

SPANNENBERG & SON

builders & contractors



PROPOSAL:

ALTERATION & ADDITION

ADDRESS:

**8 BILAMBEE AVENUE,
BILGOLA PLATEAU 2107
LOT: 102 DP: 27580**

LGA:

NORTHERN BEACHES

DRAWING:

COVER PAGE

REVISION:

F

JOB REFERENCE:

8Bila

SHEET:

001

PAPER:

A3



CONSTRUCTION NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AS PROVIDED.
2. WHERE OTHER CONSULTANTS DRAWINGS ARE REQUIRED SUCH MUST TAKE PRECEDENCE.
3. ALL DIMENSIONS PROVIDED ARE TO BE CHECKED/CONFIRMED BY THE BUILDER/CONTRACTOR/OWNER PRIOR TO COMMENCEMENT OF WORKS.
4. LEVELS SHOWN ARE APPROXIMATE AND SHOULD BE CHECKED AND CONFIRMED ON SITE.
5. WHERE NOT INDICATED BY THESE PLANS, IT REMAINS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO LOCATE ALL SITE SERVICES PRIOR TO ANY EXCAVATION/CONSTRUCTION.
6. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF ANY BUILDING WORKS BY A REGISTERED SURVEYOR.
7. ANY INCONSISTENCIES TO BE REPORTED TO SPANNENBERG & SON.
8. PLANS TO BE READ IN CONJUNCTION WITH BUILDERS QUOTE.
9. WHERE DISCREPANCIES OCCUR, BUILDERS QUOTE SHALL TAKE PRECEDENCE.
10. ALL BRICKWORK SHALL BE IN ACCORDANCE WITH AS3700
11. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684
12. ELECTRICIAN TO SUPPLY AND INSTALL APPROVED HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786.
13. ALL PROPOSED FLOOR LEVELS AND OTHER RELATED RL'S NOMINATED ARE SUBJECT TO +/- 100mm.

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AMENDMENTS	B.J	15.11.24
AMENDMENTS	B.J	04.12.24
AMENDMENTS	B.J	06.12.24
AMENDMENTS	B.J	09.12.24
DA APPROVAL	B.J	17.12.24

DRAWING:	REVISION:
SITE PLAN	F

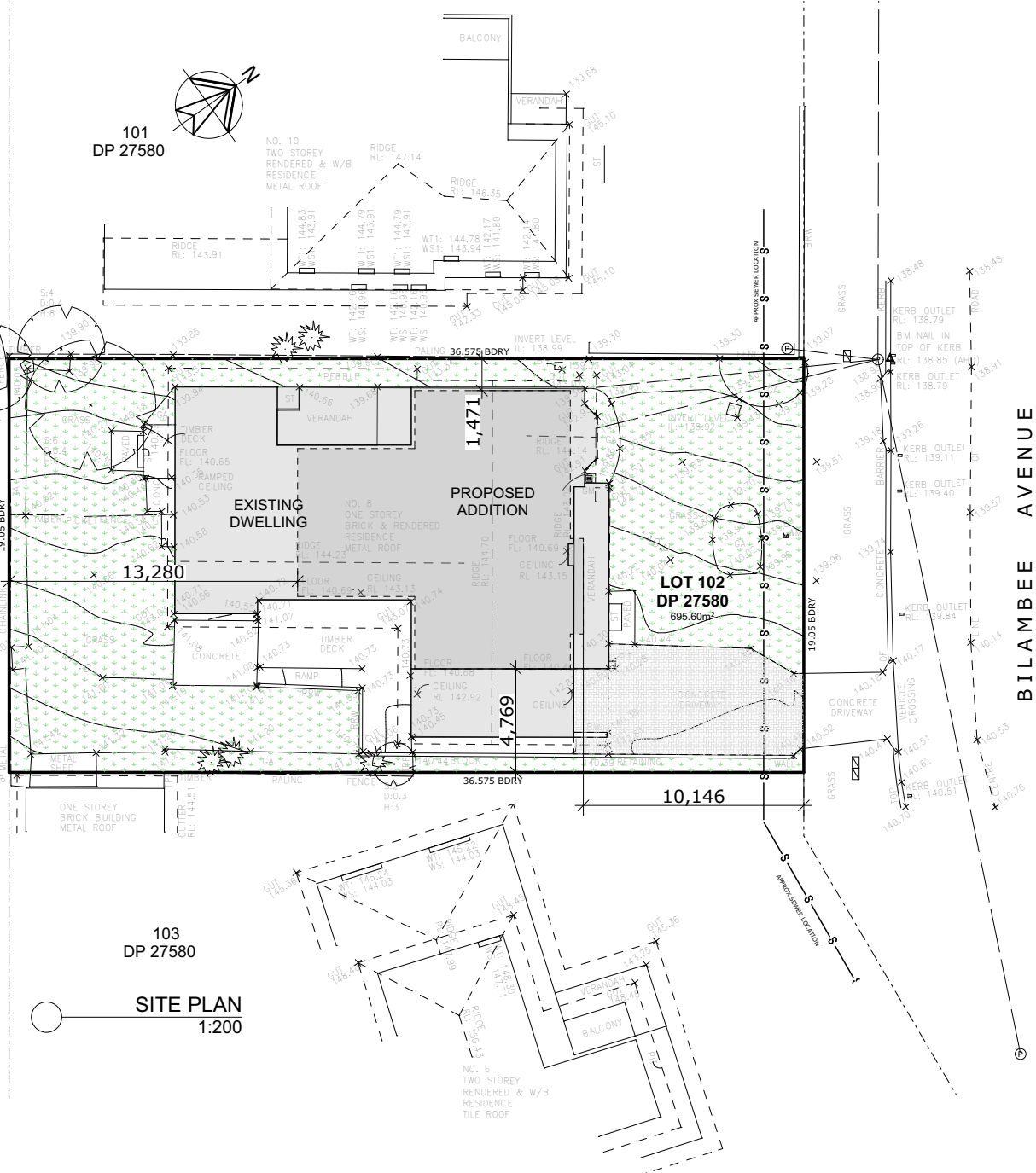
JOB REFERENCE:	SHEET:	PAPER:
8Bila	101	A3

