nature strip is damaged, the damaged area will be levelled, reconstructed and/or reseeded to council satisfaction.

Any person will not, without a permit, undertake any activity which is likely to or does damage, interfere with or destroy anything in, on or under any road or Council land including, without limitation, any fence, tree, tree band / guard, sign, sprinkler, service conduit, hydrant or other assets vested in or under the control of the Council.

Any damage to council assets throughout the development will be reinstated to the standard and satisfaction of the responsible authority and at the required cost with any relevant permits or consent obtained from Council.

2.2 Construction Work Zone Permit

A work zone will be required along the frontage of the site on Lauderdale for construction vehicles to park during the construction period. A Work Zone permit will be obtained from council before this commences.

An application for a Work Zone permit can be found at the following link:

<https://eservices.nbc.nsw.gov.au/T1PRProd/WebApps/eProperty/P1/eSubmit/ApplicationInformation.aspx?r=WC.WEBGUEST&f=%24P1.ESB.APPINFO.VIW>

2.3 Working and Access to Road Reserves (Vehicle Crossing) – issued by Council

A new vehicle crossover / double driveway leading to the basement will be constructed along Lauderdale Avenue as per the architectural drawings.

Before this work commences a Driveway Levels and Formwork Inspections Application 18/19 must be made to council. The application can be found at the following link:

<https://files.northernbeaches.nsw.gov.au/sites/default/files/documents/pdf-forms/driveway-levels-and-formwork-inspections/4028-driveway-levels-formwork-inspection-18-19.pdf>

2.4 Hoarding Permit

It is not anticipated that hoarding will be required on this site as temporary wire fencing will be used. Should a change in circumstance require the use of hoarding which encroaches on council property, a Hoarding Permit Application will be submitted to council.

More information can be found at the following link:

<https://files.northernbeaches.nsw.gov.au/sites/default/files/documents/pdf-forms/hoarding-permit-application-form/4017-hoarding-permit-application-18-19.pdf>



2.5 Implement Traffic Control Permit

Pedestrians will be redirected to the footpath on the other side of Lauderdale Avenue during the construction process as the footpath across the site's frontage will be closed to minimise the risk to pedestrians. This will be communicated through signage placed around the site. An Implement Traffic Control permit will be required to implement the traffic redirection as noted in the Traffic Management Plan.

An application for an Implement Traffic Control permit can be found at the following link:

<https://files.northernbeaches.nsw.gov.au/sites/default/files/documents/pdf-forms/traffic-control-application/4053-implement-traffic-control-18-19.pdf>

2.6 Road Opening Permit

A Road Opening Permit may be required for the connection services to the new property during the crossover construction. Council approval will be sought prior to the execution of any road opening works.

If it is established that road opening will be required during construction, an application for the permit can be found at the following link:

<https://files.northernbeaches.nsw.gov.au/sites/default/files/documents/pdf-forms/road-and-footpath-openings/excavation/4038-restorations-road-openings-fact-sheet-18-19.pdf>

2.7 Crane or Lift Permit No.

It is anticipated that a mobile crane and lift hoist will be required for this project. All use of vertical transportation will be restricted to within the site boundaries. Therefore, it is not anticipated that a crane or lift permit will be required.

3 Site Coordination

3.1 General

3.1.1 Site Access

The construction of the new crossover will be completed at the early stages of the project. Once completed, it will become the primary access point to the site. Therefore, usage of this entry point is expected to be relatively frequent with majority of site materials and waste to be loaded and unloaded through this location.

As the crossover will be made wide enough for truck access to the property, minimal disruption to local traffic is expected.

Delivery times will be planned to minimise the possibility of large deliveries coinciding, in order to limit possible effect on the traffic in the area.

The site offices and amenities will be located along the southern boundary of the site. All building materials and stockpiles will be secured within site boundaries.

3.1.2 Pedestrian Access & Crossings

The footpath in front of the site will be inaccessible throughout the construction period. During this time, it will be demolished and reconstructed to council standards. This will minimize any potential risk of the construction works may pose on pedestrians. Pedestrian traffic will be redirected to the other side of the Lauderdale Avenue and fencing at the site's frontage will act as a safety precaution from the ongoing construction works on site.

See Section 1.2.2.

Construction vehicles will give way to pedestrians as per normal traffic conditions. There is good visibility for construction vehicles during each turn along the proposed truck access route and it is not anticipated that pedestrians will be at risk throughout construction operations.

3.2 Traffic Flow & Public Impact

3.2.1 Traffic Management

The site's location on Lauderdale Avenue is within a low traffic area in a residential zone. Lauderdale Avenue is quite steep and have several road curves. This means that extra caution must be taken along this road by trucks accessing the site. Traffic controllers and signage will be located at points which provide oncoming cars significant warning of the upcoming construction works.

Construction truck operations will be guided by trained labourers in spotting or traffic control and large vehicles will be supervised by a ground spotter. A traffic controller will be located at the site entrance to supervise all vehicles entering or exiting the site.

It is recommended that trucks reverse into the site and leave in a forward direction if they are unable to do a u-turn within the site. This will be carried out with the assistance of traffic controllers temporarily stopping traffic if required.

See Appendix G – Traffic Management Plan

3.2.2 Traffic Control

An appropriately trained spotter/traffic manager will supervise large delivery vehicles to ensure public safety during site entry and exit. Heavy vehicle manoeuvres must be undertaken under full traffic control.

The footpath will be obstructed for majority of the construction period as modifications to the footpath will be completed during the construction process. Traffic controllers will ensure that pedestrians are prioritised during any vehicle entry into site.

All other surrounding roads and footpaths will remain open and traffic flow undisturbed, unless relevant approvals have been granted from Northern Beaches Council.

The amenity of surrounding streets will be maintained at all times and the occupying contractor will ensure minimal contamination is caused to the surrounding environment.



3.2.3 Impact of Construction Site Activity on Surrounding Traffic Flow

Labourers will unload supplies and equipment within site boundaries and the allocated work zone.

Significant disruption to traffic flow is not anticipated as there is clear access into the site.

Large trucks entering or exiting the site will also be supervised by labourers trained to safely manage traffic.

At no time should ongoing local traffic on Lauderdale Avenue be restricted for an extended period of time as a result of construction operations.

3.2.4 Council and Public Transport Authority Concerns

All vehicles will preferably exit the site in a forward direction to assist with traffic flow on Lauderdale Avenue and ensure public safety.

All construction works are to be compliant with local road legislation, parking restrictions and permitted operations from Council, public transport services and traffic authorities.

3.2.5 Worker Parking

Worker parking is nominated within the surrounding residential streets in the area. It is encouraged that majority of workers utilise the Bus Routes 132 and E71 when travelling to site, as the 'Lauderdale Ave after Rosedale Ave' bus stop is located less than 100metres from the site.

Workers will fully comply with local traffic conditions and ensure that their access to the site will not unreasonably interfere with locals and their private operations. The construction supervisor will enforce worker compliance.

Worker parking in the area is expected to have a limited effect on residents as majority of construction work will occur during standard working hours. All site personnel will respond accordingly to changes in local parking regulations.

Workers will be notified of the parking arrangements upon induction.

4 Stakeholder Management

4.1 General

4.1.1 On-site Staff & Contact Details

The nominated 24/7 project site liaison manager's details are below:

Name: Scott Casey

Mobile No.: 0418 289 411

Contact details for liaising with site liaison inside or outside of working hours will be provided in a clear location near the front entrance to the site (as required by Building Permit conditions and Building Regulations).

There will be approximately 15 workers on site during the project's most active period.

4.1.2 Site Inductions

All contractors, tradespersons and subcontractors will operate in accordance with the Construction Management Plan.

Site inductions will be required for all workers and visitors to the site as required by Work Health and Safety Act and Work Health and Safety Regulations.

Site inductions will include discussion of environmental issues to be managed and procedures for these.

The site supervisor or labourer will undertake all site inductions to new site workers and the contents of this Construction Management Plan will be conveyed to any new contractors.

Workers will park in accordance with road rules and will also ensure they do not park close to driveways.

4.2 Communication Plan

4.2.1 Communication with Locals

Regular communication by the builder or a representative with the residents of the adjoining properties on Lauderdale is recommended to ensure that there is a good working relationship with surrounding residents.

Items recommended to be outlined include:

- Stage of project
- Anticipated timeframe of significant works
- Contact details for project concerns.

See Appendix H – Sample Notification Letter

5 Operating Hours and Noise Controls

5.1 General

5.1.1 Operating Hours

Site construction hours will be as follows:

Mon-Fri: 7am – 5pm

Sat: 8am – 1pm

No works to occur on Sunday or public holidays.

Except with the written consent of the Responsible Authority, demolition or construction works must only be carried out between: 7.00 am — 6.00 pm, Monday-Friday (excluding public holidays) and 7.00 am — 1.00 pm, Saturday. No work is to occur on Sundays or any public holiday.

All site operations must comply with the relevant Environmental Protection Authority's (EPA) Guidelines on Construction and Demolition Noise.

5.2 After Hours

5.2.1 After Hours Work Permit

NA – all work will occur within EPA Construction Guidelines

5.2.2 After Hours Site Security

All site boundaries will be secured by temporary or existing fencing. Site lighting, as shown below, will be provided if vandalism is evident or safety concerns demand it.



5.3 Noise Control

5.3.1 Noise from Construction Workers

The site supervisor or labourer will undertake all site inductions to new site workers and the contents of this Construction Management Plan will be conveyed to any new contractors. This will include construction site behaviour, noise, safety measures and impact on local residents, as well as the standard construction site procedures and details.

The contractors' and CMP compliance contact's details will be on a clear location at the front of the site.

During induction, the supervisor will ensure that all subcontractors and site personnel are cautious of the surrounding residential properties, taking care to minimise the effect of construction activities on the surrounding occupants.

The site supervisor or occupying contractor will also ensure that reasonable noise levels are enforced on the site and will take responsibility in ensuring that appropriate action is taken to reduce noise where it is excessive.

Voice communication across and radios on the site will be limited as to not affect neighbouring property concerns and no public address system is to be used on site. The site supervisor is to check with local residents periodically whether noise on site is adversely affecting them and take action as required.

5.3.2 Excessive Noise from Plan or Construction Activity

While workers may arrive on site prior to or exit the site after the above hours, machinery and tools will only be used within the above working hours.

Noise from construction activity should be reduced or silenced where possible. This includes silencing mechanisms for the use of jackhammers and implementing manual practices where machine use produces excessive noise if practicable. All plant and machinery shall have the correct bafflers attached. All noise producing equipment will be programmed not to operate simultaneously, reducing noise accumulation on the site.

All works are to be in accordance with Protection of the Environment Operations ACT 1997 and the EPA Interim Construction Noise Guideline.

The CMP document will form part of the site induction attended by all personnel who enter the site. It is recommended that a signed declaration be provided by all site personnel indicating that the CMP has been read and a copy of the CMP made available on-site at all times.

It is unlikely that excessive noise producing plant and equipment will be required for this development. Demolition and deconstruction of existing structures will produce the most noise and this will be early in the project.

6 Air Quality and Dust Management

6.1 General

6.1.1 Equipment Causing Excessive Dust or Affecting Air Quality

Excavations will be most likely be performed with the use of conventional earth moving equipment such as excavators, backhoes, graders, truck-loaders and wheel-loaders. There will be no hammering or explosive material use on any rock found. All rock will be ripped from the ground only, subject to geotechnical report.

If there is any risk of airborne dust, the site will be watered down as required.

6.1.2 Dust & Airborne Matter Management

Water should be connected during the excavation and construction process to enable watering down if required.

Any currently unfenced areas or areas which need extra fencing should be safely secured with the installation of a chain wire mesh fence with dust-proof cloth.

Earth may be stockpiled on site in an appropriate and safe area. Covering stockpiled earth is recommended to reduce chance of dust becoming airborne.

An effort will be made to reduce the use of hazardous materials such as MDF on site. If such materials are cut on site, special cutting arrangements with appropriate ventilation will be made.

6.1.3 Dust & Noise Suppression from Cutting Materials

All works to occur well within the site boundary and within the stipulated working hours – refer item 5.1.1 above.

6.1.4 Truck Mud & Dust Management

Mud on site will be minimised with the placement of crushed rock at the site access and the vehicle loading and unloading area if required. To prevent spillage during cartage, vehicles will not be overloaded.

Truck wash-down equipment are to be provided beside the main entrance with provisions of a sweeper, broom, shovel and a high-pressure hose if required. Trucks carrying excessive dust or soil will be cleaned prior to leaving the site.

Water will be connected at all times that are practicable to water-down excessive airborne dust throughout truck movements.

Conditions of surrounding footpaths and amenities should be regularly inspected to ensure areas surrounding the site are not affected by spillage or contamination.

6.2 Storage

6.2.1 Methods to Reduce Loose Material from Prevailing Weather

Any material to be stored onsite will be securely locked up on site in the storage shed. Most building components brought onto site are expected for immediate installation on delivery.

6.2.2 Dangerous Goods Storage

All paints are proposed to be acrylic. There will most likely be non-flammable or combustible liquids used on site. Re-fuelling of all trucks will be off-site.

In the unlikely event that flammable or combustible liquids need to be retained on site, they will be stored in the storage container and appropriately signed as required.

Dangerous goods storage to be in accordance with AS1940-1993 Storage & Handling of flammable & combustible liquids as well as AS1216-1995 Class labels for dangerous goods

6.3 Smoke & Pollution

6.3.1 Maintenance of Plant & Onsite Equipment

NA – all equipment and plant material to be sourced off site and returned for any re-fuelling or maintenance. Therefore, excessive smoke, pollutants and/or toxic fumes are not an anticipated issue on-site.

