

PLAYFAIR ROAD

SITE ANALYSIS PLAN

Scale: 1:100

EXIST VEHICLE ACCESS

RETAIN EXIST. FRONT FENCE

RETAIN EXIST. FRONT FENCE

SOUTH COOL AFTERNOON WINDS

NORTH/WEST HOT WINDS

3PM 21 JUNE SUN

NOON 21 JUNE SUN

9AM 21 JUNE SUN

DIRECTION OF NATURAL FLOW OF DRAINAGE WITHIN SITE

NORTH/EAST COOL AFTERNOON WINDS

OUTLINE OF EXIST. DWELLING TO REMAIN

PROPOSED ADDITIONAL FLOOR AREA

PROPOSED ANCILLIARY AREA

OUTLINE OF EXIST. DWELLING TO BE DEMOLISHED

No.17  
2 storey weatherboard

6760  
EXIST. GARAGE

11935  
NEW ADDITIONS

17235  
REAR SETBACK

BASIX INCLUSIONS CERT- A1777402:

**WATER SAVING FITTINGS**  
3 STAR (9 LITRES P/M) SHOWER HEAD & 3 STAR (9 LITRES P/M) WATER SAVING FITTINGS ARE TO BE INSTALLED TO ALL KITCHEN & BASIN TAPS. DUAL FLUSH 3 STAR (4 LITRES PER FLUSH) TOILETS ARE ALSO TO BE INSTALLED.

**INSULATION**  
R9.5 POLY BOARD INSULATION TO SUSPENDED OPEN SUBFLOOR AREA  
R1.3 BATT INSULATION TO EXTERNAL WALLS.  
R1.95 BATT INSULATION TO CEILINGS.  
50mm ANTI-CORR. FOIL BRACKET BLANKET TO UNDER METAL ROOFING.  
ROOFING SOLAR ABSORPTANCE 0.475-0.70

**ARTIFICIAL LIGHTING**  
PRIMARY TYPE OF LIGHTING TO BE LED OR FLUORESCENT TO ALL ALL AREAS.

**WINDOWS & SKYLIGHTS**  
WINDOWS TO BE ALUMINIUM FRAMED WITH Uv VALUE 5.7-7.63 & SHGCw 0.47-0.75 IN ACCORDANCE WITH BASIX CERTIFICATE.

SKYLIGHTS TO BE TIMBER FRAMED DOUBLE GLAZED LOW E ARGON FILLED WITH A Uv VALUE 2.9 & SHGCw 0.456 IN ACCORDANCE WITH BASIX/NATHERS CERTIFICATE

SITE CALCULATIONS

**SITE AREA:** 863.80sqm

**FLOOR AREAS:**

EXIST. GROUND FLOOR: 136sqm (96sqm HOUSE + 40sqm OUTBUILDING)  
NEW GROUND FLOOR ADDITIONS: 94sqm  
TOTAL FLOOR AREA: 230sqm (0.266:1 FSR)

**LANDSCAPED AREA:**

PROPOSED LANDSCAPED AREAS: 407.5sqm (47.18% OF TOTAL SITE AREA)  
REQUIRED LANDSCAPED AREA: 345.52sqm (40% OF TOTAL SITE AREA)

**PRIVATE OPEN SPACE:**

PROVIDED AREA: 313sqm (MIN 5m)  
REQUIRED AREA: 60sqm (MIN 5m)

DATE	REV	AMENDMENTS
12/12/24	A	DA ISSUE

1. DO NOT SCALE FROM DRAWING. USE WRITTEN DIMENSIONS ONLY.  
2. BUILDER TO CHECK AND VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.  
3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.  
4. THE DESIGNER'S DETAILS CONTAINED ON THIS DRAWING ARE SUPPLIED IN CONFIDENCE & ARE NOT TO BE USED FOR ANY OTHER PURPOSE EXCEPT THAT AUTHORIZED BY C. COPYRIGHT BUILDING DESIGN & TECHNOLOGY.

