

**01 SITE ANALYSIS 1:300**



**02 STREET VIEW**



**03 51 KALANG LOCATION PLAN**

<b>Amendments</b>	
A ISSUED FOR DA	23/04/21

**Architect**

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 Nominated Architect James Grant 6540

**Project Details**

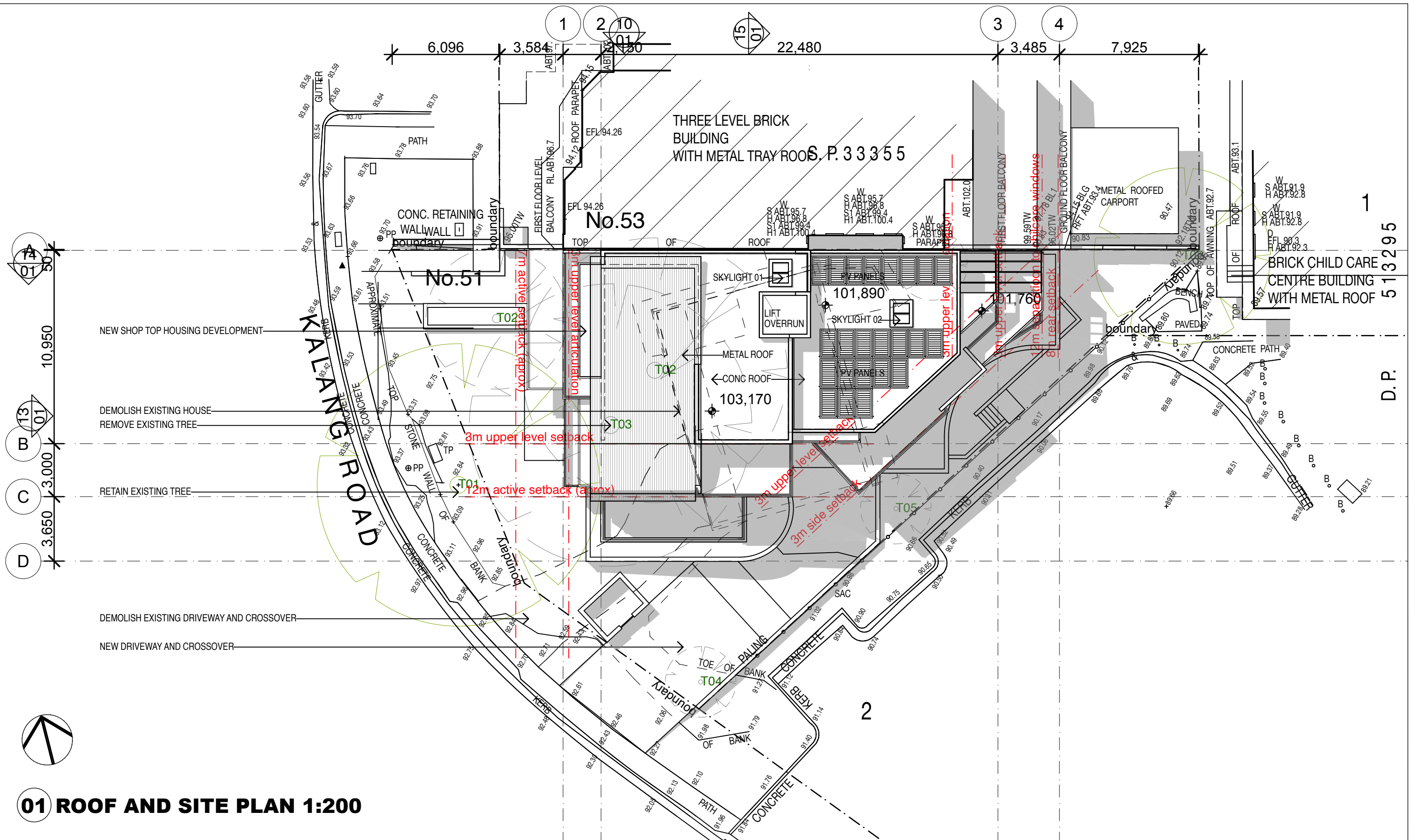
**SHOP TOP HOUSING AT**

**51 KALANG ROAD  
 ELANORA HEIGHTS  
 NSW 2101**

This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.

Drawn JG	Approved JG	Date Printed 5/5/21
Job Number 2002		
Scale As shown @ A3		

Drawing name	
<b>SITE ANALYSIS</b>	
Drawing Number	Amendment
<b>DA-00</b>	<b>A</b>