6.4 Out of Hours

6.4.1 Site Maintenance when Unattended

When the site is unattended:

- All loose material stockpiles will be covered to ensure that they do not become airborne as a result of wind gusts
- Site fences and boundaries should be checked for rubbish accumulation and cleaned prior to the site becoming unattended
- Bins will be covered or bin lids will be closed if available
- Site will be checked for any loose rubbish and earth piles which may become airborne as a result of wind gusts

7 Stormwater & Sediment Control

7.1 General

7.1.1 Stormwater Prevention to Adjoining Properties

The existing site falls in a north to south - east direction and is quite steep in nature. There is an increased risk of run-off and sediments entering adjoining properties once the ground is stripped.

In the case that there is excess storm water, measures, such as installing silt fencing, silt socks around stormwater pit, plinth boards and sandbags around the adjoining property boundaries, will be implemented to ensure that water is contained within site boundaries.

Fence boundaries will be regularly checked, particularly during wet weather conditions, to ensure that surrounding boundaries are not impacted by water run-off. Action will be taken immediately where water seepage beyond the site boundary is foreseeable or evident.



7.1.2 Downpipe Connection

All downpipes are to be connected to rainwater tanks or stormwater mains as soon as practicable after construction of the roof is complete.

See below a typical image showing appropriate temporary downpipe connections.



7.1.3 Stormwater Filtration before Pumping into Kerb Drain

During Construction, a permit must be obtained from Council or the Water Authority to discharge any stormwater/surface water to Council's Drainage System or the sewer system.

Stormwater drainage system protection measures must be installed as required to ensure that no solid waste, sediment, sand, soil, clay or stones from the land enters the stormwater drainage system. Ground water will not be discharged to the Council stormwater system.

Council permission must be obtained if water is required to be discharged into a local stormwater main or legal point of discharge. See following link for application for a legal point of discharge:

<https://files.northernbeaches.nsw.gov.au/sites/default/files/documents/pdf-forms/stormwater-drainage-approval/4022-stormwater-drainage-approval-application-18-19.pdf>

Sediment filtration devices such as straw bale filters, gravel surface barriers, pit baskets or geo-textile mesh screens will be provided at possible runoff points.



7.2 Excavation Works

7.2.1 Extent of Site Clearing Area

Site clearing will occur across the entire site to remove substructural elements and unrequired services from the existing structures.

Basement and topsoil excavations are required for this project. Any excavated material may be stored on-site in an appropriate area and if stored, should be covered and secured to minimise the potential for airborne dust.

7.2.2 Location & Extent of Excavation

Excavation works are proposed to be at a reasonable distance to the site boundary which will be fenced by the existing timber fences. The condition of all major assets near the boundary on adjoining properties should be recorded.

It is not anticipated that any excavations will undermine or adversely impact surrounding building structures.

7.3 Drainage & Sediment Control

7.3.1 Natural fall to the site and prevention of site water retention

There is an increased risk of run-off and sediments entering adjoining properties once the ground is stripped due to the steep nature of the site. If necessary, water will be pumped from any excavations and removed with appropriate sediment filtration. See Item 7.1.3.

Sediment controls should be checked every day to ensure optimal integrity is maintained.

Although it is not anticipated, a liquid waste company may be required to collect water if contaminated, for disposal at a licensed treatment facility.

Waste material, including liquid wastes such as paint, concrete slurries and chemicals, will not be discharged into a stormwater drain. Water washings must also not be discharged within 10 meters of a stormwater system. Designated wash spot will be provided to enable paint brushes, rollers and spray equipment to be cleaned without any discharge of by-product into the storm water system.

7.3.2 Sediment Control Barriers

It is recommended that any erosion and sediment control measures installed to prevent water run-off along the property boundary, are checked regularly to ensure there are no gaps. If there are, and if it is apparent there is sediment drainage onto adjoining properties, a sediment barrier should be installed to prevent run-off. Where necessary, additional measures will be implemented to minimise anticipated run-off.

Trapped sediment will be removed, while controls in place will either be disposed of as waste or reused on site.

7.3.3 Management of Loose Piled Materials

Any stockpiled earth on site should have a bund around it to prevent rain-washed sediment travelling throughout the site.

7.3.4 Proposed Vegetation

All proposed vegetation and mulch to be installed as soon as practicable on completion of works to stabilise landscaped areas and avoid topsoil runoff.

7.4 Washing & Clean-up

7.4.1 Mud Collection from Vehicles Leaving the Site

Crushed rock will be established in the vehicle access and excavation loading area to prevent excessive sediment building up on truck wheels and transferring onto Lauderdale Avenue.

The footpath and road will be inspected periodically throughout each day.

Accidental spills of soil or other materials on the roadway or gutter should be removed prior to the completion of each day.

7.4.2 Vehicle Clean Up

Truck wash-down equipment may be provided beside the main entrance with provisions of a sweeper, broom, shovel and a high-pressure hose if required. Trucks carrying excessive dust or soil will be cleaned prior to leaving the site.



7.4.3 Facilities for Cleaning

Provision is to be made for the cleaning of all equipment used such as paint brushes, rollers and spray guns so as no by-product will reach the stormwater system. This will all be contained on site and disposed of. Water from rainwater tanks will be used where possible.

8 Waste & Material Reuse Management

8.1 General

8.1.1 Resource Recovery & Waste Management Plan

There is currently a single storey dwelling on site which is to be demolished. Demolition contractors are required to nominate, on company letterhead, items from this site that will be recycled.

As much material as possible is to be recycled from the existing site and the nominated demolition contractor should aim to recycle the majority of demolition waste.

All works will comply with the Environmental and Protection Authority and Local Law 2009 in regard to waste and storage of goods.

8.1.2 Type & Quantity of Material to be Removed

The main materials to be removed from the site will be a part of the demolished residence. Clean fill soil will also be excavated from the site.

8.2 Minimising Waste

8.2.1 Minimising Construction Waste

All construction waste is to be minimised with correct estimation of materials prior to ordering. Further, materials are to be purchased in bulk to reduce over-packaging where possible.

8.2.2 Environmental Standards

Recycled products or environmentally improved materials will be sourced where possible.

8.3 Bins & Skips

8.3.1 Waste Bin Separation

Bins will be supplied from companies that recycle mixed loads. The bin company will be required in advance to nominate in writing which materials they recycle. Waste is to be sorted into the correct bins by workers to maximise recycling capacity.

All outside bins should have lids, be covered or deep enough to ensure that there is no airborne waste.

It is recommended that a skip is located along the southern end of the site boundary.

A skip bin permit is required when a skip is located on Council land or on any public roadway. If the provision of an off-site skip is necessary, the builder must apply for a skip permit through the property's skip provider.

8.3.2 General Rubbish

All general rubbish is to be disposed in allocated closed-top or deep bins on site. The site supervisor should strictly monitor site cleanliness to reduce chance of airborne rubbish and debris polluting local street and residences.

8.4 Additional

8.4.1 Hazardous & Dangerous Materials

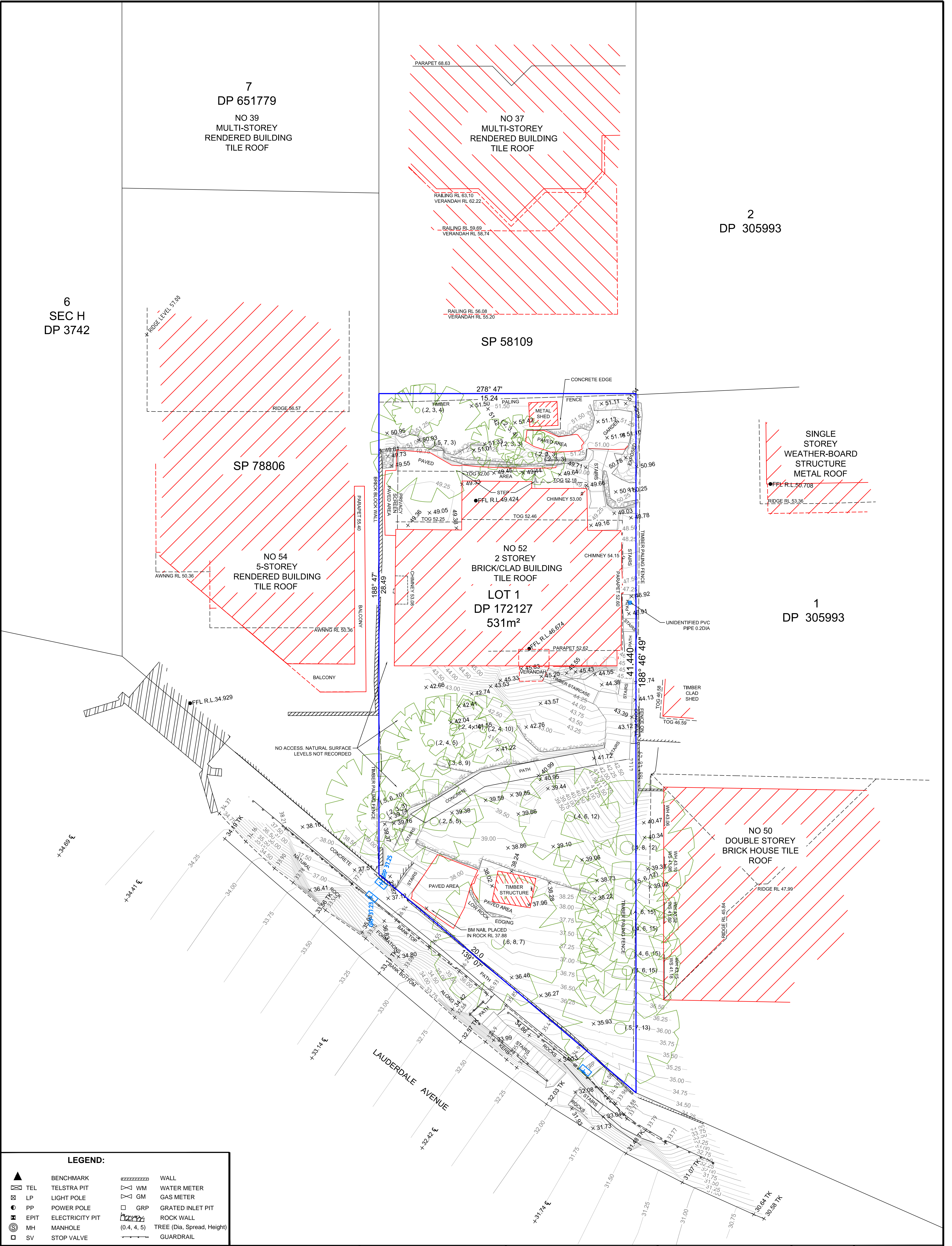
No soil contamination is likely to have occurred during the known history of the site.

If there is any evidence of potential asbestos or contaminated type materials on site, an approved removal contractor will be engaged to remove the product.

Asbestos is commonly contained in older buildings built prior to 1985 and may occur in the following locations:

- Cement sheet walls
- Corrugated roof sheeting
- Backing to tiles
- External cladding (Fibro)
- Lagging insulation for hot water pipes
- Backing to old switchboards

APPENDIX A - SURVEY PLAN



NOTES:

1. RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY.

2. BEARINGS AND DISTANCES OF BOUNDARIES ARE BY TITLE AND/OR DEED ONLY.

3. CONSTRUCTION WORKS MUST BE RELATED TO THE BENCHMARK AND NOT LEVELS OF STRUCTURES SHOWN ON THE PLAN.

4. LIMITED BOUNDARY SURVEY MADE. IF CONSTRUCTION OR DESIGN OF ANY NEW STRUCTURE IS INTENDED WITHIN PROXIMITY OF THE BOUNDARIES OR LOCAL GOVERNMENT REQUIREMENTS, A FURTHER SURVEY SHOULD BE REQUESTED TO MARK BOUNDARIES AND/OR DIMENSION WALL TO BOUNDARY DISTANCES.

5. THE TREE TRUNKS SHOWN ARE DIAGRAMMATIC ONLY. THE TRUE TRUNK RADIUS ARE STATED IN THE PLAN. TREE SPREADS & TRUNK RADIUS SHOWN ARE DIAGRAMMATIC ONLY AND TREE HEIGHTS ARE ESTIMATED. IF ANY OF THESE ELEMENTS ARE CRITICAL TO DESIGN (IN PARTICULAR DRIP LINES) MORE SPECIFIC DETAILS SHOULD BE REQUESTED FOR ACCURATE LOCATION.

6. CONTOURS ARE APPROXIMATE ONLY. SPOT LEVELS SHOULD BE USED IN REFERENCE TO CONTOUR LEVELS. FEATURES AND LEVELS CRITICAL TO DESIGN SHOULD BE LOCATED BY A MORE ACCURATE SURVEY. ALL SET OUT WITH REGARD TO LEVELS SHOULD REFER TO THE BENCHMARK.

7. NO SERVICES SEARCH HAS BEEN CARRIED OUT FOR THIS SURVEY. SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING SURVEY. APPROPRIATE DIAL BEFORE YOU DIG SEARCHES SHOULD BE CARRIED OUT PRIOR TO ANY CONSTRUCTION TAKING PLACE. SEE DIAL BEFORE YOU DIG CONTACT INFORMATION ON THIS PLAN.