**BDT**

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PROJECT: **PROPOSED RENOVATIONS LOCATED AT 15 PLAYFAIR RD NTH CURL CURL**

TITLE: **SITE ANALYSIS PLAN**

SCALE: 1:100 @ A1

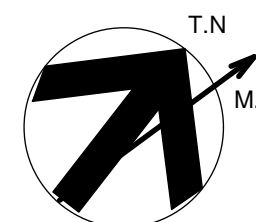
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PROJECT DATE: OCT 2024

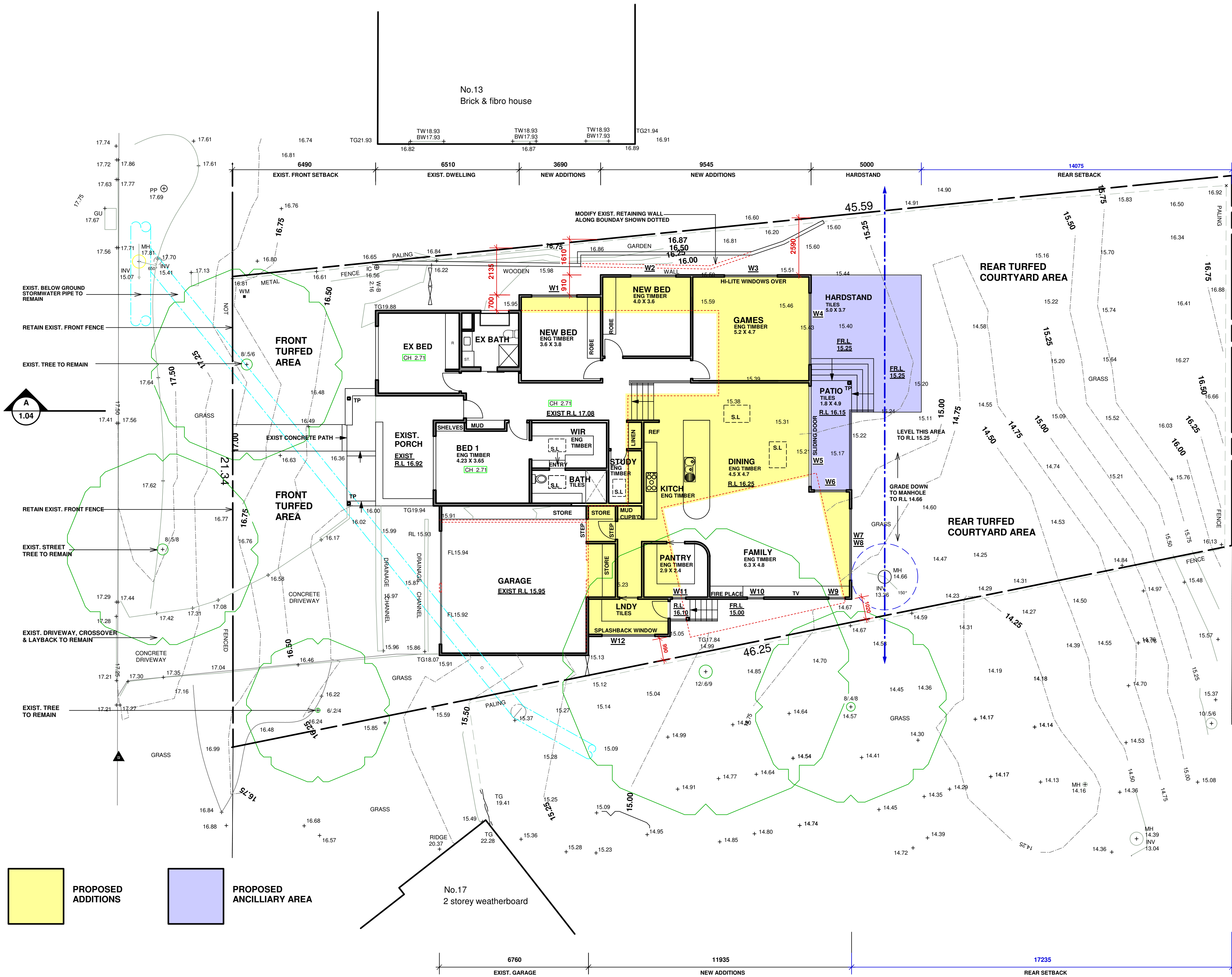
CHECKED: REV: A

PROJECT No. 202426

DWG No. DA 0.01



PLAYFAIR ROAD



GROUND FLOOR PLAN

Scale: 1:100

OUTLINE OF EXIST. DWELLING  
TO BE DEMOLISHED

PROPOSED  
ADDITIONS

PROPOSED  
ANCILLIARY AREA

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PROJECT: **PROPOSED RENOVATIONS LOCATED AT  
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TITLE: **GROUND FLOOR**

