

ISSUE DATE: 10/11/22			
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EX01	EXISTING SITE PLAN	1:200	A
EX02	EXISTING GROUND FLOOR PLAN	1:100	A
EX03	EXISTING FIRST FLOOR PLAN	1:100	A
EX04	EXISTING SECTIONS	1:100	A
EX05	EXISTING ELEVATIONS	1:100	A
EX06	EXISTING 3D EXTERNAL VIEWS		A
DA01	LOCALITY & SITE ANALYSIS PLAN		B
DA02	SITE PLAN	1:200	F
DA03	AREA CALCULATIONS	1:200, 1:100	K
DA04	EXCAVATION / EROSION & SEDIMENT CONTROL PLAN	1:100	C
DA05	DEMOLITION PLAN	1:100	B
DA06	GROUND FLOOR PLAN	1:100	B
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DA08	SECOND FLOOR PLAN	1:100	I
DA09	SECTIONS	1:100	H
DA10	ELEVATIONS	1:100	L
DA11	3D EXTERNAL VIEWS 01		K
DA12	3D EXTERNAL VIEWS 02		J
DA13	3D EXTERNAL VIEWS 03		J
DA14	EXTERNAL VIEWS FROM FOOTPATH 01		I
DA15	EXTERNAL VIEWS FROM FOOTPATH 02		L
DA16	EXTERNAL VIEWS FROM FOOTPATH 03		F
DA17	EXTERNAL VIEWS FROM FOOTPATH 04		D
DA18	INTERNAL 3D VIEWS		D
DA19	WINDOW SCHEDULE	1:50	F
DA20	FRONT YARD - 3D VIEWS		F
DA31	SHADOW DIAGRAMS - 21 JUNE - 9AM	1:200	F
DA32	SHADOW DIAGRAMS - 21 JUNE - 12PM	1:200	F
DA33	SHADOW DIAGRAMS - 21 JUNE - 3PM	1:200	F

LEGEND	
	BOUNDARY LINE
	EXISTING STRUCTURE TO REMAIN
	EXISTING STRUCTURE TO BE DEMOLISHED
	BRICK (BWK)
	TIMBER STRUCTURE (TMB)
	CONCRETE STRUCTURE (CONC)
	STEEL STRUCTURE (STL)
	CONCRETE OR RENDER FINISH (RND)
	FC SHEET CLADDING (FC)
	TIMBER FINISH (TMB)
	GLAZING (GLZ)



SUITE 8, 21 SYDNEY RD, MANLY NSW 2095  
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64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094

LUCY SHEPHERD & IAN DONALDSON

ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

ARCHITECTURAL DRAWINGS

STAGE: DEVELOPMENT APPLICATION  
AMMENDMENTS: S455

REVISION L

DATE OF ISSUE: 10/11/22

BASIX COMMITMENTS

Fixtures and Systems:

Hot water:	Install a solar (electric-boosted) hot water system in the development that is eligible to create Renewable Energy Certificates under the current (Commonwealth) Renewable Energy (Electricity) Regulations.
Lighting:	A minimum of 40% of new or altered light fixtures are to be fitted with fluorescent, compact fluorescent or LED lamps.
Fixtures:	New or altered showerheads to have a flow rate no greater than 9 Litres per minute or a 3 star water rating. New or altered toilets to have a flow rate no greater than 4 litres per average flush or a minimum 3 star rating. New or altered taps to have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction:

Insulation requirements:		
Construction:	Additional insulation required (r-value):	Other specifications:
Floor above existing dwelling or building. External wall: framed (fibro clad). Flat ceiling, pitched roof. Raked ceiling, pitched/skillion roof: framed.	Nil R1.30 (or R1.70 including construction) Ceiling: R1.45 (up), roof: foil backed blanket (55mm) Ceiling: R1.74 (up), roof: foil backed blanket (55mm)	Medium (solar absorptance 0.475 - 0.70) Medium (solar absorptance 0.475 - 0.70)

Glazing Requirements:

Windows and glazed doors:	
Window/door no. W01 - W12	Frame and glass type: Timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)
Shylights:	
Skylight no. SK1 - SK4	Frame and glass type: Timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)





AERIAL VIEW



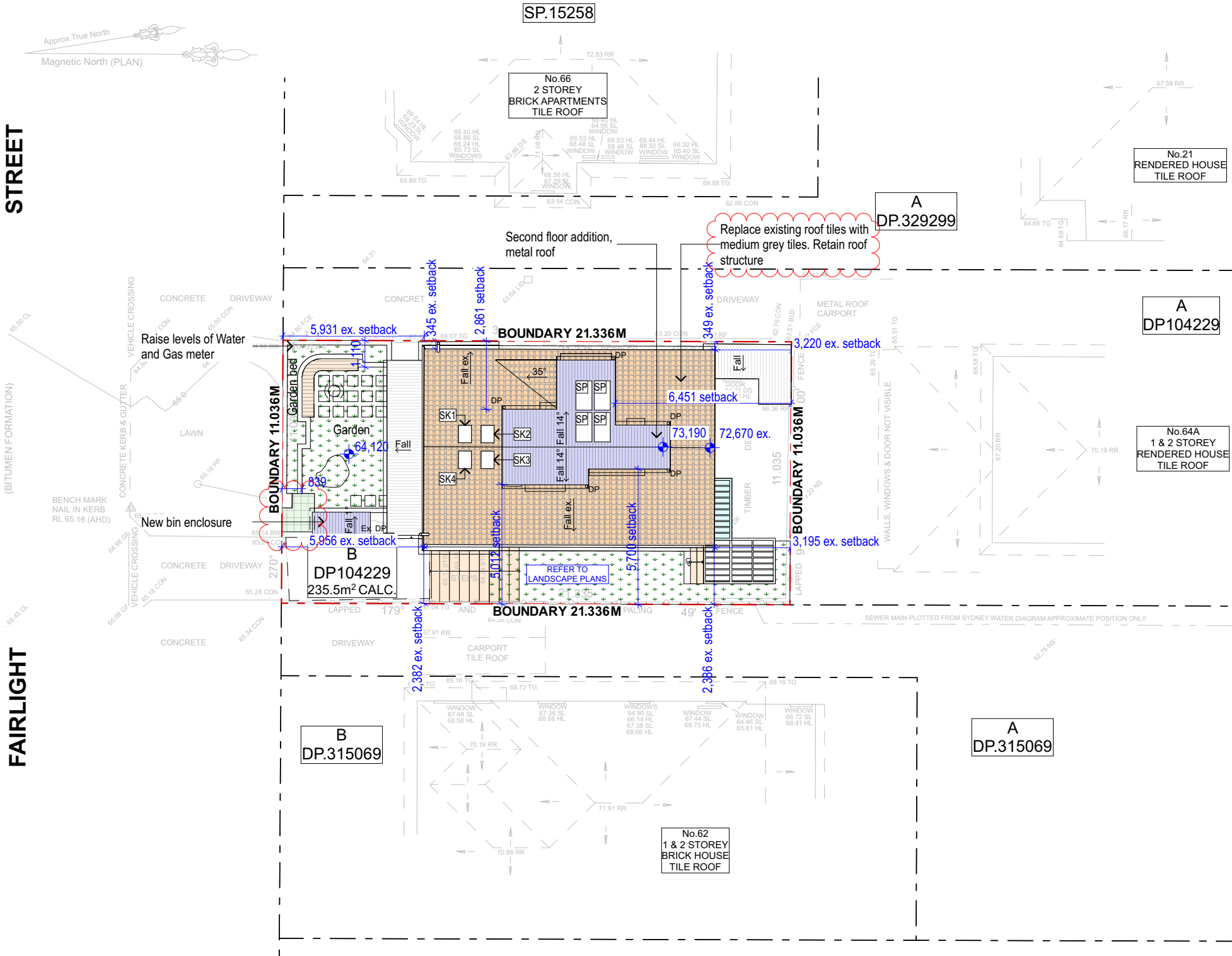
STREET VIEW

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		A	03.10.2019	DEVELOPMENT APPLICATION ISSUE				
		B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE				



NOTES:  
1. Connect new stormwater drainage to existing stormwater system to the street.  
2. Displayed roof falls are approximate, verify on site.

LEGEND	
<span style="border: 1px solid black; padding: 2px;">CB</span>	COLORBOND ROOFING
<span style="border: 1px solid black; padding: 2px;">RT</span>	ROOF TILES
<span style="border: 1px solid black; padding: 2px;">CB</span>	COLORBOND ROOFING



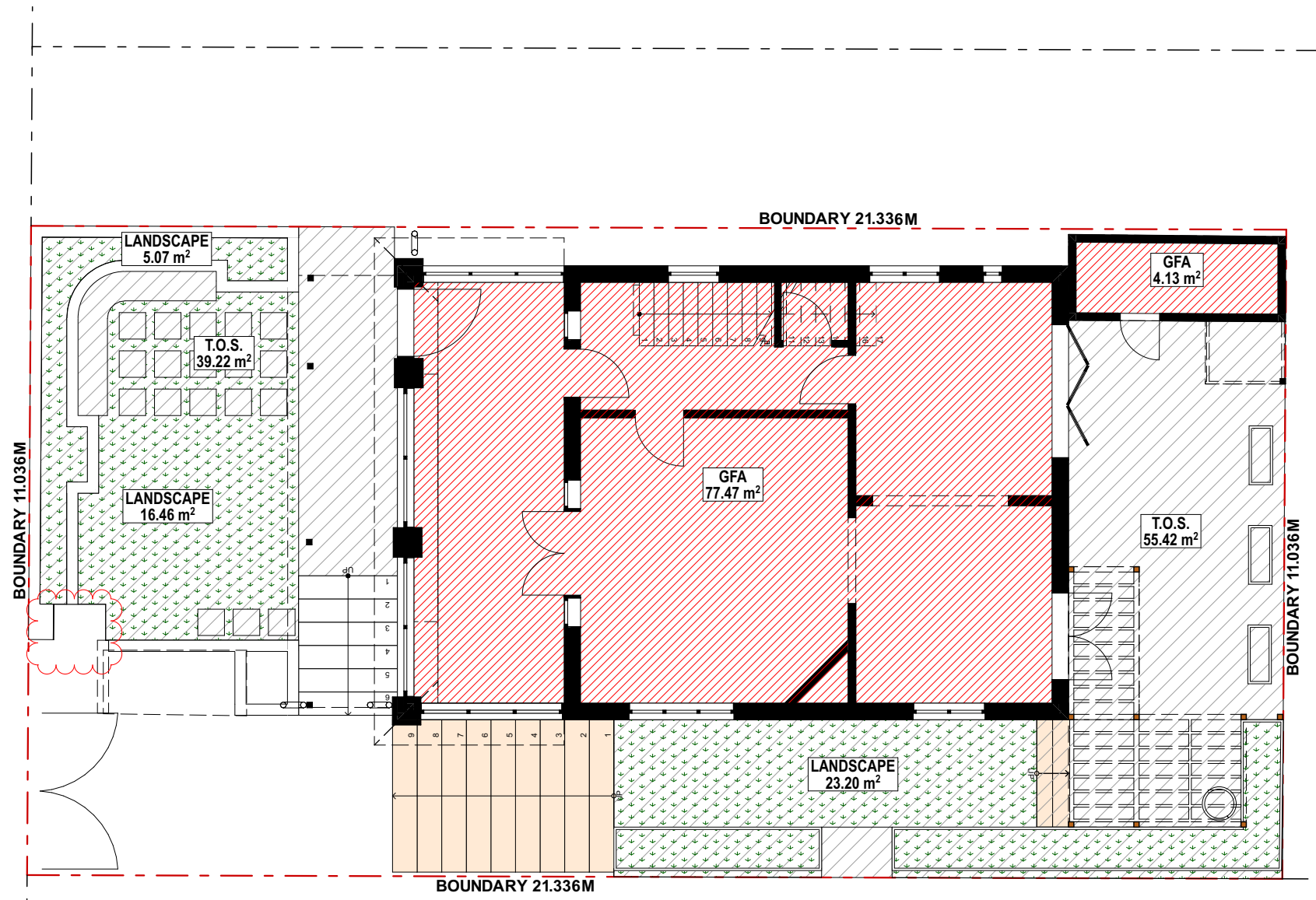
SITE PLAN  
1:200

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	<b>DEVELOPMENT APPLICATION</b>	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE			DRAWN: MS	
		B	07.01.2019	FOR CLIENT APPROVAL			DATE: 10/11/22	
		C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE			JOB NO:	
		D	30.09.2021	AMMENDMENT: S455			<b>1915</b>	
		E	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE				
		F	08.11.2022	AMMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES				

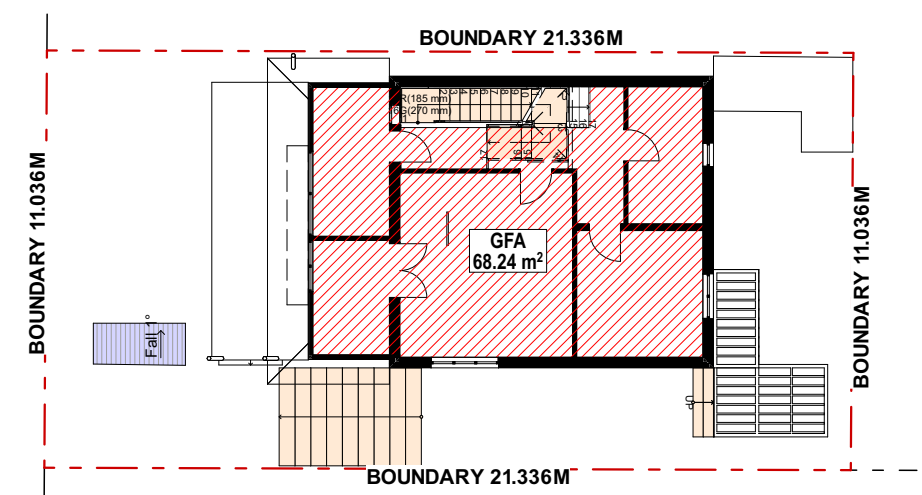
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1915 FAIRLIGHT 64\_AC24\_MASTER\_221108\_VA\_House.pln