8. THIS SURVEY IS FOR CONTOUR AND DETAIL PURPOSES ONLY AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE

PREPARED BY:

geosurv®

consulting surveyors, planners & engineers

GEOSURV PTY LTD
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PREPARED FOR:

CON TZIOMAKIS

REV.	DATE	AMENDMENTS
2	7/06/2016	NEIGHBOURING INFORMATION ADDED
1	1/10/2015	ADDED RIDGE HEIGHT FOR ADJ.

PLAN SCALE ON A1 SHEET 1:100

PLAN SCALE ON A3 SHEET 1:200

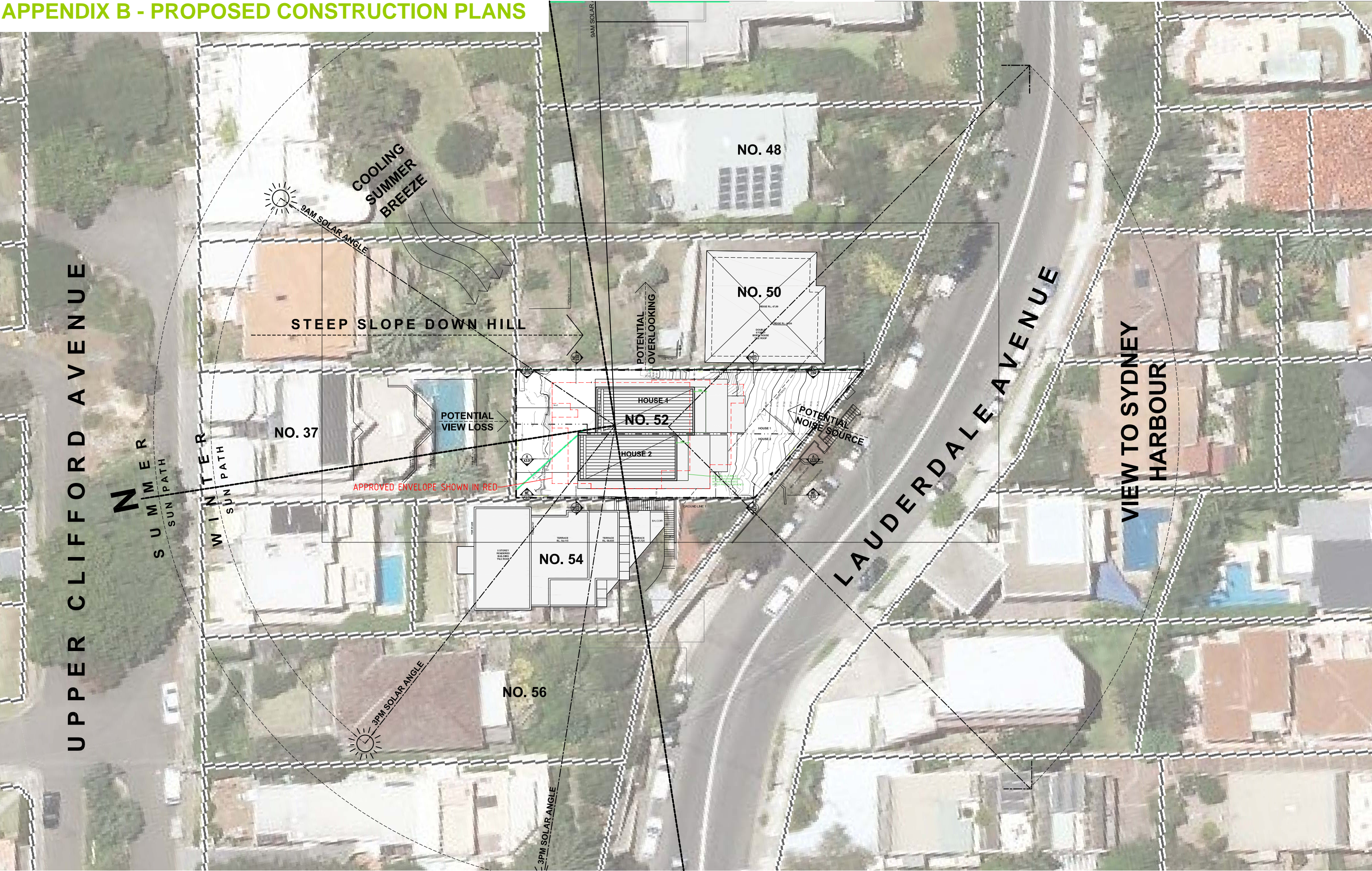
PLAN SHOWING:

DETAIL SURVEY OF
52 LAUDERDALE AVE
FAIRLIGHT, NSW

NORTH

LOT NUMBER:	1	SECTION NUMBER :	N/A
LOCALITY:	FAIRLIGHT	LGA:	MANLY
AREA BY DP:	531m²	DEPOSITED PLAN:	172127
AZIMUTH :	MGA	CONTOUR INTERVAL	0.25m
DATUM:	AHD	ORIGIN OF DATUM:	SSM2805
SURVEY BY:	CZ	DATE OF SURVEY:	18/08/15
DRAWN BY:	AP	DATE OF PLAN:	04/09/15
CHECKED BY:	MJC	DATE OF CHECKING:	04/09/15
APPROVED BY:	MJC	DATE OF APPROVAL:	04/09/15
PLAN REF:	150834_A-2	SHEET No 01 OF 01 SHEETS	

APPENDIX B - PROPOSED CONSTRUCTION PLANS



IMPORTANT NOTES:
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REVISION	DATE	DESCRIPTION	BY
PR4	2019.01.15	ISSUE TO CONSULTANTS	FB
PRE-DA	2019.01.22	PRE-DA LODGEMENT	FB
PR5	2019.02.04	ISSUE TO CONSULTANTS	FB
PR6	2019.02.15	ISSUE TO CONSULTANTS	FB
PR7	2019.02.18	COMMENTS TO COUNCIL	FB
PR8	2019.02.19	ISSUE TO CONSULTANTS	FB

REVISION NOTES

LEGEND

(S1) CEMENT RENDER - OFF WHITE	(M1) METAL ROOFING	(S5) REUSED ROCKS FROM SITE
(S2) CARPET - BEDROOMS	(P1) PEBBLES	(S6) TIMBER CLADDING
(S3) TIMBER FLOOR BOARDS	(C1) OFF FORM CONCRETE	(S7) FLOOR TILES - WET AREA
(S4) METAL OR TIMBER FENCE	(S8) STONE CLADDING	
(S9) GLASS BALUSTRADE	(S10) NATURAL STONE TILES INT.	
(S11) GLAZING	(S12) NATURAL STONE TILES EXT.	
(S13) METAL CLADDING	(S14) STONE PAVERS	

RL 11.704 PROPOSED RL
RL 11.740 EXISTING RL TO BE MAINTAINED

platform
ARCHITECTS

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p. 02 9976 6666 abn. 74602856157
nominated architect Bldg Gough Reg No. 8280

PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING:
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**

CLIENT
DAVID ALLEN & JIM CASEY

DRAWING TITLE
SITE ANALYSIS PLAN

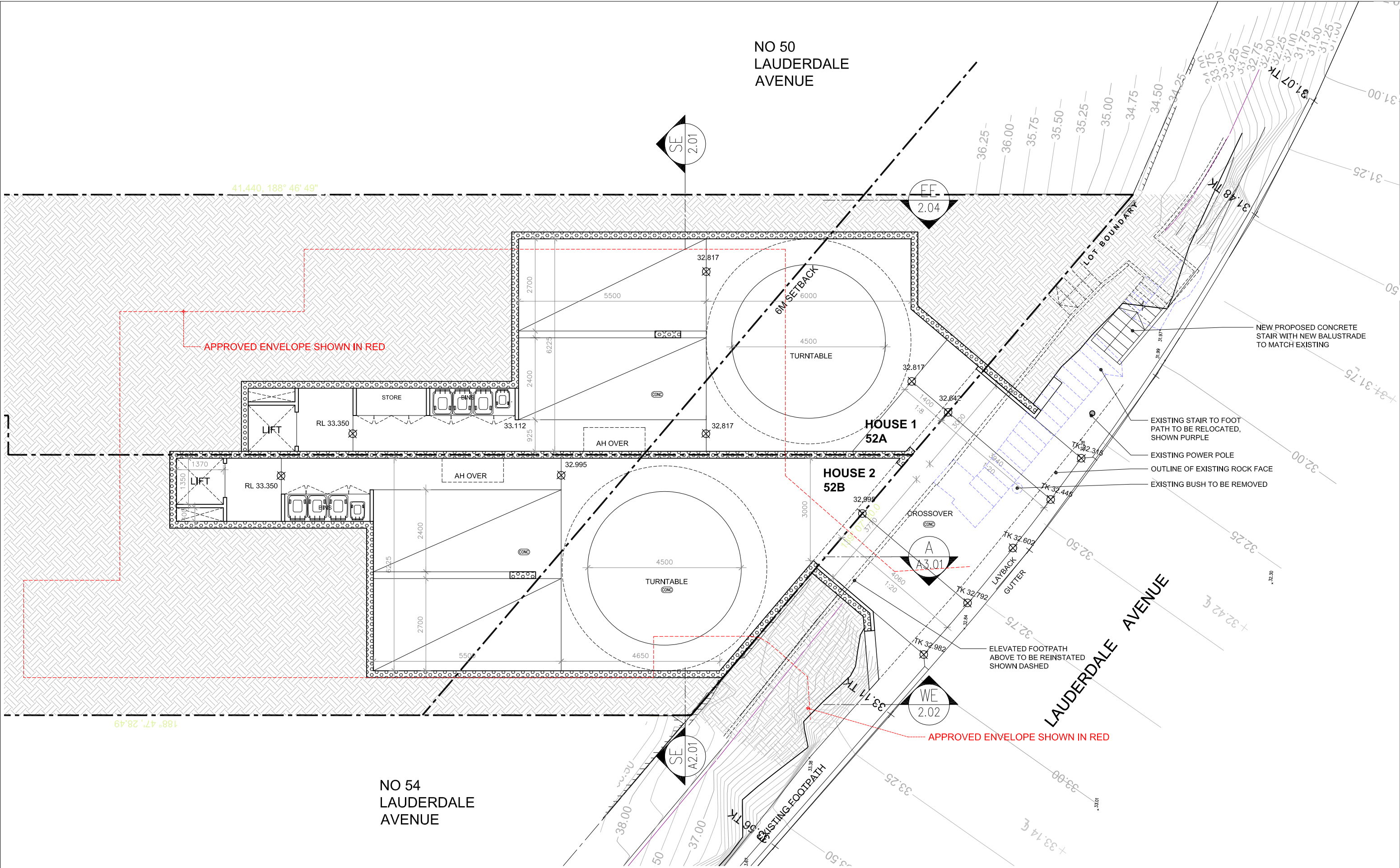
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STATUS
PRE-DA

PROJECT
LAF

NUMBER
A0.00

REVISION
PR8



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PR6	2019.02.15	ISSUE TO CONSULTANTS	FB
PR7	2019.02.18	COMMENTS TO COUNCIL	FB
PR8	2019.02.19	ISSUE TO CONSULTANTS	FB
PR9	2019.03.29	ISSUE TO CONSULTANTS	FB
PR10	2019.04.12	ISSUE TO CONSULTANTS	FB

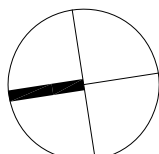
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(CP)	CARPET- BEDROOMS	(PB)	PEBBLES	(TB)	TIMBER CLADDING
(FB)	FLOOR TILES- WET AREA	(OFC)	OFF FORM CONCRETE	(LTD)	FLOOR TILES - WET AREA
(FE)	METAL OR TIMBER FENCE	(STC)	STONE CLADDING	(RL)	PROPOSED RL
(GL)	GLASS BALUSTRADE	(NTI)	NATURAL STONE TILES INT.	× RL 11.704	EXISTING RL TO BE MAINTAINED
(GLZ)	GLAZING	(NTE)	NATURAL STONE TILES EXT.		

