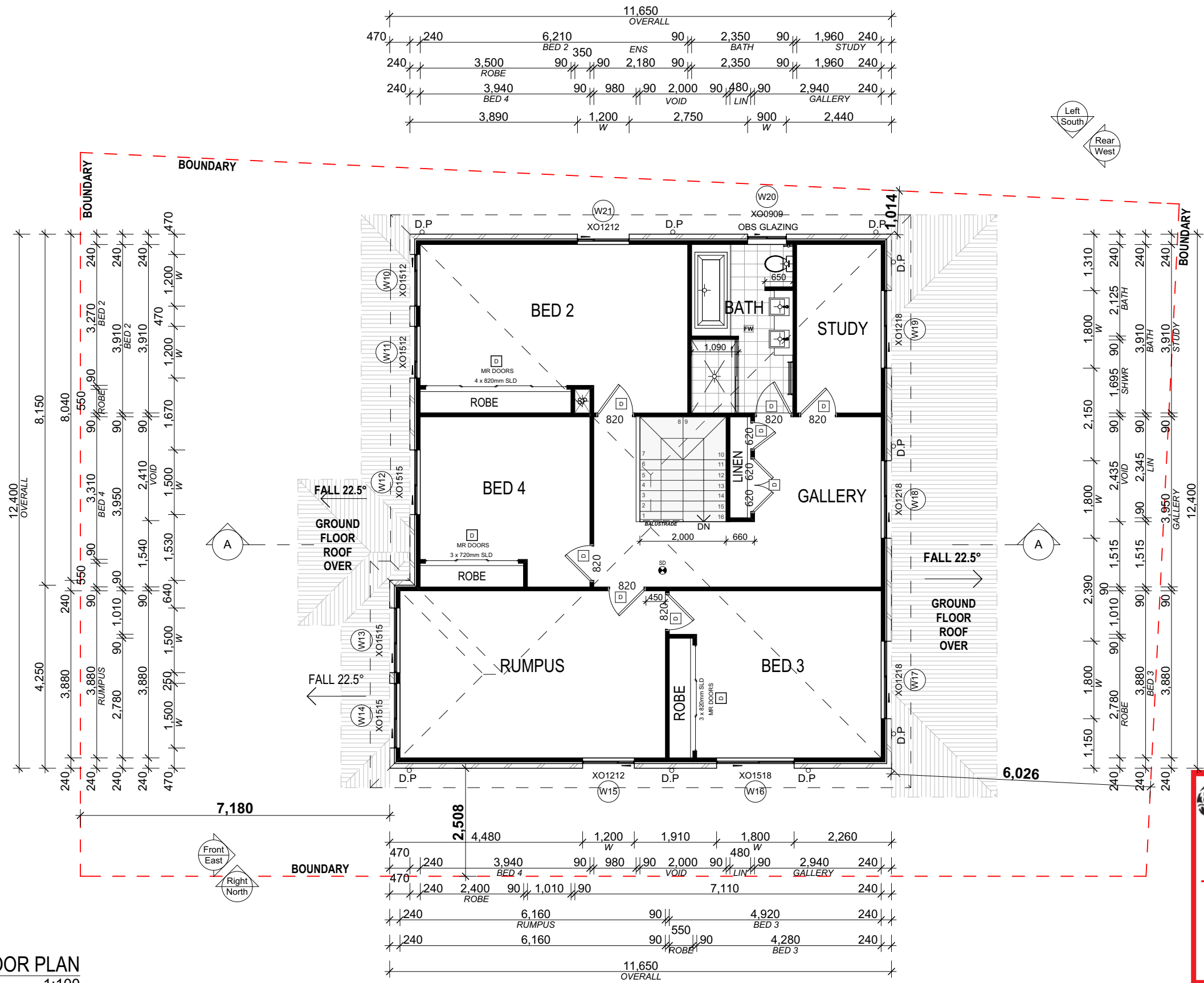


GROUND FLOOR PLAN  
1:100

CLIENT:  MR MARIN & MRS SANDRA JURLINA	LODGE MENT:  DA/CC	DP No:  1206507	REVISION SCHEDULE				DRAWN:  Mark Zeina	DATE:  15.03.17
			ISSUE	DESCRIPTION	DRAWN	DATE	COUNCIL:  PITTWATER	FACADE:  CLASSIC
ADDRESS:  Lot 10 #39 WARRIEWOOD RD  WARRIEWOOD 2102	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA		A	PRELIMINARY DRAWINGS	MZ	15.03.17	DWELLING NAME:  DOUBLE STOREY	PAGE NO:  3
			B	CLIENT REQUESTED CHANGES	MZ	10.09.18	JOB NUMBER:  MRZ -17 - 161	
			C	CLIENT REQUESTED CHANGES	MZ	26.11.18		
			D	SETBACK / CLIENT CHANGES	MZ	15.03.19		
			E	COUNCIL REQUIRED CHANGES	MZ	20.06.19		
			-	-	-	-		