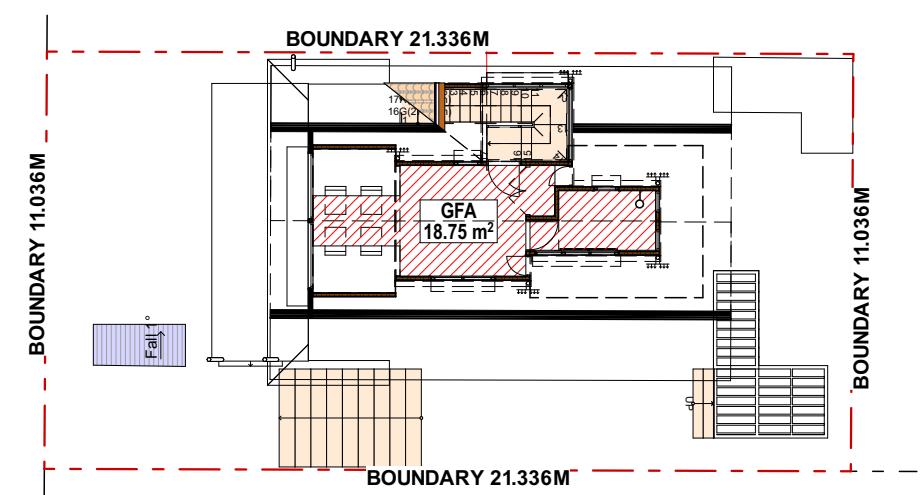
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AREA CALCULATIONS - GROUND FLOOR  
1:100



AREA CALCULATIONS - FIRST FLOOR  
1:200



AREA CALCULATIONS - SECOND FLOOR  
1:200

### OPEN SPACE AREA CALCULATIONS

SITE AREA = 235.5m<sup>2</sup>

AREA: OS3

TOTAL OPEN SPACE REQUIRED = 55% (129.53m<sup>2</sup>)  
TOTAL OPEN SPACE PROPOSED = 40.19% (94.64m<sup>2</sup>)

LANDSCAPED AREA REQUIRED = 35% OF T.O.S. (33.12m<sup>2</sup>)  
LANDSCAPED AREA PROPOSED = 47.26% (44.73m<sup>2</sup>)

MAX. OPEN SPACE ABOVE GROUND= 25% OF T.O.S. (32.38m<sup>2</sup>)  
PROPOSED OPEN SPACE ABOVE GROUND = 0%

### LEGEND

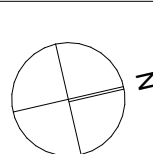
- GROSS FLOOR AREA
- TOTAL OPEN SPACE
- LANDSCAPED AREA

### FLOOR SPACE RATIO

SITE AREA = 235.5m<sup>2</sup>  
AREA FOR FSR PURPOSES\* = 250m<sup>2</sup>  
MAXIMUM FLOOR SPACE RATIO = 0.6:1  
  
GROUND FLOOR AREA = 81.6m<sup>2</sup>  
FIRST FLOOR AREA = 68.2m<sup>2</sup>  
TOTAL EXISTING FLOOR AREA = 149.8m<sup>2</sup>  
= 0.60:1 FSR  
  
SECOND FLOOR AREA = 18.8m<sup>2</sup>  
TOTAL PROPOSED FLOOR AREA = 168.6m<sup>2</sup>  
= 0.67:1 FSR

**\*4.1.3.1 Exceptions to FSR for Undersized Lots**  
Note: On existing sites in Residential LEP Zones (including E3 & E4) with a site area less than the minimum lot size required on the LEP Lot Size (LSZ) Map, Council may consider exceptions to the maximum FSR under LEP clause 4.6 when both the relevant LEP objectives and the provisions of this DCP are satisfied. See LEP clause 4.6(4)(a).

Area 'C' on the LEP LSZ map  
Calculation of FSR based on 250 sqm lot size/ site area



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DEVELOPMENT APPLICATION

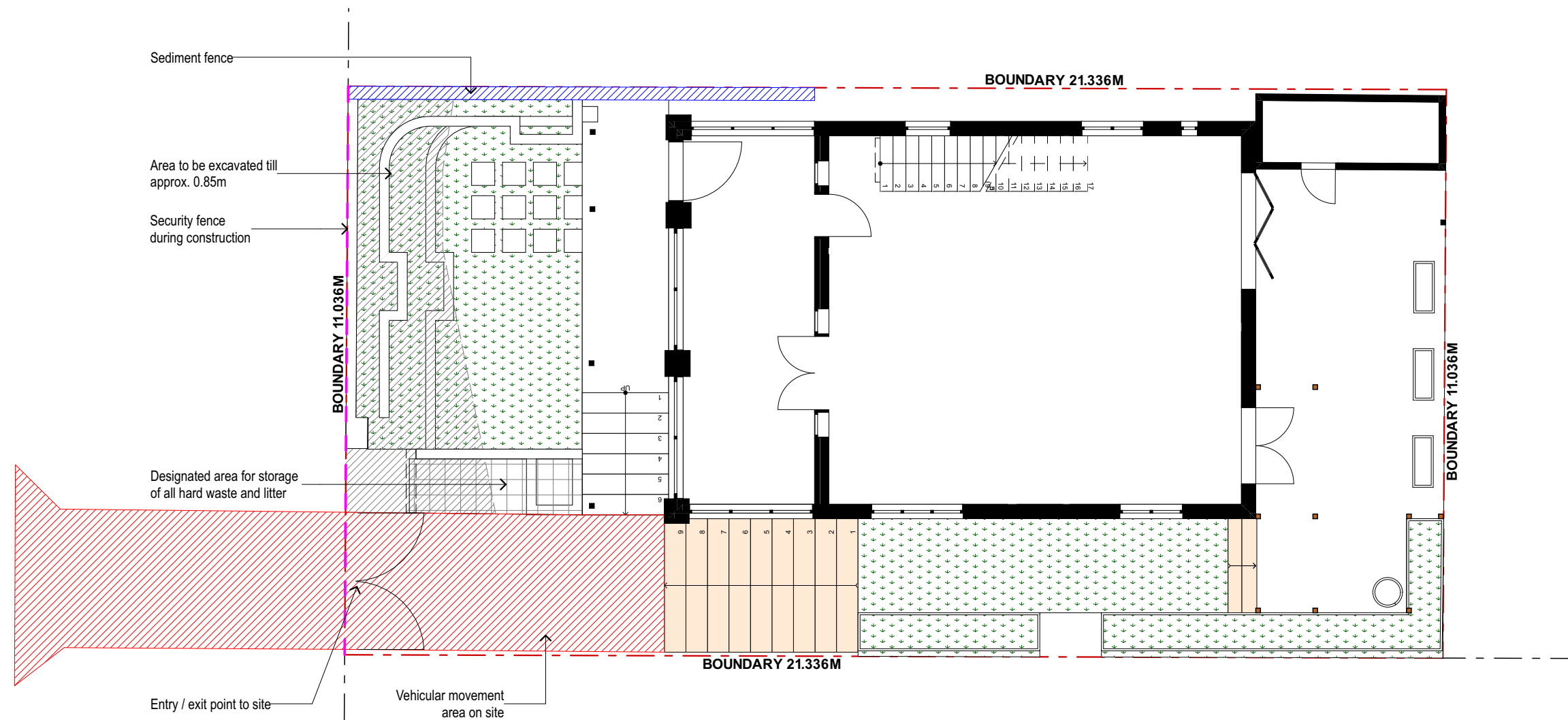
REV	DATE	DESCRIPTION
D	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE
E	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW
F	06.04.2021	CHANGES REQUESTED BY CLIENT
G	29.07.2021	CHANGES TO FRONT YARD REQUESTED BY CLIENT
H	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD
I	30.09.2021	AMMENDMENT: S455
J	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
K	08.11.2022	AMMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES

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CLIENTS: LUCY SHEPHERD & IAN DONALDSON  
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING  
**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**  
TITLE: AREA CALCULATIONS

SCALE: 1:200, 1:100  
DRAWN: MS  
DATE: 10/11/22  
JOB NO: 1915

DRAWING NO: DA03  
ISSUE: K



EXCAVATION / EROSION & SEDIMENT CONTROL PLAN  
1:100

**NOTES:**

BUILDER TO RESTRICT VEHICLE MOVEMENTS TO THE DESIGNATED AREA.

BUILDER TO CLEAR ONLY THOSE AREAS THAT MUST BE DISTURBED DURING THE BUILDING WORKS.

VEGETATION IS NOT TO BE DISTURBED DURING CONSTRUCTION.

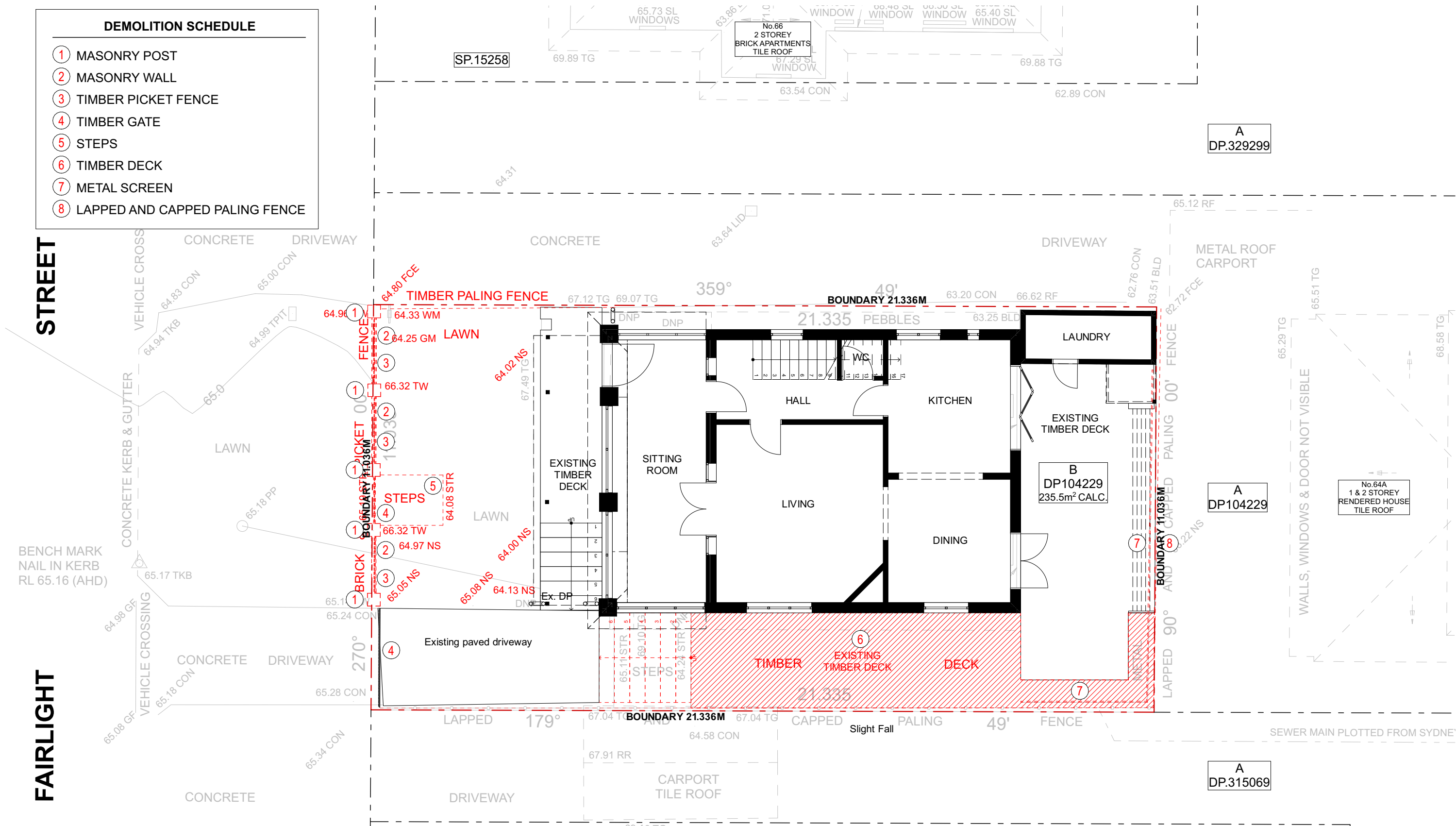
INSTALL ONSITE WASTE RECEPTACLES, SUCH AS SKIPS OR BINS, AND WIND-PROOF LITTER RECEPTACLES.

INSTALL AND CONNECT NEW ROOF DOWNPIPES BEFORE THE FRAME INSPECTION.