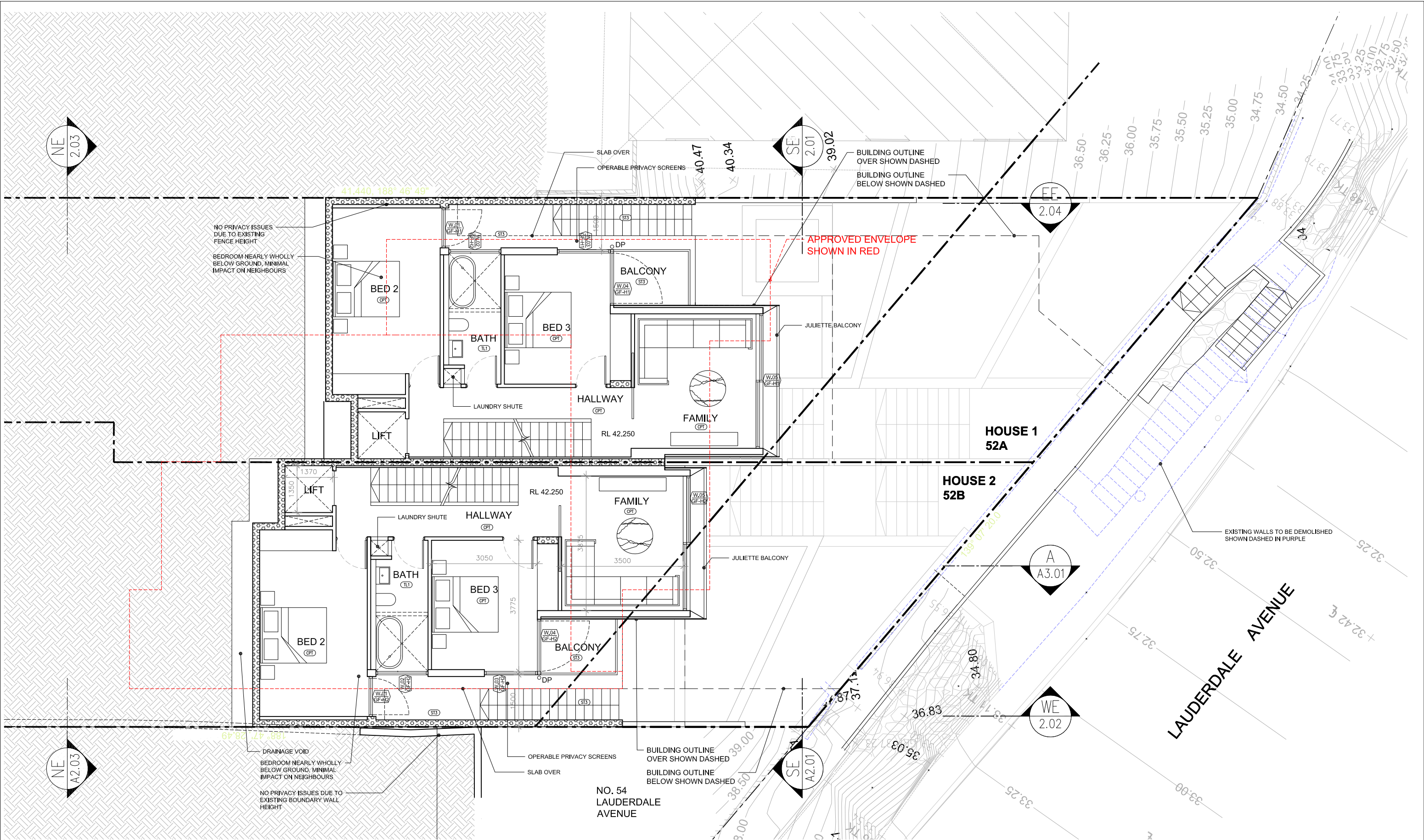
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nominated architect Brika Gough Reg No. 5280

PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING;
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**
CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE	PROJECT
BASEMENT FLOOR PLAN	LAF
SCALE	STATUS
1:100 @A3	PRE-DA
NUMBER	REVISION
A1.00	PR10



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PR10	2019.04.12	ISSUE TO CONSULTANTS	FB

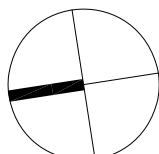
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(GB) GLASS BALUSTRADE	(NTI) NATURAL STONE TILES INT.	(RL) 11.704 PROPOSED RL
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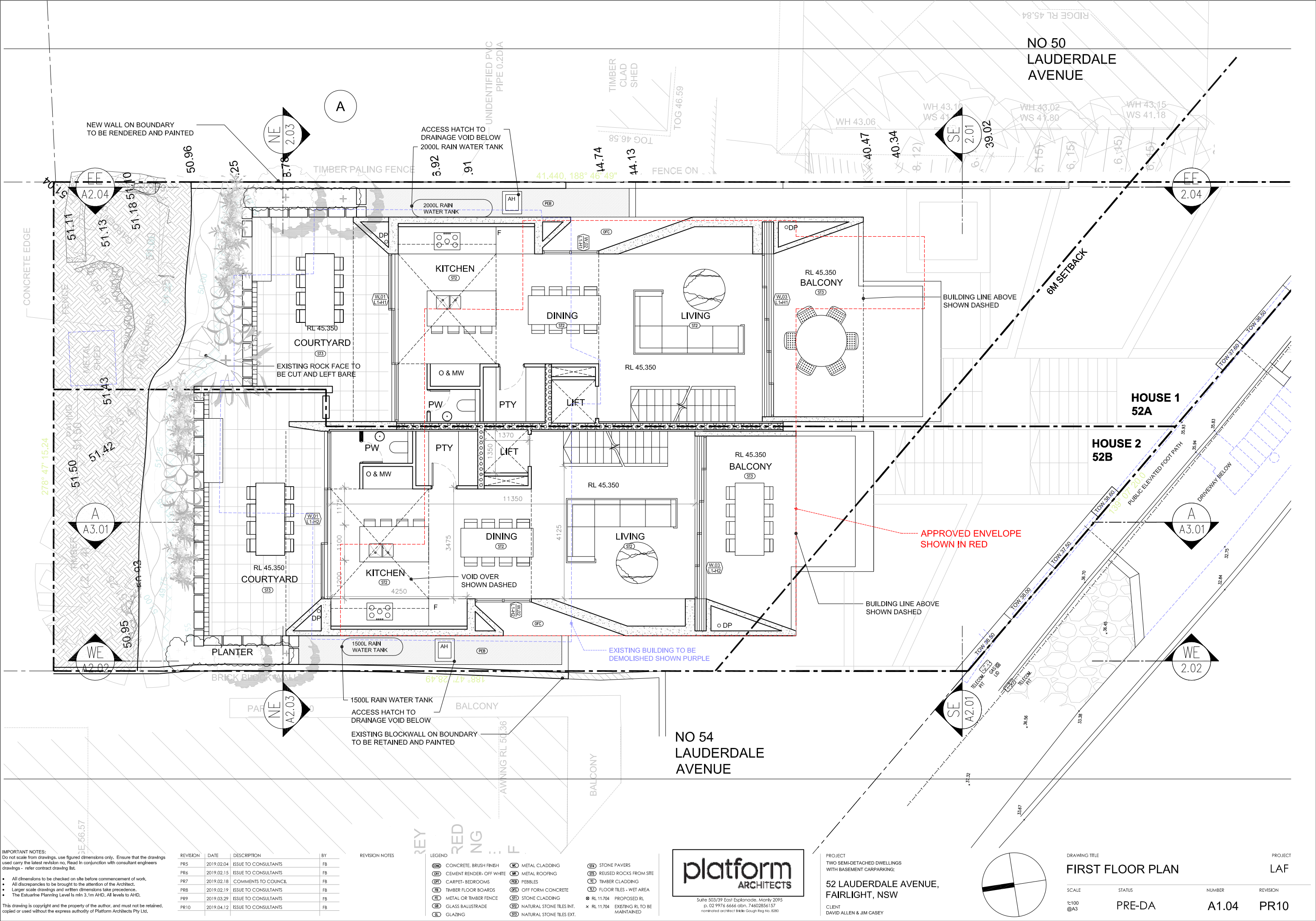
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nominated architect Billie Gough Reg No. 8280

PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING:
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**
CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE	STATUS	NUMBER	REVISION	PROJECT
GROUND FLOOR PLAN	PRE-DA	A1.03	PR10	LAF
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PR7	2019.02.18	COMMENTS TO COUNCIL	FB
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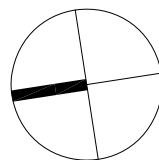
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| (CP) | CARPET - BEDROOMS | (PB) | PEBBLES | (TC) | TIMBER CLADDING |
| (TB) | TIMBER FLOOR BOARDS | (OC) | OFF FORM CONCRETE | (TD) | FLOOR TILES - WET AREA |
| (TE) | METAL OR TIMBER FENCE | (ST) | STONE CLADDING | (X) | RL 11.704 PROPOSED RL |
| (GL) | GLASS BALUSTRADE | (NTI) | NATURAL STONE TILES INT. | (X) | RL 11.704 EXISTING RL TO BE MAINTAINED |
| (GLZ) | GLAZING | (NTX) | NATURAL STONE TILES EXT. | | |



PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING;
52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW
CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE
FIRST FLOOR PLAN

SCALE

1:100
@A3

STATUS

PRE-DA

NUMBER

A1.04

REVISION

PR10

PROJECT

LAF

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PR9	2019.03.29	ISSUE TO CONSULTANTS	FB
PR10	2019.04.12	ISSUE TO CONSULTANTS	FB

REVISION NOTES

LEGEND

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(FB)	TIMBER FLOOR BOARDS	(OC)	OFF FORM CONCRETE	(TL)	FLOOR TILES - WET AREA
(FE)	METAL OR TIMBER FENCE	(ST)	STONE CLADDING	(RL)	PROPOSED RL
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(GL)	GLAZING	(NSTE)	NATURAL STONE TILES EXT.		

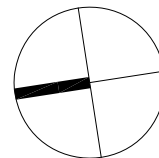
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nominated architect Bldg. Gough Reg No. 5280

PROJECT
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WITH BASEMENT CARPARKING:

52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW

CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE

SECOND FLOOR PLAN

SCALE

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STATUS

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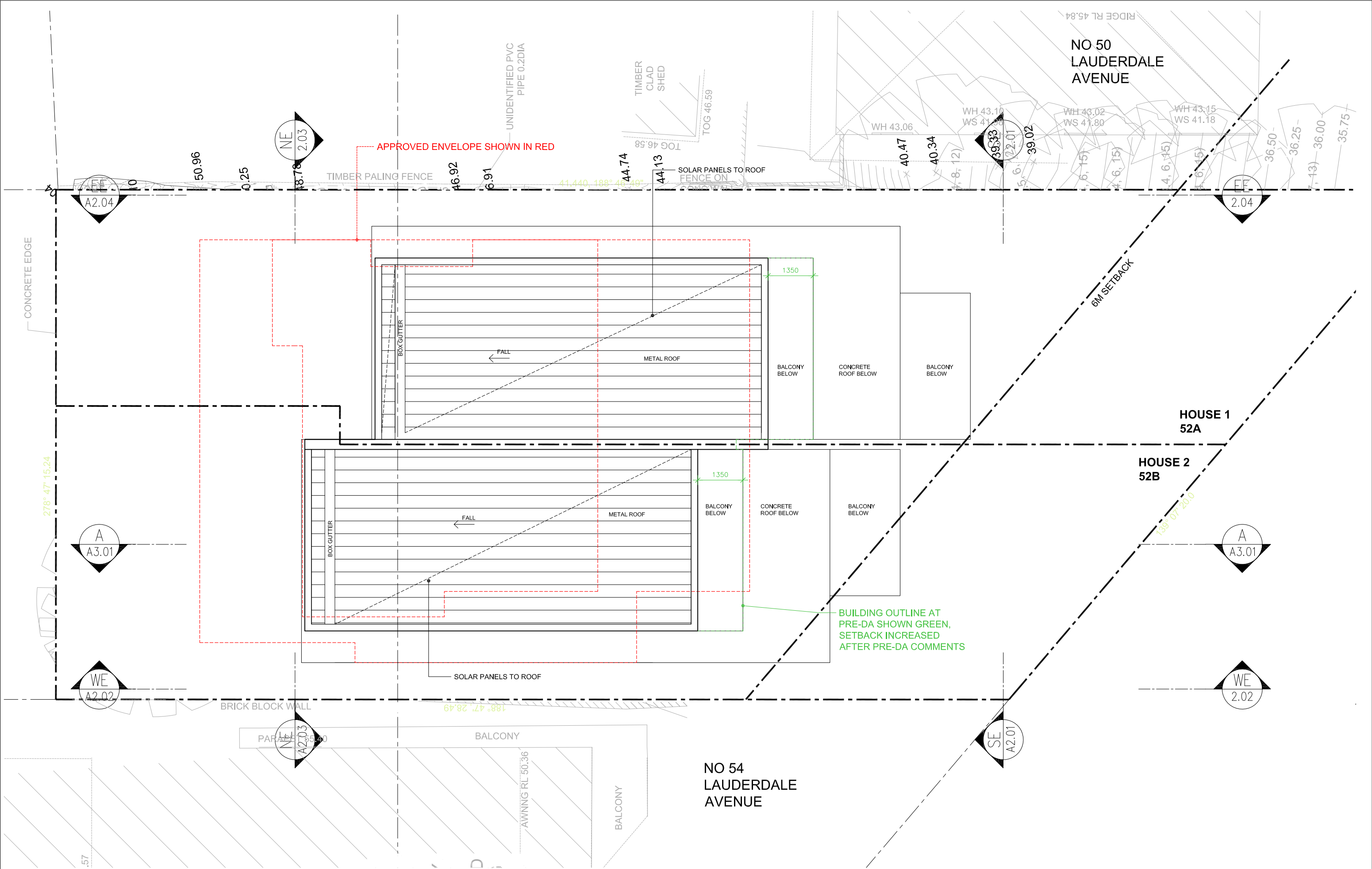
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REVISION

PR10

PROJECT

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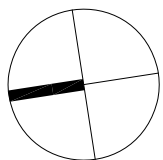
REVISION NOTES