**01 ROOF AND SITE PLAN 1:200**

Amendments	
A ISSUED FOR DA	23/04/21
B AMENDED RE COUNCIL'S COMMENT	21/01/22

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**Project Details**

**SHOP TOP HOUSING AT**

**51 KALANG ROAD**  
**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002		
Scale As shown @ A3		

Drawing name

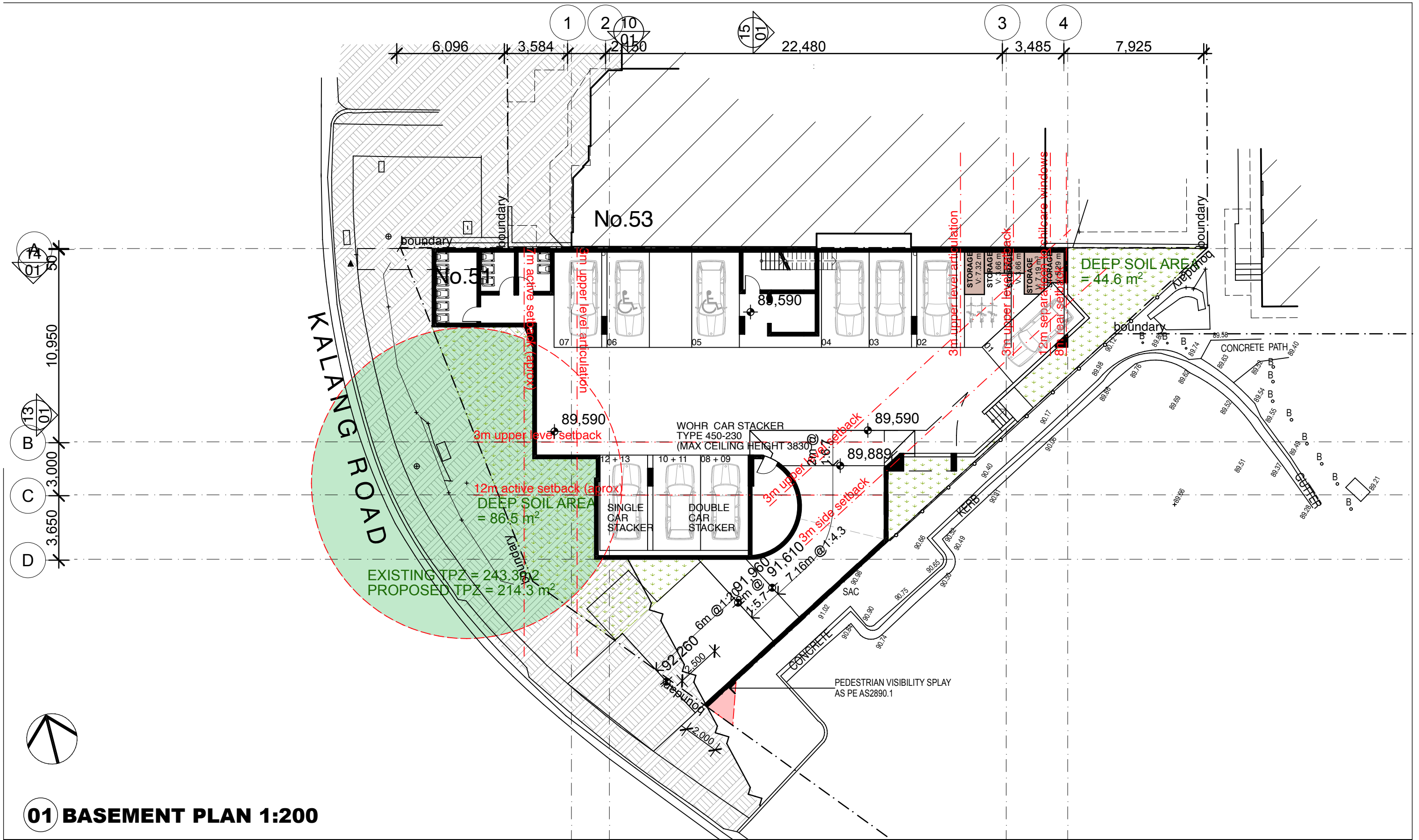
**ROOF AND SITE PLAN**

Drawing Number

**DA-01**

Amendment

**B**



**01 BASEMENT PLAN 1:200**

Amendments	
A	ISSUED FOR DA 23/04/21
B	AMENDED RE COUNCIL'S COMMENT 21/01/22

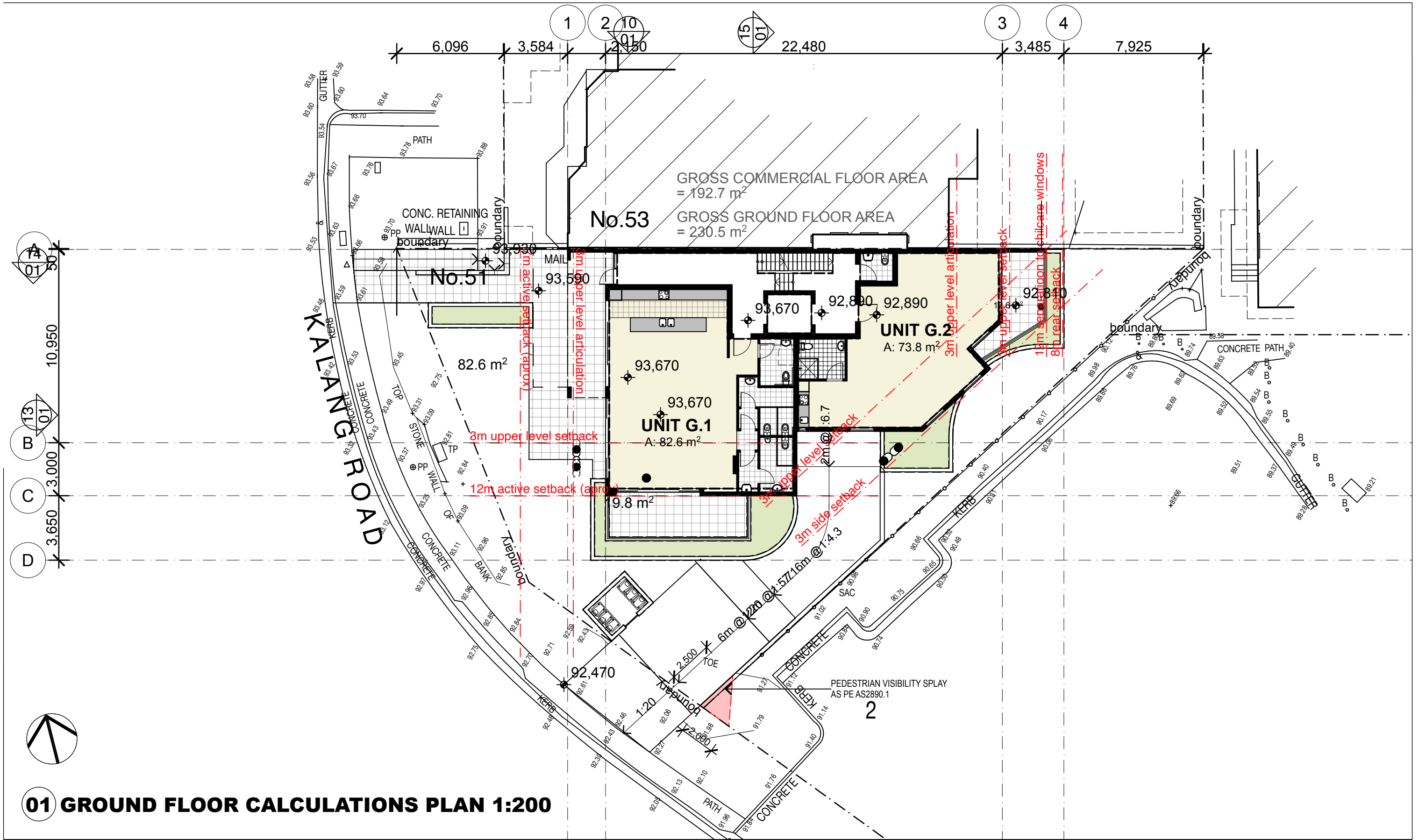
**Architect**  
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 email: james@fgarch.com.au  
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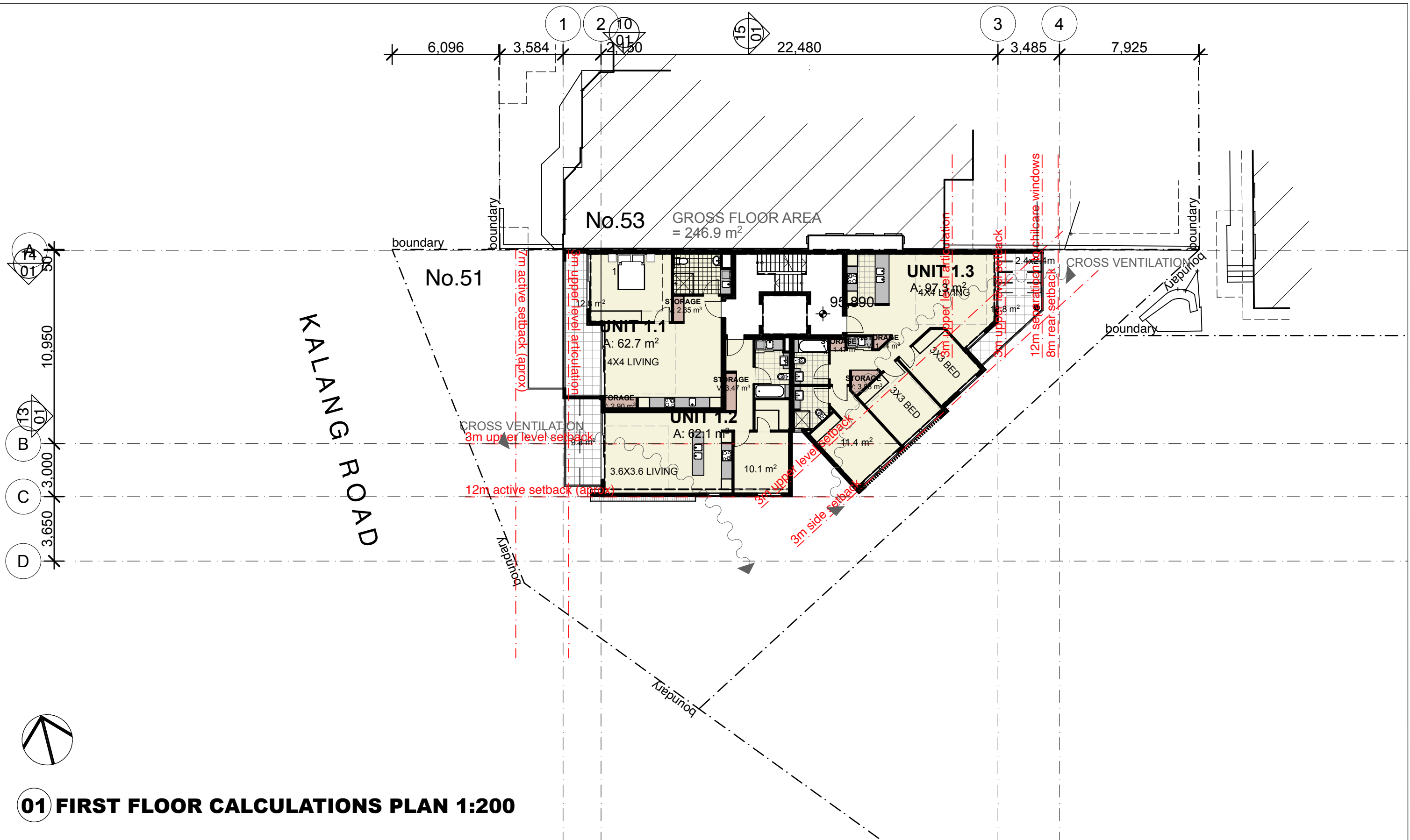
**Project Details**  
**SHOP TOP HOUSING AT**  
**51 KALANG ROAD**  
**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002	Scale As shown @ A3	

Drawing name  
**BASEMENT PLAN**  
 Drawing Number  
**DA-02**  
 Amendment  
**B**





**01 FIRST FLOOR CALCULATIONS PLAN 1:200**

Amendments		
A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

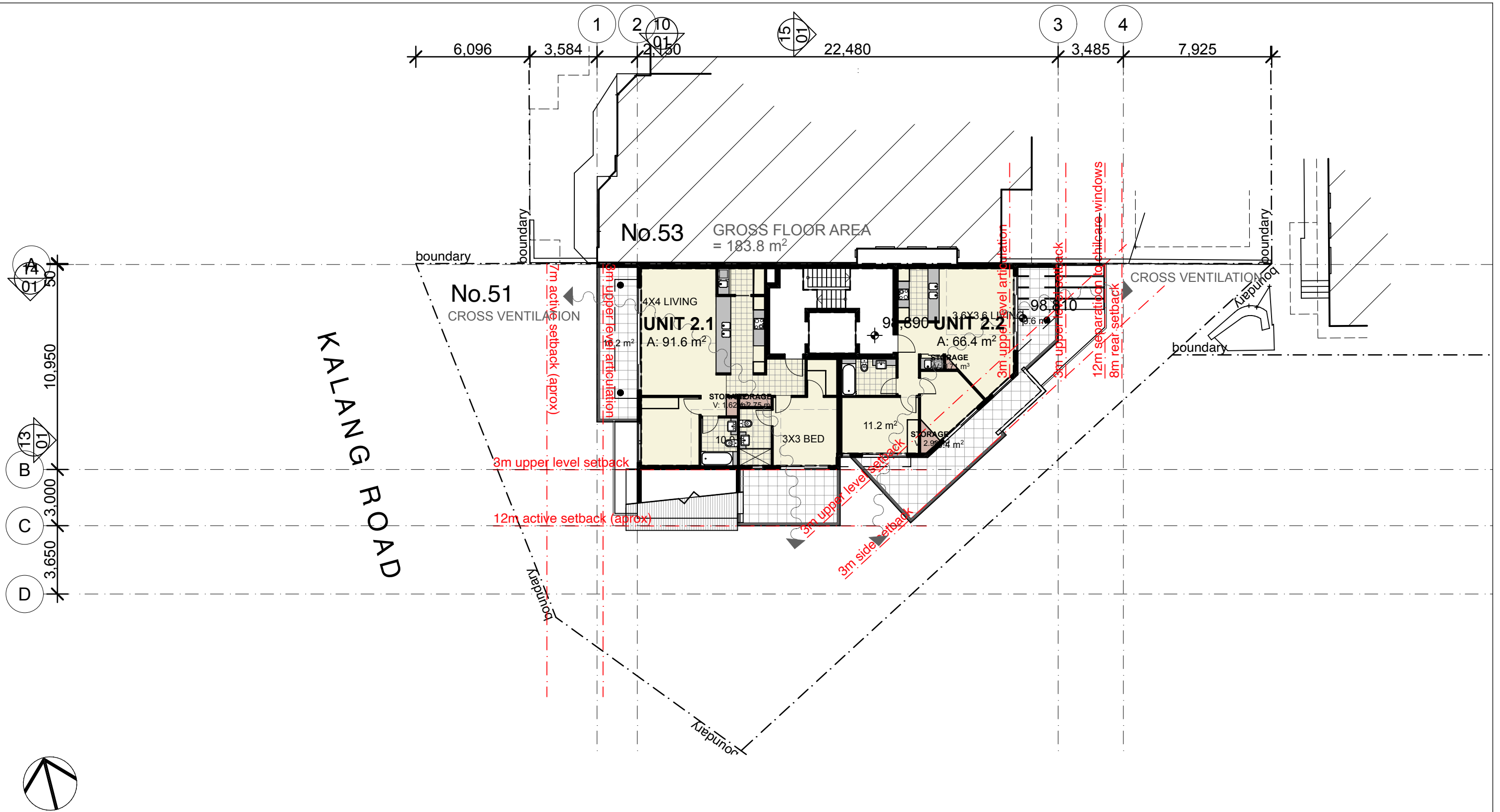
**Architect**  
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**Project Details**  
**SHOP TOP HOUSING AT**  
**51 KALANG ROAD**  
**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002		
Scale As shown @ A3		

Drawing name  
**FIRST FLOOR CALCULATIONS**  
 Drawing Number  
**DA-04**  
 Amendment  
**B**



**01 SECOND FLOOR CALCULATIONS PLAN 1:200**

Amendments		
A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

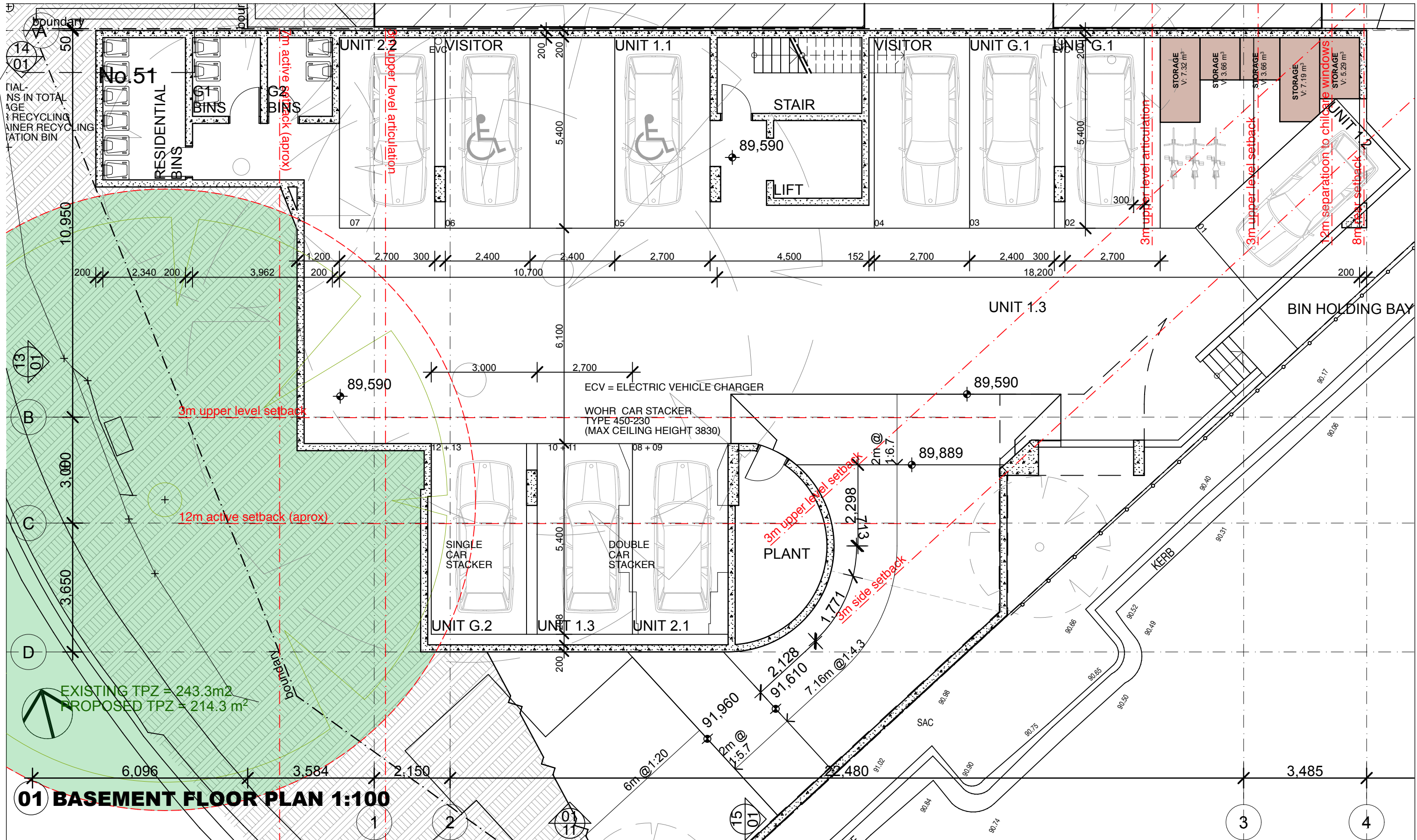
**Architect**  
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 Nominated Architect James Grant 6540

**Project Details**  
**SHOP TOP HOUSING AT**  
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**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002		
Scale As shown @ A3		

Drawing name  
**SECOND FLOOR CALCULATIONS**  
 Drawing Number  
**DA-05**  
 Amendment  
**B**



**Amendments**

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

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**Project Details**

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**ELANORA HEIGHTS**  
**NSW 2101**