NOTE:
PROPOSED STORMWATER LINES TO CONNECT INTO EXISTING DRAINAGE LINES TO DISCHARGE TO STREET.
NO CHANGE TO EXISTING LINES OR POINTS OF DISCHARGE.

DWELLING TO BE CONSTRUCTED TO BUSHFIRE ATTACK LEVEL (BAL) - FZ IN ACCORDANCE WITH AS3959-2009

DEVELOPMENT CALCULATIONS

LOT AREA:	695.60sqm
EXISTING AREA	
GROUND FLOOR:	192.96sqm
GARAGE:	23.56sqm
ALFRESCO:	16.45sqm
PORCH:	14.02sqm
PROPOSED AREA	
FIRST FLOOR:	131.07sqm
TOTAL AREA:	378.06sqm
FLOOR AREA:	347.59sqm
FLOOR COVER AREA:	216.52sqm
SITE COVER RATIO:	31.13%
GF GROSS FLOOR AREA:	179.42sqm
INT/EXT WALLS	
EXCL 18sqm GARAGE	
FF GROSS FLOOR AREA:	121.33sqm
INT/EXT WALLS	
EXCL VOID	
TOTAL GROSS FLOOR AREA:	300.75sqm
LANDSCAPING AREA:	327.67sqm
LANDSCAPING RATIO:	47.11%



101
DP 27580

103
DP 27580

SITE PLAN
1:200

4
DP 221634
PLATEAU PARK

LOT 102
DP 27580
695.60m²

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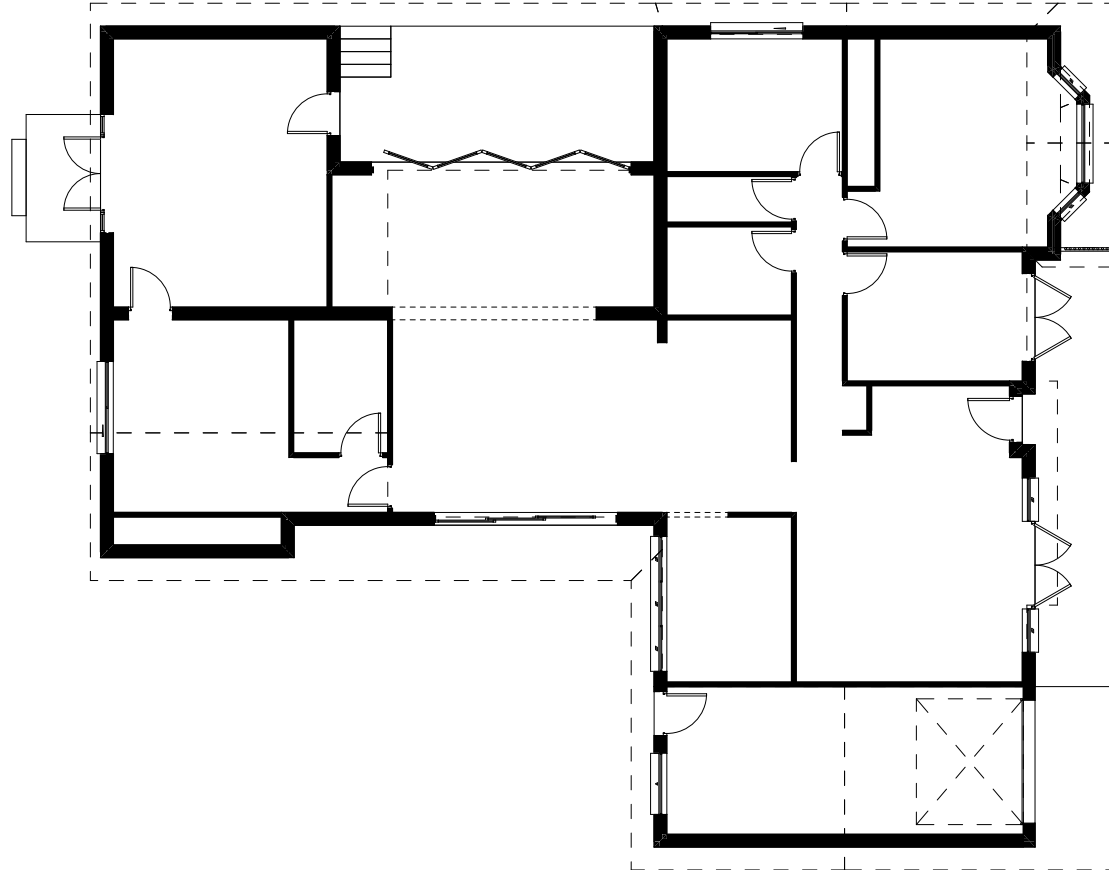
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DRAWING:		REVISION:
EXISTING GF PLAN		F
JOB REFERENCE:	SHEET:	PAPER:
8Bila	201	A3