SCALE: 1:100 @ A1

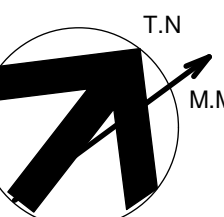
DRAWN: MM

PROJECT DATE: OCT 2024

CHECKED: REV: A

PROJECT No. 202426

DWG No. DA 1.01





PLAYFAIR ROAD



FLOOR AREA & LANDSCAPED AREA CALC PLAN

Scale: 1:100

SITE CALCULATIONS

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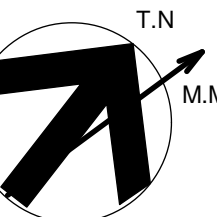
PROJECT: PROPOSED RENOVATIONS LOCATED AT 15 PLAYFAIR RD NTH CURL CURL

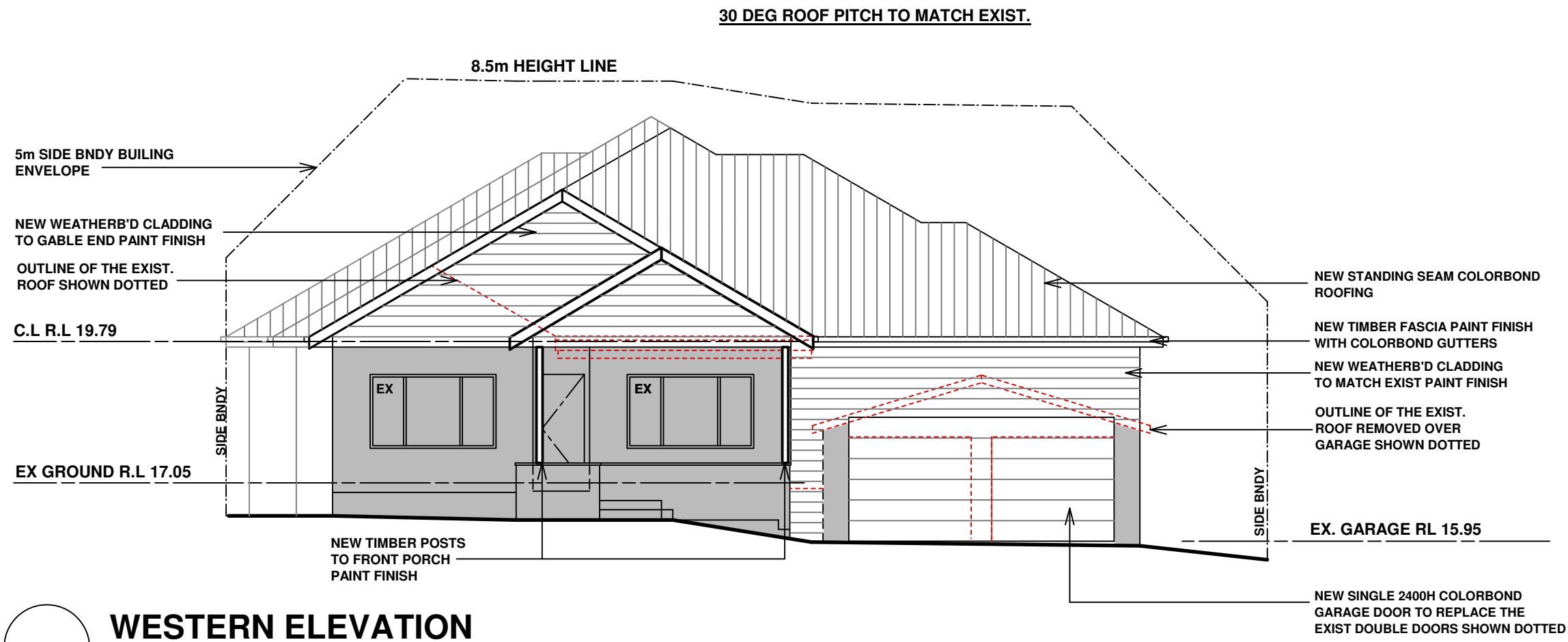
TITLE: FLOOR AREA & LANDSCAPE AREA CALC PLAN