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Job Number 2002		
Scale As shown @ A3		

Drawing name

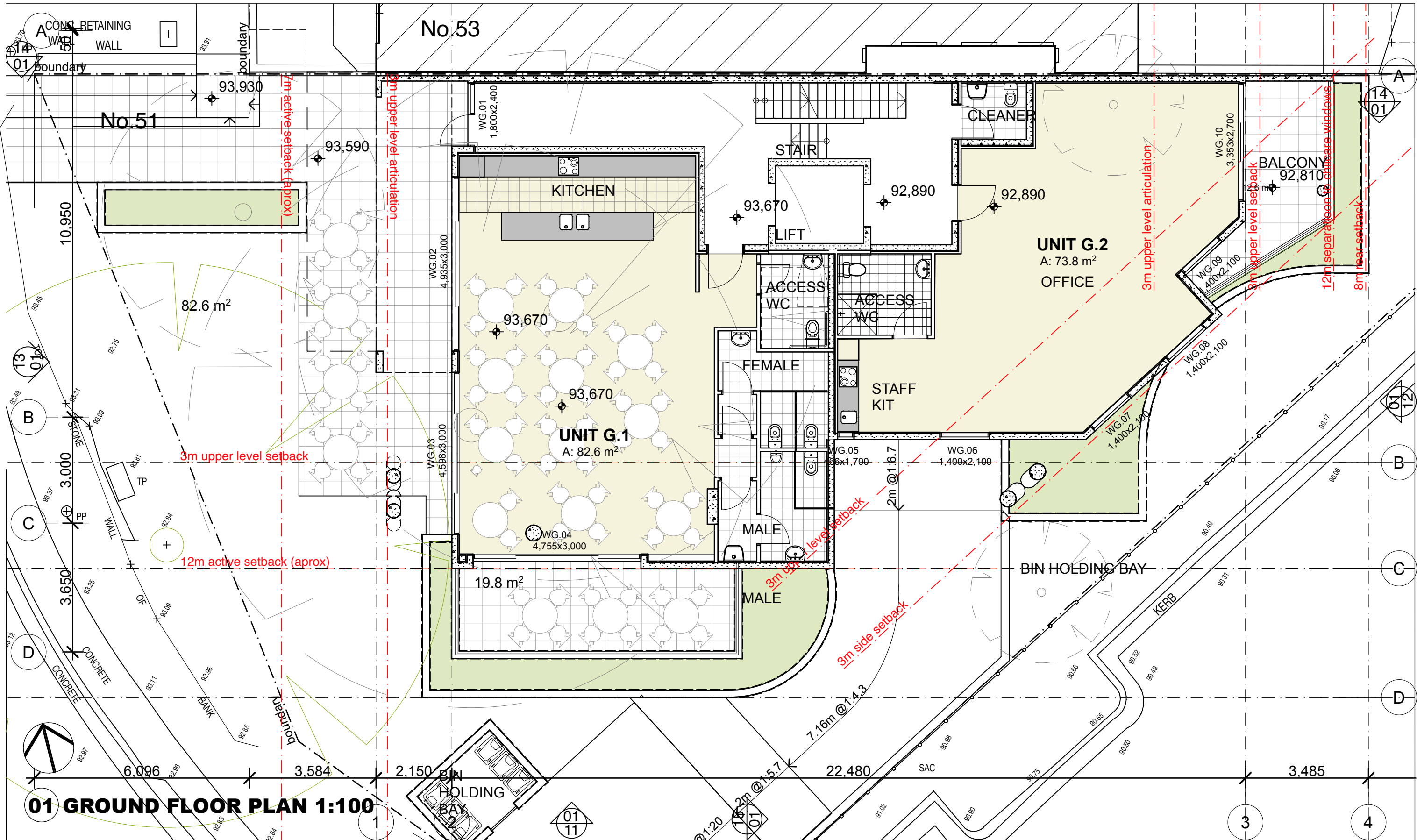
**BASEMENT FLOOR PLAN**

Drawing Number

**DA-06**

Amendment

**B**



**01 GROUND FLOOR PLAN 1:100**

Amendments	
A	ISSUED FOR DA 23/04/21
B	AMENDED RE COUNCIL'S COMMENT 21/01/22

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Nominated Architect James Grant 6540

**Project Details**

**SHOP TOP HOUSING AT**

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**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002		
Scale As shown @ A3		

Drawing name

**GROUND FLOOR PLAN**

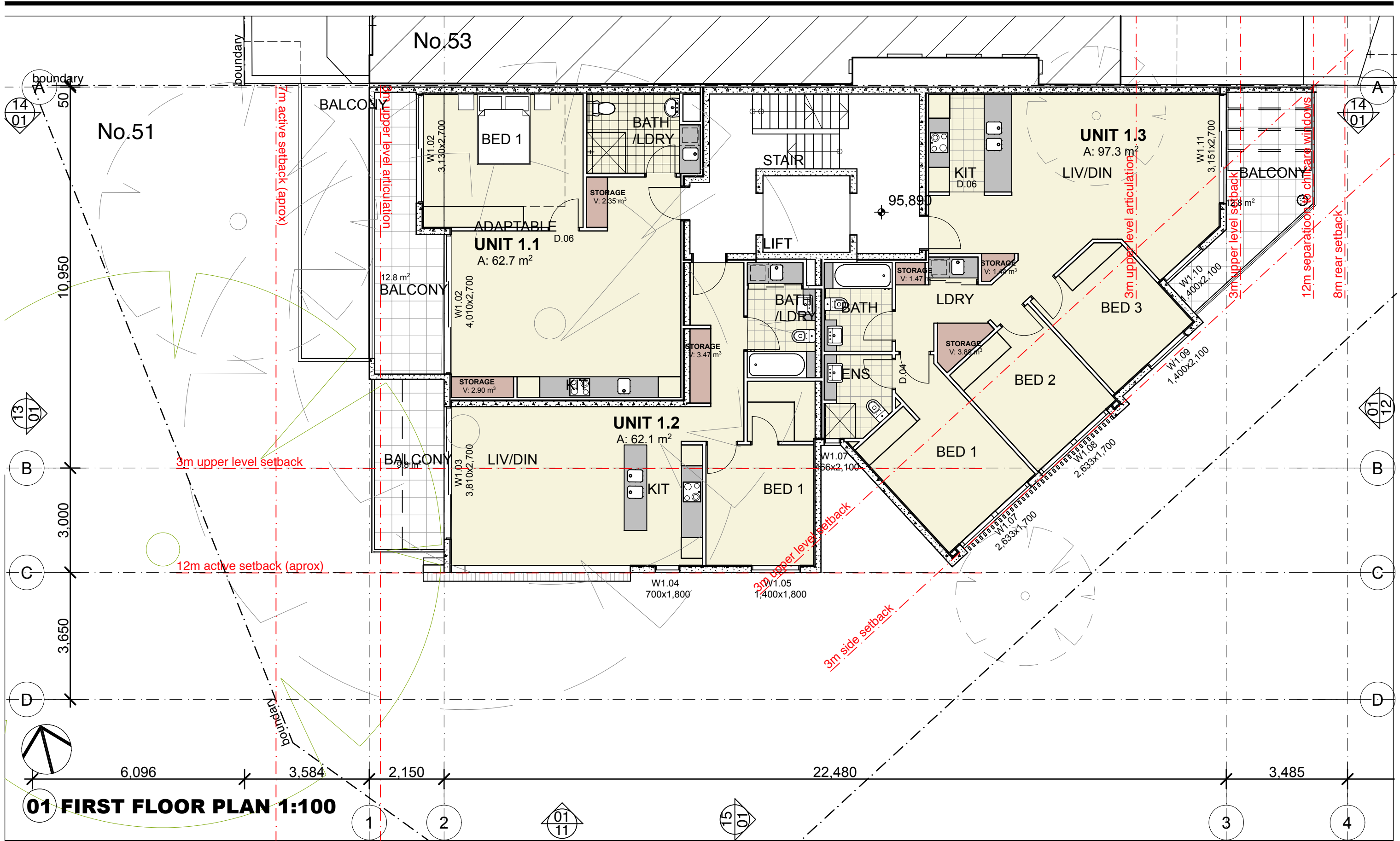
Drawing Number

**DA-07**

Amendment

**B**





**Amendments**

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

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Nominated Architect James Grant 6540

**Project Details**

**SHOP TOP HOUSING AT**

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**NSW 2101**

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Job Number 2002		
Scale As shown @ A3		

Drawing name

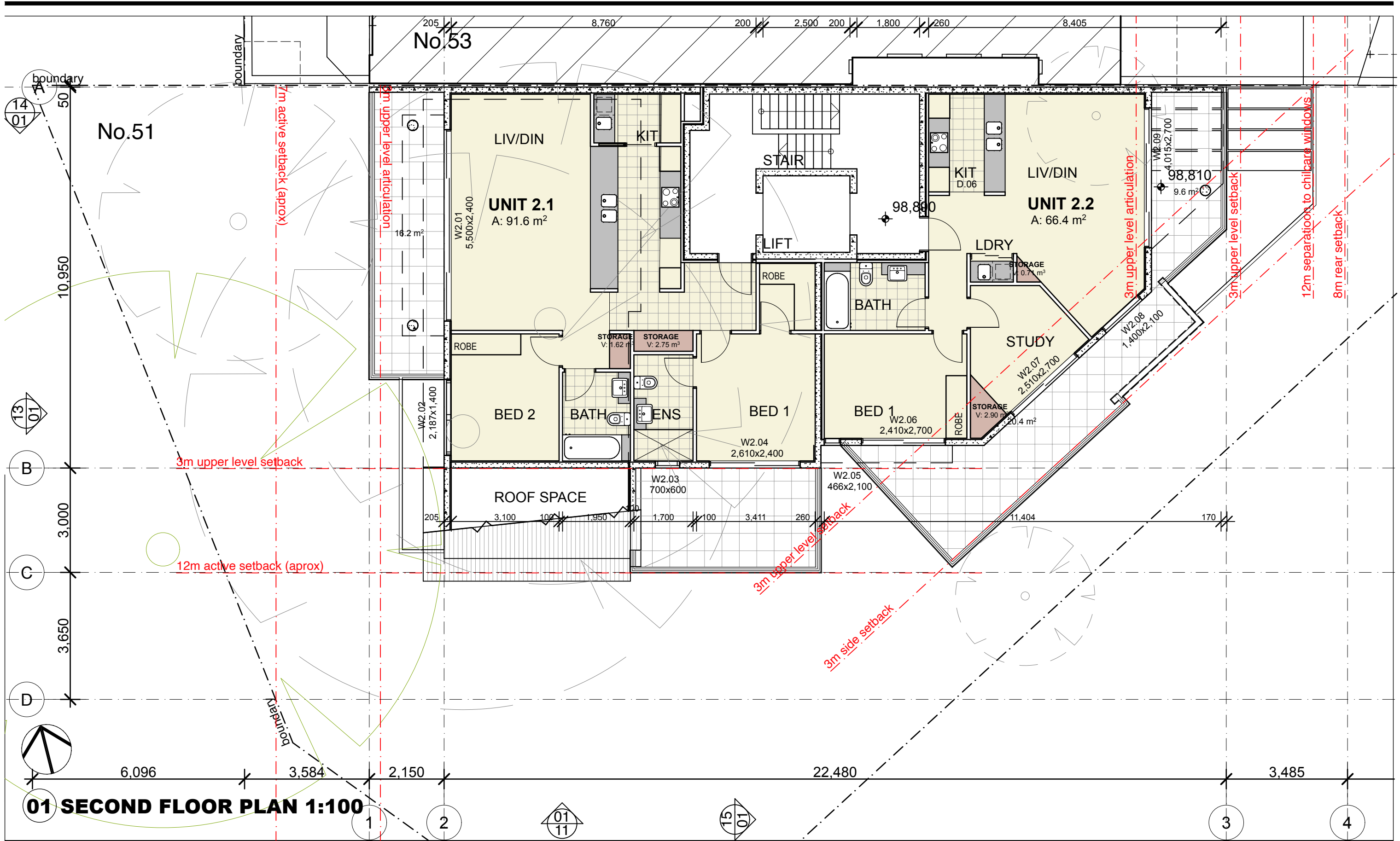
**FIRST FLOOR PLAN**

Drawing Number

**DA-08**

Amendment

**B**



**01 SECOND FLOOR PLAN 1:100**

**Amendments**

A	ISSUED FOR DA	23/04/21
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**Project Details**

**SHOP TOP HOUSING AT**  
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**ELANORA HEIGHTS**  
**NSW 2101**

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Job Number 2002		
Scale As shown @ A3		