LEGEND

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| (CP) CARPET- BEDROOMS | (PB) PEBBLES | (TC) TIMBER CLADDING |
| (TB) TIMBER FLOOR BOARDS | (OC) OFF FORM CONCRETE | (TD) FLOOR TILES - WET AREA |
| (TE) METAL OR TIMBER FENCE | (ST) STONE CLADDING | (X) RL 11.704 PROPOSED RL |
| (GB) GLASS BALUSTRADE | (NT) NATURAL STONE TILES INT. | (X) RL 11.704 EXISTING RL TO BE MAINTAINED |
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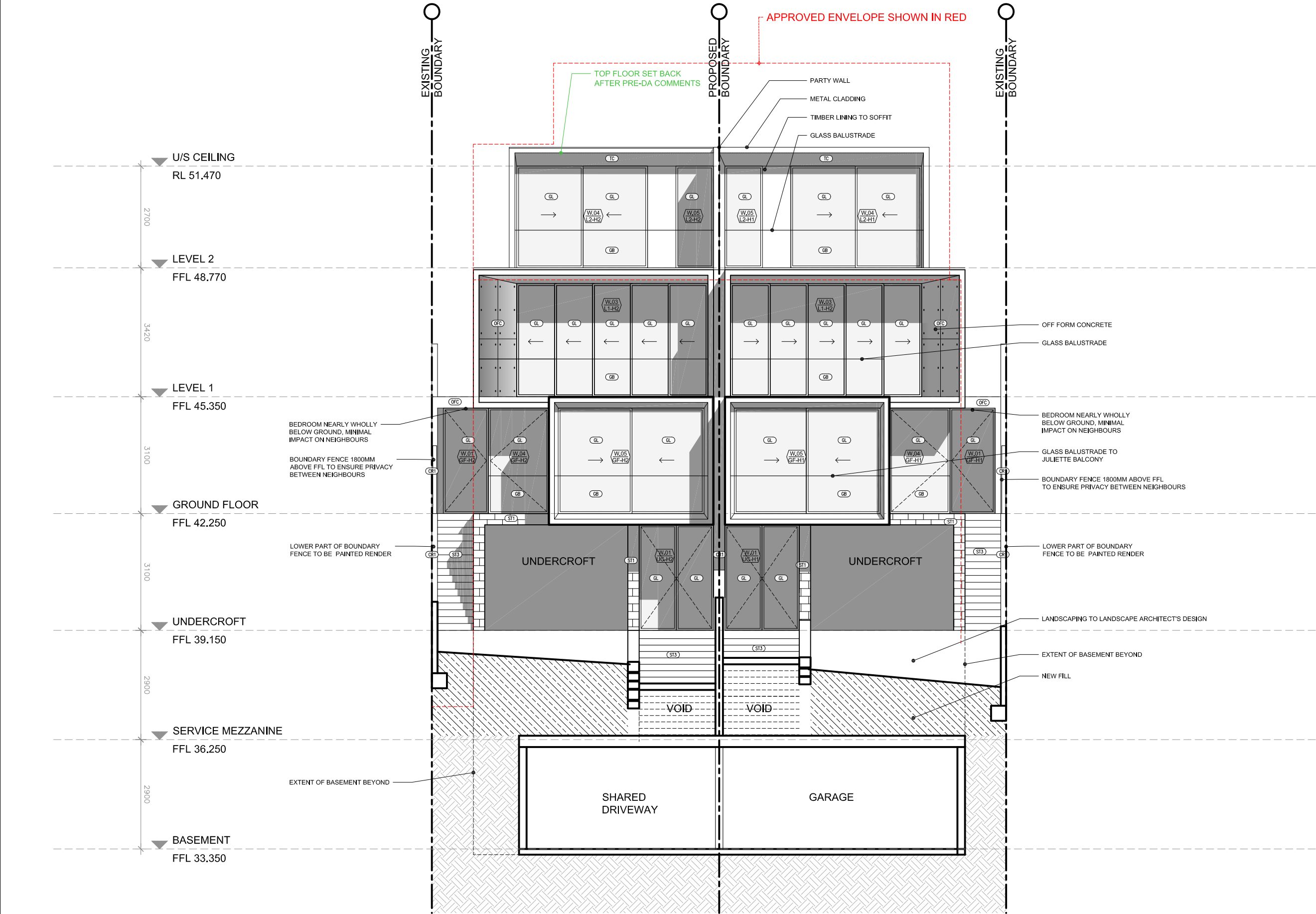


PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING:
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**
CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE	STATUS	NUMBER	REVISION
ROOF/ SITE PLAN	PRE-DA	A1.06	PR10
SCALE	1:100 @A3		

PROJECT
LAF



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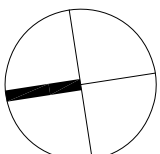
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PR9	2019.03.29	ISSUE TO CONSULTANTS	FB
PR10	2019.04.12	ISSUE TO CONSULTANTS	FB

REVISION NOTES

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(CP) CARPET - BEDROOMS	(PB) PEBBLES	(TC) TIMBER CLADDING
(TB) TIMBER FLOOR BOARDS	(CFC) OFF FORM CONCRETE	(F) FLOOR TILES - WET AREA
(TE) METAL OR TIMBER FENCE	(ST1) STONE CLADDING	(P) PROPOSED RL
(CB) GLASS BALUSTRADE	(ST2) NATURAL STONE TILES INT.	(X) EXISTING RL TO BE MAINTAINED
(GL) GLAZING	(ST3) NATURAL STONE TILES EXT.	

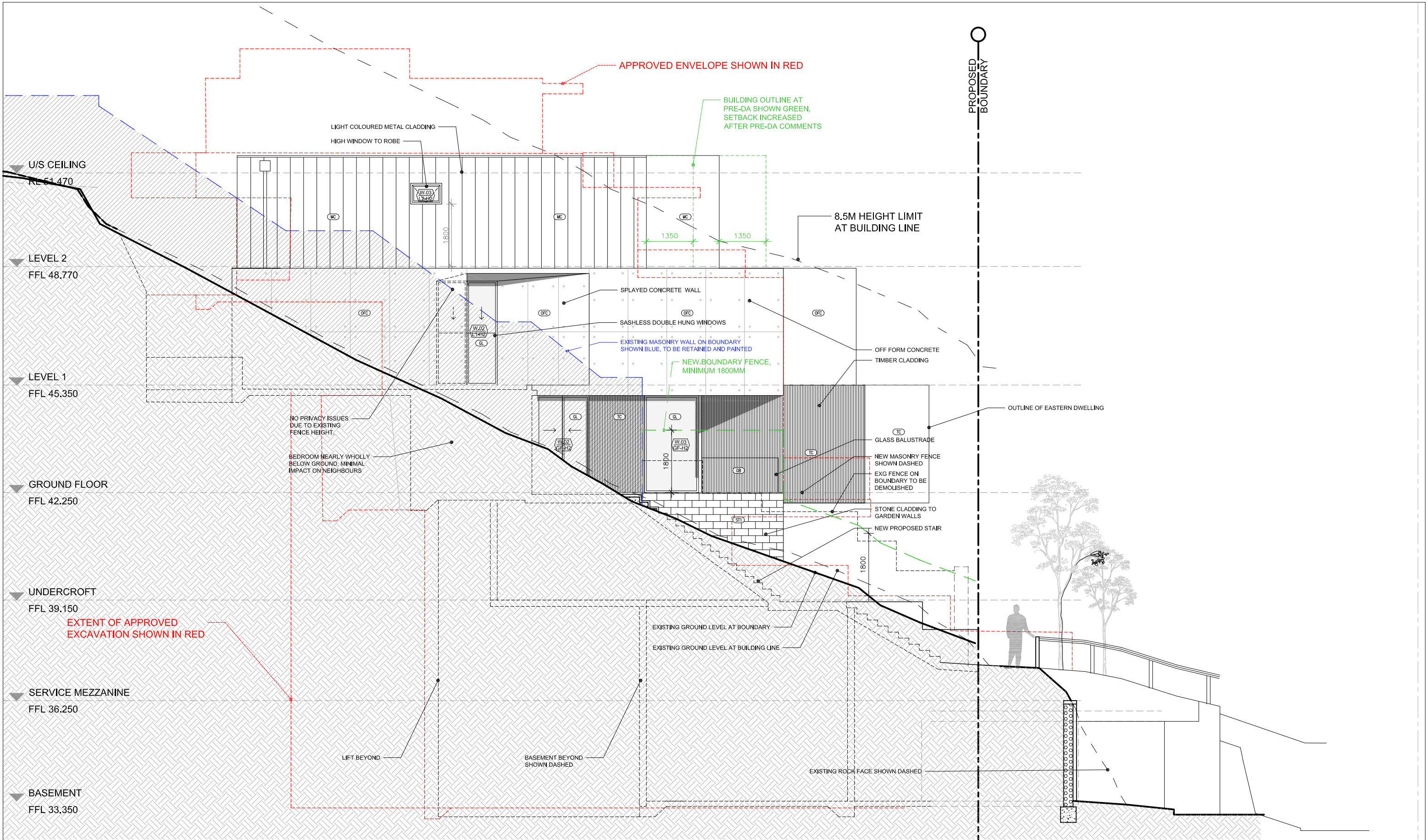


PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING:
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**
CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE
SOUTH ELEVATION
SCALE
1:100
@A3
STATUS
PRE-DA

PROJECT
LAF
NUMBER
A2.01
REVISION
PR10



IMPORTANT NOTES:
Do not scale from drawings, use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is min 3.1m AHD, All levels to AHD.

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REVISION	DATE	DESCRIPTION	BY
PR5	2019.02.04	ISSUE TO CONSULTANTS	FB
PR6	2019.02.15	ISSUE TO CONSULTANTS	FB
PR7	2019.02.18	COMMENTS TO COUNCIL	FB
PR8	2019.02.19	ISSUE TO CONSULTANTS	FB
PR9	2019.03.29	ISSUE TO CONSULTANTS	FB
PR10	2019.04.12	ISSUE TO CONSULTANTS	FB

REVISION NOTES

LEGEND		
(CNC) CONCRETE, BRUSH FINISH	(MC) METAL CLADDING	(ST) STONE PAVERS
(CR) CEMENT RENDER- OFF WHITE	(MR) METAL ROOFING	(SR) REUSED ROCKS FROM SITE
(CP) CARPET- BEDROOMS	(PB) PEBBLES	(TC) TIMBER CLADDING
(TB) TIMBER FLOOR BOARDS	(OC) OFF FORM CONCRETE	(FT) FLOOR TILES - WET AREA
(TE) METAL OR TIMBER FENCE	(ST) STONE CLADDING	(RL) 11.704 PROPOSED RL
(GB) GLASS BALUSTRADE	(NTI) NATURAL STONE TILES INT.	(RL) 11.704 EXISTING RL TO BE MAINTAINED
(GL) GLAZING	(NST) NATURAL STONE TILES EXT.	

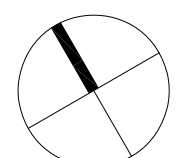
platform
ARCHITECTS

Suite 503/39 East Esplanade, Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bldg Gough Reg No. 8280

PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING:

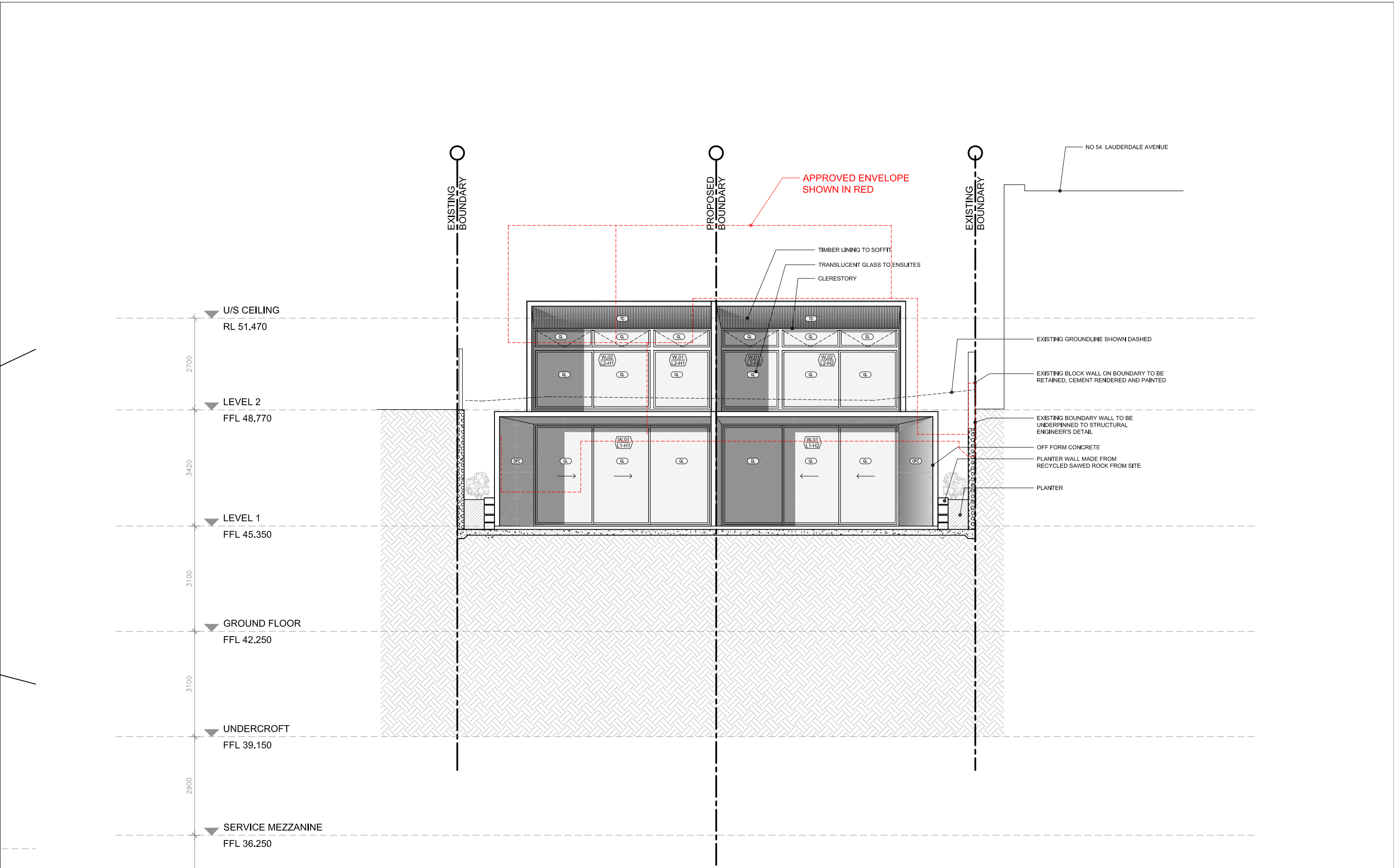
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**

CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE	STATUS	NUMBER	REVISION
WEST ELEVATION	PRE-DA	A2.02	PR10
SCALE 1:100 @A3			

PROJECT
LAF



IMPORTANT NOTES:
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REVISION	DATE	DESCRIPTION	BY
PR5	2019.02.04	ISSUE TO CONSULTANTS	FB
PR6	2019.02.15	ISSUE TO CONSULTANTS	FB
PR7	2019.02.18	COMMENTS TO COUNCIL	FB
PR8	2019.02.19	ISSUE TO CONSULTANTS	FB
PR9	2019.03.29	ISSUE TO CONSULTANTS	FB
PR10	2019.04.12	ISSUE TO CONSULTANTS	FB

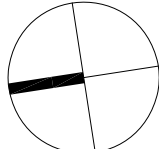
REVISION NOTES

LEGEND

(CNC) CONCRETE, BRUSH FINISH	(MC) METAL CLADDING	(ST) STONE PAVERS
(CR) CEMENT RENDER- OFF WHITE	(MR) METAL ROOFING	(SR) REUSED ROCKS FROM SITE
(CP) CARPET- BEDROOMS	(PB) PEBBLES	(TC) TIMBER CLADDING
(TB) TIMBER FLOOR BOARDS	(OC) OFF FORM CONCRETE	(TD) FLOOR TILES - WET AREA
(TE) METAL OR TIMBER FENCE	(ST) STONE CLADDING	(RL) FLOOR TILES - WET AREA
(GB) GLASS BALUSTRADE	(NTI) NATURAL STONE TILES INT.	(RL) FLOOR TILES - WET AREA
(GL) GLAZING	(NTE) NATURAL STONE TILES EXT.	(RL) FLOOR TILES - WET AREA

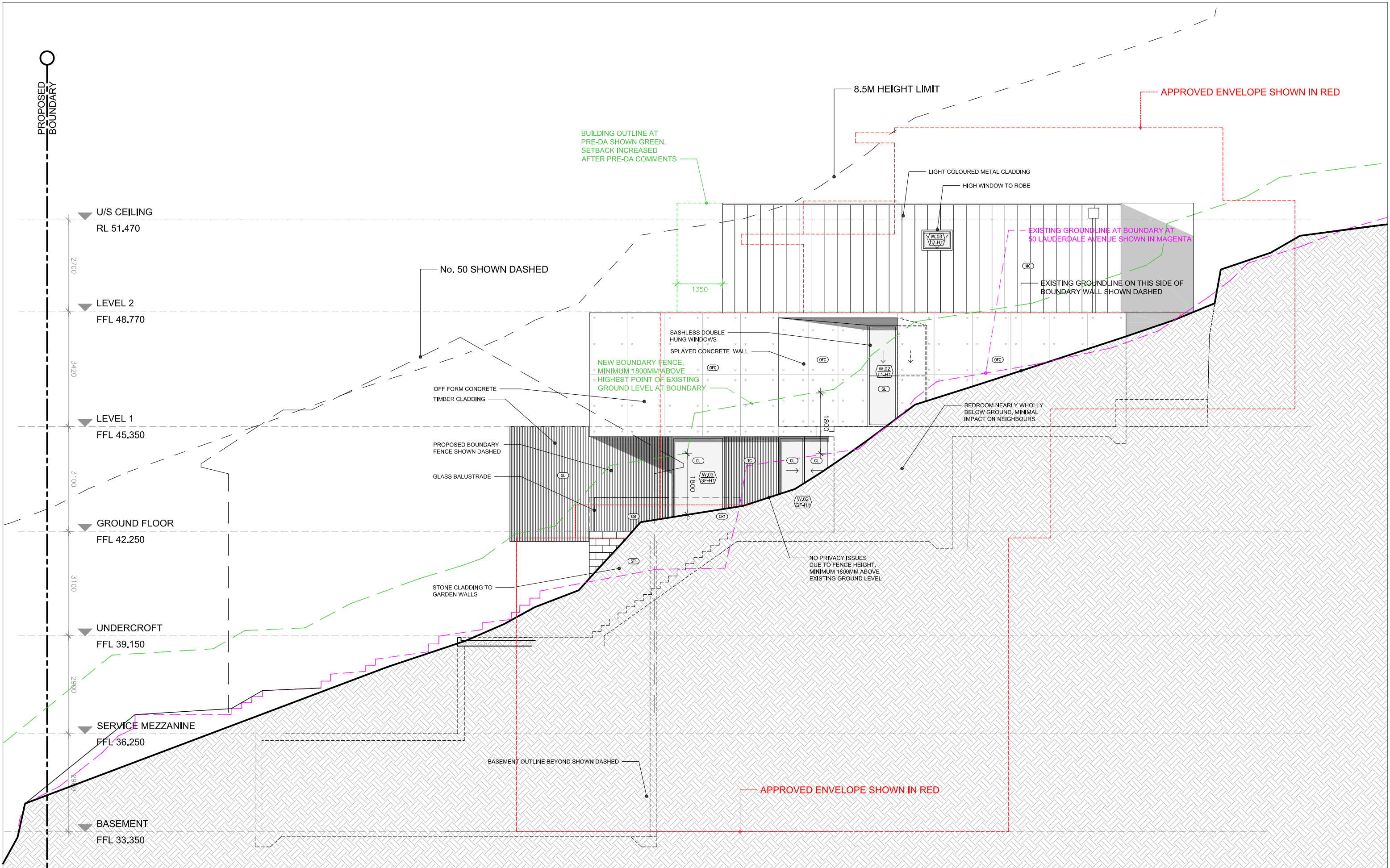


PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING:
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**
CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE
NORTH ELEVATION
SCALE
1:100
@A3
STATUS
PRE-DA

PROJECT
LAF
NUMBER
A2.03
REVISION
PR10



IMPORTANT NOTES:
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PR6	2019.02.15	ISSUE TO CONSULTANTS	FB
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PR8	2019.02.19	ISSUE TO CONSULTANTS	FB
PR9	2019.03.29	ISSUE TO CONSULTANTS	FB
PR10	2019.04.12	ISSUE TO CONSULTANTS	FB

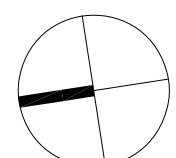
REVISION NOTES

LEGEND		
(CNC) CONCRETE, BRUSH FINISH	(MC) METAL CLADDING	(ST) STONE PAVERS
(CRT) CEMENT RENDER- OFF WHITE	(MR) METAL ROOFING	(SR) REUSED ROCKS FROM SITE
(CP) CARPET- BEDROOMS	(PB) PEBBLES	(TB) TIMBER CLADDING
(FB) TIMBER FLOOR BOARDS	(OFC) OFF FORM CONCRETE	(LTD) FLOOR TILES - WET AREA
(TE) METAL OR TIMBER FENCE	(ST) STONE CLADDING	(P) PROPOSED RL
(GB) GLASS BALUSTRADE	(NTI) NATURAL STONE TILES INT.	(X) EXISTING RL TO BE MAINTAINED
(GL) GLAZING	(NSTE) NATURAL STONE TILES EXT.	

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ARCHITECTS

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p. 02 9976 6666 abn. 74602856157
nominated architect Bkide Gough Reg No. 5280

PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING:
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**
CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE	STATUS	NUMBER	REVISION	PROJECT
EAST ELEVATION	PRE-DA	A2.04	PR10	LAF
SCALE 1:100 @A3				



IMPORTANT NOTES:
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REVISION	DATE	DESCRIPTION	BY
PR			

REVISION NOTES

LEGEND

(E) METAL PRIVACY BLADES	(G) GLAZING
(C1) CEMENT RENDER - LIGHT	(M) METAL BALUSTRADE/FENCE
(C2) CEMENT RENDER - DARK	(ST) SANDSTONE CLADDING
(C3) CEMENT RENDER - OFF WHITE	(ST) NATURAL STONE TILES INT.
(PT) CARPET- BEDROOMS	(ST) NATURAL STONE TILES EXT. L
(CD) TIMBER DECKING	(ST) NATURAL STONE TILES EXT. S
(G) GLASS BALUSTRADE	(TB) BRICK TILES OR FACE BRICK

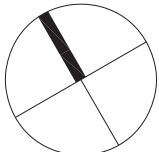
(TB) FLOOR TILES - WET AREA
(TB) WALL TILES - WET AREA

RL 11.704	PROPOSED RL
RL 11.700	EXISTING RL TO BE MAINTAINED
RL 11.700	EXISTING RL TO BE AMENDED

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ARCHITECTS

Suite 503/39 East Esplanade, Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 93386 Council Reg No. 0280

PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING;
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**
CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE
PERSPECTIVE 1

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	PRE-DA	P1.01	PR7

PROJECT
LAF



IMPORTANT NOTES:
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REVISION	DATE	DESCRIPTION	BY
PR			

REVISION NOTES

LEGEND

(BL)	METAL PRIVACY BLADES	(GL)	GLAZING	(F12)	FLOOR TILES - WET AREA
(CR)	CEMENT RENDER - LIGHT	(MB)	METAL BALUSTRADE/FENCE	(W12)	WALL TILES - WET AREA
(CD)	CEMENT RENDER - DARK	(ST)	SANDSTONE CLADDING		
(COW)	CEMENT RENDER- OFF WHITE	(NSTI)	NATURAL STONE TILES INT.	RL 11.704	PROPOSED RL
(CP)	CARPET- BEDROOMS	(NSTE)	NATURAL STONE TILES EXT. L		EXISTING RL TO BE MAINTAINED
(CDK)	TIMBER DECKING	(NSTS)	NATURAL STONE TILES EXT. S	RL 11.740	EXISTING RL TO BE AMENDED
(GB)	GLASS BALUSTRADE	(BT)	BRICK TILES OR FACE BRICK		

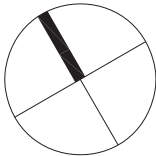
platform
ARCHITECTS

Suite 503/39 East Esplanade, Manly 2095
p. 02 9976 6666 abn. 74602856157
notified architect Bldg. Cough Reg No. 5280

PROJECT
TWO SEMI-DETACHED DWELLINGS
WITH BASEMENT CARPARKING:

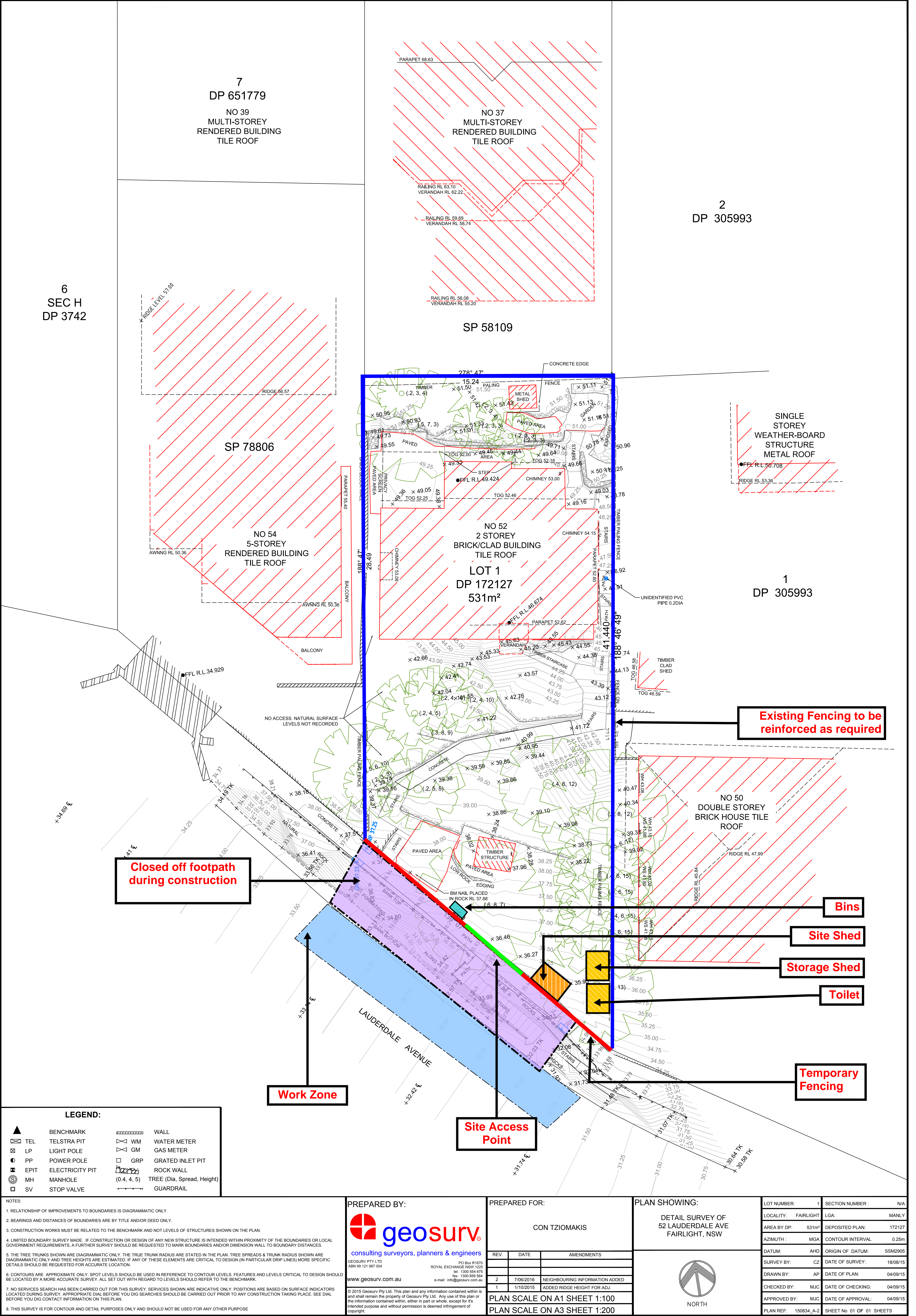
**52 LAUDERDALE AVENUE,
FAIRLIGHT, NSW**