SCALE: 1:100 @ A1 DRAWN: MM

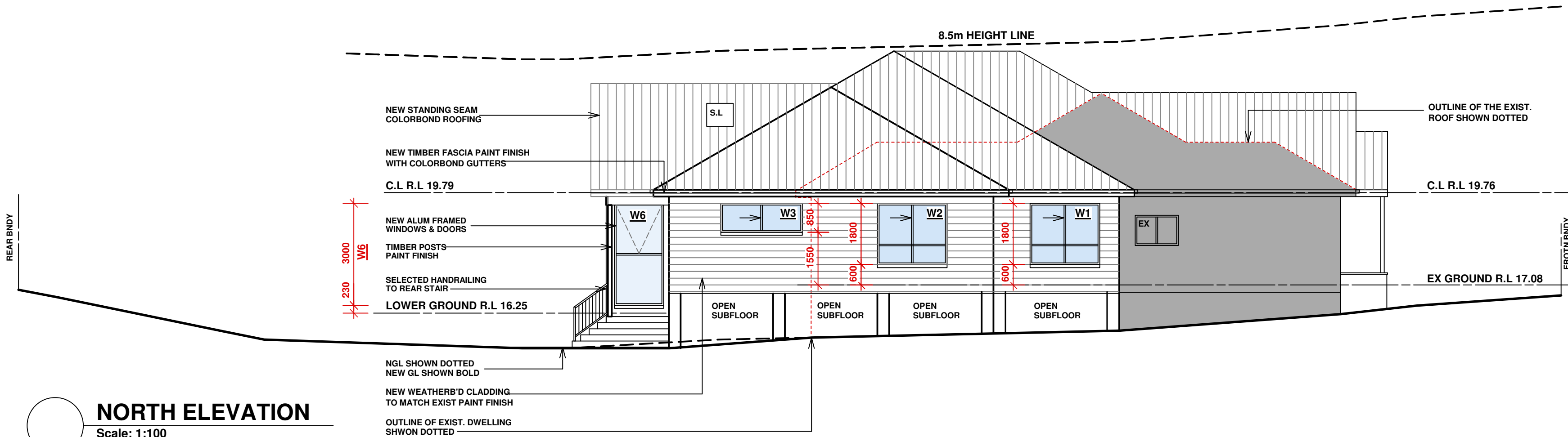
PROJECT DATE: OCT 2024 CHECKED: REV: A