**LEGEND**

- SEDIMENT FENCE
- VEGETATED AREA
- DESIGNATED AREA FOR VEHICULAR MOVEMENT DURING CONSTRUCTION
- STORAGE AREA
- AREA TO BE EXCAVATED
- SECURITY FENCE

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		A	03.10.2019	DEVELOPMENT APPLICATION ISSUE			DRAWN: MS	
		B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE			DATE: 10/11/22	
		C	30.09.2021	AMMENDMENT: S455			JOB NO: 1915	



GROUND FLOOR - DEMOLITION PLAN

1:100

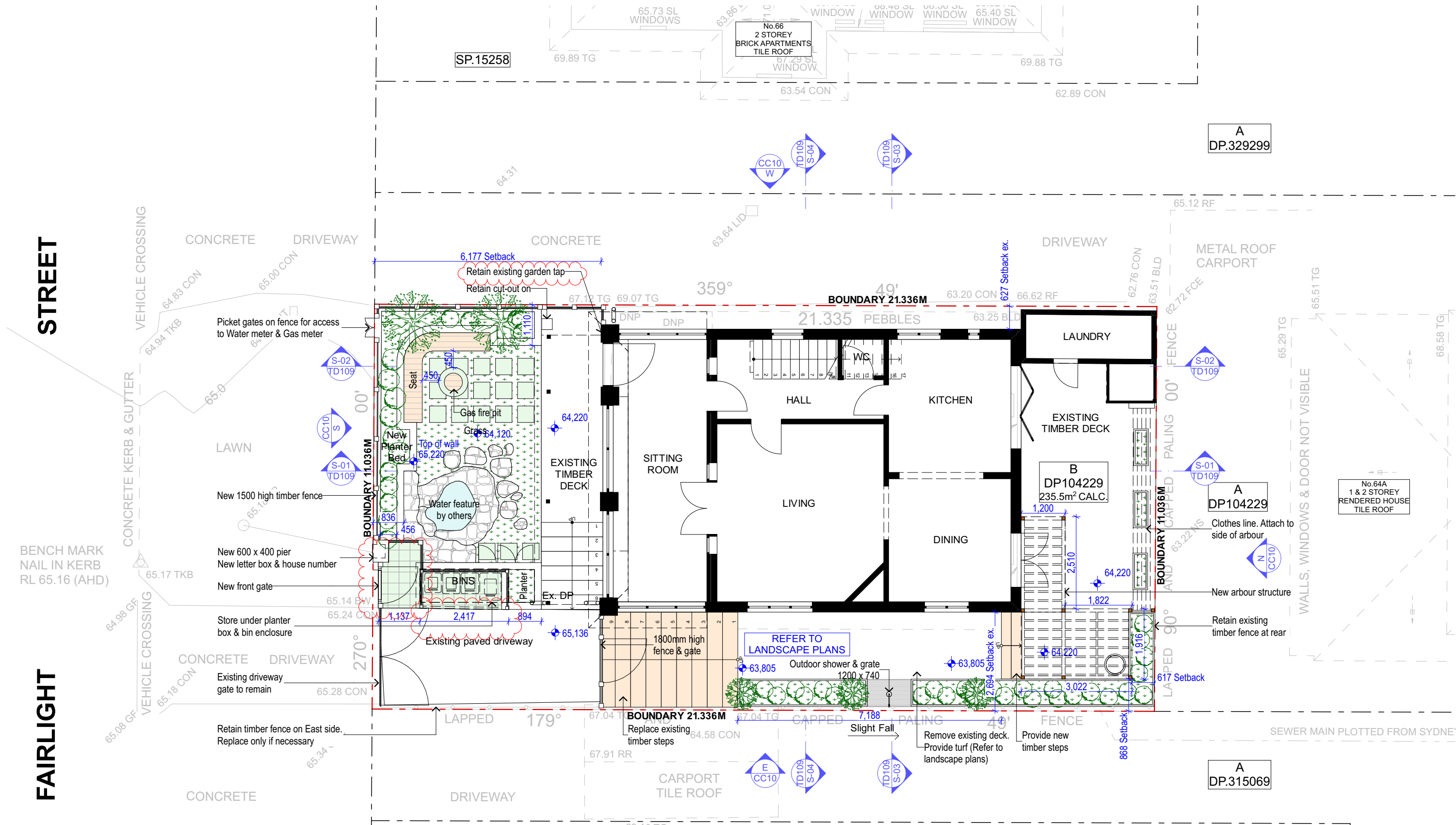
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		A	03.10.2019	DEVELOPMENT APPLICATION ISSUE			DRAWN: MS	
		B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE			DATE: 10/11/22	
							JOB NO: 1915	

DEVELOPMENT APPLICATION

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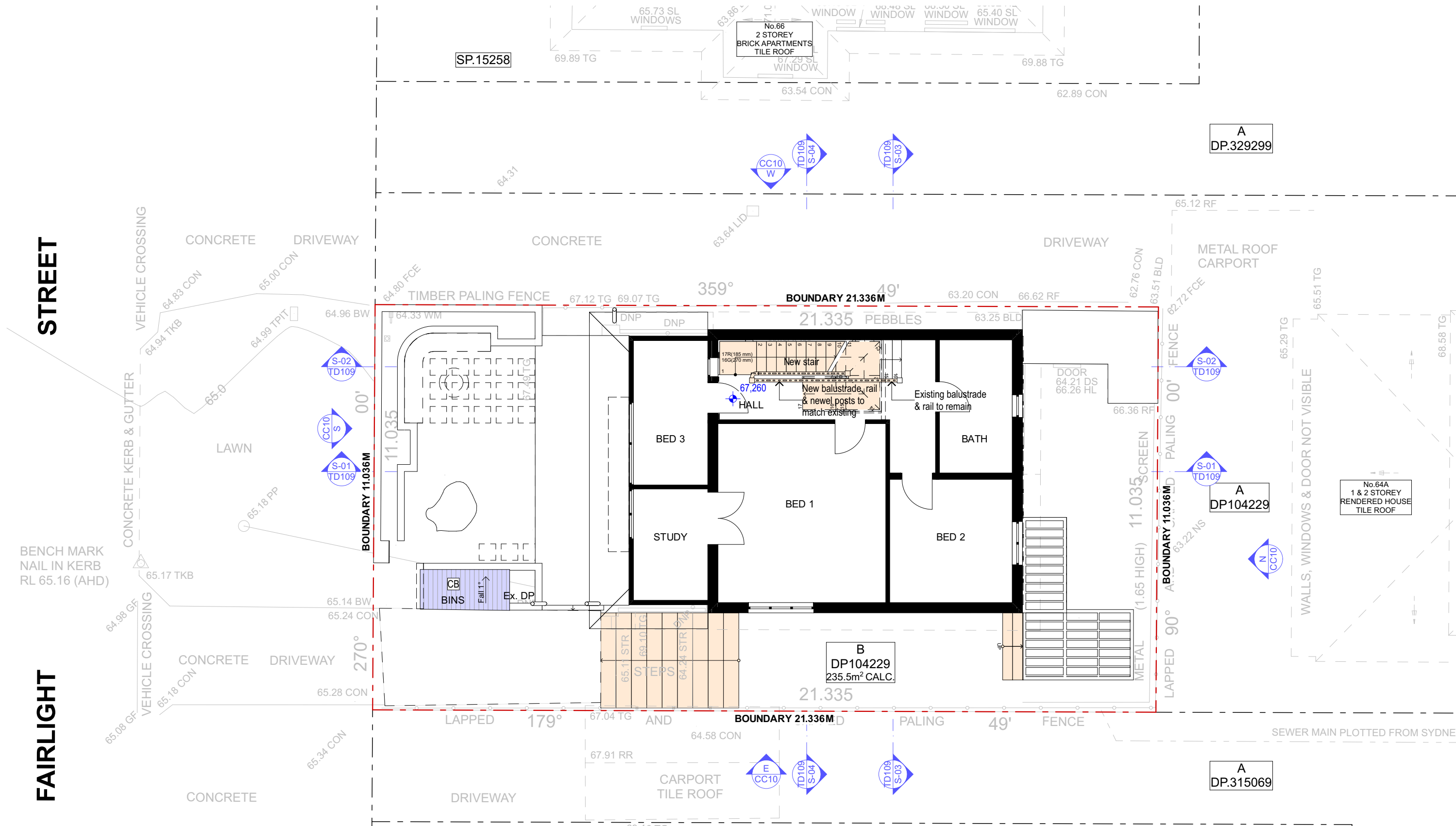


GROUND FLOOR PLAN  
1:100

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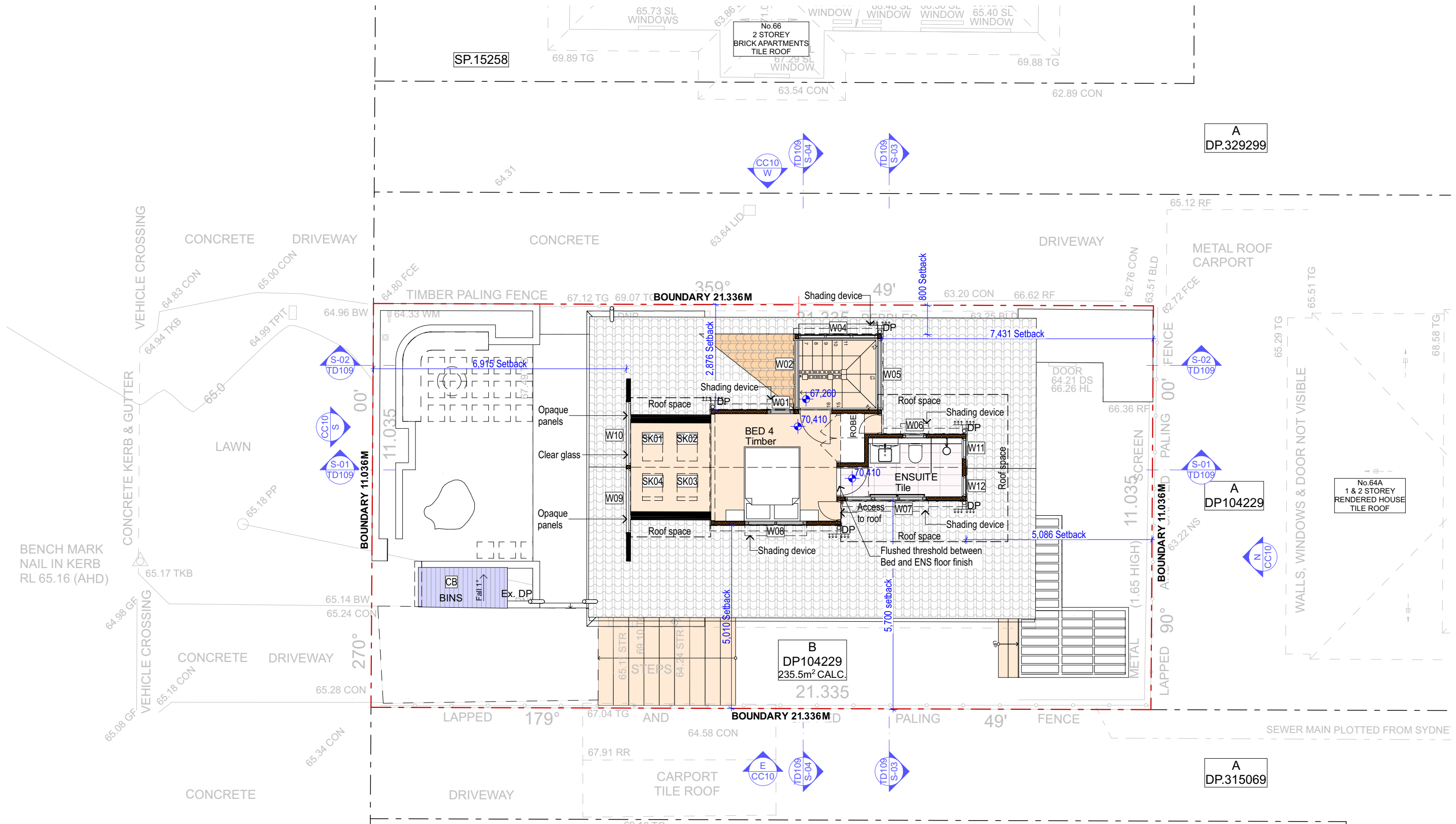


FIRST FLOOR PLAN  
1:100

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	<b>DEVELOPMENT APPLICATION</b>	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE			DRAWN: MS	
		B	18.12.2019	AMENDMENTS TO DA - ISSUE FOR CONSULTANT			DATE: 10/11/22	
		C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE			JOB NO: 1915	
		D	30.09.2021	AMMENDMENT: S455				
		E	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE				
		F	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES				