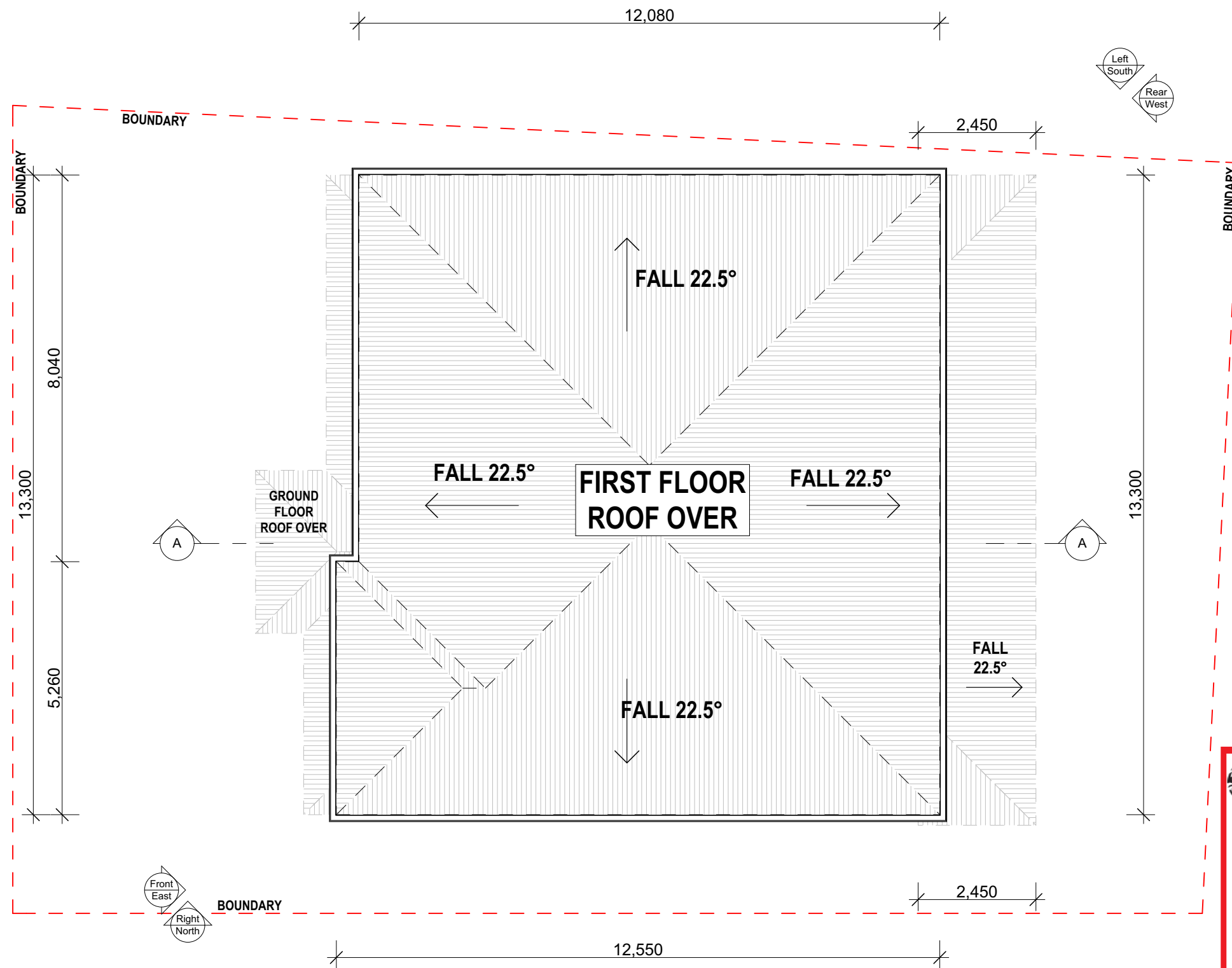


 **northern  
beaches  
council**

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2019/0418**

CLIENT: <b>MR MARIN &amp; MRS SANDRA JURLINA</b>	LODGE MENT: <b>DA/CC</b>	DP No: <b>1206507</b>	REVISION SCHEDULE				DRAWN: <b>Mark Zeina</b>	DATE: <b>15.03.17</b>
			ISSUE	DESCRIPTION	DRAWN	DATE	COUNCIL: <b>PITTWATER</b>	FACADE: <b>CLASSIC</b>
ADDRESS: <b>Lot 10 #39 WARRIEWOOD RD WARRIEWOOD 2102</b>	<b>*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA</b>		A	PRELIMINARY DRAWINGS	MZ	15.03.17	DWELLING NAME: <b>DOUBLE STOREY</b>	PAGE NO: <b>4</b>
			B	CLIENT REQUESTED CHANGES	MZ	10.09.18	JOB NUMBER: <b>MRZ -17 - 161</b>	
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			E	COUNCIL REQUIRED CHANGES	MZ	20.06.19		
			-	-	-	-		



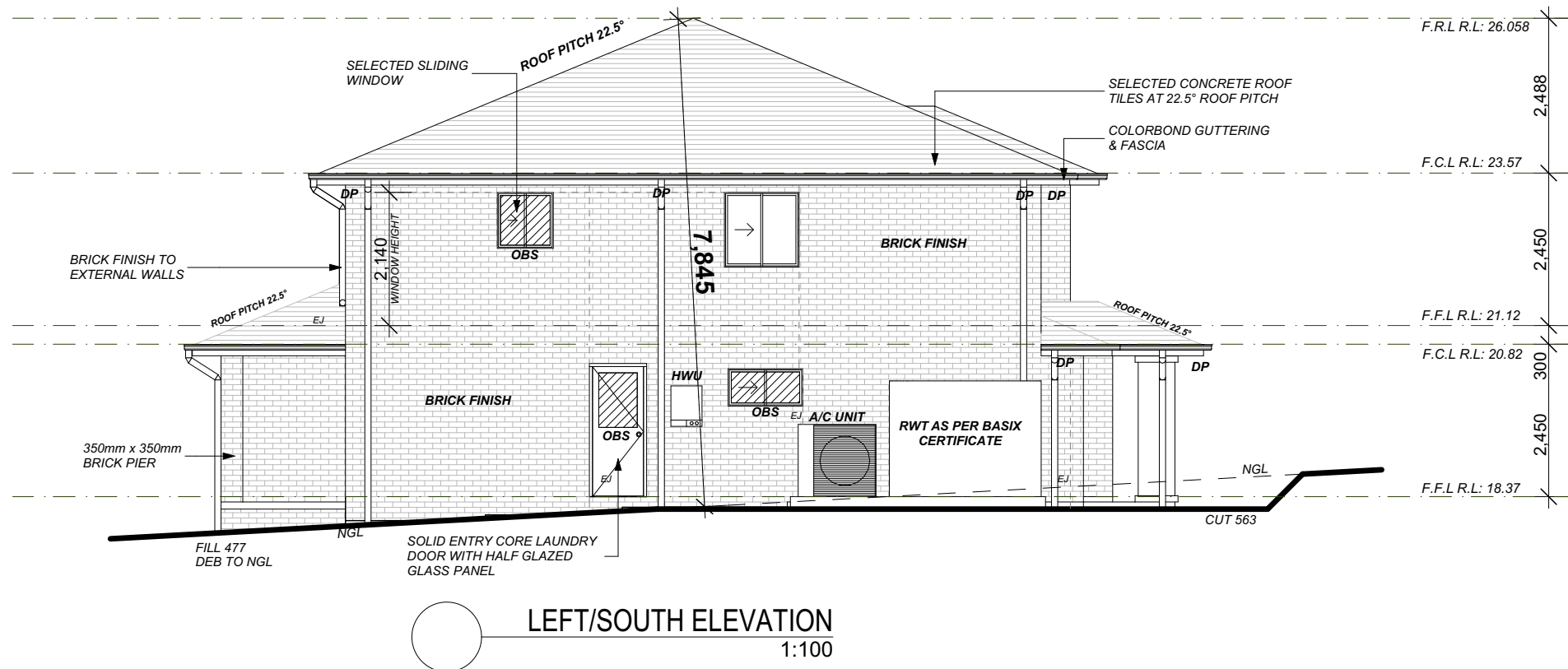
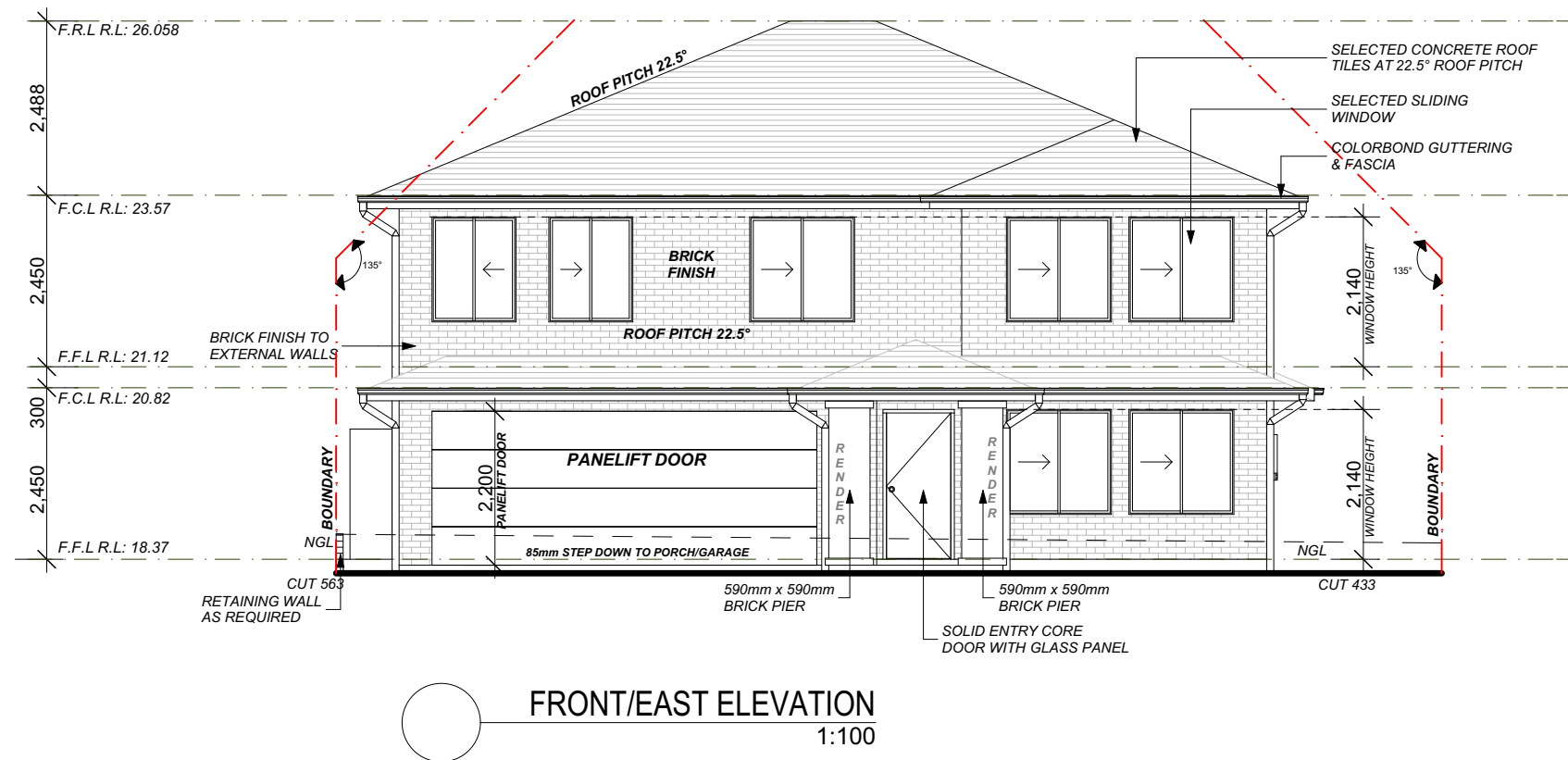
 northern  
beaches  
council