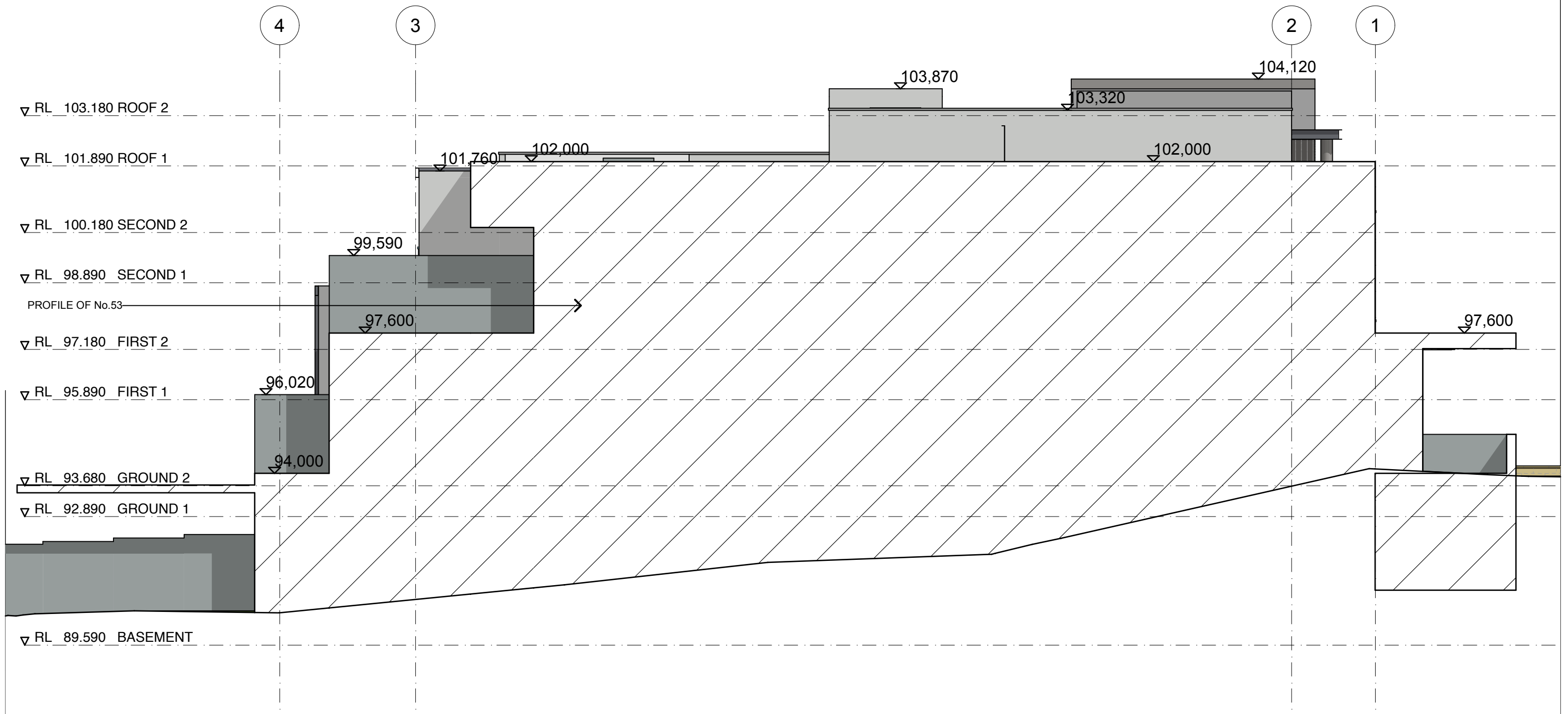
Drawing name

**SECOND FLOOR PLAN**

Drawing Number

**DA-09**

Amendment  
**B**



**01 NORTH ELEVATION 1:100**

Amendments		
A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

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 Nominated Architect James Grant 6540

**Project Details**  
**SHOP TOP HOUSING AT**  
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**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number	2002	
Scale	As shown @ A3	

Drawing name  
**NORTH ELEVATION**  
 Drawing Number  
**DA-10**  
 Amendment  
**B**



**01 SOUTH ELEVATION 1:100**

Amendments		
A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

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**Project Details**  
**SHOP TOP HOUSING AT**  
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**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002		
Scale As shown @ A3		

Drawing name  
**SOUTH ELEVATION**  
 Drawing Number  
**DA-11**  
 Amendment  
**B**



**01 EAST ELEVATION 1:100**

**Amendments**

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

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 Nominated Architect James Grant 6540

**Project Details**

**SHOP TOP HOUSING AT**  
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**ELANORA HEIGHTS**  
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Job Number 2002		
Scale As shown @ A3		

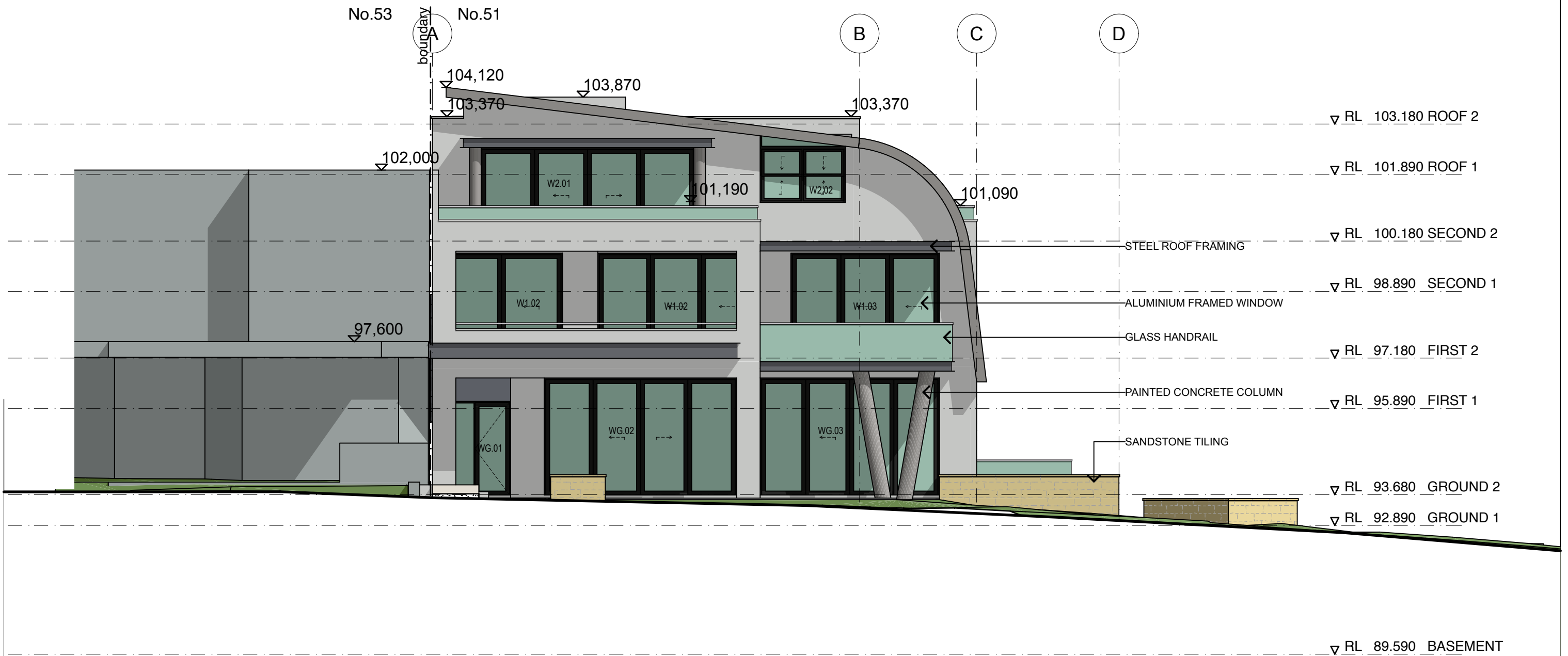
Drawing name

**EAST ELEVATION**

Drawing Number

**DA-12**


Amendment  
**B**



**01 WEST ELEVATION 1:100**

Amendments	
A ISSUED FOR DA	23/04/21
B AMENDED RE COUNCIL'S COMMENT	21/01/22

**Architect**



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**Project Details**

**SHOP TOP HOUSING AT**

**51 KALANG ROAD  
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 NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number	2002	
Scale	As shown @ A3	

Drawing name

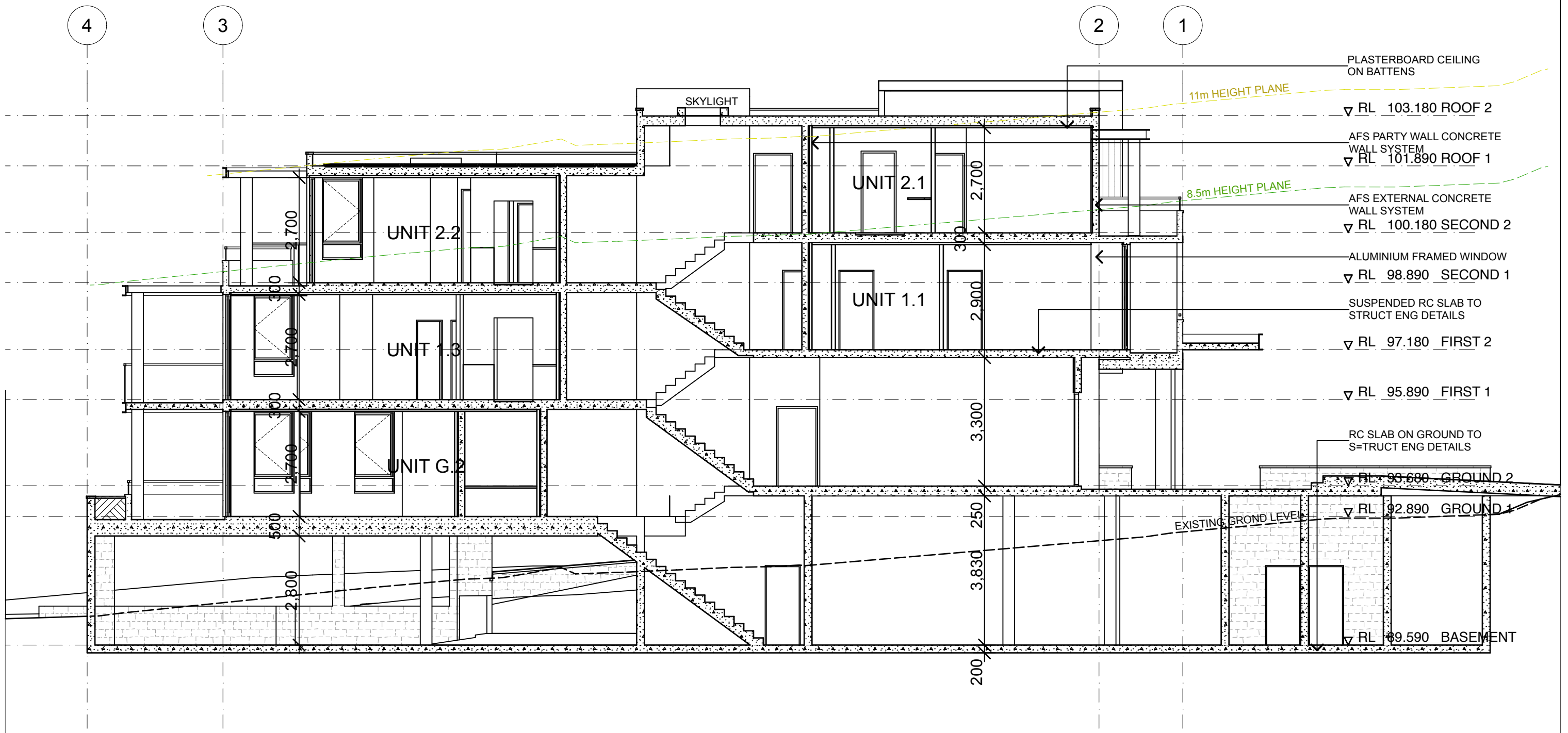
**WEST ELEVATION**

Drawing Number

**DA-13**

Amendment

**B**



**01 SECTION 1:100**

**Amendments**

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

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**Project Details**

**SHOP TOP HOUSING AT**  
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**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002		
Scale As shown @ A3		