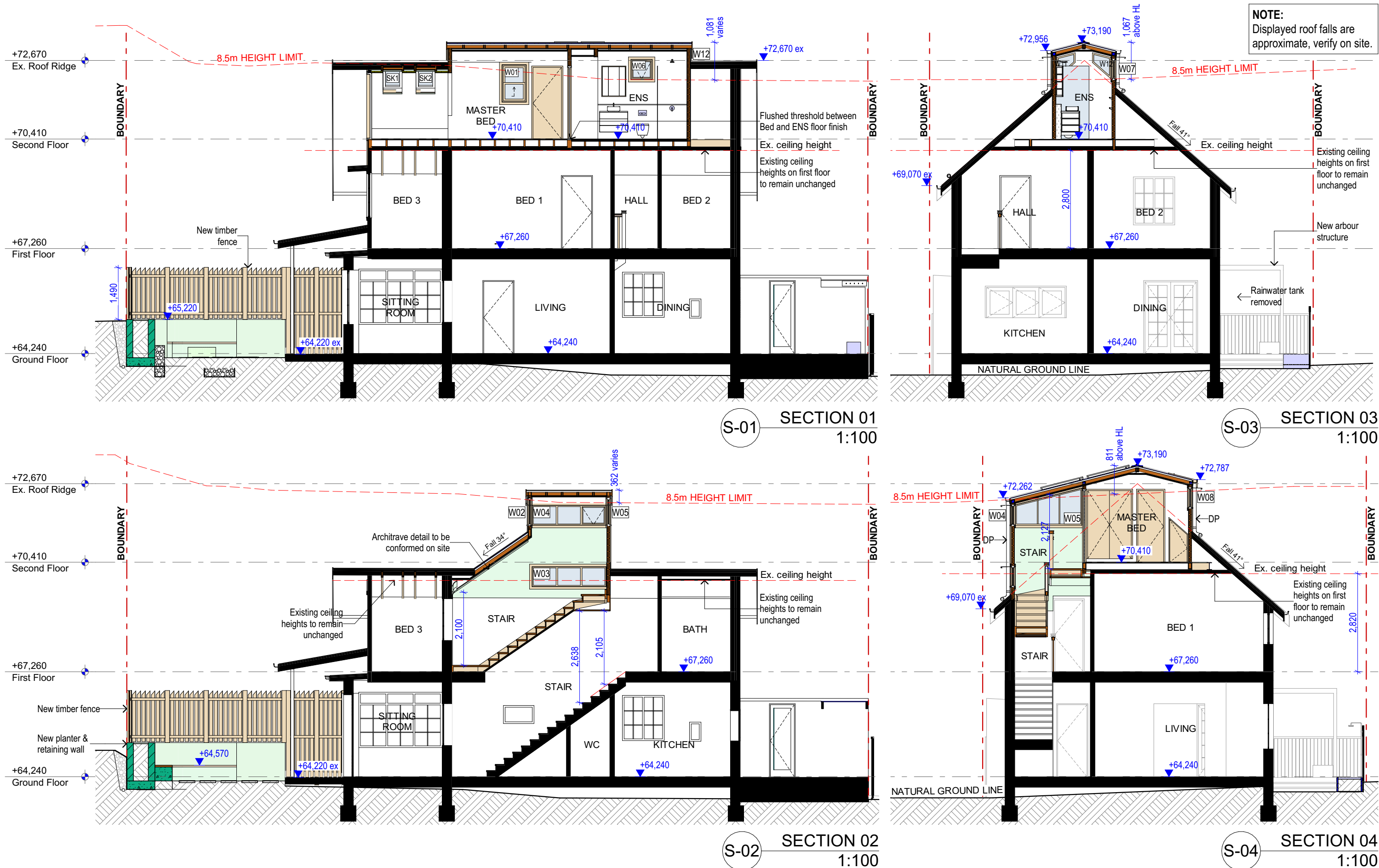
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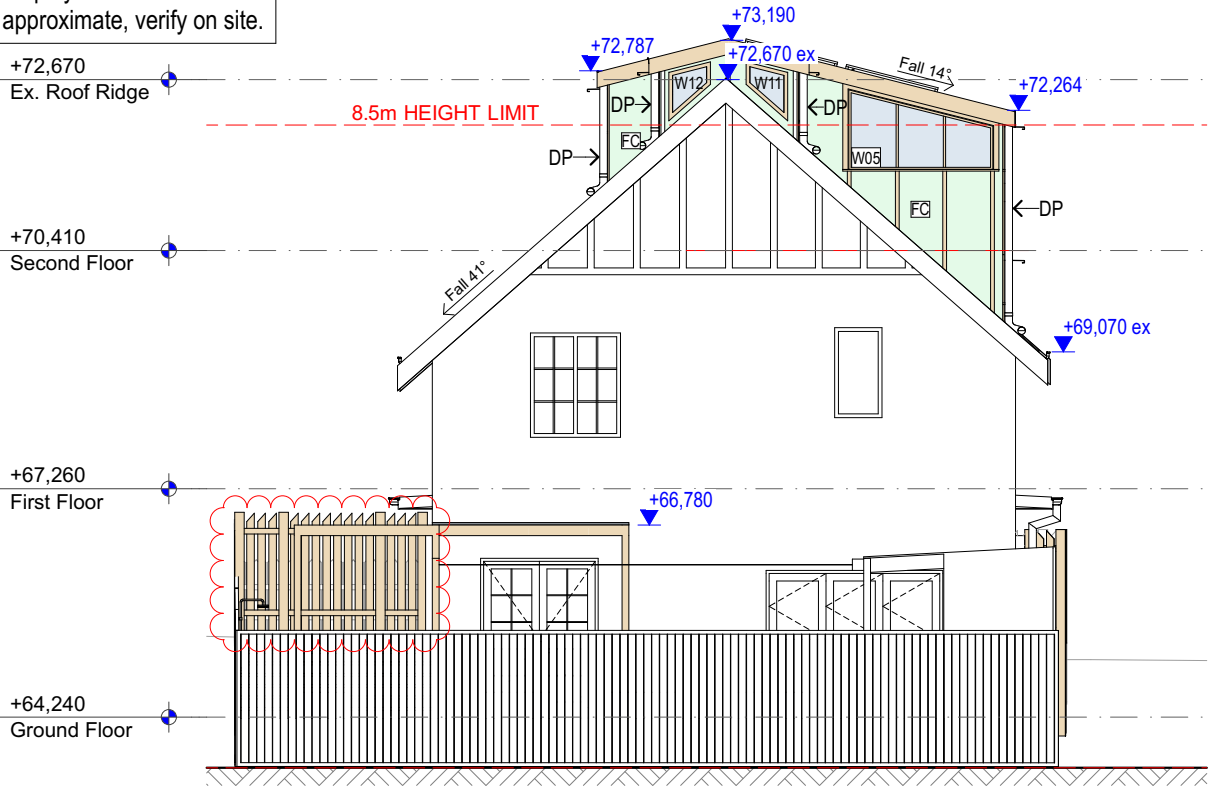
SECOND FLOOR PLAN  
1:100

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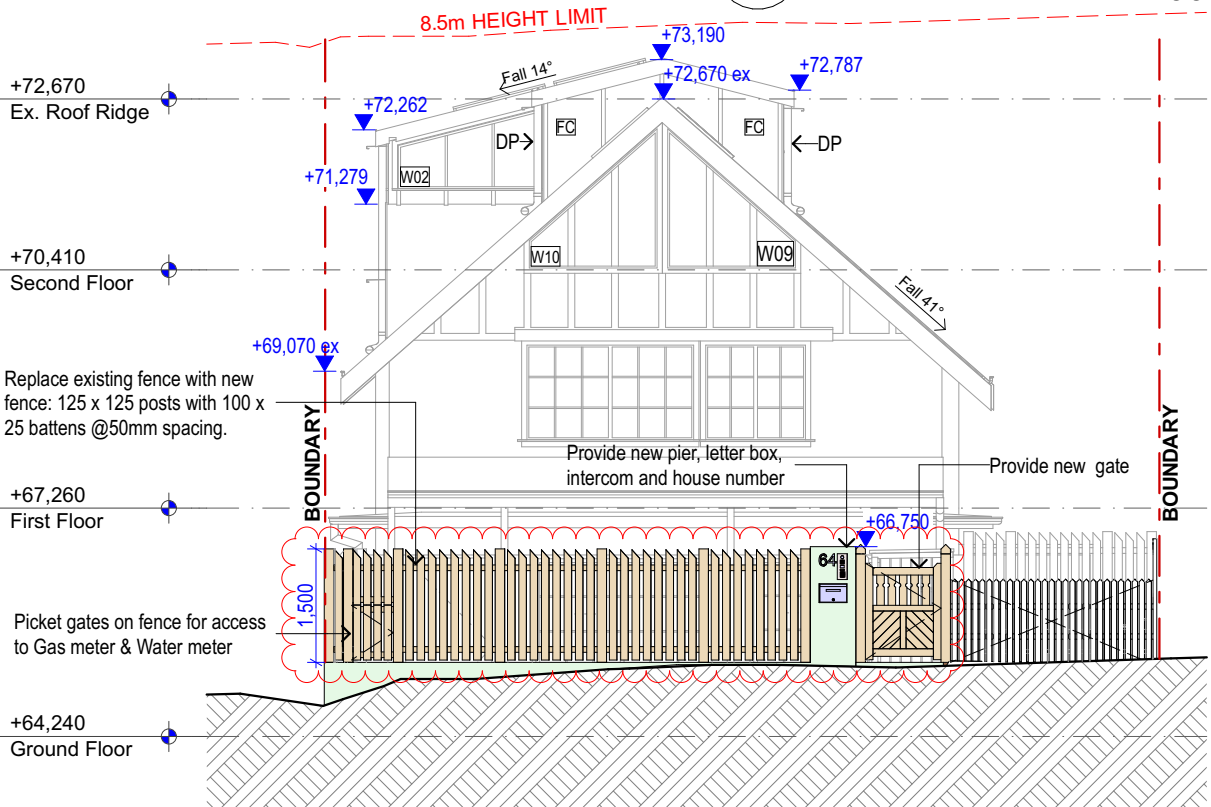


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	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE				
	B	07.01.2019	FOR CLIENT APPROVAL				
	C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE				
	D	30.09.2021	AMMENDMENT: S455				
	E	30.11.2021	WINDOW AMENDMENT: S4.55				
	F	02.12.2021	WINDOW AMENDMENT: S4.55				
	G	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE				
	H	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES				

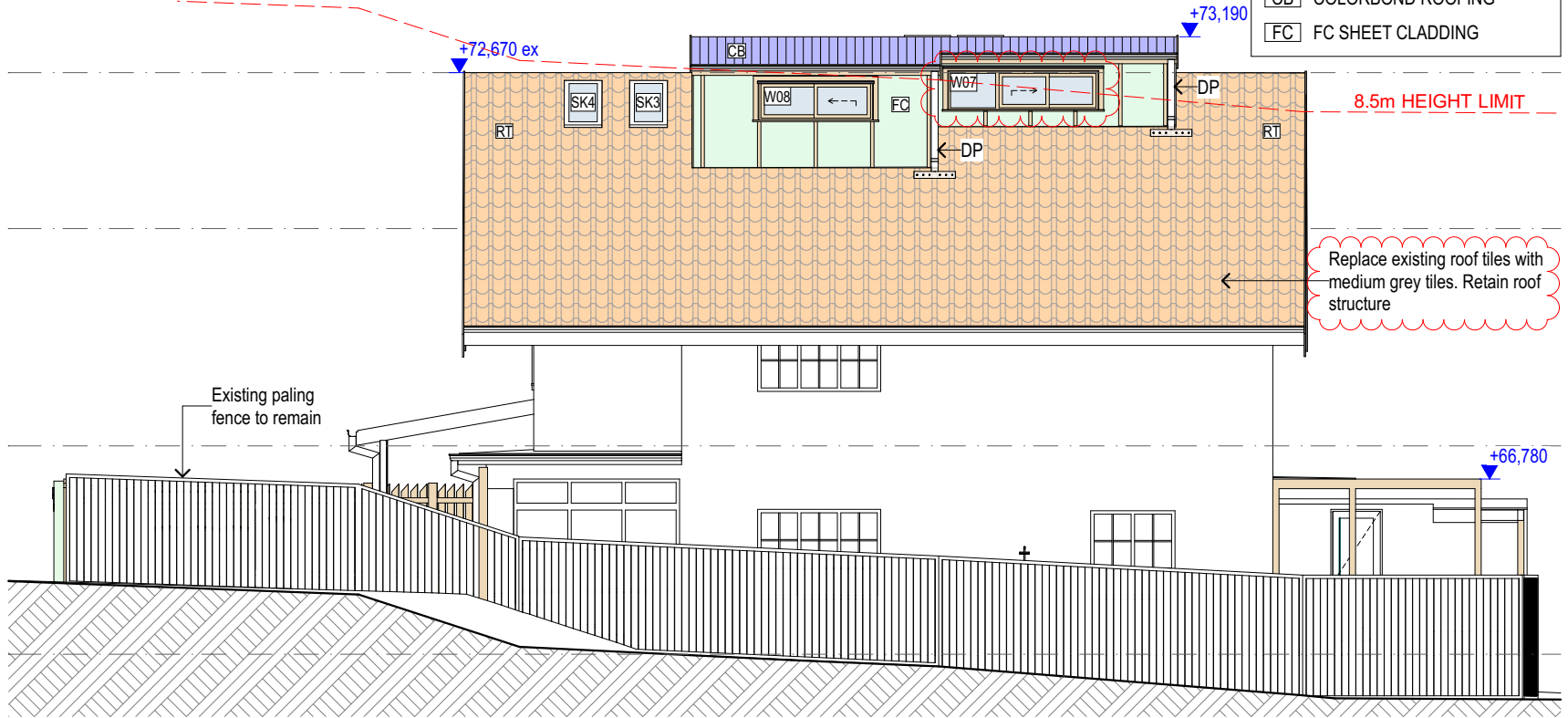
**NOTE:**  
Displayed roof falls are approximate, verify on site.