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CONSENT**

**DA2019/0418**

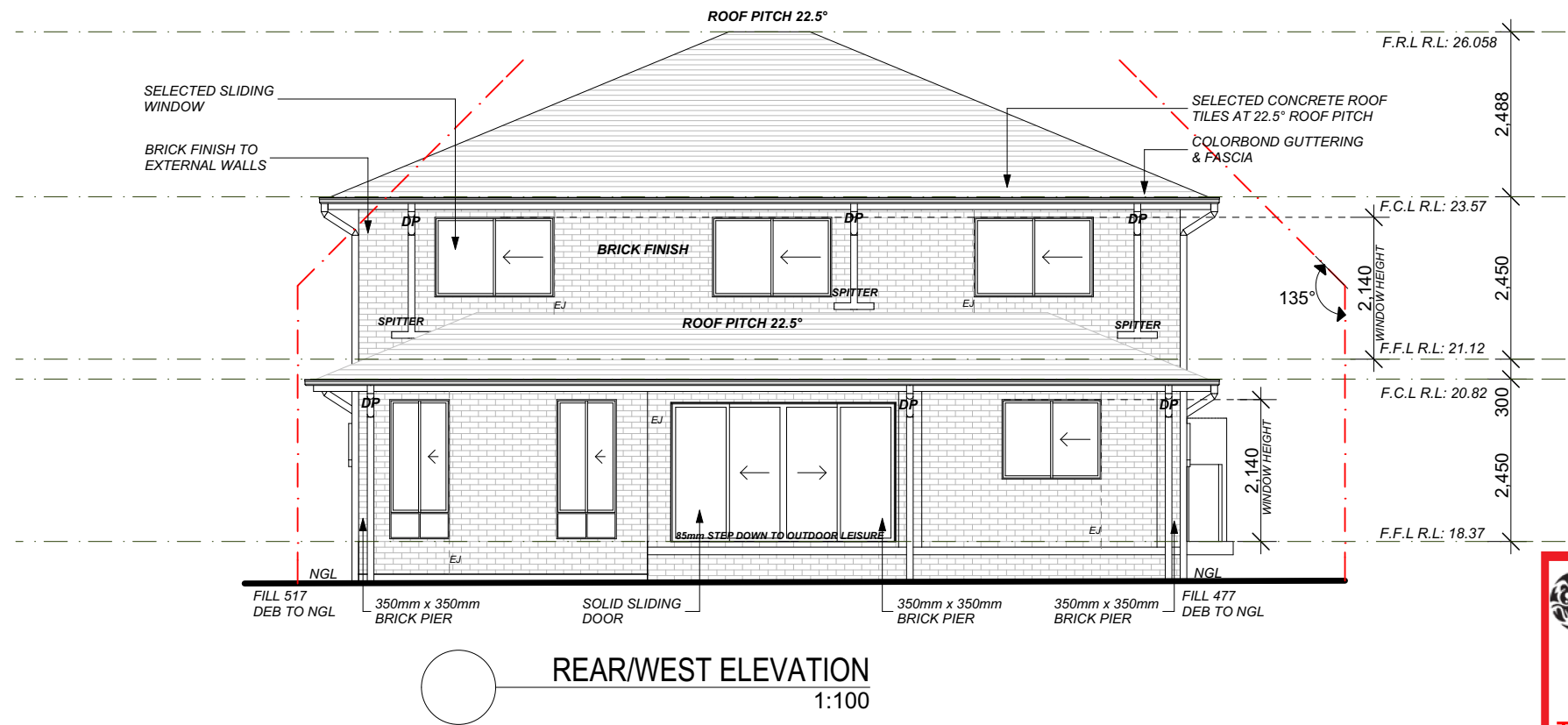
3D VIEW  
1:100

	CLIENT:	MR MARIN & MRS SANDRA JURLINA	LODGEMENT:	DP No:	REVISION SCHEDULE				DRAWN:	DATE:
			DA/CC	1206507	ISSUE	DESCRIPTION	DRAWN	DATE	Mark Zeina	15.03.17
	ADDRESS:	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA	A	PRELIMINARY DRAWINGS	MZ	15.03.17	COUNCIL:	FACADE:		
			B	CLIENT REQUESTED CHANGES	MZ	10.09.18	PITTWATER			
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			D	SETBACK / CLIENT CHANGES	MZ	15.03.19	DOUBLE STOREY			
			E	COUNICL REQUIRED CHANGES	MZ	20.06.19	JOB NUMBER:			
-	-	-	-	MRZ -17 - 161	5					



	CLIENT:	LODGEMENT:	DP No:	REVISION SCHEDULE				DRAWN:	DATE:
	MR MARIN & MRS SANDRA JURLINA	DA/CC	1206507	ISSUE	DESCRIPTION	DRAWN	DATE	Mark Zeina	15.03.17
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				C	CLIENT REQUESTED CHANGES	MZ	26.11.18	PITTWATER	
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	E	COUNICL REQUIRED CHANGES	MZ	20.06.19	DOUBLE STOREY	6			
	-	-	-	-	JOB NUMBER:				
ADDRESS:		*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA		MRZ -17 - 161					
Lot 10 #39 WARRIEWOOD RD WARRIEWOOD 2102									