EXISTING GROUND FLOOR
1:100

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

ALL PROPOSED ELEMENTS
SUBJECT TO ENGINEERS DETAIL
AND SITE CONDITIONS

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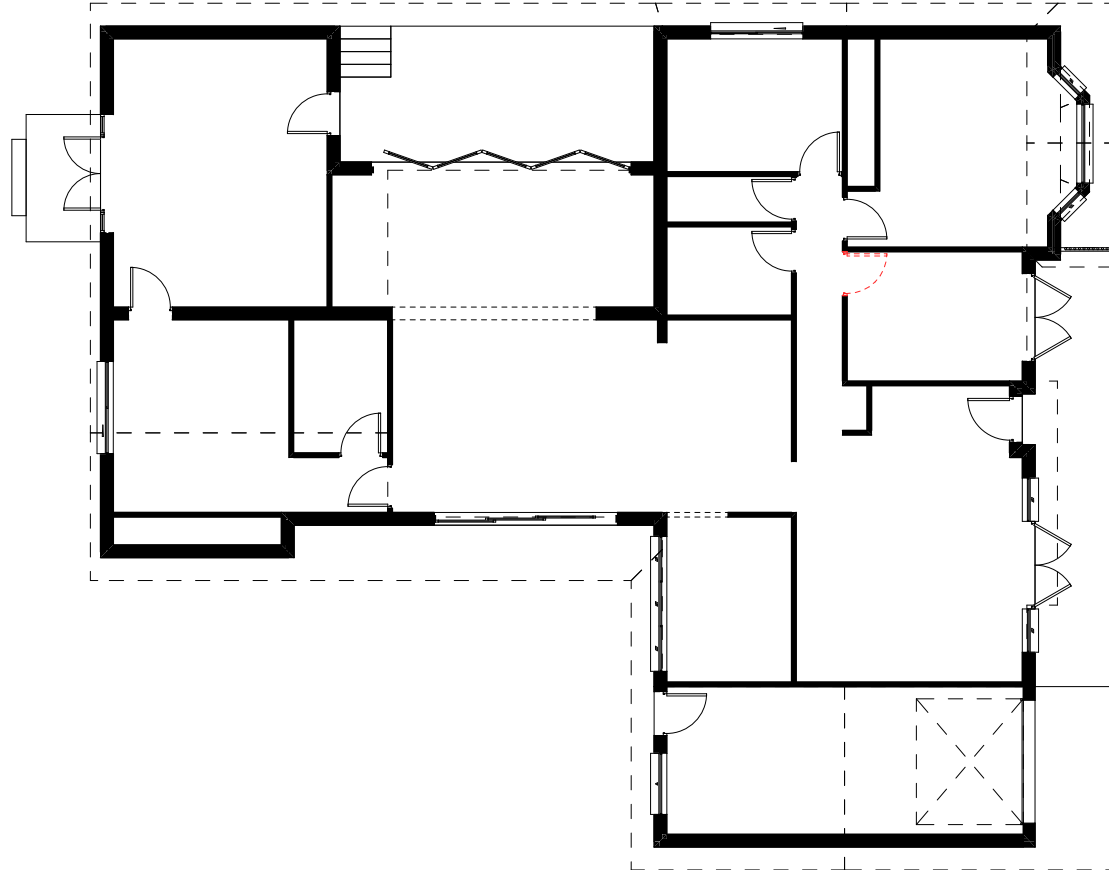
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DRAWING:		REVISION:
DEMO GF PLAN		F
JOB REFERENCE:	SHEET:	PAPER:
8Bila	202	A3