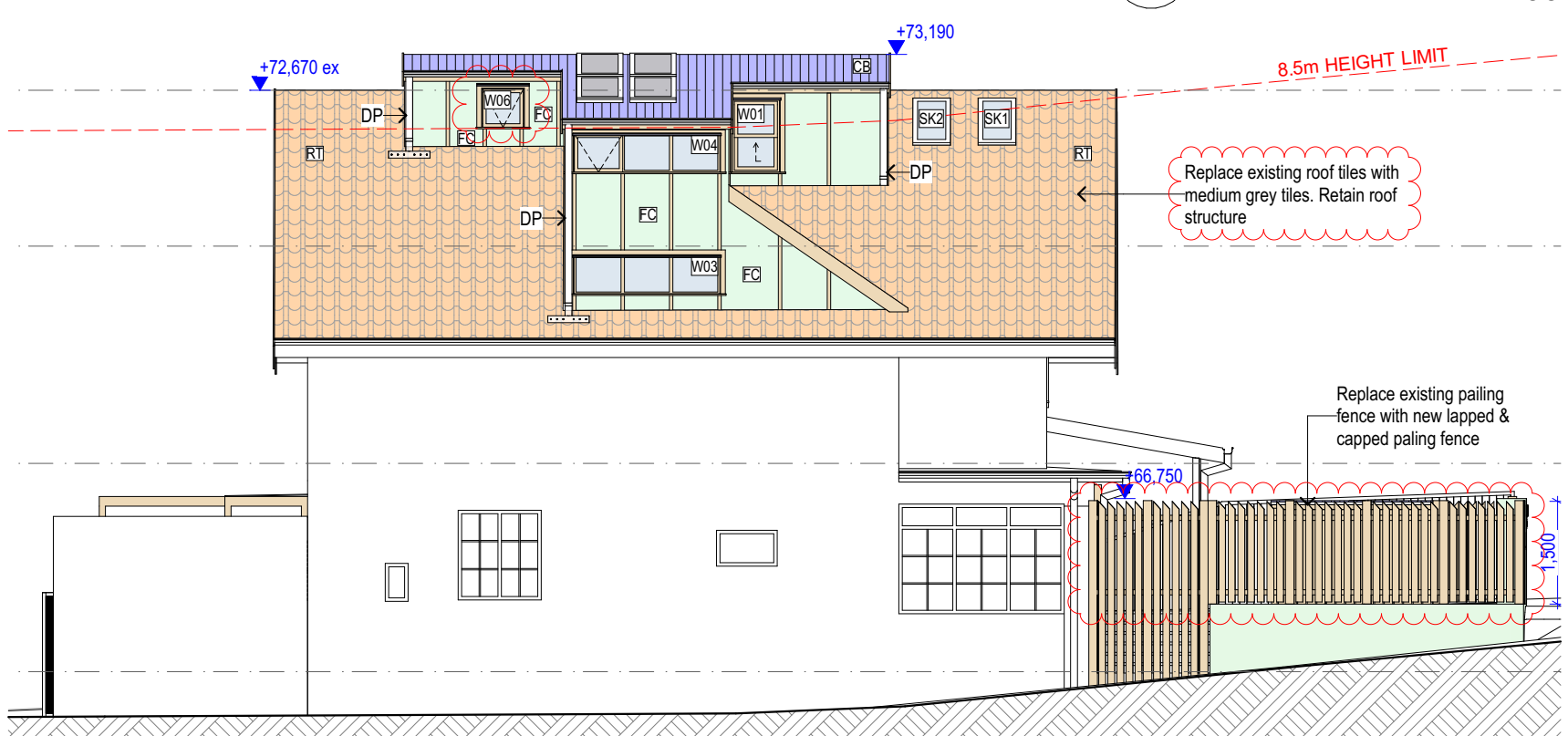
N NORTH ELEVATION  
1:100



S SOUTH ELEVATION  
1:100



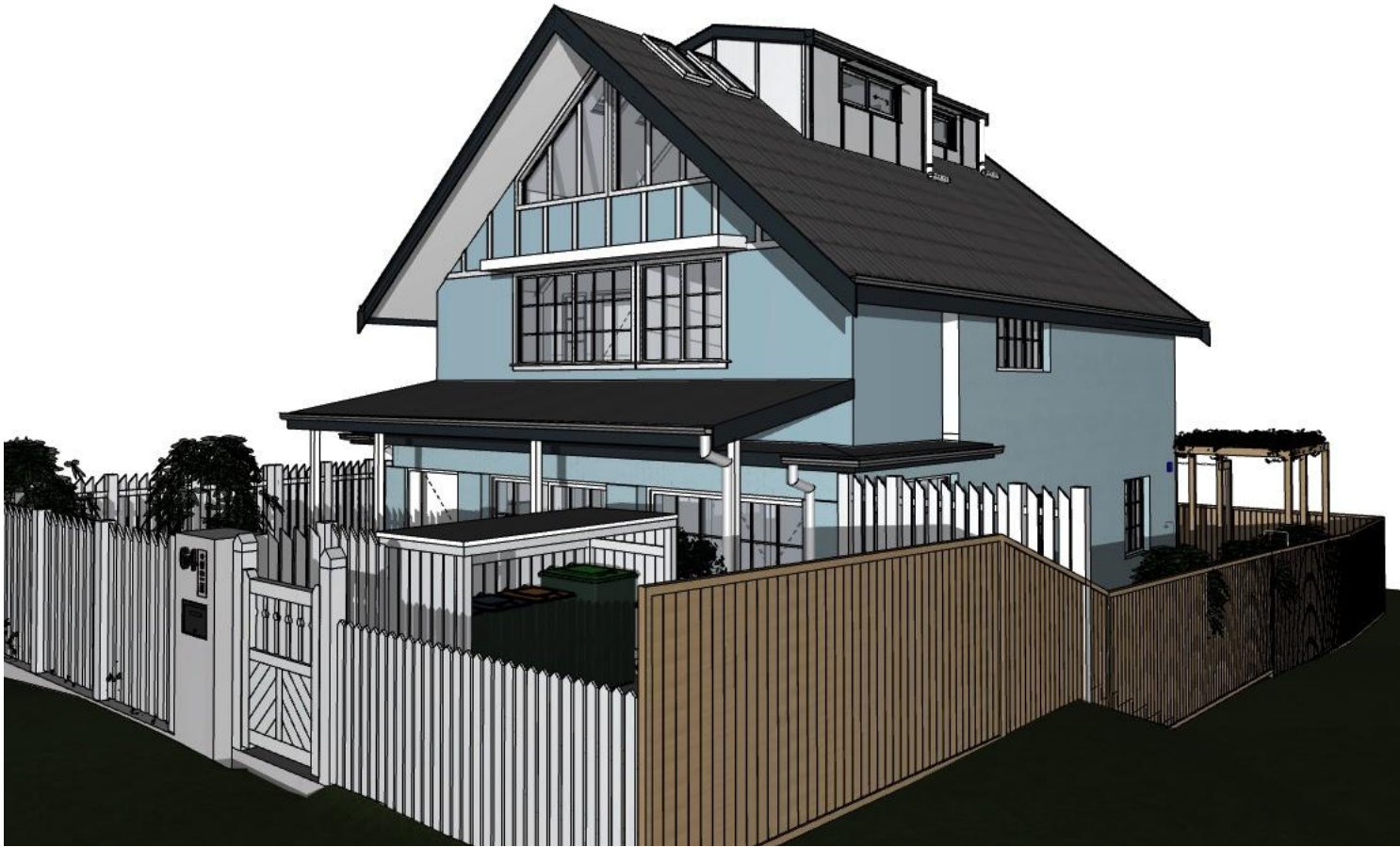
E EAST ELEVATION  
1:100



W WEST ELEVATION  
1:100

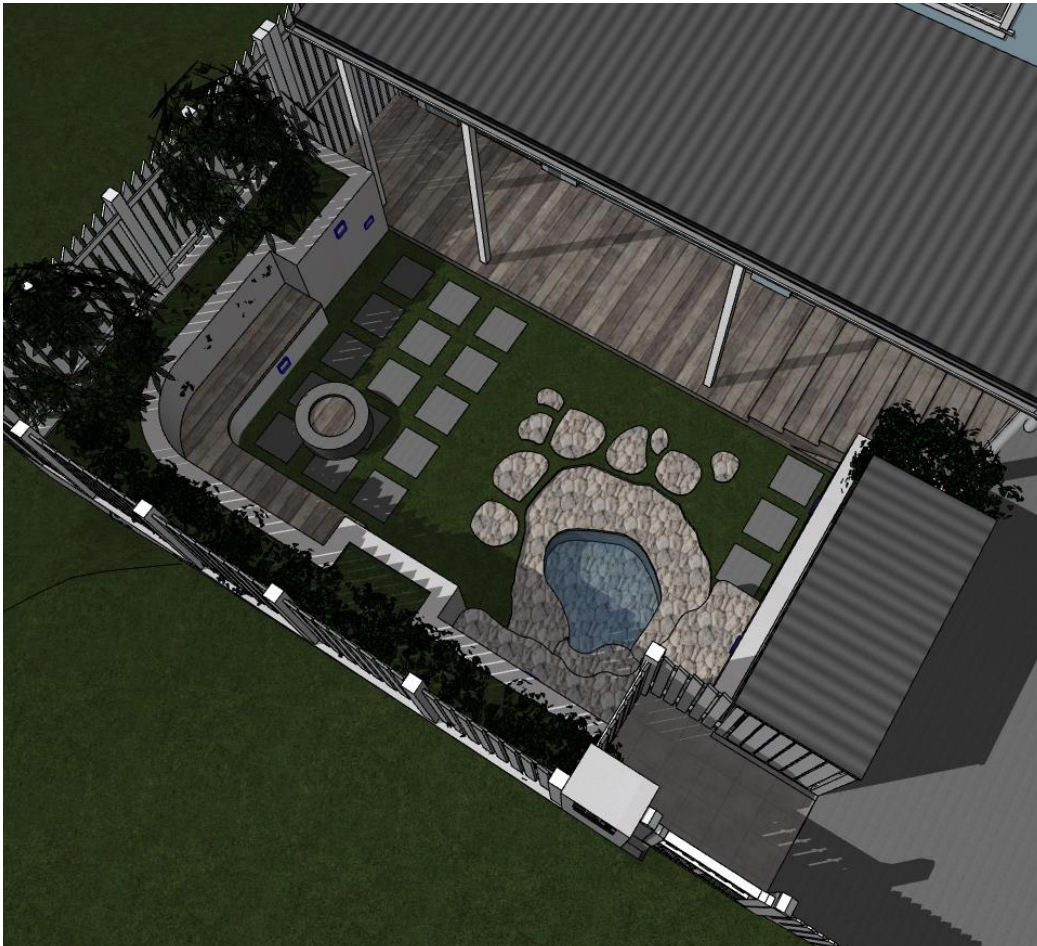
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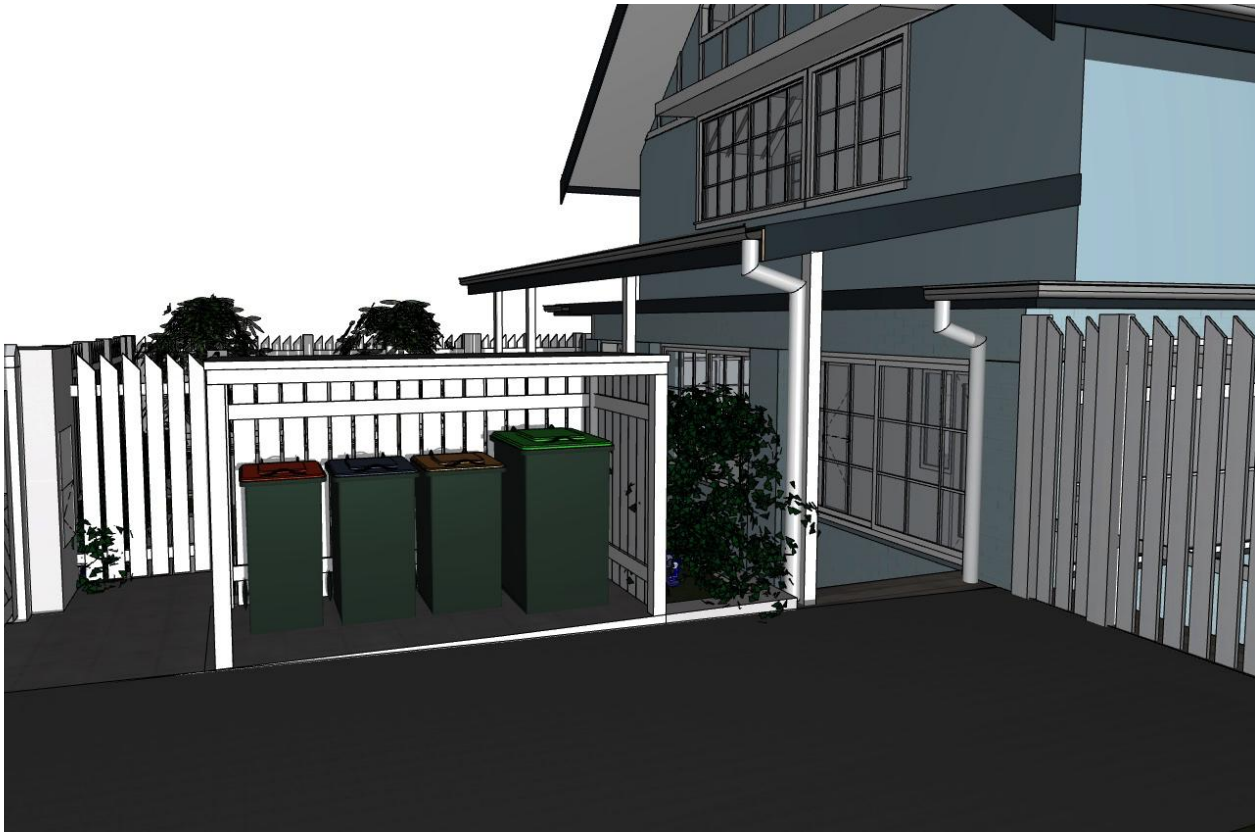
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	D	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE		PROJECT:	ALTERATIONS AND ADDITIONS TO DETACHED DWELLING	DRAWN:		MS	
	E	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW			64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094	DATE:		10/11/22	
	F	06.04.2021	CHANGES REQUESTED BY CLIENT		TITLE:	3D EXTERNAL VIEWS 01	JOB NO:		1915	
	G	30.09.2021	AMMENDMENT: S455						ISSUE: K	
	H	30.11.2021	WINDOW AMENDMENT: S4.55							
	I	02.12.2021	WINDOW AMENDMENT: S4.55							
	J	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE							
					1915 FAIRLIGHT 64_AC24_MASTER_221108_VA_House.pln					