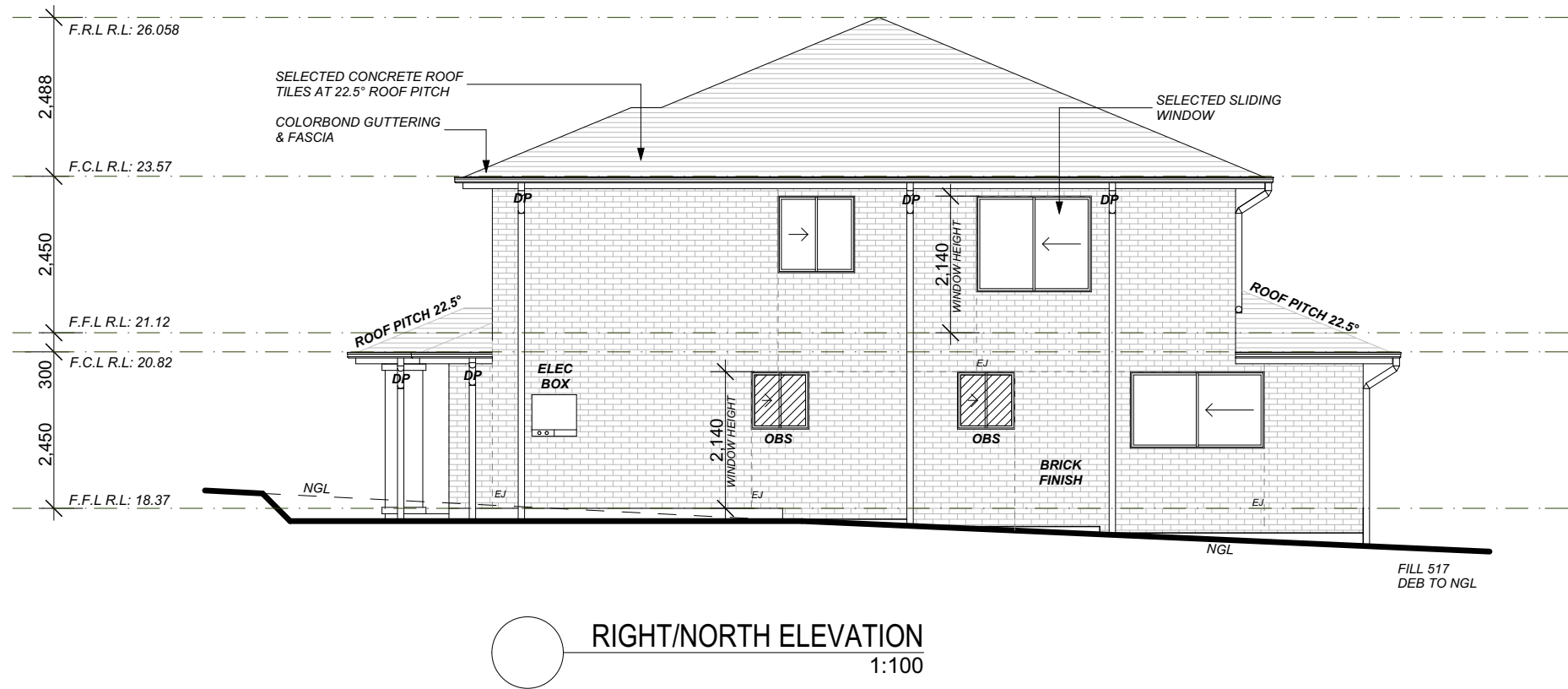





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				A	PRELIMINARY DRAWINGS		MZ	15.03.17	PITTWATER					
				B	CLIENT REQUESTED CHANGES		MZ	10.09.18	DWELLING NAME:	PAGE NO:				
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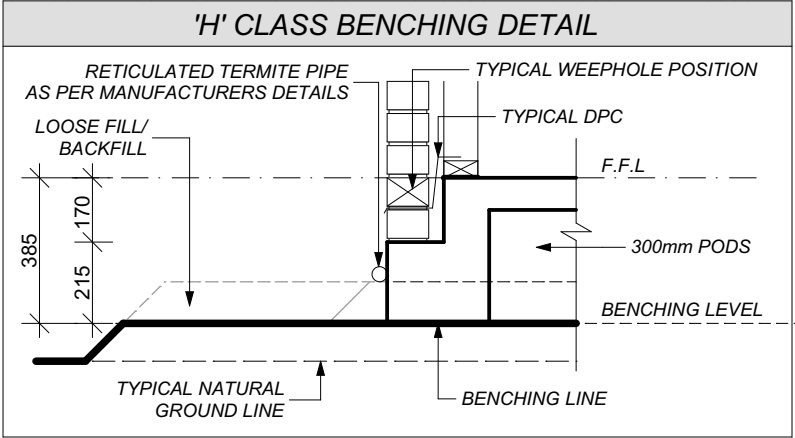
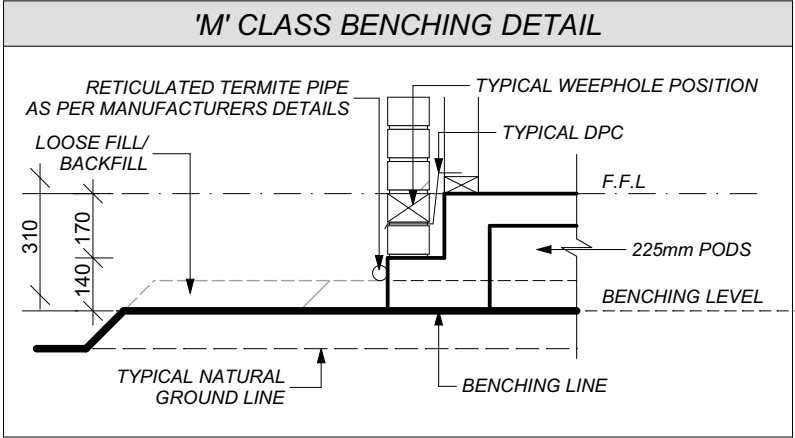
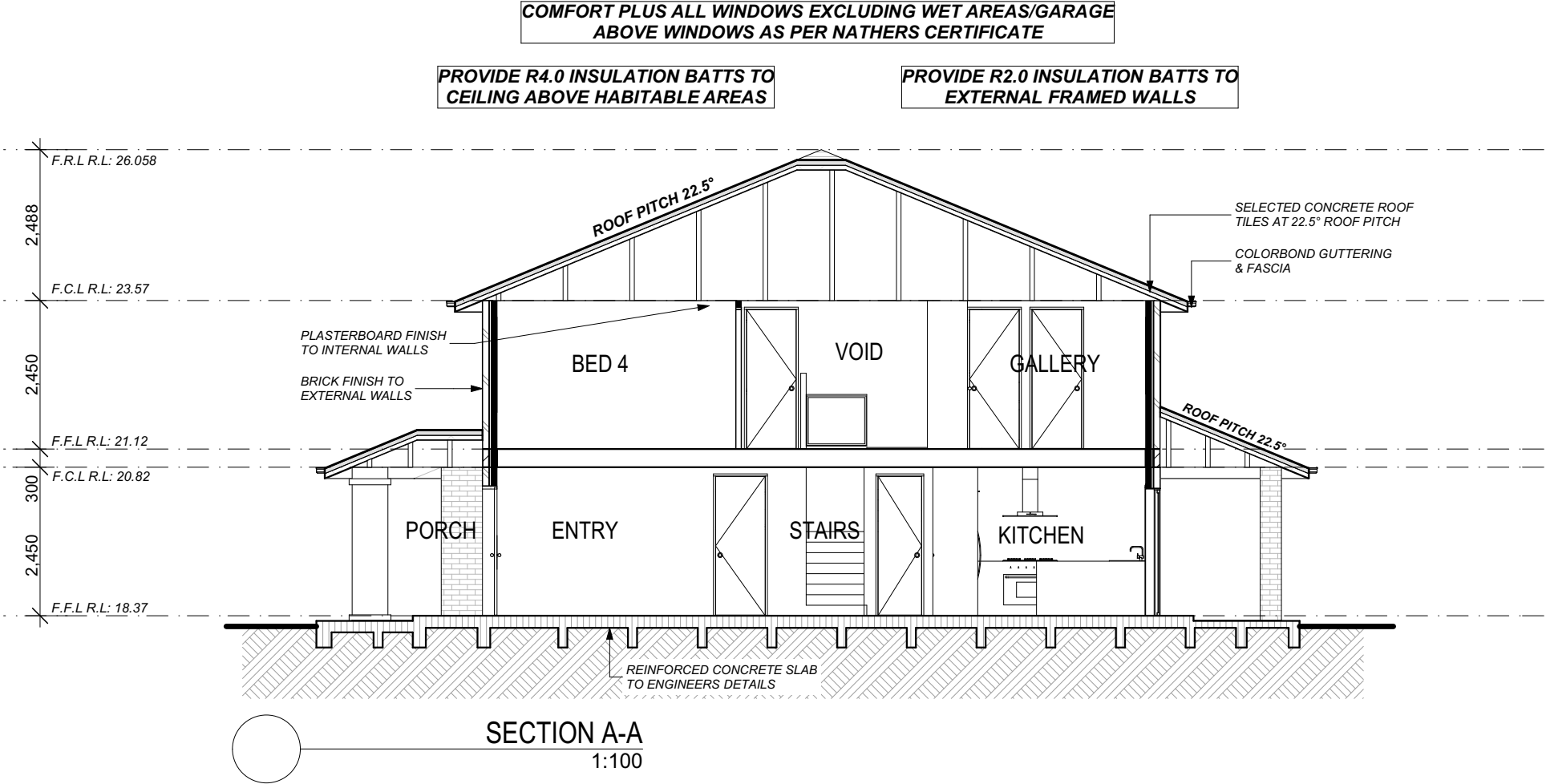
7

Window Schedule						
Window No.	Type	Window Size		Plan View	Elev. View	Glazing
		Height	Width			
W1	XO1515	1,500	1,500			
W2	XO1515	1,500	1,500			
W3	XO0909	900	900			YES
W4	XO0909	900	900			YES
W5	XO1221	1,200	2,100			
W6	XO2109	2,100	900			
W7	XO2109	2,100	900			
W8	XO1215	1,200	1,500			
W9	XO0612	600	1,200			
W10	XO1512	1,500	1,200			
W11	XO1512	1,500	1,200			
W12	XO1515	1,500	1,500			
W13	XO1515	1,500	1,500			
W14	XO1515	1,500	1,500			
W15	XO1212	1,200	1,200			
W16	XO1518	1,500	1,800			
W17	XO1218	1,200	1,800			
W18	XO1218	1,200	1,800			
W19	XO1218	1,200	1,800			
W20	XO0909	900	900			YES
W21	XO1212	1,200	1,200			

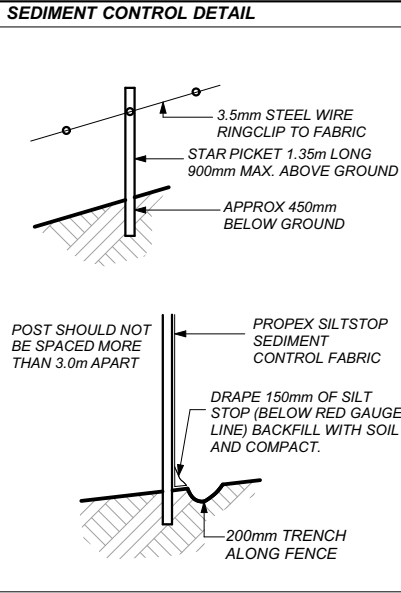


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DA2019/0418



CLIENT: <b>MR MARIN &amp; MRS SANDRA JURLINA</b>	LODGE MENT: <b>DA/CC</b>	DP No: <b>1206507</b>	REVISION SCHEDULE				DRAWN: <b>Mark Zeina</b>	DATE: <b>15.03.17</b>
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ADDRESS: <b>Lot 10 #39 WARRIEWOOD RD WARRIEWOOD 2102</b>	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA		A	PRELIMINARY DRAWINGS	MZ	15.03.17	DWELLING NAME: <b>DOUBLE STOREY</b>	PAGE NO: <b>8</b>
			B	CLIENT REQUESTED CHANGES	MZ	10.09.18	JOB NUMBER: <b>MRZ -17 - 161</b>	
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			E	COUNCIL REQUIRED CHANGES	MZ	20.06.19		
			-	-	-	-		



**'H' CLASS SLAB**  
SUBJECT TO BOREHOLE REPORT

STORMWATER DRAINAGE TO EASEMENT  
ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.