○ DEMO GF PLAN
1:100

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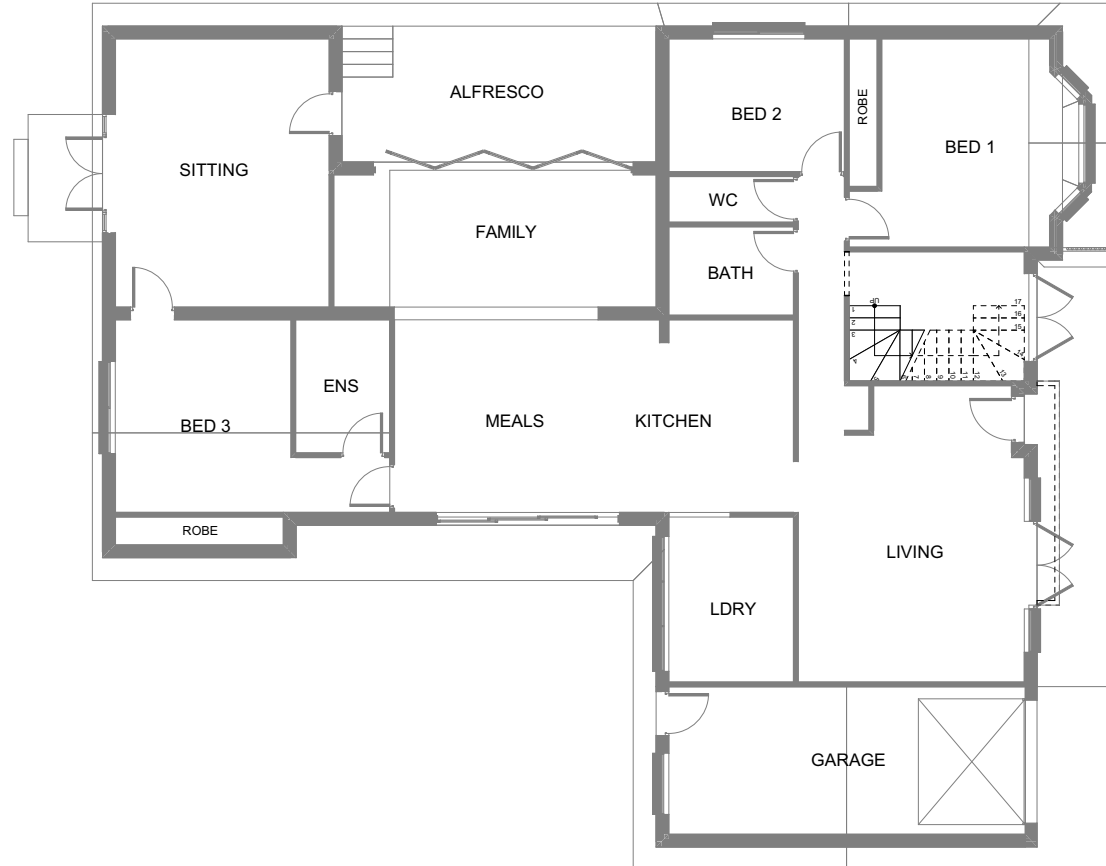
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DRAWING:		REVISION:
GROUND FLOOR		F
JOB REFERENCE:	SHEET:	PAPER:
8Bila	301	A3



○ GROUND FLOOR
1:100



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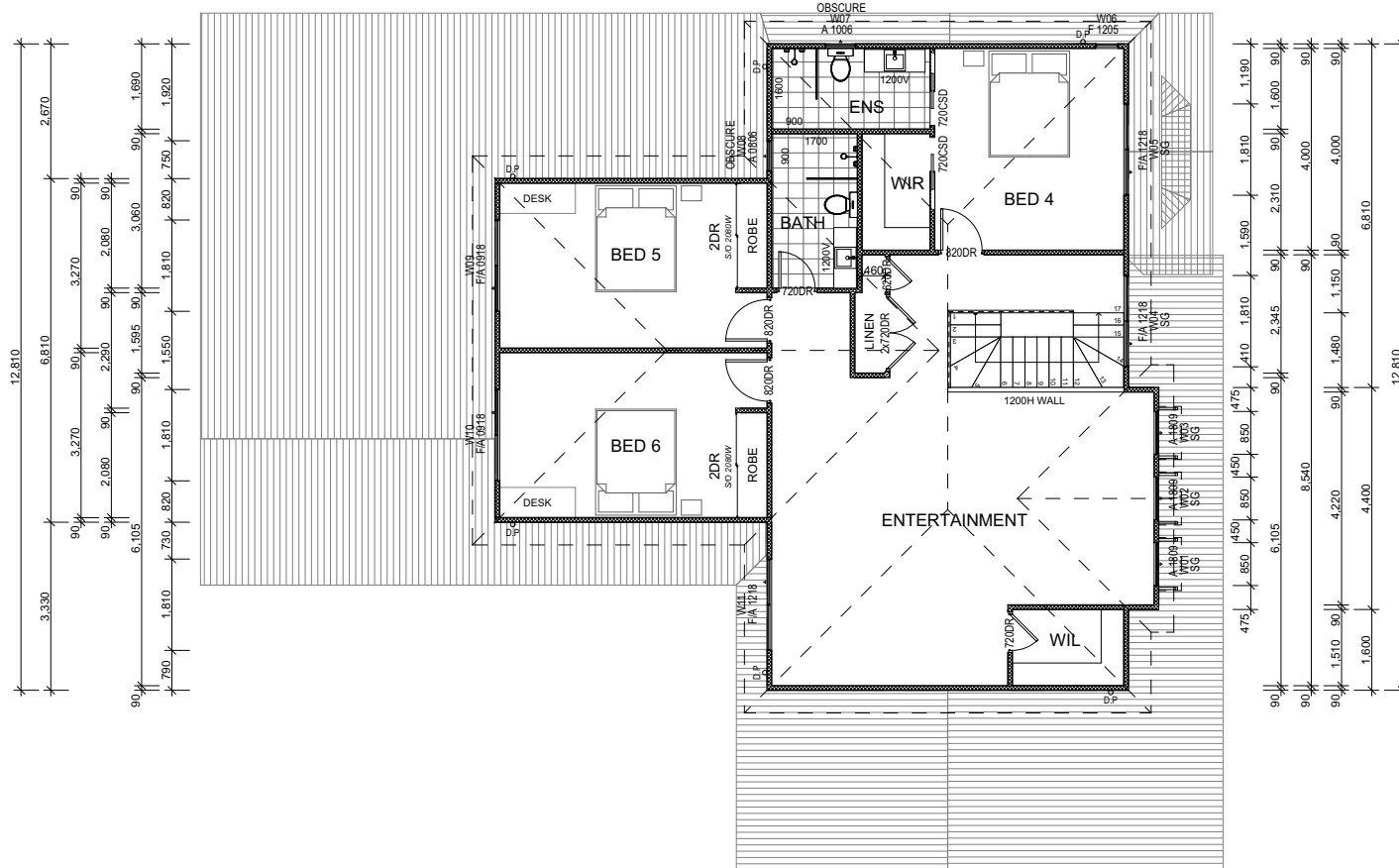
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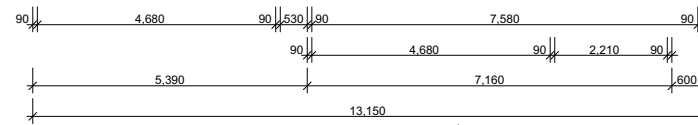
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DRAWING:		REVISION:
FIRST FLOOR		F
JOB REFERENCE: 8Bila	SHEET: 302	PAPER: A3