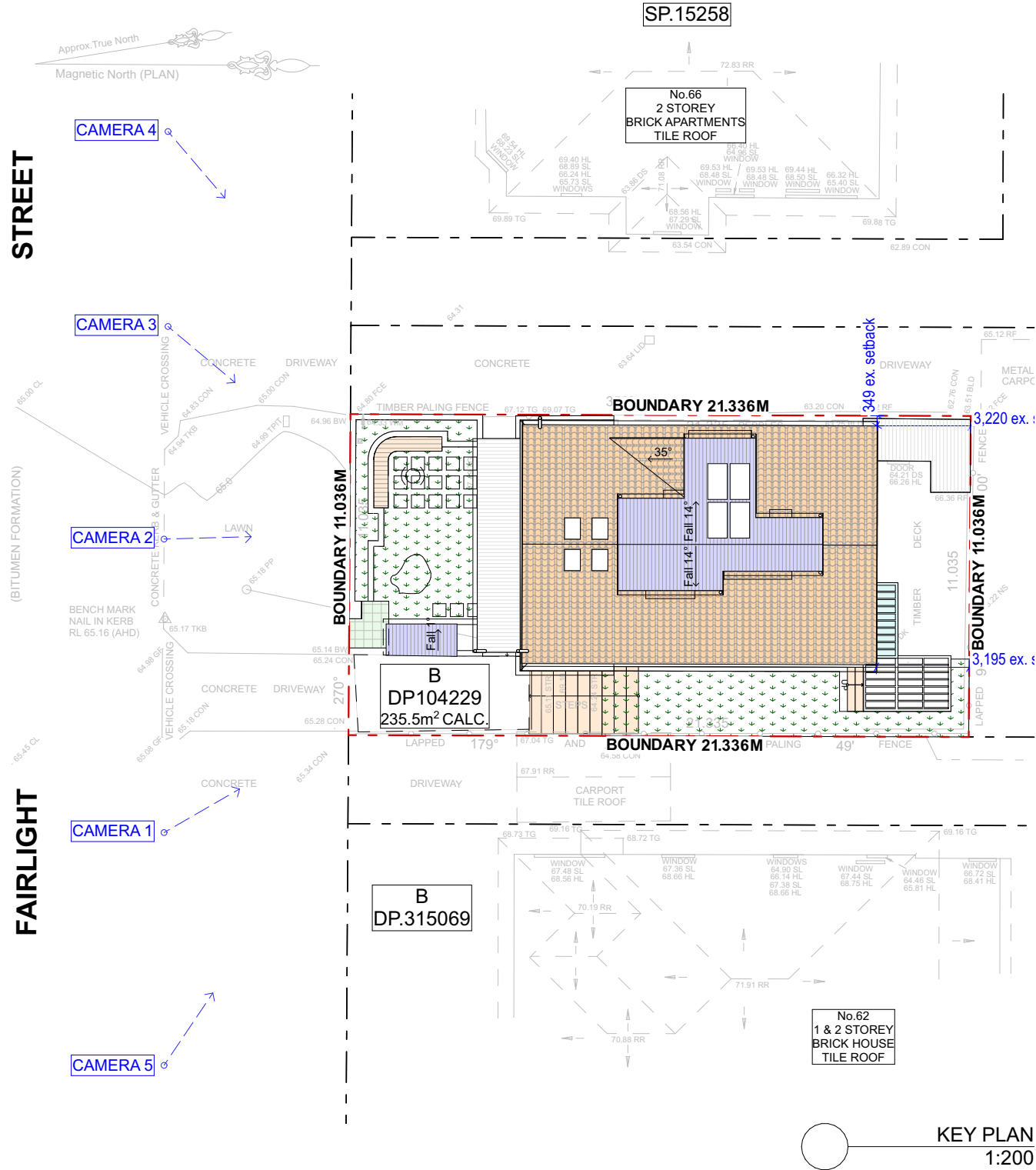
<div>NOTES:</div> <div>This drawing is and remains copyright and is the property of mm+j architects p/l. It may not be used or copied in whole or in part without written consent.</div> <div>All dimensions to be verified on site.</div> <div>This drawing is not to be used for construction purposes.</div> <div>DEVELOPMENT APPLICATION</div>	REV	DATE	DESCRIPTION
	C	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW
	D	06.04.2021	CHANGES REQUESTED BY CLIENT
	E	29.07.2021	CHANGES TO FRONT YARD REQUESTED BY CLIENT
	F	29.07.2021	RUBBISH BINS ENCLOSURE - OPTION 2
	G	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD
	H	30.09.2021	AMMENDMENT: S455
	I	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
	J	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES
<div><div>mm+j</div><div>architects</div></div> <div>SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini   NSW ARB 6666 admin@mmjarchitects.com.au</div>			
CLIENTS: LUCY SHEPHERD & IAN DONALDSON			SCALE:
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING			DRAWN: MS
TITLE: 64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094			DATE: 10/11/22
3D EXTERNAL VIEWS 02			JOB NO: 1915
1915 FAIRLIGHT 64_AC24_MASTER_221108_VA_House.pln			DRAWING NO: DA12
			ISSUE: J





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	C	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW
	D	06.04.2021	CHANGES REQUESTED BY CLIENT
	E	29.07.2021	CHANGES TO FRONT YARD REQUESTED BY CLIENT
	F	29.07.2021	RUBBISH BINS ENCLOSURE - OPTION 2
	G	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD
	H	30.09.2021	AMMENDMENT: S455
	I	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
	J	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES
<div><div><div>mm+j</div><div>architects</div></div><div>SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini   NSW ARB 6666 admin@mmjarchitects.com.au</div></div>			
CLIENTS: LUCY SHEPHERD & IAN DONALDSON			
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING			
64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094			
TITLE: 3D EXTERNAL VIEWS 03			
1915 FAIRLIGHT 64_AC24_MASTER_221108_VA_House.pln			
SCALE:		DRAWING NO:	
DRAWN: MS		DA13	
DATE: 10/11/22		ISSUE: J	
JOB NO: 1915			






CAMERA 1 - EXISTING



CAMERA 1 - PROPOSED

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	B	19.12.2019	AMENDMENTS TO DA - ISSUE FOR COUNCIL			DRAWN: MS	
	C	07.01.2019	FOR CLIENT APPROVAL			DATE: 10/11/22	
	D	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE			JOB NO:	
	E	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW			<b>1915</b>	
	F	06.04.2021	CHANGES REQUESTED BY CLIENT				
	G	30.09.2021	AMMENDMENT: S455				
	H	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE				
	I	08.11.2022	AMMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES				

1915 FAIRLIGHT 64\_AC24\_MASTER\_221108\_VA\_House.pln

PLOTTED 10/11/22 1:57 pm





CAMERA 2 - EXISTING



CAMERA 3 - EXISTING



CAMERA 2 - PROPOSED



CAMERA 3 - PROPOSED



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DEVELOPMENT APPLICATION

REV	DATE	DESCRIPTION
E	31.01.2020	EXTERNAL VIEWS ADDED
F	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW
G	06.04.2021	CHANGES REQUESTED BY CLIENT
H	30.09.2021	AMMENDMENT: S455
I	30.11.2021	WINDOW AMENDMENT: S4.55
J	02.12.2021	WINDOW AMENDMENT: S4.55
K	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
L	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES



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Nom. arch. Luisa Manfredini | NSW ARB 6666  
admin@mmjarchitects.com.au

CLIENTS:  
LUCY SHEPHERD & IAN DONALDSON

PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094

TITLE:  
EXTERNAL VIEWS FROM FOOTPATH 02

SCALE:

DRAWN: MS

DATE: 10/11/22

JOB NO:  
1915

DRAWING NO:  
DA15

ISSUE:  
L





CAMERA 4 - EXISTING



CAMERA 4 - PROPOSED

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	A	31.01.2020	EXTERNAL VIEWS ADDED			DRAWN: MS	DA16
	B	30.09.2021	AMMENDMENT: S455			DATE: 10/11/22	
	C	30.11.2021	WINDOW AMENDMENT: S4.55			JOB NO:	
	D	02.12.2021	WINDOW AMENDMENT: S4.55			1915	F
	E	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE				
	F	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES				





CAMERA 5 - EXISTING



CAMERA 5 - PROPOSED

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	A	31.01.2020	EXTERNAL VIEWS ADDED			DRAWN: MS	DA17
	B	30.09.2021	AMMENDMENT: S455			DATE: 10/11/22	
	C	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE			JOB NO:	
	D	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES			1915	
							ISSUE: D



3D VIEW - INTERIOR - BED 02



3D VIEW - INTERIOR - STAIRS



3D VIEW - INTERIOR - BED 03



3D VIEW - INTERIOR - BATH

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	A	18.12.2019	AMENDMENTS TO DA - ISSUE FOR CONSULTANT				
	B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE				
	C	30.09.2021	AMMENDMENT: S455				
	D	30.11.2021	WINDOW AMENDMENT: S4.55				



ID	W01	W02	W03	W04	W05	W06
ORIENTATION	WEST	SOUTH	WEST	WEST	NORTH	WEST
ROOM	BED 4	STAIR	STAIR	STAIR	STAIR	ENSUITE
FRAME	Timber	Timber	Timber	Timber	Timber	Timber
GLASS	Single pyrolithic low-e	Single pyrolithic low-e	Single pyrolithic low-e	Single pyrolithic low-e	Single pyrolithic low-e	Single pyrolithic low-e
AREA	0.80	1.66	1.29	1.29	1.66	0.38
W x H	725×1,100	1,930×1,100	2,155×600	2,155×600	1,945×1,100	640×600
PLAN						
ELEVATION						

ID	W07	W08	W09	W10	W11	W12
ORIENTATION	EAST	EAST	SOUTH	SOUTH	NORTH	NORTH
ROOM	ENSUITE	BED 4	BED 4	BED 4	ENSUITE	ENSUITE
FRAME	Timber	Timber	Timber	Timber	Timber	Timber
GLASS	Single pyrolithic low-e	Single pyrolithic low-e	Single pyrolithic low-e	Single pyrolithic low-e	Single pyrolithic low-e	Single pyrolithic low-e
AREA	1.33	1.01	2.01	2.01	0.27	0.27
W x H	2,210×600	1,690×600	1,740×1,920	1,740×1,920	550×780	550×780
PLAN						
ELEVATION						

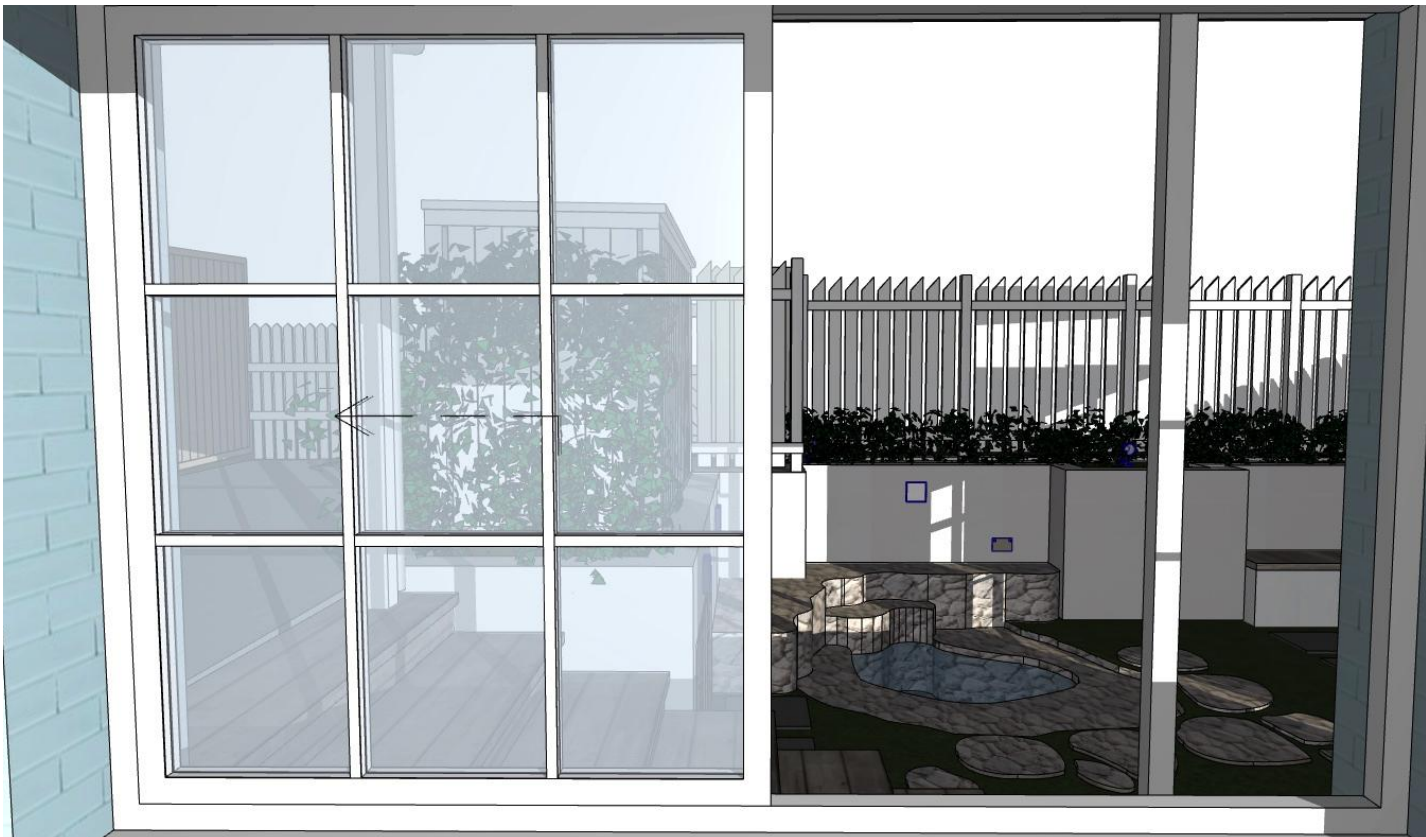
WINDOW SCHEDULE



- NOTES:
1. Windows viewed from outside.
  2. Windows to comply with BASIX requirements.
  3. Supplier to check all dimensions on site.