Drawing name

**SECTION**

Drawing Number

**DA-14**

Amendment  
**B**

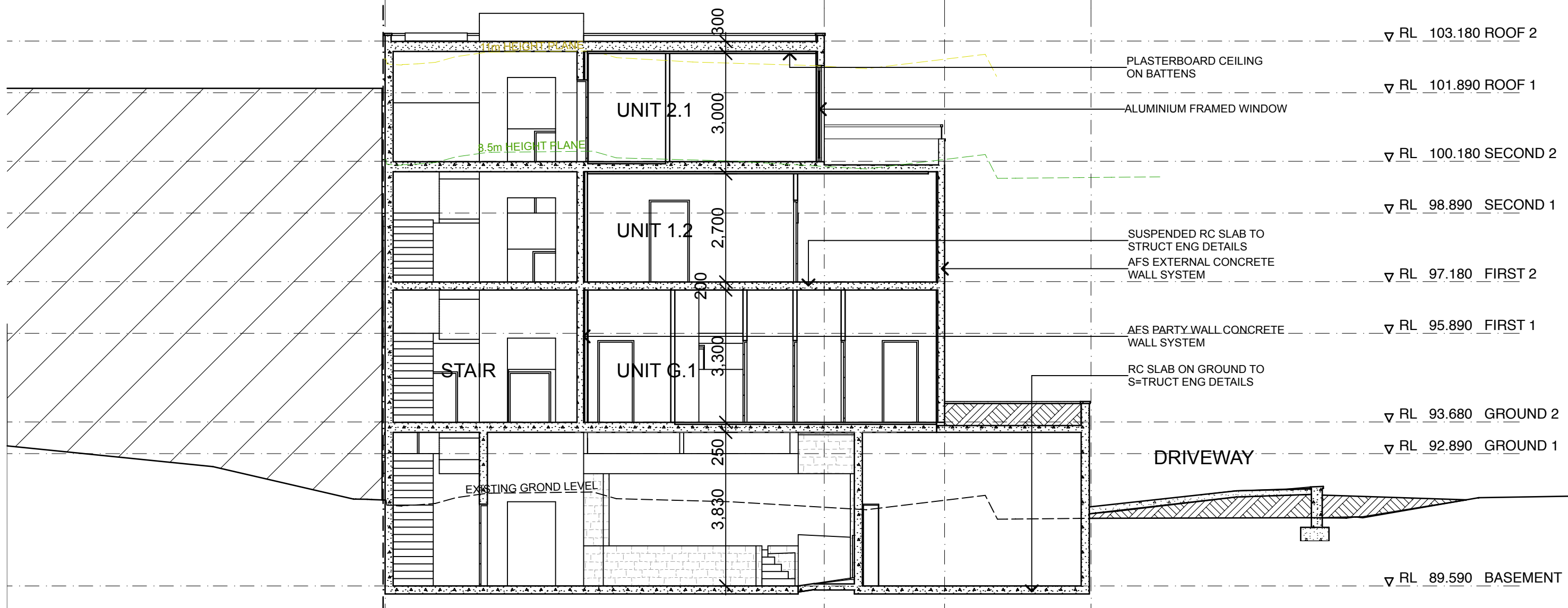
No.53 No.51

boundary  
A

B

C

D



**01 SECTION 1:100**

Amendments	
A ISSUED FOR DA	23/04/21
B AMENDED RE COUNCIL'S COMMENT	21/01/22

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**SHOP TOP HOUSING AT**

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Job Number	2002	
Scale	As shown @ A3	

Drawing name

**SECTION**

Drawing Number

**DA-15**

Amendment

**B**



## CALCULATIONS

SITE AREA	661.7m <sup>2</sup>
SITE ZONE	D5 ELENORA HEIGHTS LOCALITY
PROPOSED GROSS FLOOR AREA	641.8m <sup>2</sup>
ALLOWABLE FSR	NOT APPLICABLE
PROPOSED COMMERCIAL GROSS FLOOR AREA	195.9m <sup>2</sup> (30%)
ALLOWABLE FSR	NOT APPLICABLE
ALLOWABLE DEEP SOIL	174m <sup>2</sup> min (15%)
DEEP SOIL AREA	130.9m <sup>2</sup>

ALLOWABLE LANDSCAPE AREA	132.3m <sup>2</sup> (20%) or 5 x 35 = 175m <sup>2</sup>
PROPOSED LANDSCAPE AREA	176.8m <sup>2</sup>
ALLOWABLE SITE COVERAGE	693m <sup>2</sup> (60%)
PROPOSED SITE COVERAGE	566.1m <sup>2</sup> (excludes balconies)
REQUIRED ACCESSIBLE UNITS	1 UNITS
PROPOSED ACCESSIBLE UNITS	1 UNITS (20%)
REQUIRED ADAPTABLE UNITS	2 - 1 = 1 UNITS (30%)
PROPOSED ADAPTABLE UNITS	1 UNITS

PITTWATER LEP 2014 (Map 13)  
 LAND ZONED B2 LOCAL CENTRE  
 NO MIN LOT SIZE  
 HEIGHT OF BUILDINGS 11m (map 13A)  
 FLOOR SPACE RATIO - NONE  
 ACID SULPHATE SOIL CLASS 5  
 NO LAND RESERVATIONS AND ACQUISITIONS  
 NOT A HERITAGE ITEM  
 NOT NEAR A HERITAGE ITEM  
 NOT IN A CONSERVATION AREA  
 NOT IN THE FORESHORE BUILDING LINE  
 NO ADDITIONAL PERMITTED USES  
 NO BIODIVERSITY  
 NOT FORESHORE EFFECTED  
 NO GEOTECHNICAL HAZARD  
 NOT URBAN RELEASE LAND

## SEPP 65

TOTAL NO OF UNITS = 5 Residential Units + 2 Commercial Units

25% UNITS WITH EXTERNAL KITCHENS = 2	2 SUPPLIED (20%)
70% UNITS WITH 3 HOURS SUN = 4 (4 out of 5 units get 2 hours sun)	4 SUPPLIED
60% UNITS WITH CROSS VENTILATION = 3	4 SUPPLIED
10% SINGLE ASPECT UNITS FACING SOUTH = 1	0 SUPPLIED

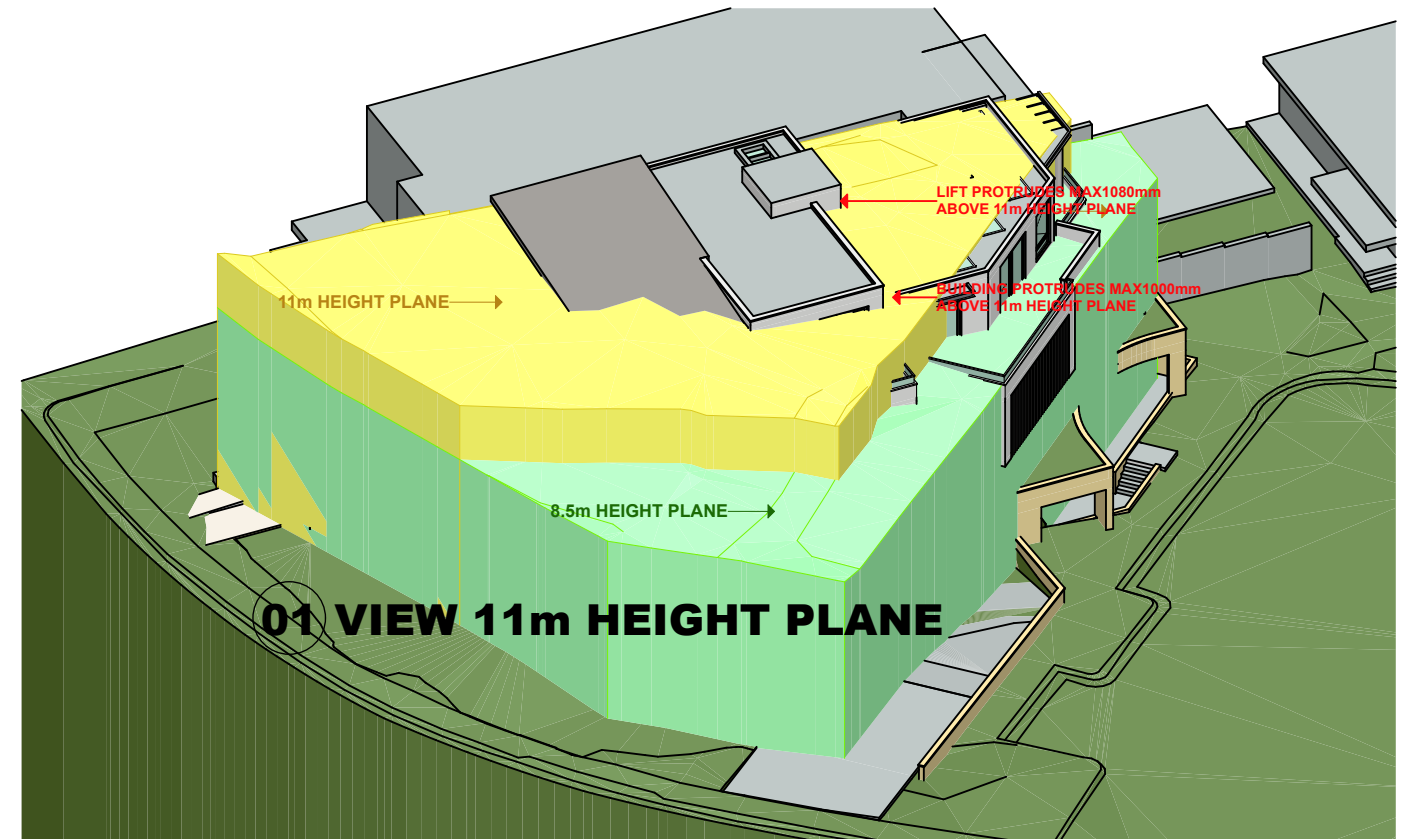
## UNIT YIELD

2 x COMERCIAL UNITS (TOTAL 138.7m<sup>2</sup>)  
 3 x 1 BED UNITS  
 1 x 2 BED UNITS  
 1 x 3 BED UNITS

## CAR PARKING (Council requirements)

1 bed units	1 SPACE REQUIRED	3
2 bed units	2 SPACES REQUIRED	2
3 bed units	2 SPACES REQUIRED	2
VISITOR SPACES	1 SPACE PER 3 UNITS REQUIRED	1.7
CAFE	1 SPACE PER 30m <sup>2</sup>	3
VISITOR SPACES	1 SPACE PER 3 UNITS REQUIRED	2

BICYCLE PARKING 1 SPACE/3 DWELLINGS + 1 VISITOR SPACE /12 DWELLINGS



### Amendments

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### Architect

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### Project Details

**SHOP TOP HOUSING AT**  
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**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002		
Scale As shown @ A3		

Drawing name

## HEIGHT PLANE AND CALCULATIONS

Drawing Number

**DA-16**

Amendment  
**B**



**01 MATERIALS VIEW**

1 - DULUX LEXICON

2 - METALWORK  
COLORBOND  
WOODLAND GREY

3 - SANDSTONE CLADDING


4 - COLUMNS  
COLORBOND  
WALLABY

5 - GLASS HANDRAILS

**Amendments**

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Drawn JG	Approved JG	Date Printed 21/1/22
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Scale	As shown @ A3	

Drawing name

**MATERIALS AND FINISHES SCHEDULE**

Drawing Number **DA-17**


Amendment **B**



**Amendments**

A	ISSUED FOR DA	23/04/21
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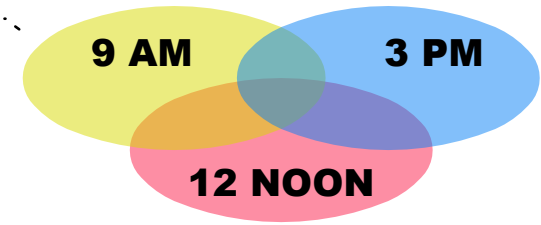
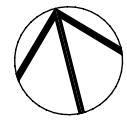
Drawn JG	Approved JG	Date Printed 21/1/22
Job Number	2002	
Scale	As shown @ A3	