FIRST FLOOR
1:100



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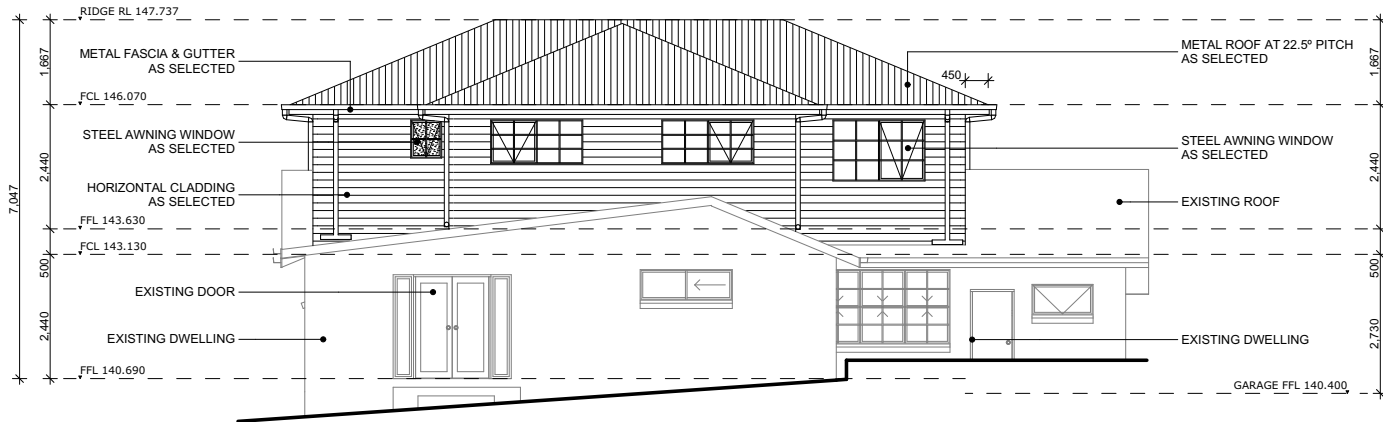
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DRAWING:	REVISION:
ELEVATIONS	F