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	A	07.01.2019	FOR CLIENT APPROVAL			DRAWN: MS	
	B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE			DATE: 10/11/22	
	C	30.09.2021	AMMENDMENT: S455			JOB NO: <b>1915</b>	





3D VIEW - FROM SITTING 01

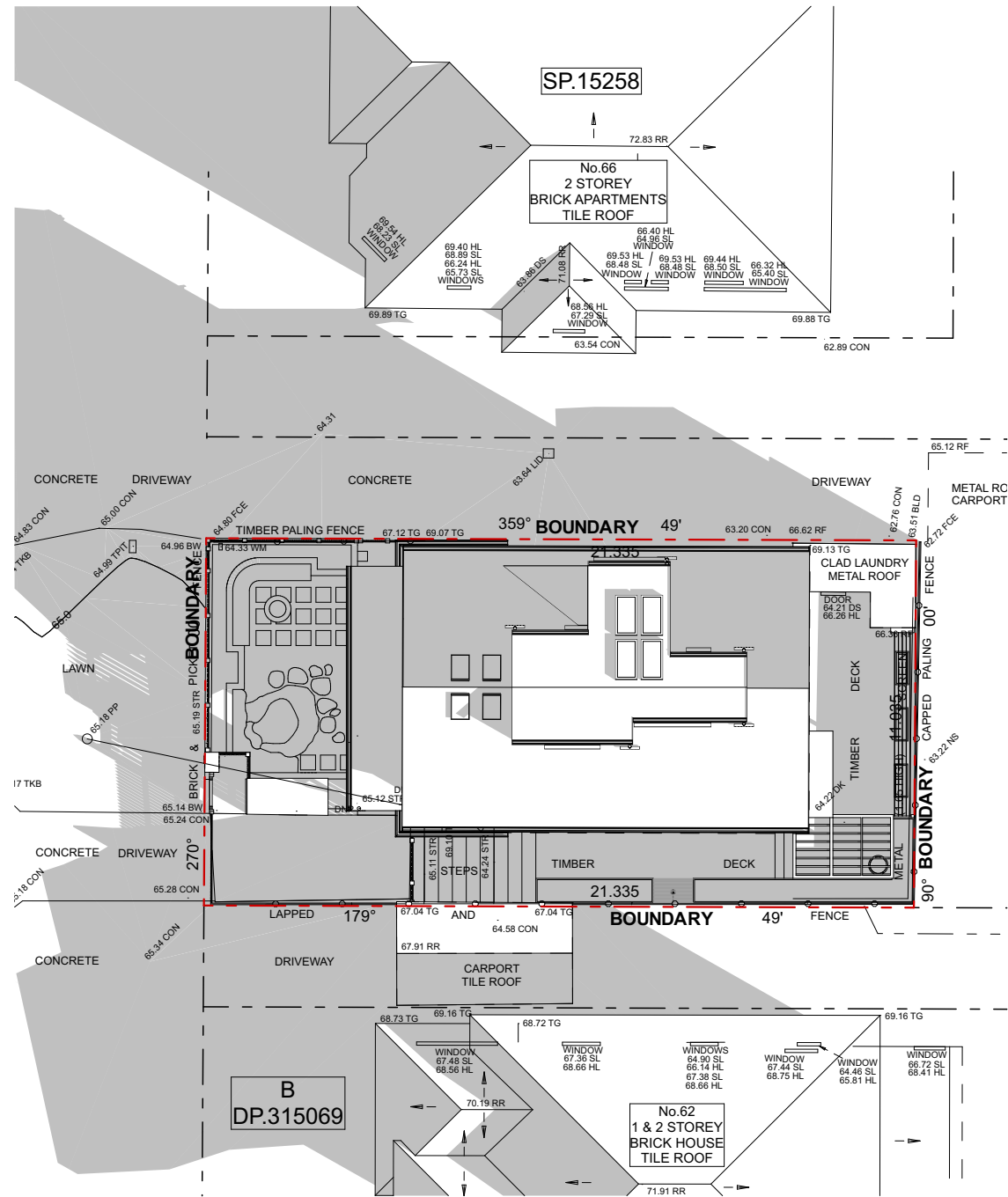
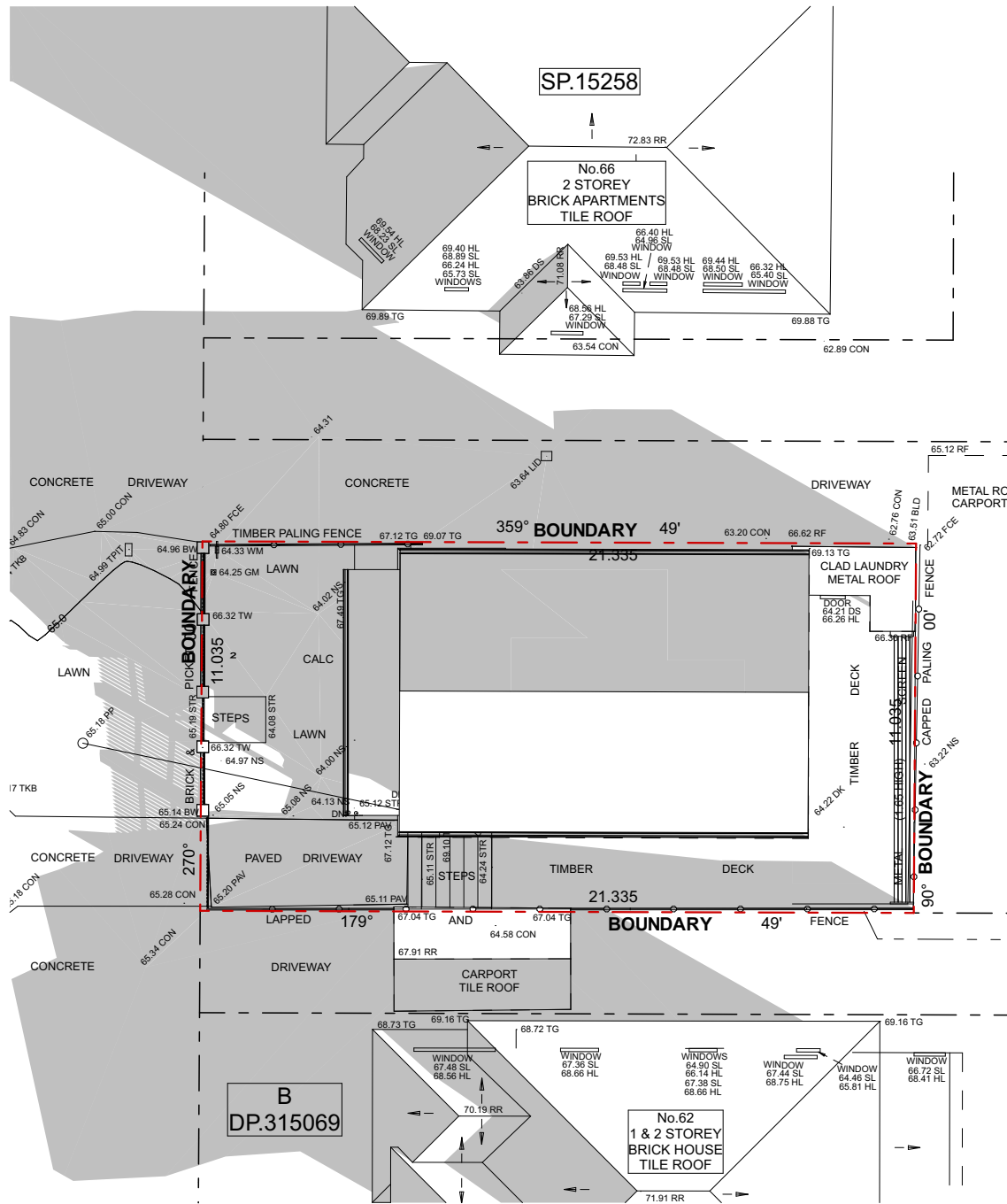


3D VIEW - FROM SITTING ROOM 02



3D VIEW - FROM ENTRY DOOR

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	A	29.07.2021	CHANGES TO FRONT YARD REQUESTED BY CLIENT			DRAWN: MS	
	B	29.07.2021	RUBBISH BINS ENCLOSURE - OPTION 2			DATE: 10/11/22	
	C	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD			JOB NO:	
	D	30.09.2021	AMMENDMENT: S455			<b>1915</b>	
	E	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE				
	F	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES				

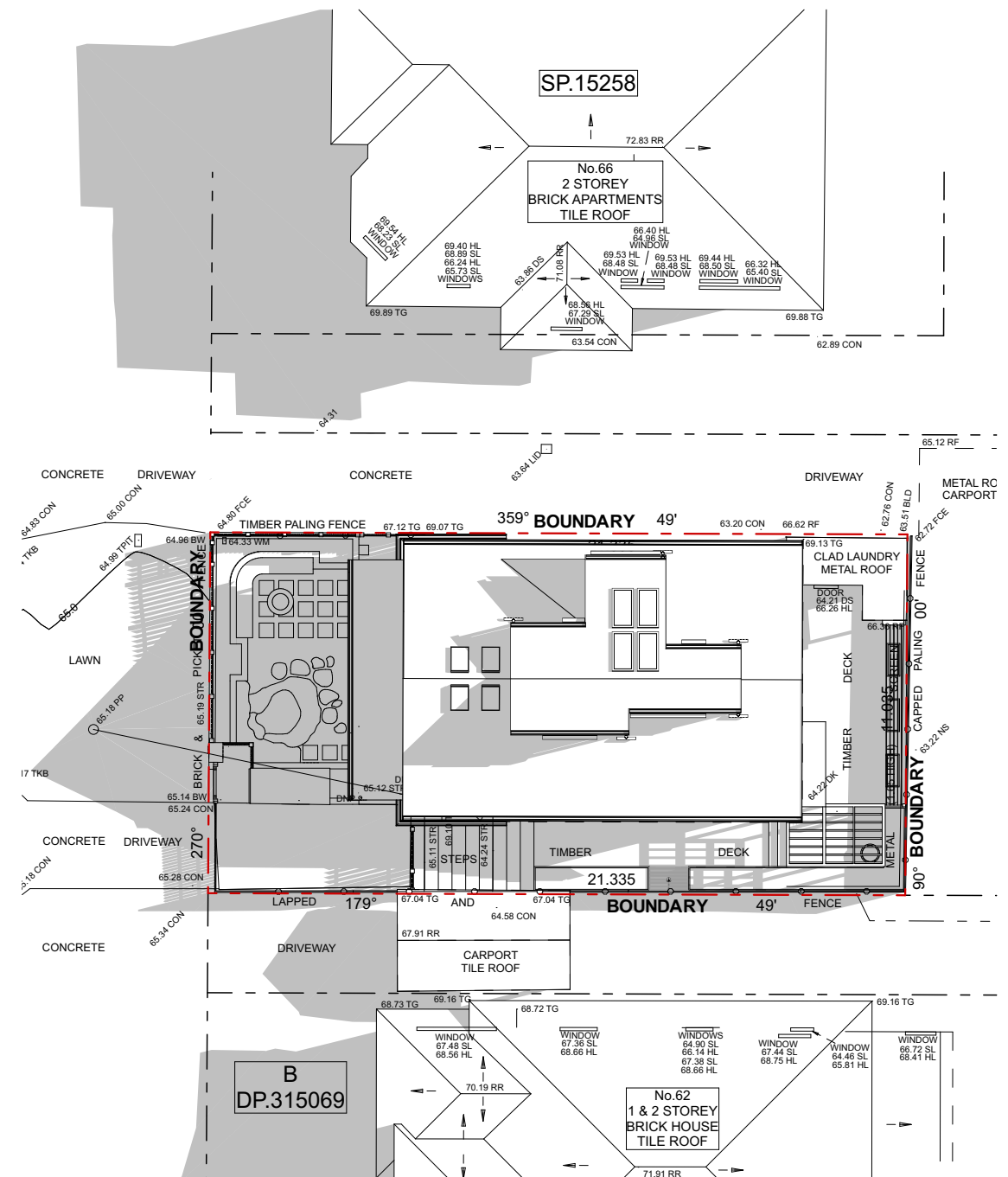
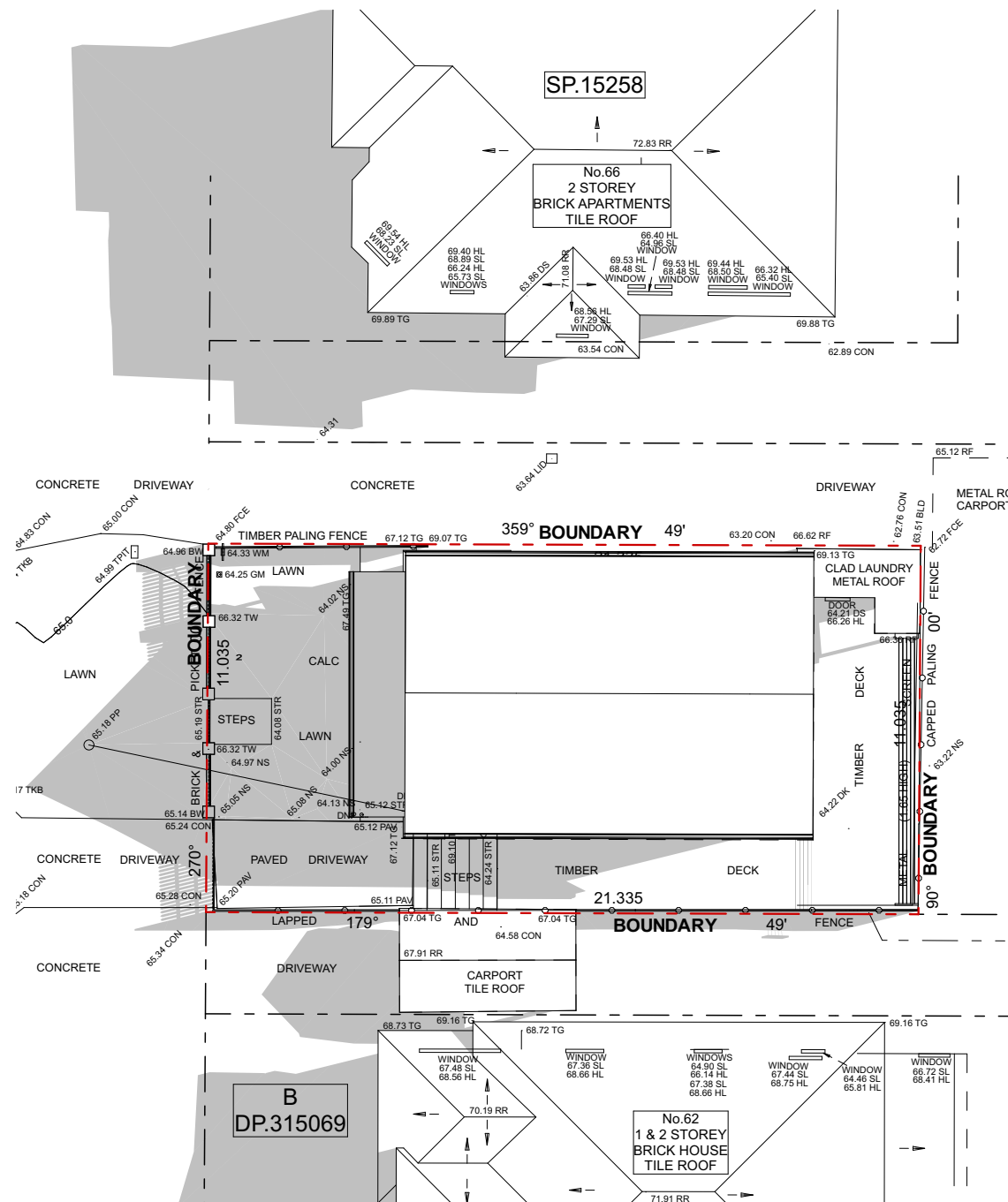