PROJECT No. 202426 DWG No. DA 1.01A



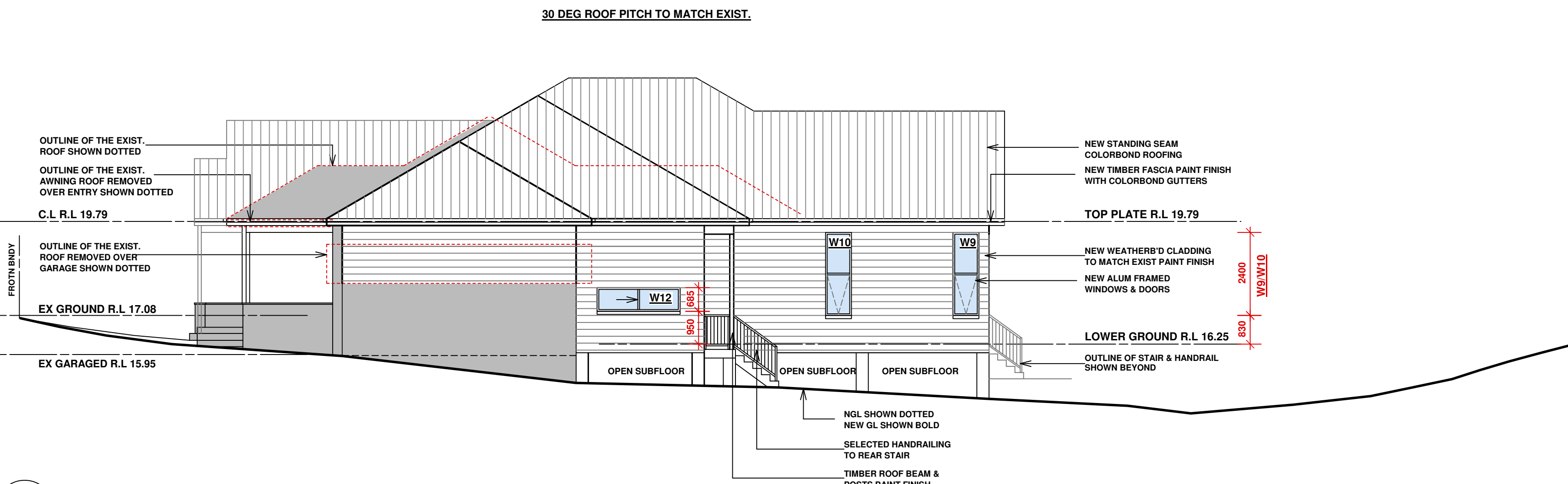
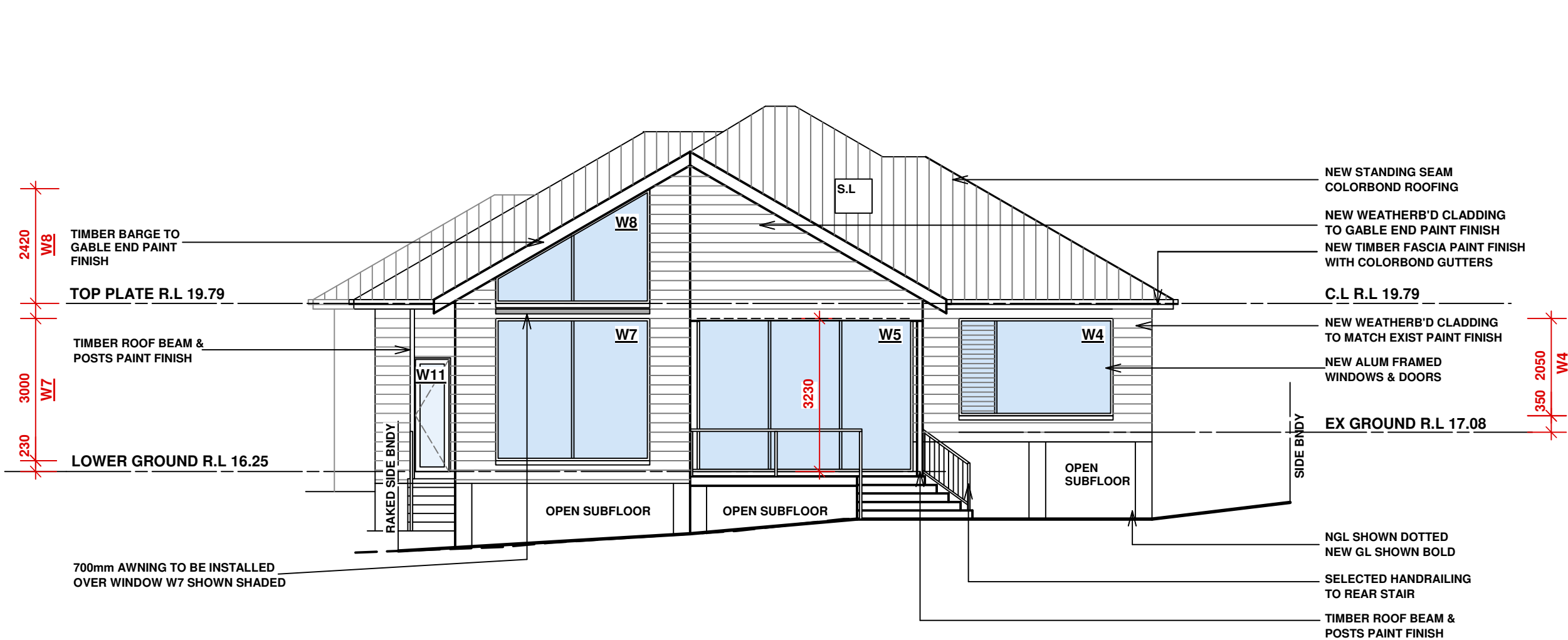