JOB REFERENCE:	SHEET:	PAPER:
8Bila	401	A3



○ **FRONT ELEVATION**
1:100



○ **REAR ELEVATION**
1:100

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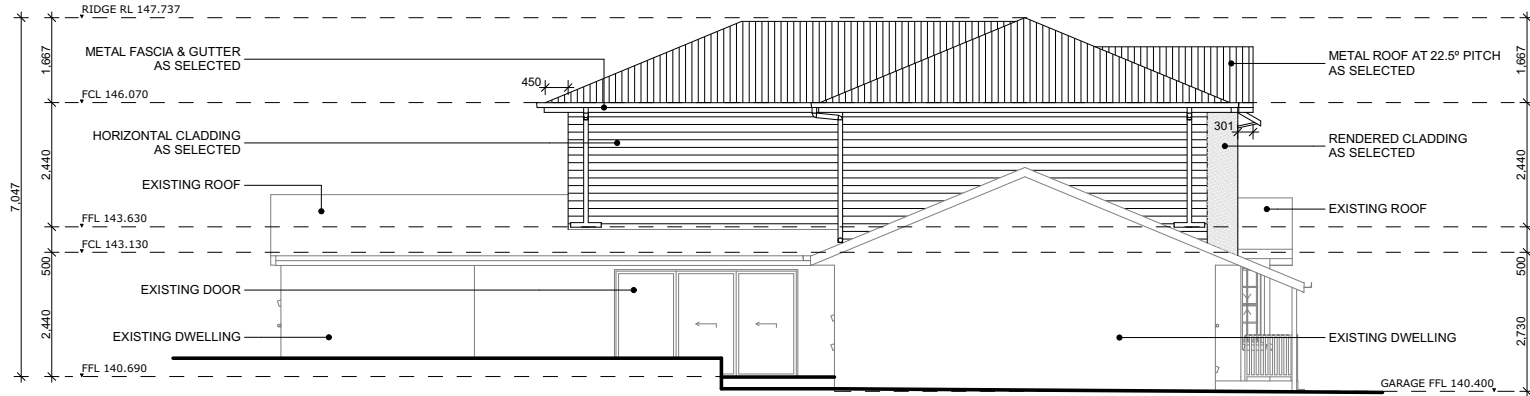
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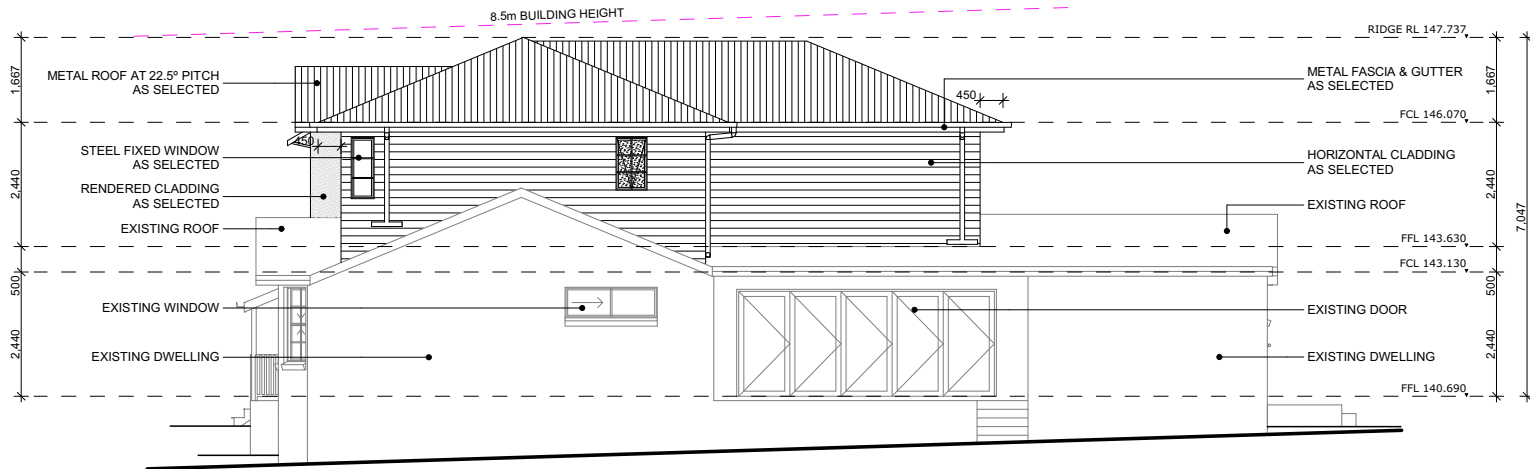
DRAWING: _____ REVISION: _____

ELEVATIONS **F**

JOB REFERENCE: **8Bila** SHEET: **402** PAPER: **A3**



○ LEFT ELEVATION
1:100



○ RIGHT ELEVATION
1:100

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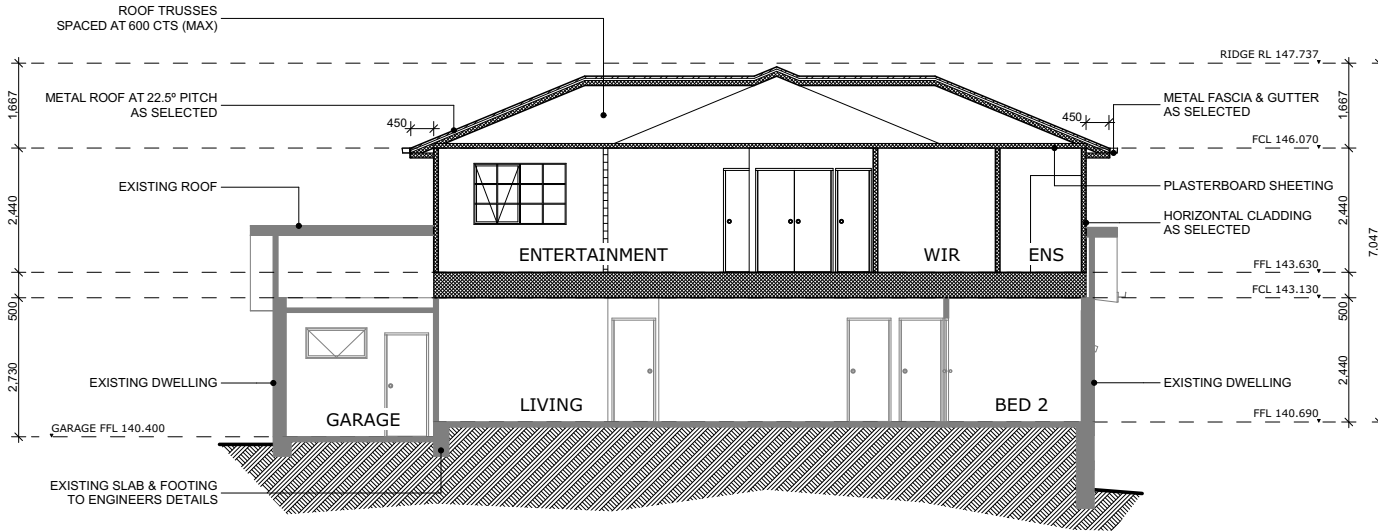
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DRAWING: **SECTION & DETAILS** REVISION: **F**