EXCAVATE SITE APPROX. 563mm TO FORM JOB DATUM R.L 14.452 (ASSUMED) DATUM POINT 385mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

 PROPOSED EXCAVATION



**SITE SEDIMENT CONTROL PLAN**  
1:200

THE SUBJECT ALLOTMENT IS NOT REGISTERED WITH NSW LAND REGISTRY SERVICES.  
THE SUBJECT TITLE HAS NOT BEEN CREATED FOR THE SUBJECT ALLOTMENT.  
IT IS UNKNOWN OF ANY RESTRICTIONS, COVENANTS, EASEMENTS OR OTHER ENCUMBERANCES WHICH MAY AFFECT THE SUBJECT PROPERTY UPON REGISTRATION OF THE ALLOTMENT.

**(A) EASEMENT TO DRAIN WATER 1.5 WIDE. (DP**

**SUBJECT LOT IS NOT REGISTERED WITH NSW LAND REGISTRY SERVICES**



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2019/0418**



**DIAL 1100  
BEFORE YOU DIG**

**LEGEND**

LP - LIGHT POLE

OP - OPTUS PIT

NBN - COMMS PIT

EP - ELECTRICAL PILLAR

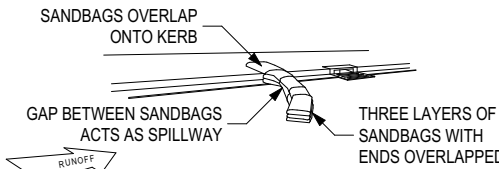
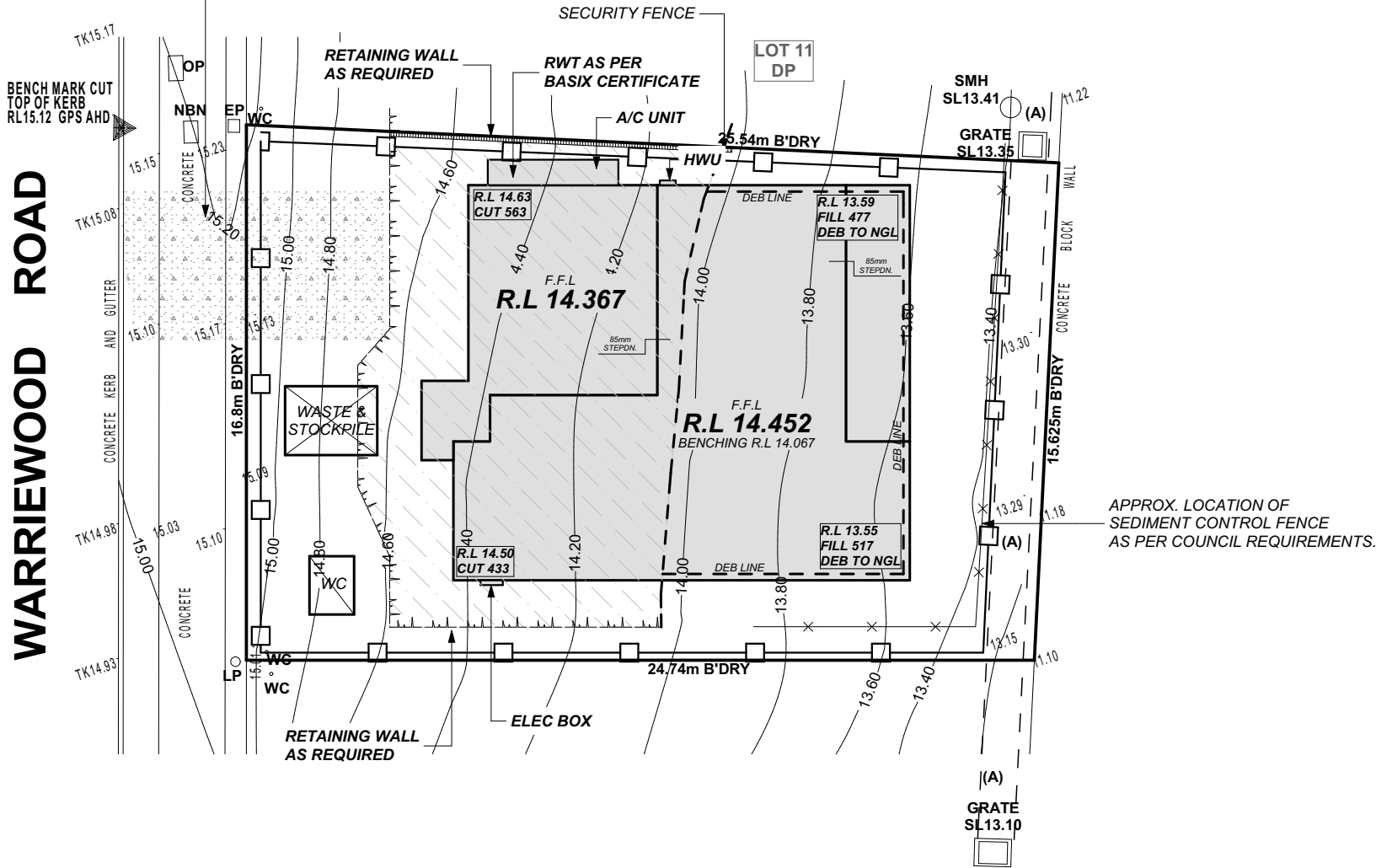
WC - WATER CONNECTION

SMH - SEWER MANHOLE

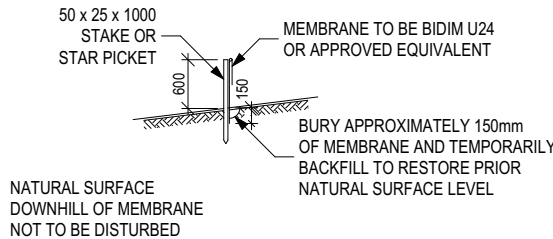
SL - SURFACE LEVEL

TK - TOP OF KERB

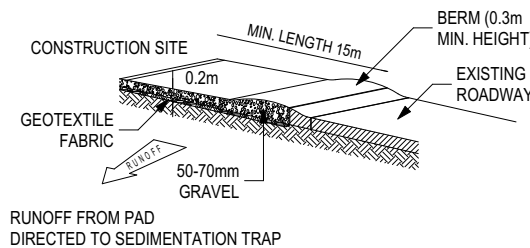
TEMPORARILY STABILISE VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)



**SANDBAG KERB INLET  
SEDIMENTATION TRAP**



**SILT FENCING DETAIL**



**TEMPORARY CONSTRUCTION EXIT**

CLIENT:	MR MARIN & MRS SANDRA JURLINA	LODGE MENT:	DP No:	REVISION SCHEDULE				DRAWN:	DATE:
				ISSUE	DESCRIPTION	DRAWN	DATE	Mark Zeina	15.03.17
ADDRESS:	Lot 10 #39 WARRIEWOOD RD WARRIEWOOD 2102	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA	1206507	A	PRELIMINARY DRAWINGS	MZ	15.03.17	COUNCIL:	FACADE:
				B	CLIENT REQUESTED CHANGES	MZ	10.09.18	PITTWATER	
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				D	SETBACK / CLIENT CHANGES	MZ	15.03.19	DOUBLE STOREY	
				E	COUNICL REQUIRED CHANGES	MZ	20.06.19	JOB NUMBER:	
				-	-	-	-	MRZ -17 - 161	
								9	



PLANT SCHEDULE							
Botanical Name	Common Name	Pot Size	Plant Qty		Height	Spread	Native/ Exotic
<b>Trees</b>							
Elaeocarpus reticulatus	Blueberry Ash	45ltr	2	10m	6m	Native *	
<b>Shrubs</b>							
Acmena smithii 'Minor'	Lilly Pilly	200mm	11	2m	1.5m	Native *	
Phormium tenax	NZ Flax	200mm	4	1m	1m	Exotic	
Westringia fruitcosa	Coastal Rosemary	200mm	9	1m	1m	Native *	

DRIVEWAYS ARE TO BE CONSTRUCTED TO THEIR FULL WIDTH FROM THE GARAGE TO THE ROAD PRIOR TO OCCUPATION OF THE HOME.