CLIENT
DAVID ALLEN & JIM CASEY



DRAWING TITLE		PROJECT	
PERSPECTIVE 2		LAF	
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	PRE-DA	P1.02	PR7

APPENDIX C - SITE LAYOUT PLAN



APPENDIX D - DBYD SERVICE LOCATIONS



Job No 15642581

Phone: 1100
www.1100.com.au

Caller Details

Contact: Miss Grace Osunneye
Company: LID
Address: 252 St Georges Road
Fitzroy North VIC 3068

Caller Id: 1754904
Mobile: 0403790669
Email: grace@lidconsulting.com.au
Phone: 0403790669
Fax: Not Supplied

Dig Site and Enquiry Details

WARNING: The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



User Reference: Not Supplied
Working on Behalf of: Private
Enquiry Date: 25/01/2019
Start Date: 01/02/2019
End Date: 01/02/2020

Address:
52 Lauderdale Ave
Fairlight NSW 2094

Job Purpose:

Design

Onsite Activity:

Planning & Design

Location of Workplace:

Private Property

Location in Road:

Not Supplied

- Check the location of the dig site is correct. If not submit a new enquiry.
- If the scope of works change, or plan validity dates expire, resubmit your enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

Notes/Description of Works:

Not Supplied

Your Responsibilities and Duty of Care

- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at **www.1100.com.au**
- For more information on safe excavation practices, visit **www.1100.com.au**

Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Dial Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

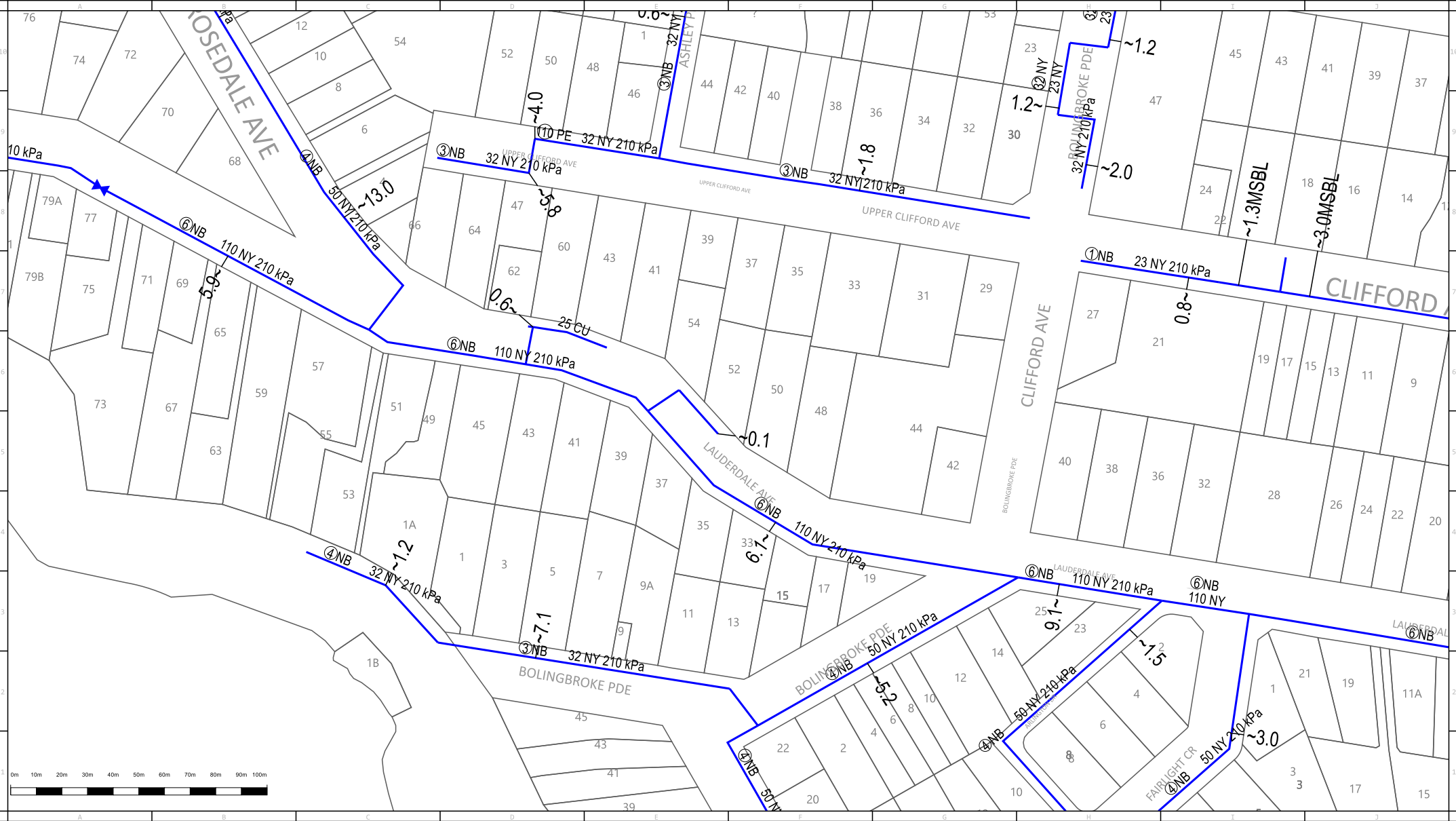
** Asset owners highlighted by asterisks ** require that you visit their offices to collect plans.


Asset owners highlighted with a hash require that you call them to discuss your enquiry or to obtain plans.

Seq. No.	Authority Name	Phone	Status
79564754	Ausgrid	0249510899	NOTIFIED
79564756	Jemena Gas North	1300880906	NOTIFIED
79564758	NBN Co, NswAct	1800626762	NOTIFIED
79564757	Sydney Water	132092	NOTIFIED
79564755	Telstra NSW, Central	1800653935	NOTIFIED

END OF UTILITIES LIST

Lodge Your Free Enquiry Online – 24 Hours a Day, Seven Days a Week






ABN 87 003 004 322

Main	In Service	Proposed	Main	In Service	Proposed	High Pressure Main & Pipeline	In Service	Proposed	Fittings, Valves & Regulators
Unknown Pressure	-----	-----	Distribution - 210 kPa	-----	-----	Secondary - 1050 kPa	-----	-----	Siphon
Distribution - 2 kPa	-----	-----	Distribution - 300 kPa	-----	-----	Secondary Service	-----	-----	Valve
Distribution - 7 kPa	-----	-----	Distribution - 400 kPa	-----	-----	Primary - 3500 kPa	-----	-----	Distance in metres of Main from Boundary Line
Distribution - 30 kPa	-----	-----				JGN Trunk - 7000 kPa	-----	-----	~ 1.5
Distribution - 100 kPa	-----	-----				Transmission	-----	-----	MBK = Metres Back of Kerb
									MFL = Metres from Fence Line

Regulator Set

Regulator Station

Automatic Line Break Valve



Scale: 1:2000

Issue Date: 25/01/2019

DBYD Seq No: 79564756

DBYD Job No: 15642581

WARNING: This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. This plan is diagrammatic only, and distances scaled from this plan may not be accurate. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.

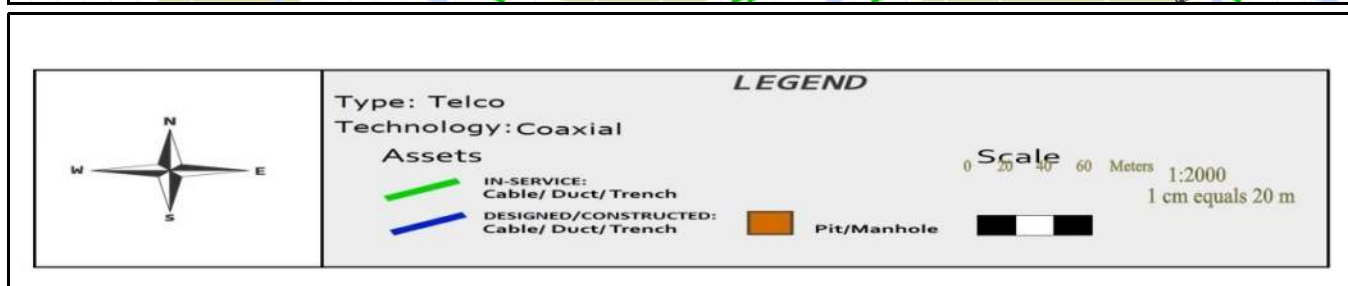


Indicative Plans

Issue Date:	25/01/2019	 DIAL BEFORE YOU DIG www.1100.com.au
Location:	52 Lauderdale Ave , Fairlight , NSW , 2094	

1

	LEGEND	
	<p>Type: Telco Technology: Coaxial</p> <p>Assets</p> <p>IN-SERVICE: Cable/ Duct/ Trench</p> <p>DESIGNED/CONSTRUCTED: Cable/ Duct/ Trench</p>	<p> IN-SERVICE: Cable/ Duct/ Trench</p> <p> DESIGNED/CONSTRUCTED: Cable/ Duct/ Trench</p> <p> Pit/Manhole</p> <p>Scale</p> <p>0 20 40 60 Meters 1:2000 1 cm equals 20 m</p>



Emergency Contacts

You must immediately report any damage to **nbn**TM network that you are/become aware of. Notification may be by telephone - 1800 626 329.

APPENDIX E - CONSTRUCTION PROGRAM

Stage	Month 1				Month 2				Month 3				Month 4				Month 5				Month 6			
Demolition																								
Excavation																								
Crossover																								
Underground Services																								
Basement																								
Concrete slab: Mezzanine																								
Structure: Mezzanine																								
Concrete slab: Undercroft																								
Structure: Undercroft																								
Concrete slab: Ground																								
Structure: Ground																								
Concrete slab: level 1																								
Structure: level 1																								
Concrete slab: level 2																								
Structure: level 2																								
Roof																								
Cladding																								
Services Rough-in																								
Fit-out																								
Landscaping																								

Expected Maximum number of Construction	3	3	3	3	3	4	4	4	6	6	6	6	6	6	8	8	8	8	8	8	8	8	8	8
Expected Number of Vehicles	2	2	2	2	2	3	3	3	4	4	4	4	4	4	6	6	6	6	6	6	6	6	6	6

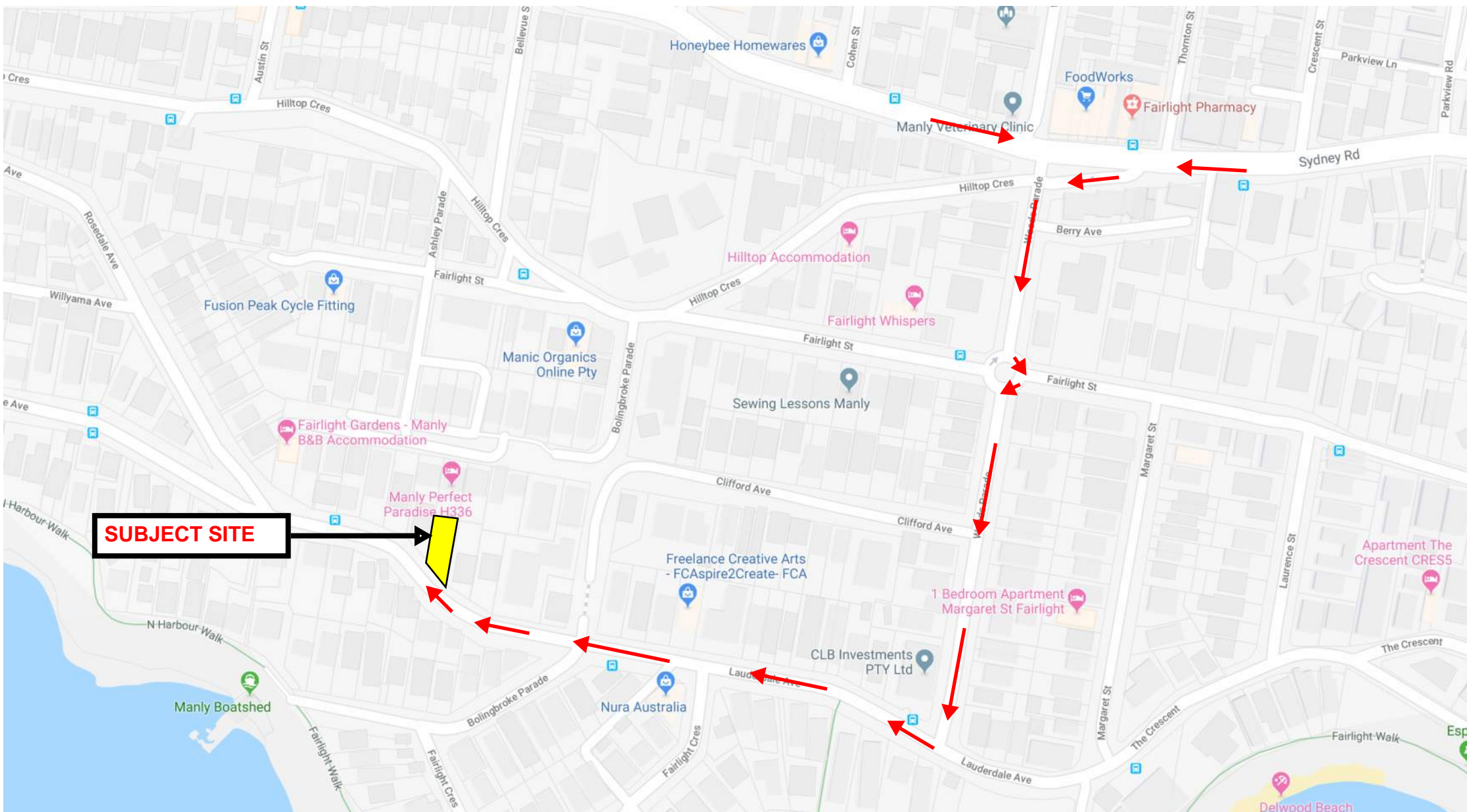
Type of Truck	Number of Anticipated Truck Movements per day																							
8.8m Concrete Truck						2			2	2	2	2	2	2	2			2	2	2	2			
8m Truck	1	2	1	1	1		1	1		2		2		2	2						2	2	2	2
12.5m Semi Rigid Vehicle										1														