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	<b>DEVELOPMENT APPLICATION</b>						A		03.10.2019	DEVELOPMENT APPLICATION ISSUE	DRAWN: MS
							B		07.01.2019	FOR CLIENT APPROVAL	DATE: 10/11/22
							C		08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE	JOB NO: 1915
							D		30.09.2021	AMMENDMENT: S455	
							E		15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE	
							F		08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES	

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10/11/22 1:57 pm  
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**DEVELOPMENT APPLICATION**

REV	DATE	DESCRIPTION
A	03.10.2019	DEVELOPMENT APPLICATION ISSUE
B	07.01.2019	FOR CLIENT APPROVAL
C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE
D	30.09.2021	AMENDMENT: S455
E	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
F	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES



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CLIENTS:

LUCY SHEPHERD & IAN DONALDSON

PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE:

**SHADOW DIAGRAMS - 21 JUNE - 12PM**

SCALE: 1:200	DRAWING NO:  <b>DA32</b>
DRAWN: MS	
DATE: 10/11/22	ISSUE:  <b>F</b>
JOB NO: 1915	

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DEVELOPMENT APPLICATION

REV	DATE	DESCRIPTION
A	03.10.2019	DEVELOPMENT APPLICATION ISSUE
B	07.01.2019	FOR CLIENT APPROVAL
C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE
D	30.09.2021	AMENDMENT: S455
E	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
F	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES



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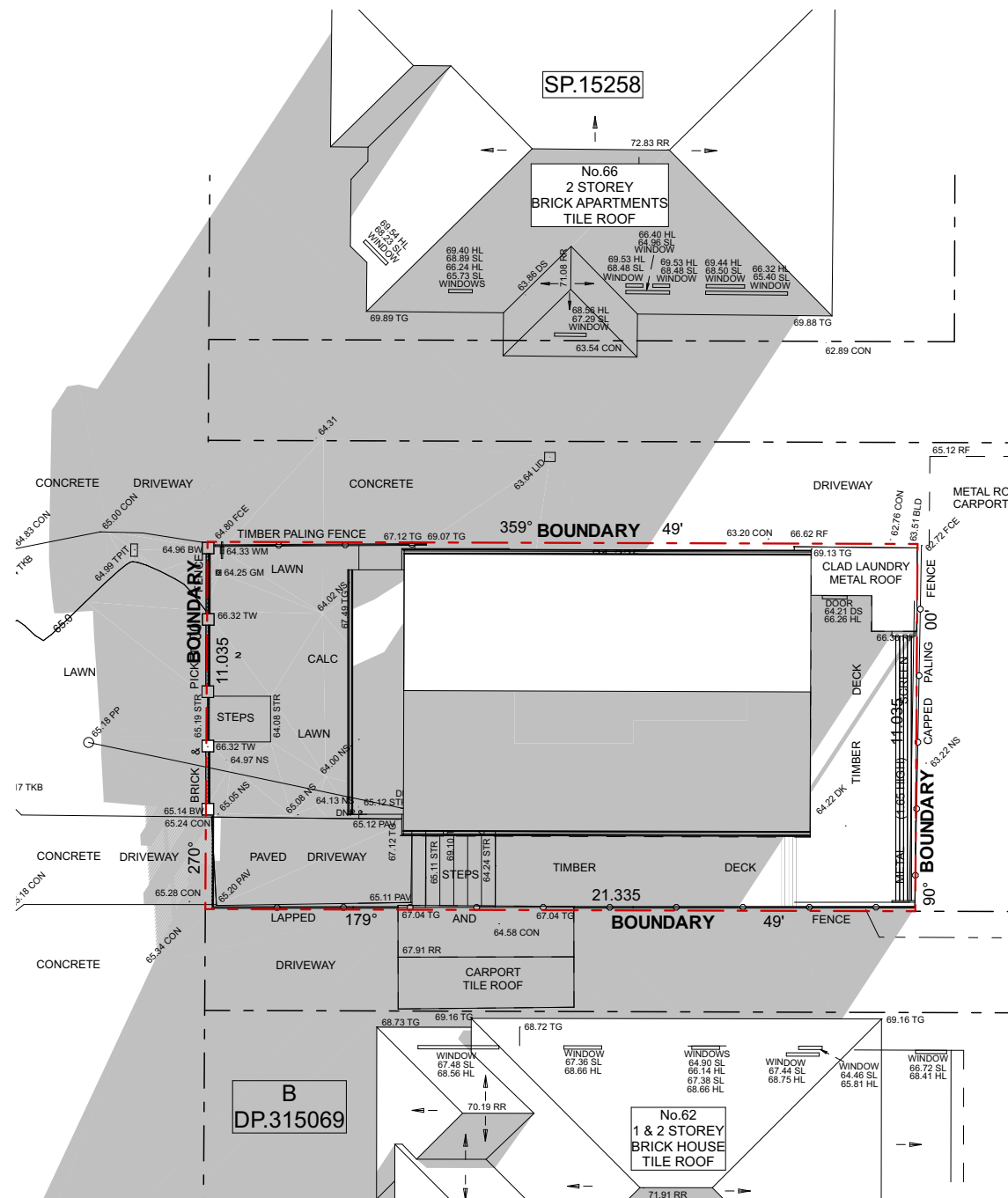
CLIENTS:  
LUCY SHEPHERD & IAN DONALDSON

PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

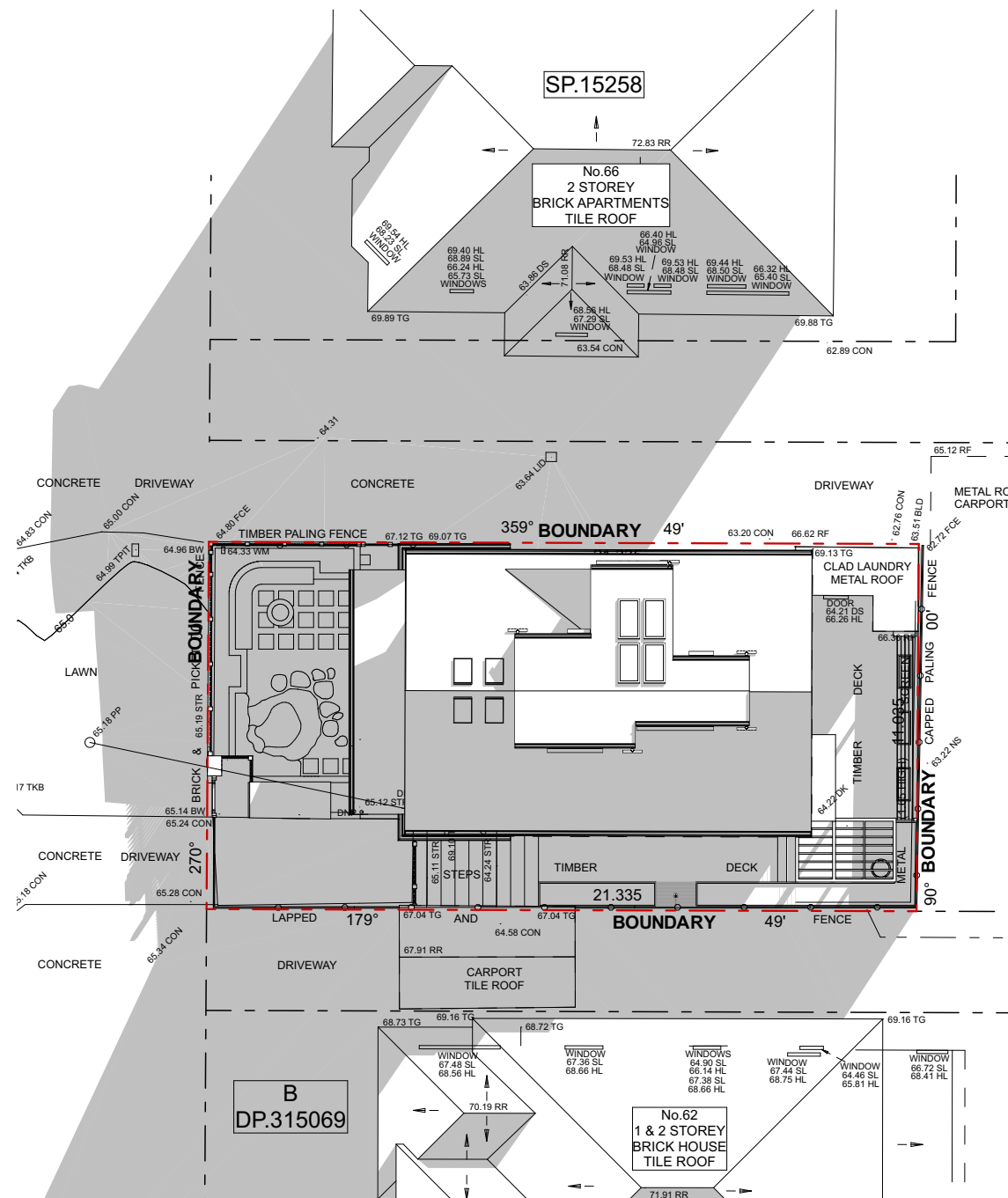
64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094

TITLE:  
SHADOW DIAGRAMS - 21 JUNE - 12PM

SCALE: 1:200	DRAWING NO:  DA32
DRAWN: MS	
DATE: 10/11/22	ISSUE:  F
JOB NO: 1915	



21 JUNE - 3PM - EXISTING  
1:200



21 JUNE - 3PM - PROPOSED  
1:200

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		A	03.10.2019	DEVELOPMENT APPLICATION ISSUE					DRAWN: MS			
		B	07.01.2019	FOR CLIENT APPROVAL					DATE: 10/11/22			
		C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE					JOB NO: <b>1915</b>			
		D	30.09.2021	AMMENDMENT: S455								
		E	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE								
				F					08.11.2022		AMMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES	

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1915 FAIRLIGHT\_64\_AC24\_MASTER\_221108\_VA\_House.pln

PLOTTED 10/11/22 1:58 pm