DRIVEWAYS MUST ACCOMMODATE TWO CAR PARKING SPACES WITHIN THE PROPERTY. THE MATERIAL AND COLOURS OF THE DRIVEWAY MUST BE CONSISTENT FOR THE FULL LENGTH OF THE DRIVEWAY AND CROSSOVER (I.E. FROM GARAGE TO KERB).

DRIVEWAYS MUST BE CONSTRUCTED OF EITHER: ROOM FINISHED CONCRETE (COLOURED OR PAINTED) STENCILED OR STAMPED CONCRETE LAYING INTERLOCKING CONCRETE PAVING PLAN UNCOLOURED CONCRETE IS NOT PERMITTED.

LIGHT GREY OR COLOURED CONCRETE IS NOT PERMITTED. THE COLOUR OF THE DRIVEWAY IS TO COMPLEMENT THE COLOUR OF THE HOUSE AND IS TO BE NOMINATED ON THE LANDSCAPE PLAN.

DRIVEWAYS ARE TO BE SUFFICIENTLY SET BACK FROM SIDE BOUNDARIES TO ALLOW EFFECTIVE PLANTING ALONG THE BOUNDARY.

DRIVEWAYS ARE NOT PERMITTED IN SOME LOCATIONS. THESE LOCATIONS ARE SHOWN ON THE RESPECTIVE LOT DIAGRAMS.

FENCING

THE COLOUR OF ALL FENCING IS TO COMPLEMENT THE PALETTE USED IN THE HOUSE FACADE. ALL FENCING MUST BE APPROVED AS PART OF THE BUILDING APPROVAL PROCESS.

FRONT FENCING

FENCING ALONG THE FRONT BOUNDARY IS PERMITTED, PROVIDING THAT IT COMPLIES WITH THE FOLLOWING PROVISIONS:

1. FENCING IS TO INCLUDE FACE BRICK OR RENDERED MASONRY PIERS AT A SPACING OF NO MORE THAN 3M BETWEEN PIERS. THE PIERS ARE TO BE AT LEAST 300MM BY 300MM IN SIZE.

2. THE INFILL PANELS BETWEEN PIERS ARE TO BE VISUALLY PERMEABLE AND CONSIST OF LANDSCAPING, DECORATIVE STEEL, WROUGHT IRON, TIMBER PICKETS OR MOD WOOD PICKETS.

3. THE PIERS ARE TO BE NO HIGHER THAN 1000MM AND THE FENCING BETWEEN THE PIERS IS TO BE NO HIGHER THAN 900MM.

4. THE FENCE STYLE AND MATERIALS ARE TO BE CONSISTENT FOR THE FULL WIDTH OF THE HOMESITE.

5. IF THE FRONT FENCE IS LOCATED ON A RETAINING WALL, THE FENCE IS TO BE NO HIGHER THAN 1400MM FROM THE BASE OF THE WALL, FOR RETAINING WALLS HIGHER THAN 500MM, THE FRONT FENCE IS TO BE SET BACK FROM THE WALL BY AT LEAST 500MM.

6. FRONT FENCES CONSTRUCTED ENTIRELY OF COLORBOND®, BAMBOO, BRUSHWOOD, TIMBER PICKETS, TIMBER PALINGS OR MATERIALS OF SIMILAR APPEARANCE ARE NOT PERMITTED. REFER TO FIGURES 2.19 - 2.17.

SIDE AND REAR FENCING BETWEEN HOMESITES

FENCING ON COMMON BOUNDARIES BETWEEN HOMESITES MUST COMPLY WITH THE FOLLOWING PROVISIONS:

1. FENCING IS TO BE NO HIGHER THAN 0.9M AND IS TO MEET THE REQUIREMENTS FOR FRONT FENCING AS PER SECTION 2.12 (b). IF THIS SIDE FENCING AND FRONT FENCING ARE BOTH USED, THE TWO ARE TO BE MATCHING IN STYLE.

2. THIS FENCING IS TO BE CONSTRUCTED OF EITHER: MASONRY RENDERED PANELS COLORBOND® IN WOODLAND GREY® COLOUR OR AN EQUIVALENT PRODUCT FROM ANOTHER MANUFACTURER.

RETURN FENCING

RETURN FENCING IS THE FENCING THAT CONNECTS THE BOUNDARY FENCE TO YOUR HOME, AND MUST COMPLY WITH THE FOLLOWING PROVISIONS:

1. RETURN FENCING TO THE HOME IS TO BE:

A. THE SAME HEIGHT AS THE ADJOINING SIDE FENCING.

B. SET BACK A MINIMUM OF 1M BEHIND THE BUILDING FACADE FRONTING THE STREET AND CLOSEST TO THE HOMESITE BOUNDARY.

C. CONSTRUCTED FROM THE SAME MATERIALS AS THE FRONT FACADE OF THE HOME.

D. EITHER LOCATED IN THE RETURN FENCING ARE TO BE CONSTRUCTED OF DECORATIVE STEEL, WROUGHT IRON, BRUSHWOOD OR DECORATIVE TIMBER.

GATES ARE TO BE CONSISTENT IN COLOUR WITH THE FRONT FACADE OF THE HOME.

COLORBOND® OR EQUIVALENT RETURN FENCING IS PERMITTED WHERE THE DISTANCE FROM THE HOME TO THE BOUNDARY IS LESS THAN 3M, AND THE FENCE RETURN IS LOCATED AT LEAST 5M BEHIND THE BUILDING LINE. IN THIS CASE, THE COLOUR IS TO BE GREY RIDGE TO MATCH THE SIDE FENCING.

CORNER HOMESITE FENCING & FENCING ADJACENT TO OPEN SPACE

FENCING ON BOUNDARIES OF CORNER HOMESITES IS TO COMPLY WITH THE FOLLOWING PROVISIONS:

1. FRONT BOUNDARY FENCING ON CORNER HOMESITES IS TO BE IN ACCORDANCE WITH SECTION 2.12 (b) ON REAR BOUNDARIES, THE COLORBOND® (OR EQUIVALENT) FENCE IS TO STOP 2.5M BEHIND THE BUILDING SETBACK IN ACCORDANCE WITH FIGURE 2.21. FORWARD OF THIS POINT THE FENCE IS TO BE CONSTRUCTED OF FACE BRICK, RENDERED BRICK OR RENDERED BLOCKWORK WITH OR WITHOUT VISUALLY PERMEABLE PANELS OF LANDSCAPING, DECORATIVE STEEL, WROUGHT IRON, MODULAR WALLS OR DECORATIVE TIMBER.

FENCING THAT IS POSITIONED ALONG THE LOT BOUNDARY THAT ADJOINS A ROAD RESERVE IS PERMITTED UP TO 1.8M IN HEIGHT FOR NO MORE THAN 20% OF THE LENGTH OF THE HOMESITE ALONG THAT ROAD FRONTAGE.

THIS PROVISION IS MEASURED IN ACCORDANCE WITH FIGURE 2.22 AND IS ONLY PERMITTED ON ONE STREET FRONTAGE PER CORNER HOMESITE. FENCING ON CORNER HOMESITES IS NOT TO IMPED THE SIGHT DISTANCE FOR THE TRAFFIC ON ADJACENT ROADS. FENCING ABUTTING A ROAD RESERVE OR PARK IS TO BE CONSTRUCTED OF:

A. FACE BRICK, RENDERED BRICK OR RENDERED BLOCKWORK.

B. FACE BRICK, RENDERED BRICK OR RENDERED BLOCKWORK PIERS WITH INFILL PANELS OF LANDSCAPING, DECORATIVE STEEL, WROUGHT IRON, DECORATIVE TIMBER, RENDERED PANELS OR MODULAR WALLS WHERE FENCING ABUTTING A ROAD RESERVE OR A RETAINING WALL. THE OVERALL HEIGHT OF THE FENCE AND WALL IS NOT TO EXCEED 1.8M. IN THE CASE OF A RETAINING WALL HIGHER THAN 500MM, THE FENCE IS TO BE SET BACK AT LEAST 900MM FROM THE WALL.