JOB REFERENCE: **8Bila** SHEET: **501** PAPER: **A3**



SECTION A-A
1:100

ID	Height	Width	Window sill height	Window head height	Surface (All)
W01	1,800	850	340	2,140	Glass; Steel
W02	1,800	850	340	2,140	Glass; Steel
W03	1,800	850	340	2,140	Glass; Steel
W04	1,200	1,810	940	2,140	Glass; Steel
W05	1,200	1,810	940	2,140	Glass; Steel
W06	1,200	450	940	2,140	Glass; Steel
W07	1,030	610	1,110	2,140	Glass Obscure; Steel
W08	750	610	1,390	2,140	Glass Obscure; Steel
W09	860	1,810	1,280	2,140	Glass; Steel
W10	860	1,810	1,280	2,140	Glass; Steel
W11	1,200	1,810	940	2,140	Glass; Steel

WINDOW SCHEDULE

BASIX NOTES	
STORMWATER DETAILS	LOSS OF CEILING INSULATION DUE TO PENETRATIONS HAVE BEEN ACCOUNTED IN ALL LIVING AREAS AND ENTRY HALL ONLY. NON-VENTILATED LED DOWN LIGHTS HAVE BEEN MODELLED
RAINWATER TANK / RETICULATED MIN. RAINWATER TANK SIZE HARVESTED ROOF AREA CONNECT TO:	N/A N/A N/A N/A
WATER	WINDOWS - ALUMINIUM FRAMES WITH SINGLE CLEAR GLAZING UNO GIVEN VALUES ARE NFRC, TOTAL WINDOW VALUES REFER TO BASIX / NATHERS CERTIFICATE FOR REQUIRED VALUES
KITCHEN & BATHROOM TAP RATING SHOWER HEAD RATING TOILET RATING	3 STARS 3 STAR (<= 9L/MIN) 3 STARS
THERMAL COMFORT / ENERGY	FLOORS FLOOR COVERINGS HOT WATER SYSTEM AIR CONDITIONING EER or STAR RATING VENTILATION COOKING APPLIANCES: OTHER
EXT. WALL INSULATION (EXCL GARAGE) EXT. WALL COLOUR INT. WALL INSULATION (GARAGE) ROOF MATERIAL ROOF INSULATION ROOF COLOUR CEILING INSULATION (EXCL GARAGE) FLR INSULATION UPPER FLOOR AND GARAGE/OUTDOOR	FLOOR ABOVE EXISTING STOREY N/A N/A N/A N/A N/A N/A N/A N/A
	ENERGY EFFICIENT LIGHTING THROUGHOUT
	IN ADDITION TO THE BASIX REQUIREMENTS: ALL NEW RESIDENTIAL DWELLINGS MUST COMPLY WITH: NSW PART 3.12.1 BUILDING SEALING & 3.12.5.0 - 3.12.5.3 IN VOLUME TWO OF THE NCC
	VENTILATED ROOF SPACE

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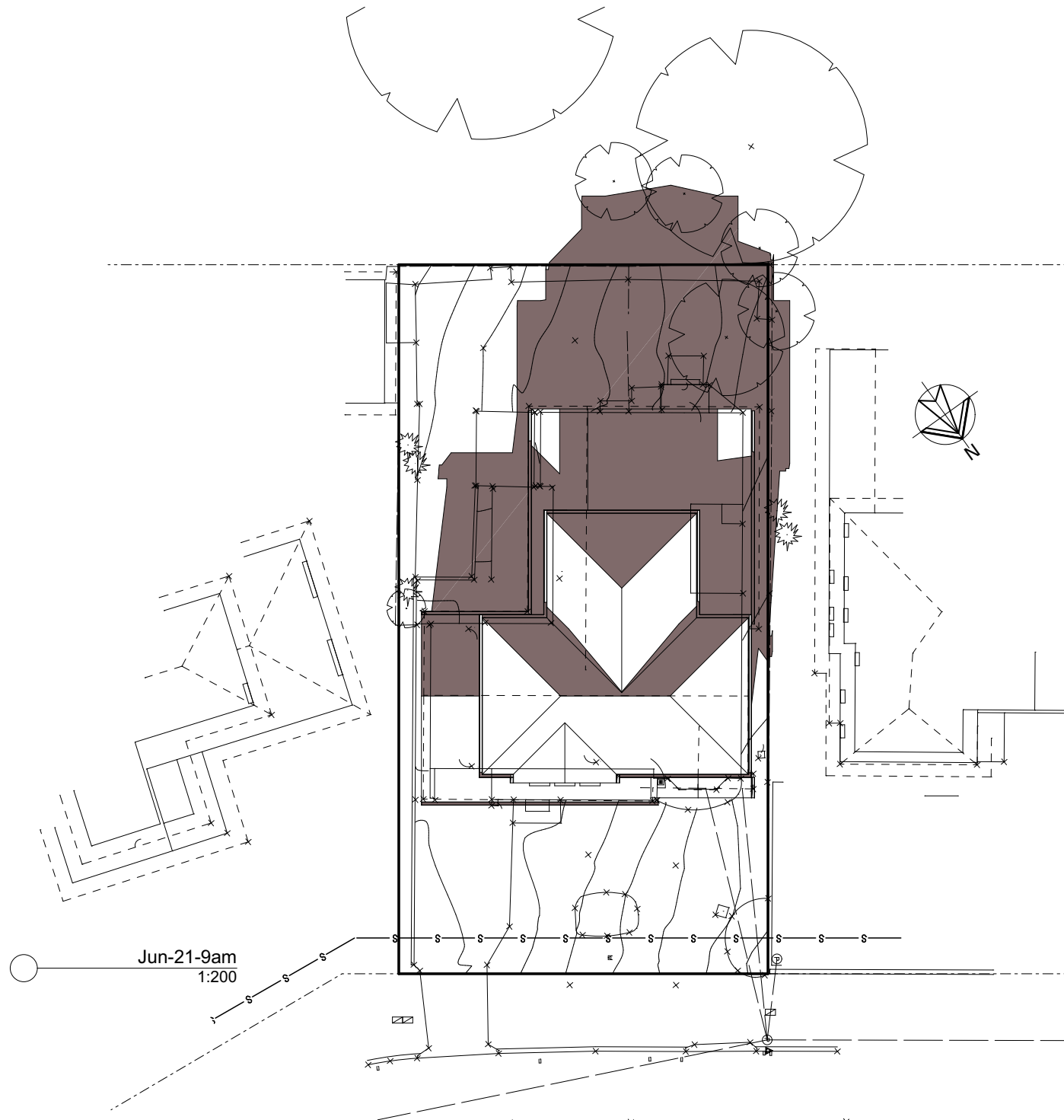
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SHADOWS	F
JOB REFERENCE: 8Bila	SHEET: 601 PAPER: A3