Stage	Month 7				Month 8				Month 9				Month 10				Month 11				Month 12			
Demolition																								
Excavation																								
Crossover																								
Underground Services																								
Basement																								
Concrete slab: Mezzanine																								
Structure: Mezzanine																								
Concrete slab: Undercroft																								
Structure: Undercroft																								
Concrete slab: Ground																								
Structure: Ground																								
Concrete slab: level 1																								
Structure: level 1																								
Concrete slab: level 2																								
Structure: level 2																								
Roof																								
Cladding																								
Services Rough-in																								
Fit-out																								
Landscaping																								

Expected Maximum number of Construction	10	10	10	12	10	10	15	15	10	10	12	10	10	15	15	10	12	10	15	15	15	10	10	5
Expected Number of Vehicles	8	8	8	9	8	8	12	12	8	8	9	8	8	12	12	8	9	8	12	12	12	8	8	4

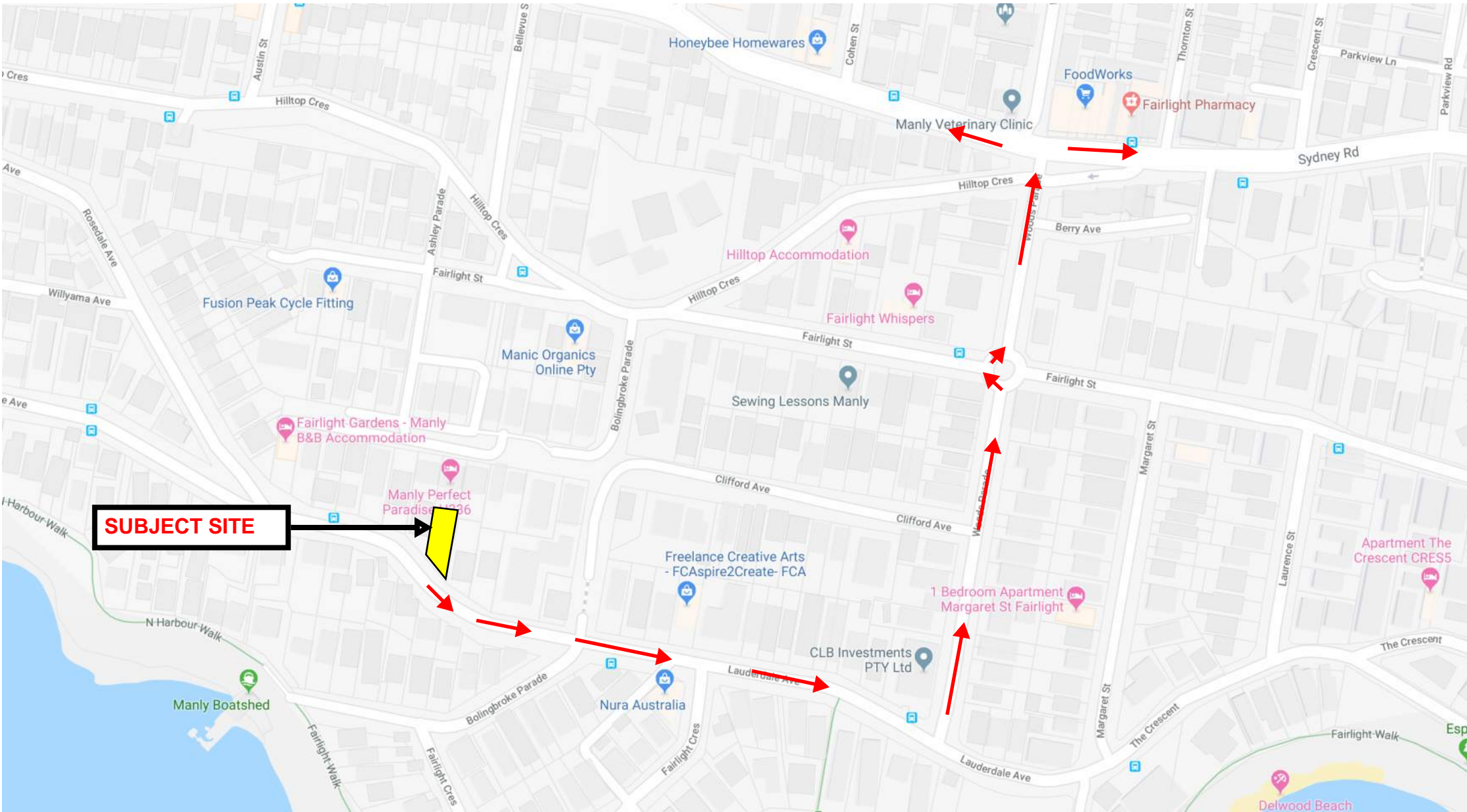
Type of Truck	Number of Anticipated Truck Movements per day																							
8.8m Concrete Truck	2	2	2	2				2	2	2	2		2	2	2	2	2							
8m Truck				2	2	2	2	2			2	2	2	2	2		2	2	2	2	2	2	2	
12.5m Semi Rigid Vehicle							2							2					2					

ACCESS INTO SITE - ROUTE MAP



Trucks accessing the site will turn into Woods Parade from Sydney Road and will head south. The trucks will then turn into Lauderdale Street to access the site.

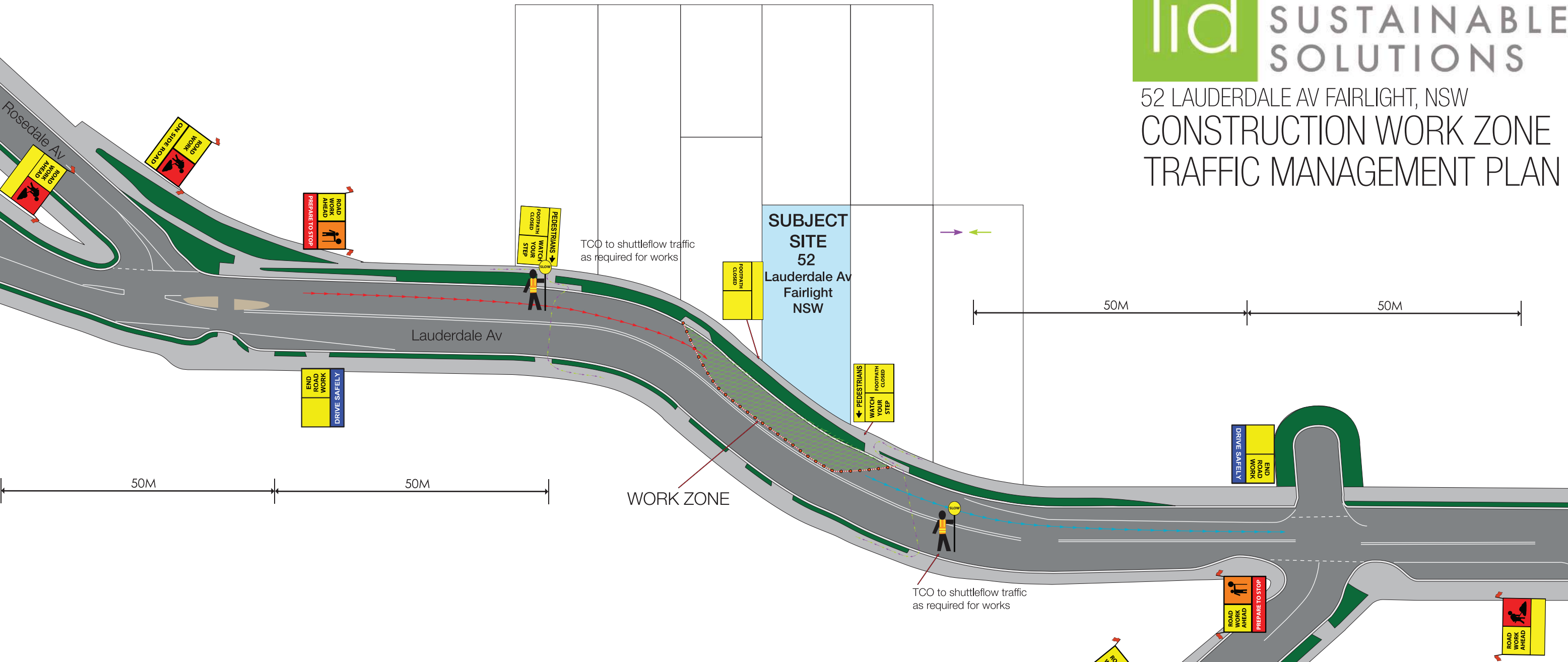
EXIT FROM SITE - ROUTE MAP



Trucks leaving the site will use the same route used for accessing the site by turning into Woods Parade and heading north towards Sydney Road.

APPENDIX G - TRAFFIC MANAGEMENT PLAN

52 LAUDERDALE AV FAIRLIGHT, NSW
CONSTRUCTION WORK ZONE
TRAFFIC MANAGEMENT PLAN



WORK SCOPE:
Involves the creation of an exclusion zone for such works as deliveries of building materials and or concrete pour at new residential development. Qualified Traffic Controllers (TCO) will shuttleflow traffic with Stop/Slow bats around work zone as required. Work zone will be defined with the use of bollards/road cones. Raised footpath to be closed as either sides of the site - pedestrians to cross the street using steps and existing crossovers with the assistance of TCOs as required.

DRIVE SAFELY

END ROAD WORK

ROAD WORK AHEAD

PREPARE TO STOP

ROAD WORK AHEAD

ON-SIDE ROAD

ROAD WORK

LEGEND / KEY

Qualified Traffic Controller

Multi Message Sign

Bollards / Road Cones

Truck access and egress

Subject Site

Work Zone

PLANT EQUIPMENT TO BE USED ONSITE

Delivery Truck

Franna Crane

Concrete Pump Truck

Concrete Agitator Truck

888

TRAFFIC

WWW.888TRAFFIC.COM.AU

1300 023 388

Date: 24 - January - 2019

Location: 52 Lauderdale Avenue, Fairlight

Municipality: Northern Beaches

Sydney Ref: AAAAAAAAAAAAAA

Recommended print size: A3 LANDSCAPE

Author: SPT

Checked: K.V

Plan number # LID190124-LAU

Plan Name: Construction Work Zone

Client: lid SMART SUSTAINABLE SOLUTIONS

Notes:

Rev:

Date:

Description:

Drawn:

Appr:

EMERGENCY CONTACTS:

EMERGENCY - 000 or 112

VIC ROADS TMC - 13 11 70

METRO - 9619 1111

PTV - 1800 800 007

YARRA TRAMS - 9610 3376

888 Traffic - 1300 023 388

qa0433 190 924 or 0431 496 788

This Traffic Management Plan (TMP) is not to scale. Signs and positions illustrated on TMP are to be used as a guide only, and may need to be adjusted based on conditions of work day by a qualified traffic controller ONLY. 888 Traffic Pty Ltd will accept no responsibilities for compliance if or when the TMP drafted under agreement for our client(s) are to be implemented by others in lieu of 888 Traffic Pty Ltd. Work site to be fully compliant with Australian Standards 1742.3 - 2009 & The Road Management Act 2004.

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Notification of Construction Letter

Dear Resident,

RE: 52 Lauderdale Avenue, Fairlight

We are writing to inform you of commencement of construction works at the above address. Construction works will likely commence in August 2019 and take approximately 1124 months to complete.

Construction Works will be between 7am –5pm through the week and 8am – 1pm on Saturday. No Construction will occur on Sundays and Public Holidays.

We will aim to ensure that any inconveniences are kept to a minimum at all times. Our priority will be ensuring the safety of the work site and surrounding area.

Should you have any queries or concerns during the course of construction please contact the Project Manager – Scott Casey on 02 9979 3292

Your Sincerely,