WATERTANKS AND OTHER FIXTURES

WATERTANKS AND OTHER FIXTURES ARE TO BE LOCATED TO REDUCE THEIR VISIBILITY FROM THE STREET, AND THE FOLLOWING PROVISIONS APPLY:

1. WATERTANKS ARE TO BE LOCATED BEHIND THE FENCE RETURN.

2. SOLAR PANELS ARE NOT TO BE PLACED ON ANY PART OF THE ROOF THAT IS PROMINENT WHEN VIEWED FROM THE STREET.

3. AIR CONDITIONING CONDENSER UNITS ARE NOT TO BE VISIBLE FROM THE STREET. ROOF MOUNTED AIR CONDITIONERS ARE NOT PERMITTED.

4. SATELLITE DISHES MUST NOT BE LARGER THAN 900MM IN DIAMETER. SATELLITE DISHES MUST BE LOCATED AT THE REAR OF HOMES.

5. EXPOSED SANITARY PIPEWORK IS NOT PERMITTED ON STREET-FRONTING FACADES.

6. GAS METERS SHOULD BE SCREENED TO MINIMISE VISIBILITY FROM THE STREET.

7. WHERE POSSIBLE, DOWNPIPES SHOULD BE AVOIDED ON THE FRONT FACADE.

8. CLOTHESLINES ARE TO BE LOCATED AT THE REAR OF THE HOME OR SCREENED TO ENSURE THEY ARE NOT VISIBLE FROM THE STREET.

LETTERBOXES

THE COLOUR OF THE LETTERBOX IS TO BE CONSISTENT WITH THE FRONT FACADE OF THE HOME. NO PRIMARY/BOLD COLOURS ARE PERMITTED.

THE LETTERBOX IS TO BE CONSTRUCTED OF EITHER: STONE MASONRY GLASS REINFORCED CONCRETE (GRG) THAT HAS THE APPEARANCE OF STONE OR MASONRY.

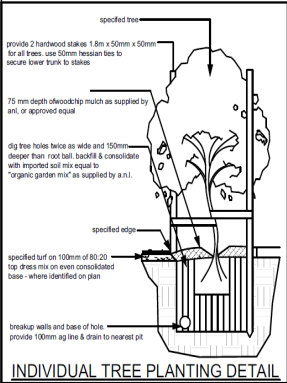
LANDSCAPING

IN ORDER TO CREATE ATTRACTIVE STREETSCAPES, IT IS IMPORTANT THAT GARDENS ARE LANDSCAPED TO A HIGH STANDARD AND THAT THE LANDSCAPING IS COMPLETED PROMPTLY AFTER THE HOME IS BUILT. THE FOLLOWING PROVISIONS RELATING TO LANDSCAPING APPLY:

1. NO MORE THAN 50% OF THE HOMESITE BETWEEN THE HOUSE AND THE STREET IS TO BE PAVED. ALL LANDSCAPING WITHIN THE FRONT AREA OF THE HOMESITE IS TO BE COMPLETED WITHIN 3 MONTHS OF THE HOME BEING OCCUPIED. THE USE OF NATIVE PLANTS THAT REQUIRE LESS WATERING IS ENCOURAGED.

2. BEDS, PAVING, SHRUBS AND TREES.

3. HOMEOWNERS ARE ENCOURAGED TO KEEP THEIR GARDENS WELL MAINTAINED. ADVICE ON THE MAINTENANCE OF GARDENS CAN BE OBTAINED FROM THE USE OF TIMBER RETAINING WALLS IN FRONT OF THE HOME IS NOT PERMITTED. THE USE OF SYNTHETIC TURF IS NOT PERMITTED IN THE FRONT GARDEN, NATURE STRIP, OR ANYWHERE THAT IS VISIBLE FROM THE STREET.



## LANDSCAPE PLAN

1:200

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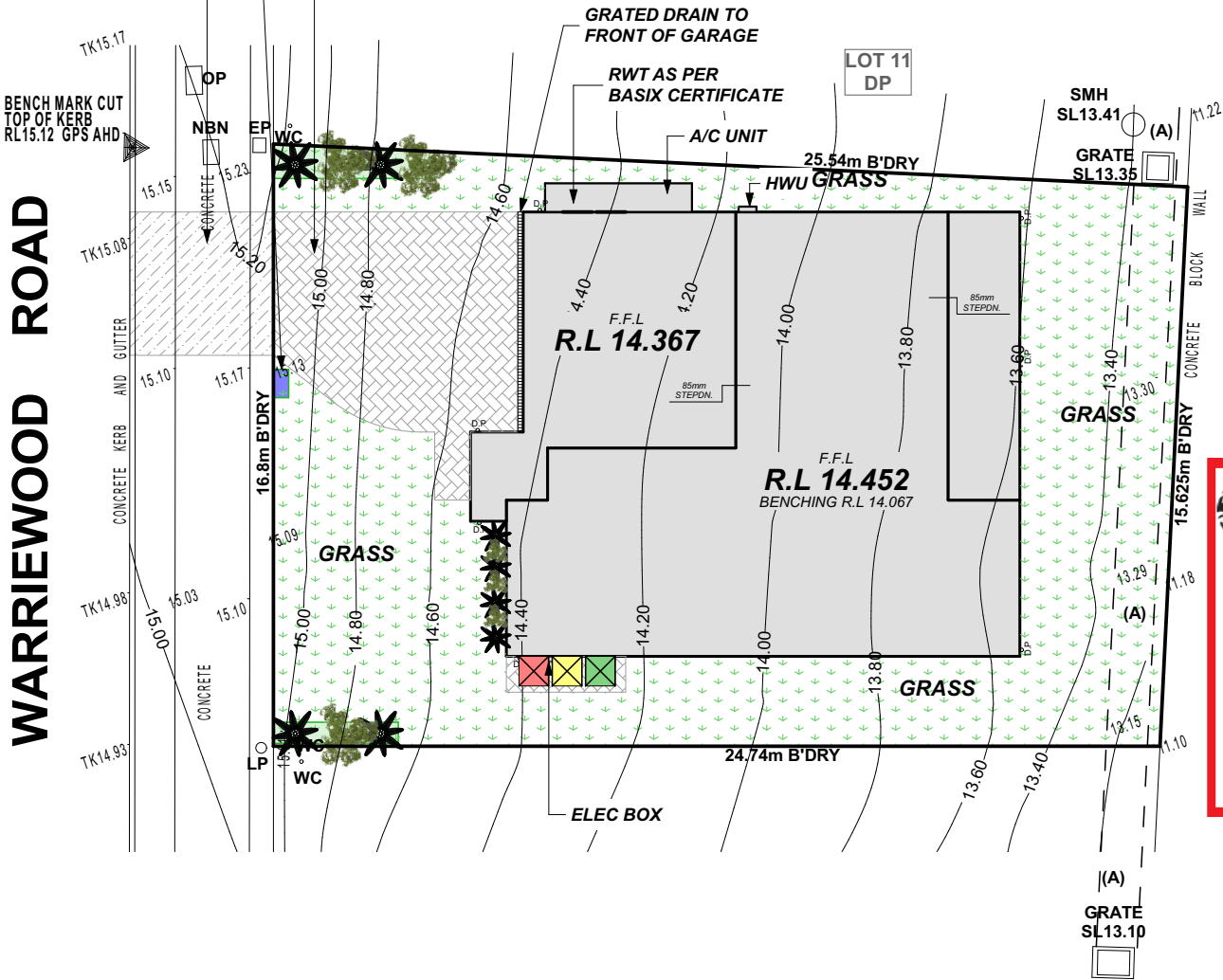
(A) EASEMENT TO DRAIN WATER 1.5 WIDE. (DP)

SUBJECT LOT IS NOT REGISTERED WITH NSW LAND REGISTRY SERVICES

LETTERBOXES MUST BE INCORPORATED INTO THE DESIGN AND MUST COMPLEMENT THE HOUSE DESIGN. LETTERBOX TO COMPLY WITH AUSTRALIA POST REQUIREMENTS