OUTLINE OF THE PORTION OF EXIST. DWELLING TO REMAIN IS SHOWN SHADED



OUTLINE OF THE PORTION OF EXIST. DWELLING TO REMAIN IS SHOWN SHADED

WINDOW SCHEDULE				TYPE
WINDOW NO	WIDTH	HEIGHT	TOTAL	
1	2050	1800	1	ALUM FRAMED SLIDING WINDOW
2	2050	1800	1	ALUM FRAMED SLIDING WINDOW
3	2400	850	1	ALUM FRAMED SLIDING WINDOW
4	3250	2050	1	ALUM FRAMED FIXED / LOUVRE WINDOW
5	3180	3230	1	ALUM FRAMED SLIDING DOOR
6	1450	3000	1	ALUM FRAMED AWNING WINDOW
7	3250	3000	1	ALUM FRAMED FIXED WINDOW
8	3250	2420	1	ALUM FRAMED FIXED ANGLED HI-LITE WINDOW
9	750	2400	1	ALUM FRAMED AWNING WINDOW
10	750	2400	1	ALUM FRAMED AWNING WINDOW
11	720	2400	1	ALUM FRAMED GLAZED DOOR
12	2400	685	1	ALUM FRAMED SLIDING WINDOW
TOTAL			12	



OUTLINE OF THE PORTION OF EXIST. DWELLING TO REMAIN IS SHOWN SHADED

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14/11/24	-	CONSULTANT ISSUE

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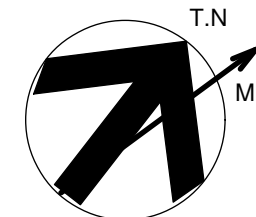
PROJECT : PROPOSED RENOVATIONS LOCATED AT 15 PLAYFAIR RD NTH CURL CURL

TITLE: ELEVATIONS

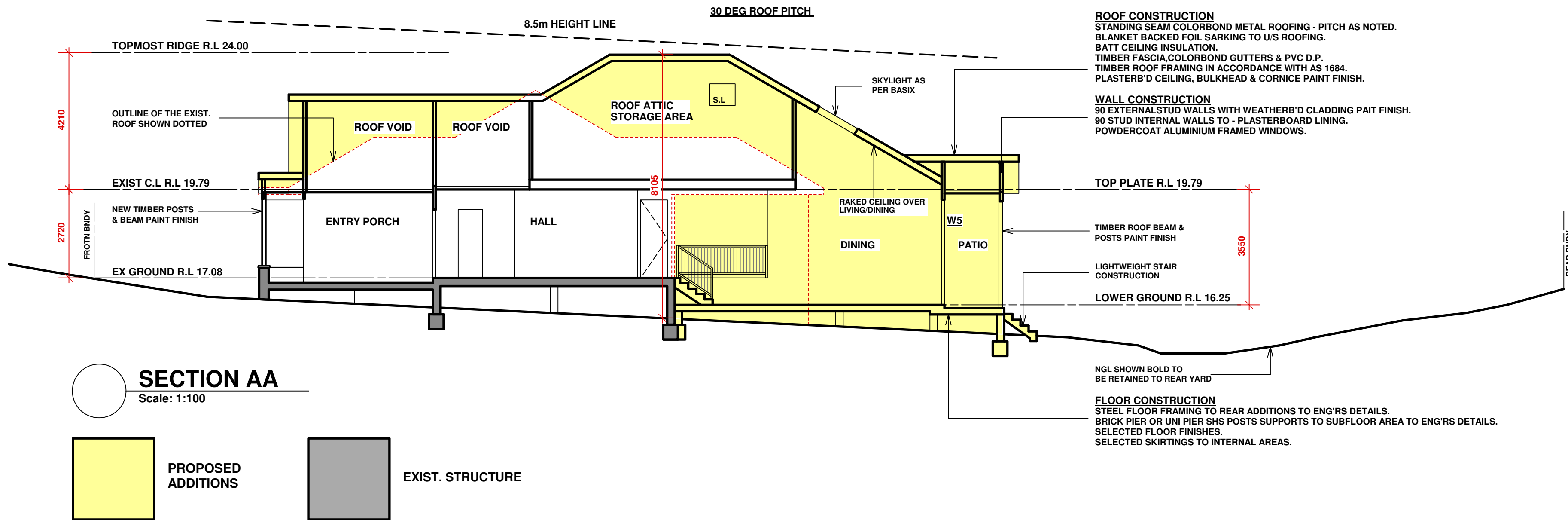
SCALE: 1:100 @ A1  
PROJECT DATE : OCT 2024  
PROJECT No. 202426