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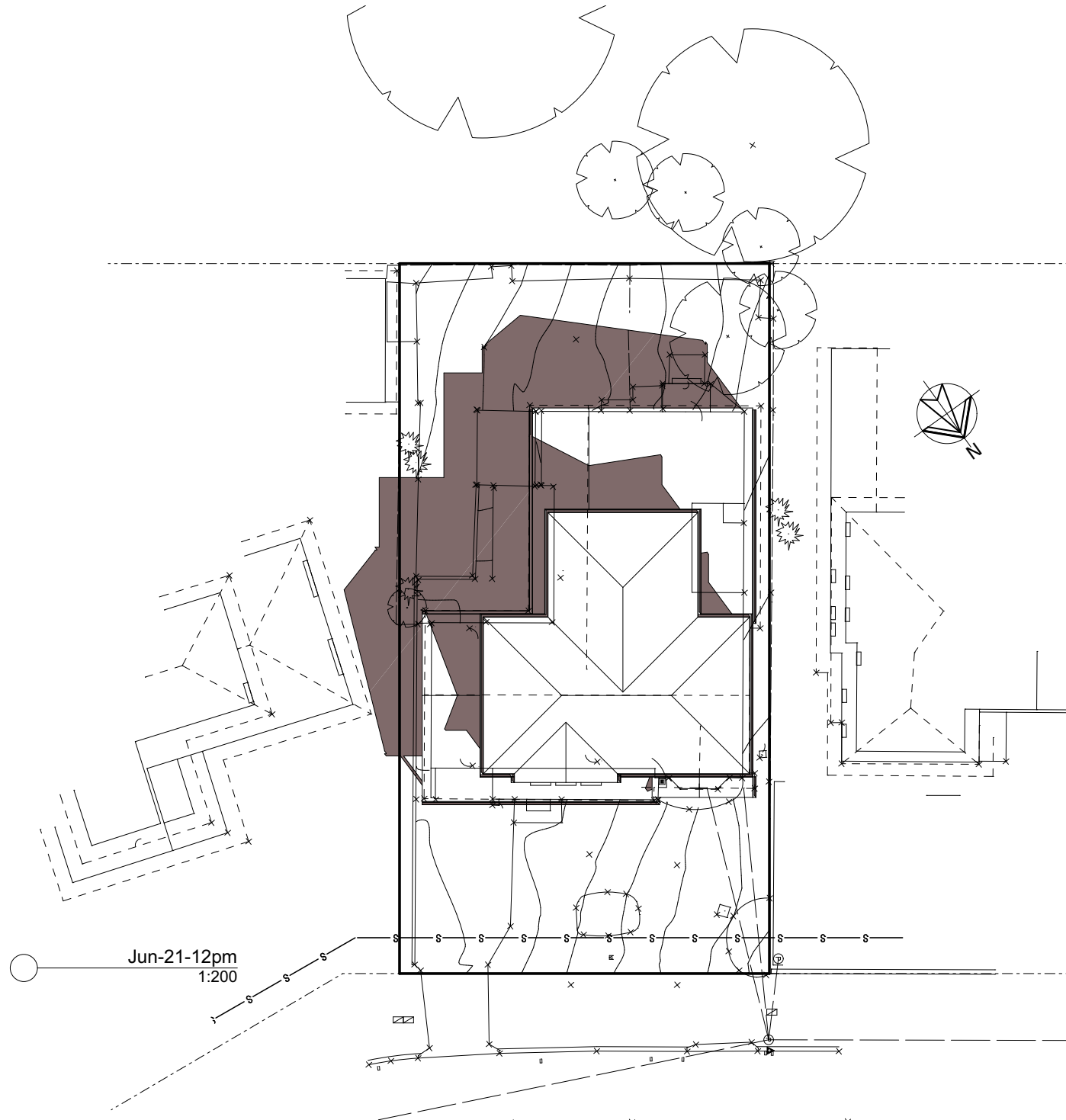
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SHADOWS	F
JOB REFERENCE: 8Bila	SHEET: 603 PAPER: A3