Drawing name

**PHOTOMONTAGE**  
 Drawing Number  
**DA-18**  
 Amendment  
**B**




**01 SHADOW DIAGRAMS 1:200**



Amendments	
A ISSUED FOR DA	23/04/21
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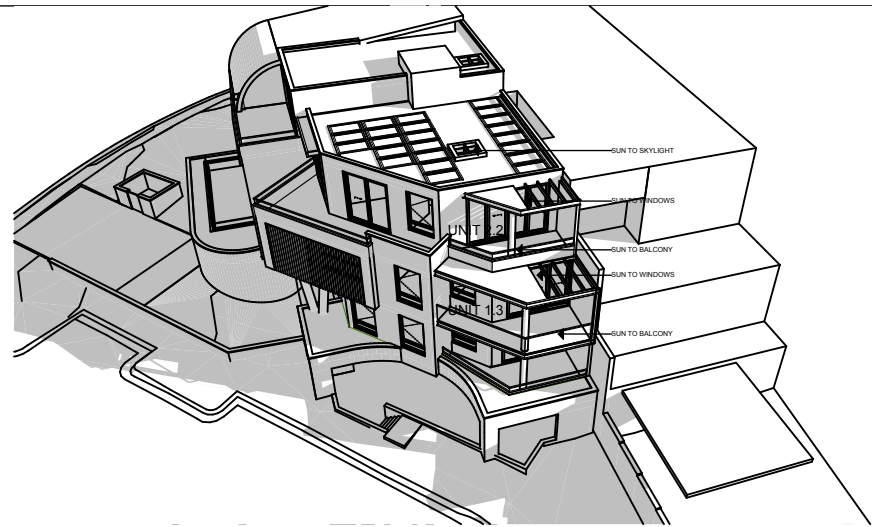
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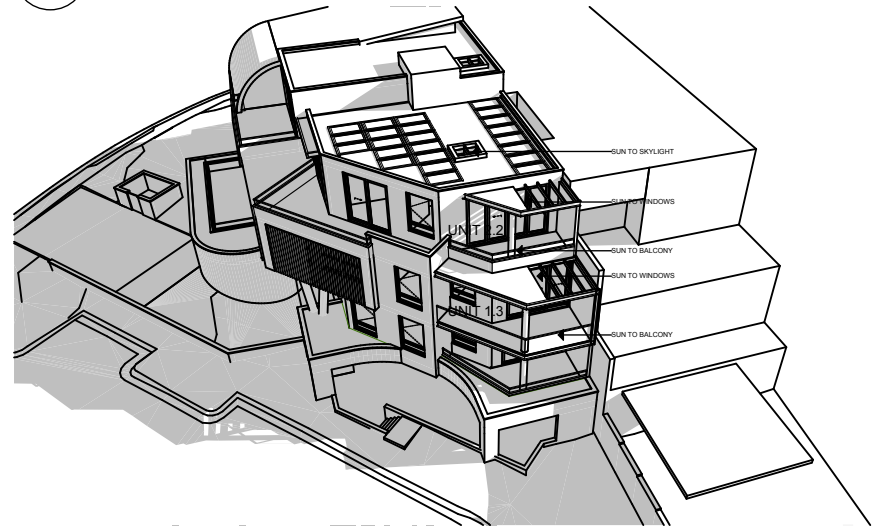
Drawing name  
**PLAN SHADOW DIAGRAMS**

Drawing Number  
**DA-19**

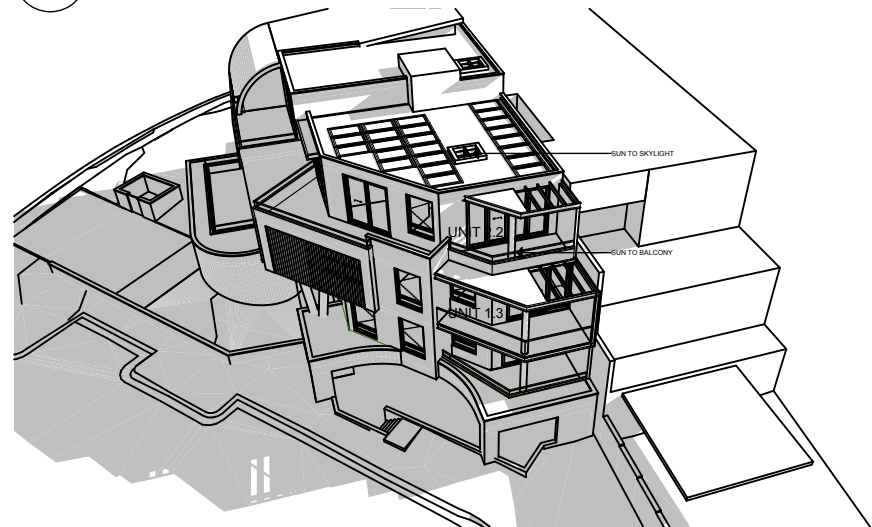
Amendment  
**B**



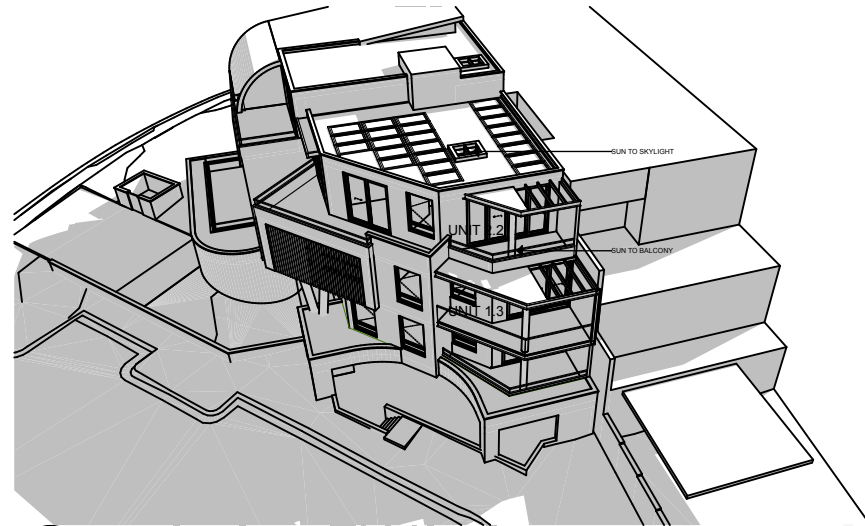
**01 EAST VIEW JUNE 21ST 9AM**



**02 EAST VIEW JUNE 21ST 10AM**



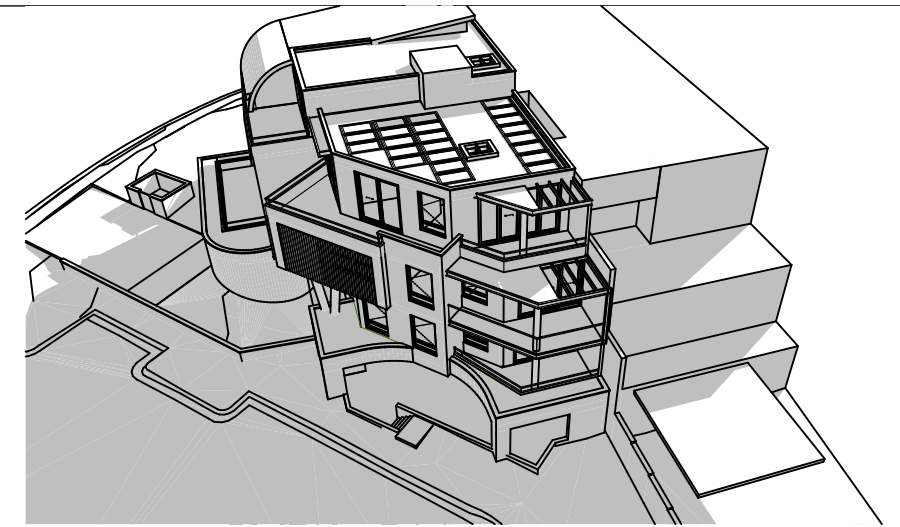
**03 EAST VIEW JUNE 21ST 11AM**



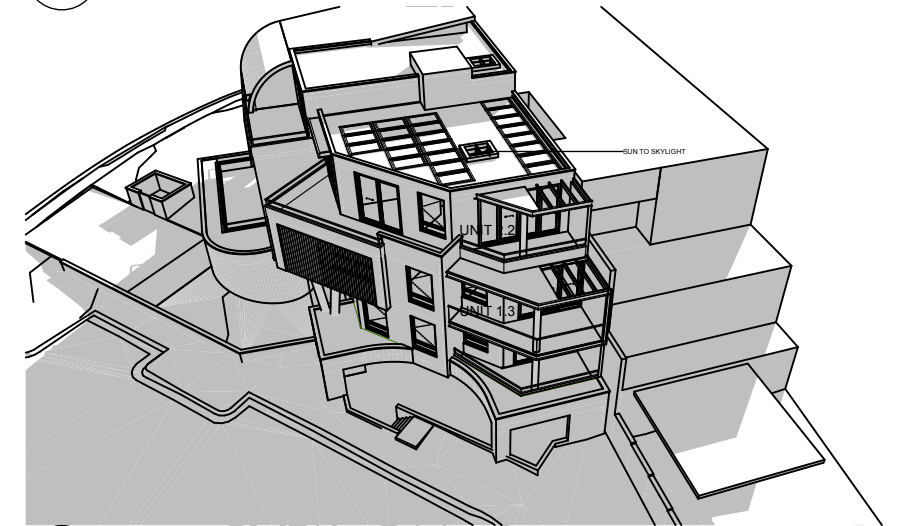
**04 EAST VIEW JUNE 21ST 12NOON**

UNIT 1.3  
BALCONY - 1 HOUR SUN  
LIVING - 1 HOUR SUN

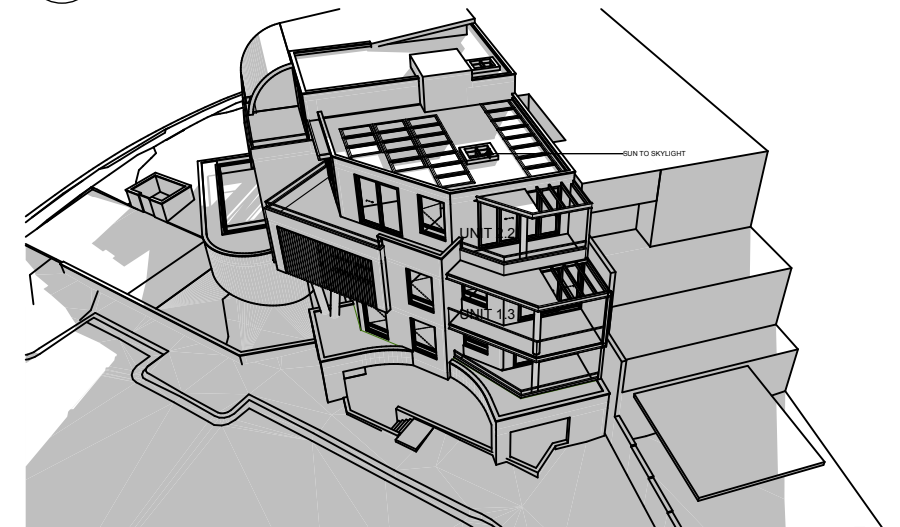
UNIT 2.2  
BALCONY - 3 HOURS SUN  
LIVING - 6 HOURS SUN



**05 EAST VIEW JUNE 21ST 1PM**



**06 EAST VIEW JUNE 21ST 2PM**



**07 EAST VIEW JUNE 21ST 3PM**

**Amendments**

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

**Architect**

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 email: james@fgarch.com.au  
 Nominated Architect James Grant 6540

**Project Details**

**SHOP TOP HOUSING AT**  
**51 KALANG ROAD**  
**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number	2002	
Scale	As shown @ A3	