DRAWN : MM  
CHECKED :  
DWG No. DA 1.03

REV : A







FINISHES & COLOUR LEGEND

WEATHERBOARD CLADDING = SELECTED WEATHERBOARD CLADDING TO MATCH EXIST.  
= COLOUR DULUX NATURAL WHITE OR SIMILAR

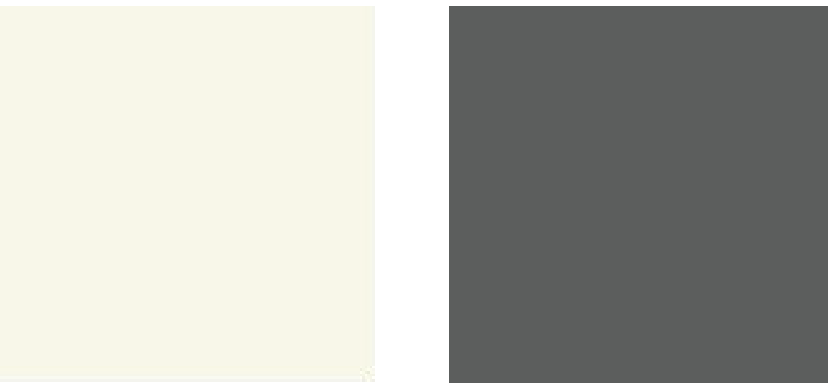
COLORBOND ROOFING (SELECTED PROFILE) = COLORBOND BASALT

TIMBER FASCIA & COLORBOND GUTTERS = COLORBOND BASALT

ALUM FRAMED WINDOWS= POWDERCOAT WHITE

EXTERNAL TIMBER POSTS & BEAMS = DULUX NATURAL WHITE OR SIMILAR

BASE WALLS = SELECTED SANDSTONE CLADDING



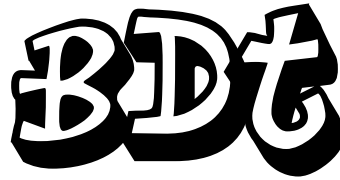
DULUX NATURAL WHITE  
COLORBOND BASALT



STONE CLADDING

12/12/24	A	DA ISSUE
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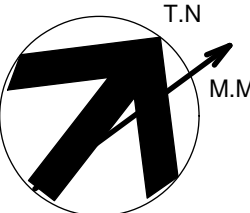


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PROJECT : PROPOSED RENOVATIONS LOCATED AT  
15 PLAYFAIR RD NTH CURL CURL

TITLE: SECTION AA & COLOUR SCHEDULE

SCALE : 1:100 @ A1  
PROJECT DATE : OCT 2024  
PROJECT No. 202426  
DRAWN : MM  
CHECKED :  
DWG No. DA 1.04  
REV : A



PLAYFAIR ROAD

EXIST. TREE TO BE  
RETAINED & PROTECTED  
DURING CONSTRUCTION

SANDBAGS TO BE INSTALLED  
AROUND ANY DRAINAGE PITS,  
KERB INLETS & TO FRONT  
BOUNDARY

MIN 2100H SECURITY FENCING TO  
PERIMETER OF SITE WITH REQUIRED  
SIGNAGE & CONTACT DETAILS

EXIST. TREE TO BE  
RETAINED & PROTECTED  
DURING CONSTRUCTION

LOCATION OF STOCKPILE MATERIAL  
I.E. CEMENT, SAND, ETC. ALL STOCK  
PILE AREAS TO BE CLEAR FROM DRAINS,  
GUTTERS & FOOTPATHS. STOCKPILES  
ARE TO HAVE A WATERPROOF COVERING  
WHILE NOT IN USE.

LITTER AND WASTE CONTROL.  
ALL HARD WASTE AND LITTER MUST BE  
STORED ON SITE IN A SKIP BIN OR OTHER  
MEANS TO PREVENT ANY MATERIAL FROM  
ENTERING THE STORMWATER SYSTEM

SINGLE GRAVELLED ENTRY/EXIT  
ONE POINT WITHIN SITE

PUBLIC ROADS & FOOTPATHS  
TO BE SWEEPED DAILY.

SANDBAGS TO BE INSTALLED  
AROUND ANY DRAINAGE PITS,  
KERB INLETS & TO FRONT  
BOUNDARY

EXIST  
VEHICLE  
ACCESS

ALL EROSION & SEDIMENT  
CONTROL MEASURES ARE  
TO INSPECTED DAILY

LOCATION OF MATERIAL STORE  
& RECYCLED MATERIAL FROM  
EXIST. RESIDENCE I.E BRICKS,  
TILES,TIMBER ETC.

LOCATION OF STOCKPILE MATERIAL  
I.E. CEMENT, SAND, ETC. ALL STOCK  
PILE AREAS TO BE CLEAR FROM DRAINS,  
GUTTERS & FOOTPATHS. STOCKPILES  
ARE TO HAVE A WATERPROOF COVERING  
WHILE NOT IN USE.

WASHDOWN AREA.  
WASH EQUIPMENT IN DESIGNATED  
AREAS WHICH DOES NOT DRAIN  
TO STORMWATER

DIRECTION OF NATURAL  
FLOW OF DRAINAGE  
WITHIN SITE

OUTLINE OF PROPOSED  
DWELLING

No.17  
2 storey weatherboard

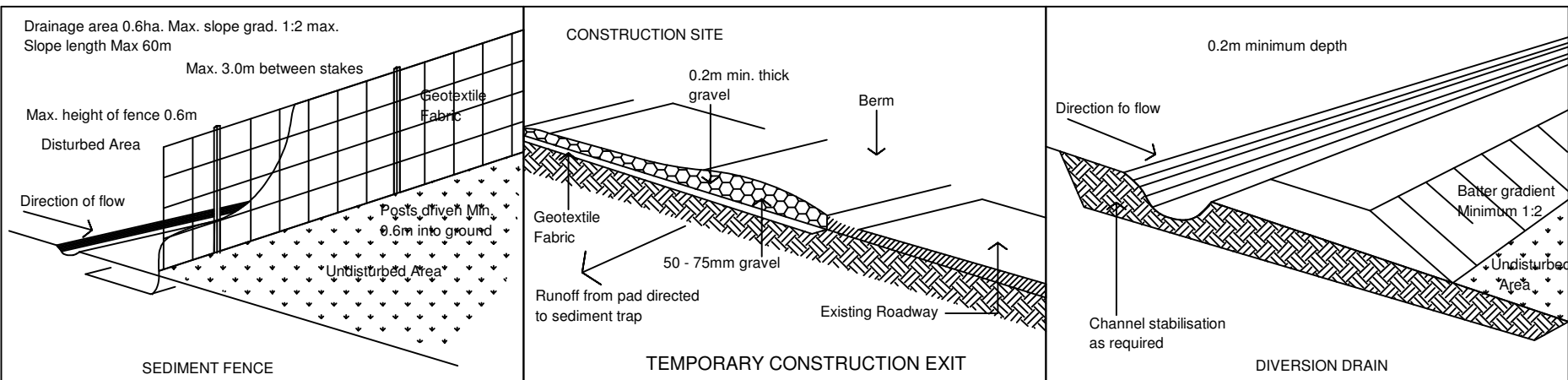
SITE MANAGEMENT PLAN  
Scale: 1:100

NOTE:

OUTLINE OF EXIST. DWELLING SHOWN SHADED

EARLY CONNECTION TO STORMWATER

CONNECT TEMPORARY OR PERMANENT DOWNPIPES TO THE STORMWATER SYSTEM BEFORE  
LAYING THE ROOF. ALL STORMWATER DISCHARGE SHOULD NOT CAUSE SOIL EROSION



SEDIMENT CONTROL POLICY OBJECTIVE

\* TO MINIMISE DISTURBANCE TO SOIL AND VEGETATION ON THE SITE  
& TO PREVENT EROSION AND THE EXPORT OF SEDIMENT  
FROM THE SITE

GENERAL NOTES:

- \* DIRECT CLEAN UPHILL WATER AROUND THE BUILDING SITE
- \* LIMIT ACCESS TO ONE POINT AND STABILISE
- \* INSTALL SEDIMENT FENCES BELOW THE SITE
- \* STOCKPILE AND PROTECT STRIPPED TOPSOIL
- \* STORE MATERIALS WITHIN THE SEDIMENT FENCE ENVELOPE
- \* PROVIDE A PROTECTED WASHOUT AREA
- \* CONNECT STORMWATER BEFORE ROOF IS LAID
- \* MAINTAIN CONTROLS
- \* RESPREAD TOPSOIL AND STABILISE SITE

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