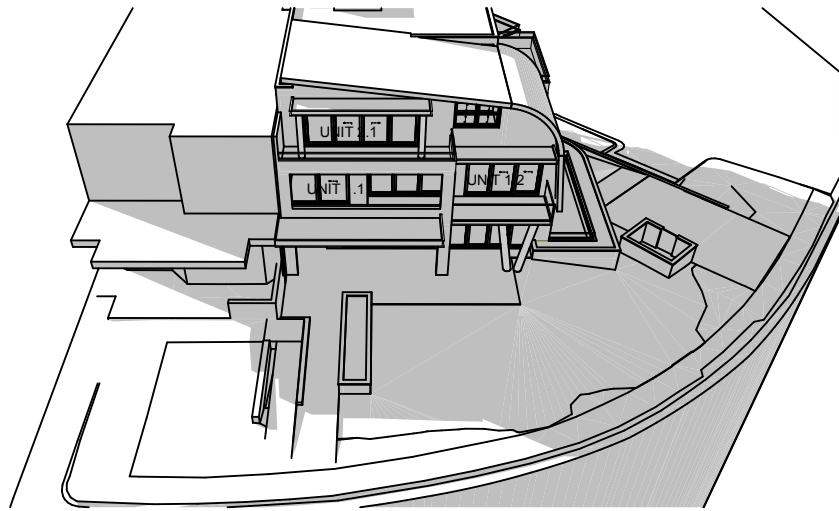
Drawing name

**EAST SHADOW VIEWS**  
**21ST JUNE**

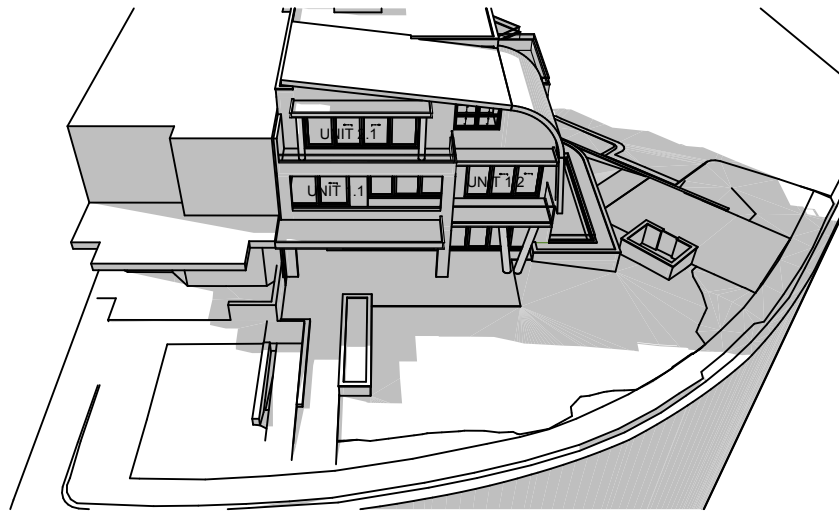
Drawing Number

**DA-20**

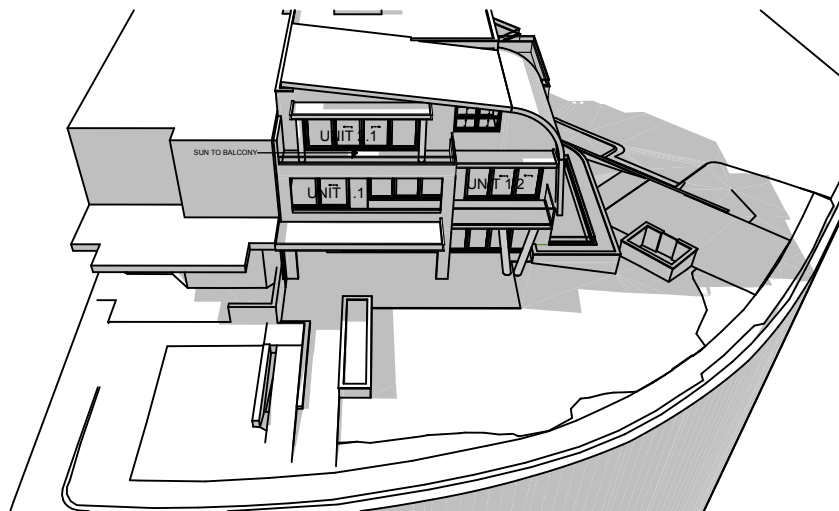
Amendment  
**B**



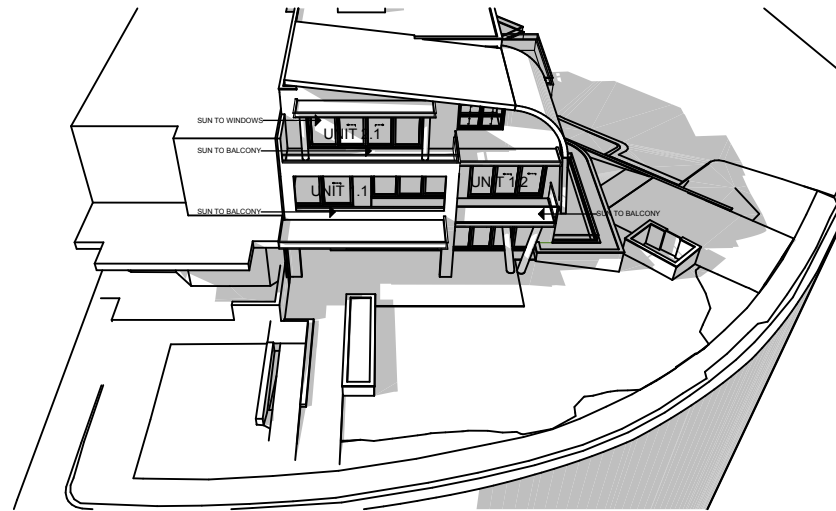
**01 WEST VIEW JUNE 21ST 9AM**



**02 WEST VIEW JUNE 21ST 10AM**



**03 WEST VIEW JUNE 21ST 11AM**

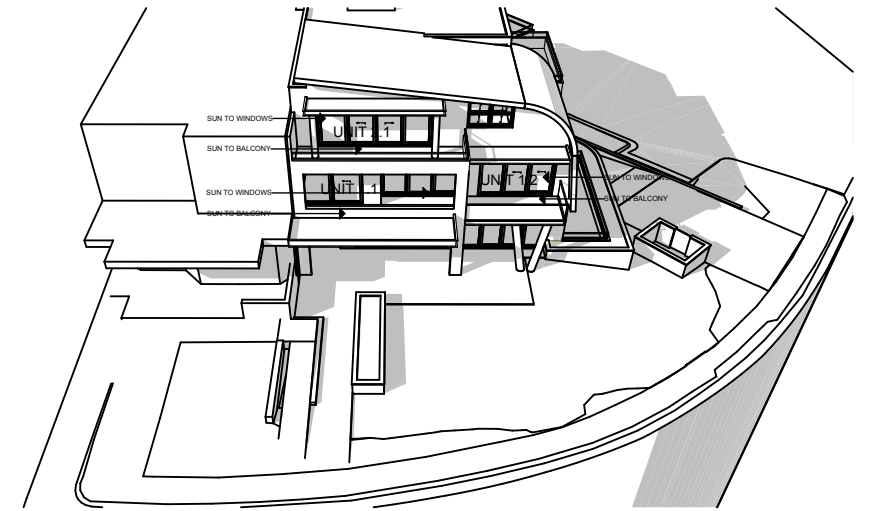


**04 WEST VIEW JUNE 21ST 12NOON**

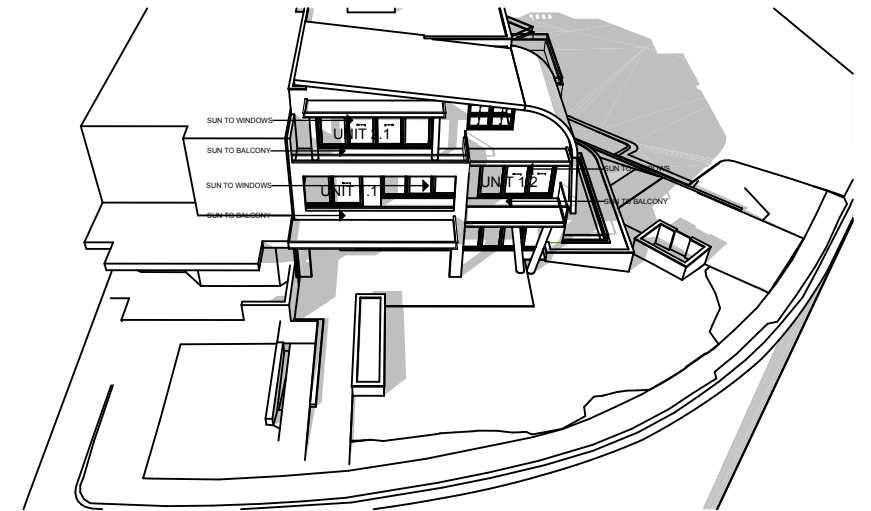
UNIT 1.1  
BALCONY - 3 HOURS SUN  
LIVING - 2 HOURS SUN

UNIT 1.2  
BALCONY - 3 HOURS SUN  
LIVING - 2 HOURS SUN

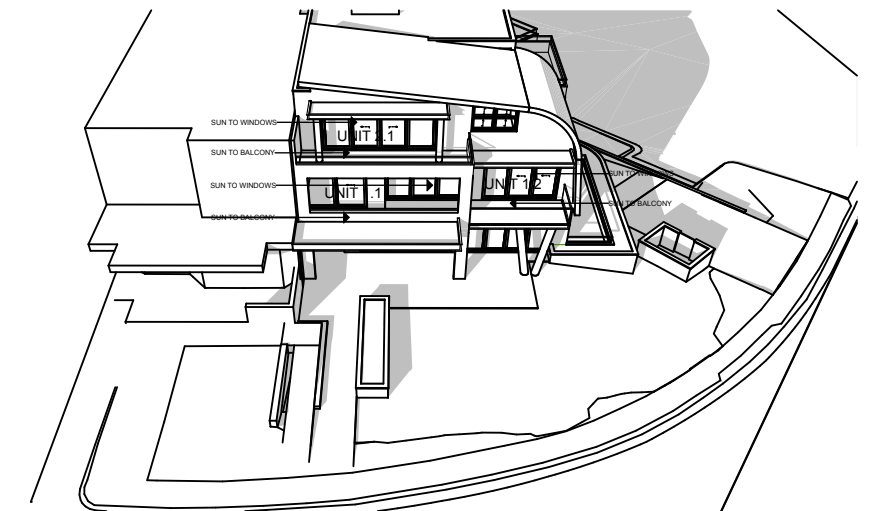
UNIT 2.1  
BALCONY - 4 HOURS SUN  
LIVING - 3 HOURS SUN



**05 WEST VIEW JUNE 21ST 1PM**



**06 WEST VIEW JUNE 21ST 2PM**



**07 WEST VIEW JUNE 21ST 3PM**

**Amendments**

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

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 email: james@fgarch.com.au  
 Nominated Architect James Grant 6540

**Project Details**

**SHOP TOP HOUSING AT**  
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**ELANORA HEIGHTS**  
**NSW 2101**

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002		
Scale As shown @ A3		

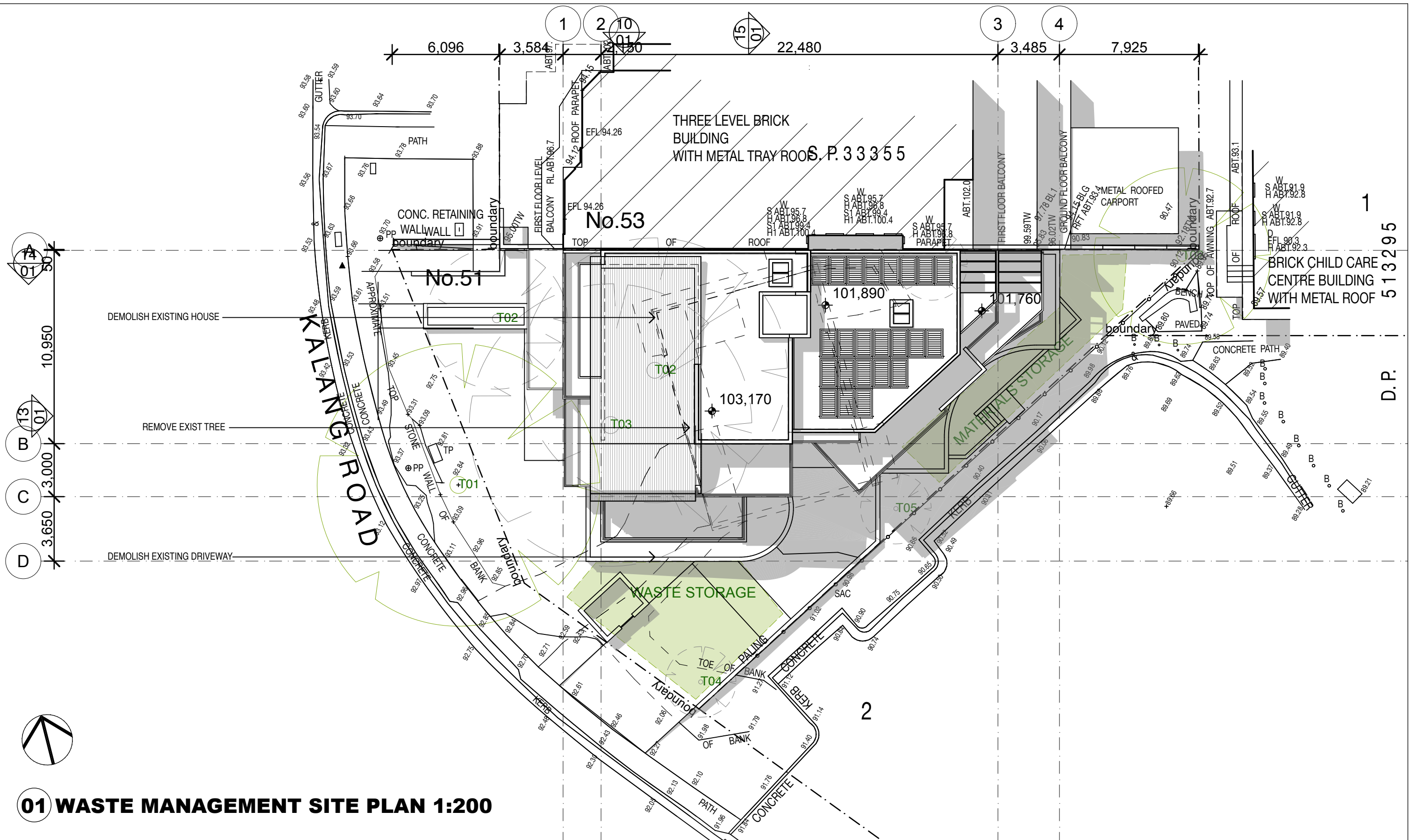
Drawing name

**WEST SHADOW VIEWS**  
**21ST JUNE**

Drawing Number

**DA-21**

Amendment  
**B**



**01 WASTE MANAGEMENT SITE PLAN 1:200**

Amendments	
A	ISSUED FOR DA 23/04/21
B	AMENDED RE COUNCIL'S COMMENT 21/01/22

**Architect**  
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 email: james@fgarch.com.au  
 Nominated Architect James Grant 6540

**Project Details**  
**SHOP TOP HOUSING AT**  
**51 KALANG ROAD**  
**ELANORA HEIGHTS**  
**NSW 2101**

This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.

Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002	Scale As shown @ A3	

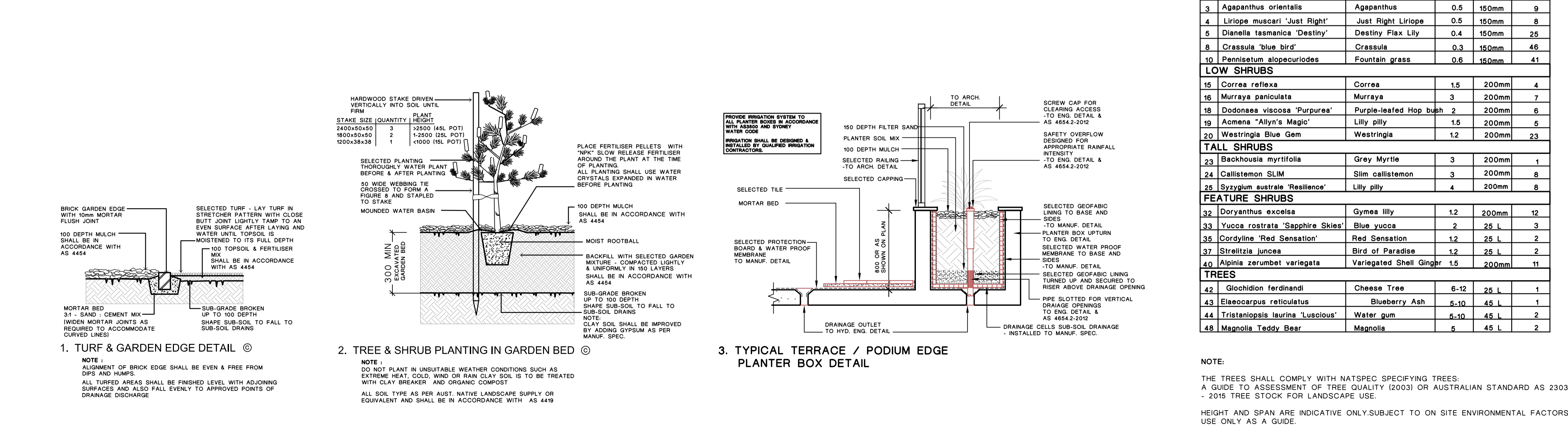
Drawing name  
**WASTE MANAGEMENT SITE PLAN**  
 Drawing Number  
**DA-22**  
 Amendment  
**B**

**LEGEND / FINISHES SCHEDULE**

- EXISTING RL
- EXISTING TREE TO BE REMOVED  
NOTE:  
All noxious weeds on the site shall be removed and destroyed as per their classification under the noxious weeds Act.
- EXISTING TREE TO BE RETAINED AND SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH AS 4970-2009  
TREE PRUNING SHALL BE IN ACCORDANCE WITH AS 4373
- PROPOSED TREES, SHRUBS & GROUND COVER (REFER TO PLANT SCHEDULE)
- BOUNDARY FENCE
- MULCHED GARDEN BED 900 WIDE MIN. OR AS SHOWN ON PLAN REFER TO DETAIL 1 & 2
- SELECTED BRICK GARDEN EDGE OR AS SELECTED REFER TO DETAIL 1
- SELECTED RETAINING WALL JOIST  
ALL RETAINING WALL HEIGHT SHALL BE CONFIRM ON SITE AND TO  
-TO ENGINEER DETAIL & TO BCA REQUIREMENTS
- INSITU PLANTER BOX OVER PODIUM CONC. SLAB  
REFER TO DETAILS 3 & 4 AND TO ENGINEER DETAIL & TO BCA REQUIREMENTS
- LAWN AREA  
S/W WALTER BUFFALO REFER TO DETAIL 1
- PERMEABLE PEBBLE AREA  
SELECTED 100 DEPTH RIVER PEBBLES WITH WEED MAT UNDER
- DRIVEWAY / PATH  
SELECTED STENCILED OR COLOURED CONCRETE
- PATIO / TERRACE / PATH  
SELECTED TILES
- SELECTED LETTER BOX  
-TO AUST POST REQUIREMENTS AND TO AS/NZS 4253-1994
- SELECTED ILLUMINATION  
ILLUMINATION SHALL BE DESIGNED BY A QUALIFIED LIGHTING CONSULTANT AND WITH AS 4282, AS 1680 & AS 1168 IN ACCORDANCE
- DRAINAGE  
REFER TO ENGINEER PLANS FOR DETAILS
- DRAINAGE PIT

ITEM	MATERIAL
SOIL DETAIL 1 & 2	NOTE: ALL SOIL TYPE AS PER AUST. NATIVE LANDSCAPE SUPPLY OR EQUIVALENT AND SHALL BE IN ACCORDANCE WITH AS 4419 AND AS 4454 FOR SOIL CONDITIONERS AND COMPOSTS
LAWN AREA	1st QUALITY TOP SOIL
NATIVE GARDEN BED	NATIVE GARDEN MIX
EXOTIC GARDEN BED	ORGANIC GARDEN MIX
PLANTER BOX	IN PLANTER BOX MIX ACCORDANCE WITH AS4419-1998 & AS3743
MULCH	SELECTED HARD WOOD CHIP SHALL BE IN ACCORDANCE WITH AS 4454
PLANT MATERIAL	AS PER PLANT SCHEDULE REFER TO DETAIL 2
GARDEN EDGE	SELECTED PRESSED BRICK OR AS SELECTED REFER TO DETAIL 1
FENCE	1800 HIGH LAPPED & CAPPED TIMBER FENCE OR 1800 HIGH COLOURBOND
SIDES & REAR BOUNDARY	1800 HIGH COLOURBOND

NOTE: SIDE FENCES ARE TO BE TAPER FROM THE FRONT BUILDING LINE TO BE NOT MORE THAN 900mm HIGH AT THE FRONT BOUNDARY



**PROPOSED PLANT SCHEDULE**

IN ACCORDANCE WITH AS 2303: 2015

CODE	BOTANICAL NAME	COMMON NAME	APPROX. MATURED HEIGHT	POT SIZE	QUANTITY
<b>GROUND COVER / BOARDER</b>					
2	Lomandra 'TANKA'	Dwarf Lomandra	0.75	150mm	45
3	Agapanthus orientalis	Agapanthus	0.5	150mm	9
4	Liriope muscari 'Just Right'	Just Right Liriope	0.5	150mm	8
5	Dianella tasmanica 'Destiny'	Destiny Flax Lily	0.4	150mm	25
8	Crassula 'blue bird'	Crassula	0.3	150mm	46
10	Pennisetum alopecuroides	Fountain grass	0.6	150mm	41
<b>LOW SHRUBS</b>					
15	Correa reflexa	Correa	1.5	200mm	4
16	Murraya paniculata	Murraya	3	200mm	7
18	Dodonaea viscosa 'Purpurea'	Purple-leaved Hop bush	2	200mm	6
19	Acmena 'Allyn's Maglo'	Lilly pilly	1.5	200mm	5
20	Weastriple Blue Gem	Weastriple	1.2	200mm	23
<b>TALL SHRUBS</b>					
23	Backhousia myrtifolia	Grey Myrtle	3	200mm	1
24	Callistemon SLIM	Slim callistemon	3	200mm	8
25	Syzygium australe 'Resilience'	Lilly pilly	4	200mm	8
<b>FEATURE SHRUBS</b>					
32	Dorayanthus excelsa	Gymea lilly	1.2	200mm	12
33	Yucca rostrata 'Sapphire Skies'	Blue yucca	2	25 L	3
35	Cordylone 'Red Sensation'	Red Sensation	1.2	25 L	2
37	Streitzia juncea	Bird of Paradise	1.2	25 L	2
40	Alpinia zerumbet variegata	Variegated Shell Ginger	1.5	200mm	11
<b>TREES</b>					
42	Glochidion ferdinandi	Cheese Tree	6-12	25 L	1
43	Elaeocarpus reticulatus	Blueberry Ash	5-10	45 L	1
44	Tristanopsis laurina 'Luscious'	Water gum	5-10	45 L	2
48	Magnolia Teddy Bear	Magnolia	5	45 L	2

NOTE:  
THE TREES SHALL COMPLY WITH NATSPEC SPECIFYING TREES: A GUIDE TO ASSESSMENT OF TREE QUALITY (2003) OR AUSTRALIAN STANDARD AS 2303 - 2015 TREE STOCK FOR LANDSCAPE USE.  
HEIGHT AND SPAN ARE INDICATIVE ONLY. SUBJECT TO ON SITE ENVIRONMENTAL FACTORS. USE ONLY AS A GUIDE.

REV	DESCRIPTION	REVISION DATE
A	DA ISSUE	5.3.21

- NOTE:**
- In the event of any inconsistency between the architectural plans and stormwater plans, the architectural plan shall prevail to the extent of the inconsistency
  - All landscape works shall be carried out by members of the LANDSCAPE CONTRACTORS ASSOCIATION OF AUSTRALIA.
  - Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
  - Do not scale drawing, if in doubt - ASK
  - This drawing is to be read in conjunction with Architectural, Hydraulic and survey plans
  - All existing trees to remain shall be protected as per arborist report & council requirements
  - All pruning shall be in accordance with the AS 4373
  - Thoroughly eradicate weeds from all garden areas.
  - No variation to the works to be carried out without prior approval from owner.
  - All materials to be the best of their respective kinds and shall comply with approved sample type submitted or specified.
  - Substitution of plant species or varieties will not be permitted.
  - Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer.
  - All storm water outlets & surface run off shall be to Hydraulic Engineers detail.
  - Provide sub-soil drainage to garden beds & lawn areas where required - To be confirmed on site.
  - Refer to survey plan for position of all existing services.
  - Refer to Architectural elevations & Sections for existing and proposed ground lines.
  - All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
  - Irrigation system - If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

**MAINTENANCE**  
- All landscape works are to be maintained for a period of 12 months (or as required by council DA Consent) by landscape contractor after final completion AND shall be maintained at all times in a suitable manner. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

**PROPOSED MIXED DEVELOPMENT**

51 Kalang Road  
Elanora Heights

ARCHITECT: **Forley + Grant Architecture**  
Suite 3/Level 1, 1141 Botany Lane  
Mosconi NSW 2020  
mob: 0401 822 223  
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**vision dynamics** landscape design  
8 Blaxland Road  
Killara NSW 2071  
m:0412 282 888  
Ph:021 9499 8888 Fax:021 9499 8899  
em - visiondynamics@westnet.com.au

DRAWING TITLE  
**LANDSCAPE CONCEPT PLAN**

DRAWN FF SCALE 1:100@A1 OR 1:200@A3 REV. A

DRAWING NUMBER  
**20155 DA 1**

MEMBER Foray Fong Associate Member  
Australian Institute Landscape Designers & Managers Ltd of Membership No. 193