PROVIDE APPROX 19m<sup>2</sup> OF PLAIN CONCRETE FOR VEHICLE CROSSING

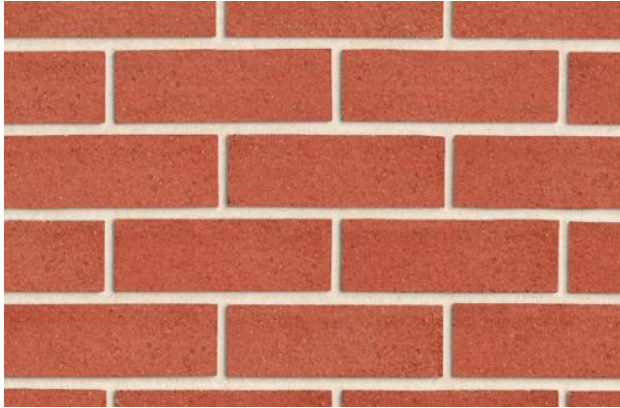
PROVIDE 36m<sup>2</sup> NON SLIP CONCRETE TO DRIVEWAY & PATHS REQUIRED



# SCHEDULE OF FINISHES

## Lot 10 #39 Warriewood Road, Warriewood 2102

### Brick Work – PGH McGarvie Red



### Render Colour – Light Grey



### Roof – Wunderlich- Titan Gloss



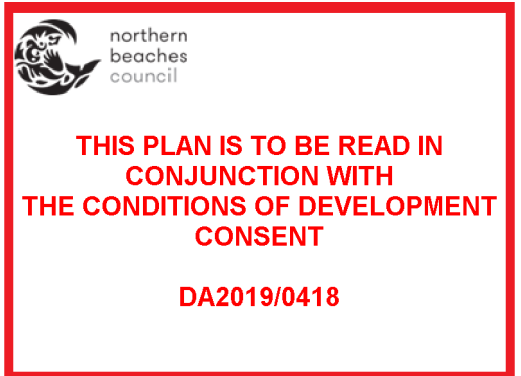
## Windows – Surf Mist



## Garage Doors –Surfmist



## Doors - TAJ Colour Hume Door (Frosted Glass)



## Guttering, Fascia & Downpipes – Monument



Timber posts - Merbau posts



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**DA2019/0418**



# STORMWATER MANAGEMENT PLAN (FOR DA)

## PROPOSED DWELLING

### LOT 10, No. 39 WARRIEWOOD ROAD, WARRIEWOOD

#### GENERAL NOTES

1. FINAL LOCATION OF NEW DOWNPIPES TO BE DETERMINED BY BUILDER/ARCHITECT AT TIME OF CONSTRUCTION.
2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
3. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS/NZS 3500.3:2003 STORMWATER DRAINAGE, BCA AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.
4. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON-SITE PRIOR TO COMMENCEMENT OF WORKS. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES.
5. ALL SURVEY INFORMATION AND PROPOSED BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
6. ALL STORMWATER DRAINAGE PIPES ARE TO BE uPVC AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT OF WORKS.
8. ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.
9. THIS PLAN IS THE PROPERTY OF DONOVAN ASSOCIATES AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM DONOVAN ASSOCIATES.

#### PLAN SPECIFIC NOTES

1. **ROOF DRAINAGE NOTE:** AS 3500 ROOF DRAINAGE REQUIRES EAVES GUTTERS TO BE SIZED FOR 20 YEAR 5 MIN. STORM = 205mm/hr. FOR EAVES GUTTERS, AS 3500.3:2003 THEN HAS THE FOLLOWING REQUIREMENTS:
  - i) FOR TYPICAL STANDARD QUAD GUTTER WITH  $A_e = 6000\text{mm}^2$  AND GUTTER SLOPE 1:500 AND STEEPER, THIS REQUIRES ONE DOWNPIPE PER  $30\text{m}^2$  ROOF AREA.
  - ii) DOWNPIPES TO BE MINIMUM 90mm DIA. OR 100 x 50mm FOR GUTTERS SLOPE 1:500 AND STEEPER.
  - iii) OVERFLOW METHOD TO FIGURE G1 OF AS 3500.3:2003 IT IS THE RESPONSIBILITY OF THE PLUMBER AND / OR BUILDER TO COMPLY WITH THIS. THIS DRAWING SHOWS PRELIMINARY LOCATIONS / NUMBERS OF DOWNPIPES ONLY WHICH ARE TO BE VERIFIED BY BUILDER / PLUMBER
2. **TREE PRESERVATION:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF THOSE WORKS
3. ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3:2003
4. THIS DRAWING IS NOT TO BE USED FOR SET-OUT PURPOSES - REFER TO ARCHITECTURAL DRAWINGS
5. LOCATION OF SURFACE STORMWATER GRATED INLET PITS MAY BE VARIED OR NEW PITS INSTALLED AT THE CONSTRUCTION STAGE PROVIDED DESIGN INTENT OF THIS DRAWING IS MAINTAINED

SURFACE INLET PIT



SURFACE INLET PIT  
(WITH ENVIROPOD 200 MICRON)



ACCESS GRATE  
(WITH ENVIROPOD 200 MICRON)



450 SQUARE INTERVAL

450 X 450

GRATE LEVEL = 75.50

SL 75.50

INVERT LEVEL = RL 75.20

IL 75.20

PROPOSED DOWNPIPE  
90mm DIA. OR 100mm x 50mm MIN.



NATURAL GROUND FINISHED  
DESIGN LEVEL

x 10.00

#### LEGEND

GRATED TRENCH DRAIN



ABSORPTION TRENCH



PROPOSED ROOF GUTTER FALL



PROPOSED DOWNPIPE SPREADER



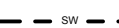
STORMWATER PIPE 100mm DIA. MIN. UNO



SUBSOIL PIPE



EXISTING STORMWATER PIPE



INSPECTION RISER



RAINWATER HEAD



#### DRAINAGE NOTES

##### PIPE SIZE:

THE MINIMUM PIPE SIZE SHALL BE:

- 90mm DIA WHERE THE LINE ONLY RECEIVES ROOFWATER RUNOFF; OR
- 100mm DIA WHERE THE LINE RECEIVES RUNOFF FROM PAVED OR UNPAVED AREAS ON THE PROPERTY

THE MINIMUM PIPE VELOCITY SHOULD BE 0.6 m/s AND A MAXIMUM PIPE VELOCITY OF 6.0 m/s DURING THE DESIGN STORM.

##### PIPE GRADE:

THE MINIMUM PIPE GRADE SHALL BE:

- 1.0% FOR PIPES LESS THAN 225mm DIA (UNO)
- 0.5% FOR ALL LARGER PIPES (UNO)

PIPES WITH A GRADIENT GREATER THAN 20% WILL REQUIRE ANCHOR BLOCKS AT THE TOP AND BOTTOM OF THE INCLINED SECTION; AND AT INTERVALS NOT EXCEEDING 3.0m

ANCHOR BLOCKS ARE DESIGNED ACCORDING TO *CLAUSE 3.5.3 OF AS3500.3:1990*

##### DEPTH OF COVER FOR PVC PIPES:

MINIMUM PIPE COVER SHALL BE AS FOLLOWS:

LOCATION	MINIMUM COVER
NOT SUBJECT TO VEHICLE LOADING	100mm SINGLE RESIDENTIAL 300mm ALL OTHER DEVELOPMENTS
SUBJECT TO VEHICLE LOADING UNDER A SEALED ROAD	450mm WHERE NOT IN A ROAD 600mm
UNSEALED ROAD	750mm
PAVED DRIVEWAY	100mm PLUS DEPTH OF CONCRETE

SEE AS2032 INSTALLATION OF UPVC PIPES FOR FURTHER INFORMATION.

CONCRETE PIPE COVER SHALL BE IN ACCORDANCE WITH *AS3725-1989 LOADS ON BURIED CONCRETE PIPES*, HOWEVER A MINIMUM COVER OF 450mm WILL APPLY.

WHERE INSUFFICIENT COVER IS PROVIDED, THE PIPE SHALL BE COVERED AT LEAST 50mm THICK OVERLAY AND SHALL THEN BE PAVED WITH AT LEAST:

- 150mm REINFORCED CONCRETE WHERE SUBJECT TO HEAVY VEHICLE TRAFFIC;
- 75mm THICKNESS OF BRICK OR 100mm OF CONCRETE PAVING WHERE SUBJECT TO LIGHT VEHICLE TRAFFIC; OR
- 50mm THICK BRICK OR CONCRETE PAVING WHERE NOT SUBJECT TO VEHICLE TRAFFIC.

##### CONNECTIONS TO STORMWATER DRAINS UNDER BUILDINGS:

SHALL BE CARRIED OUT IN ACCORDANCE WITH *SECTION 3.10 OF AS3500.3:1990*

##### CONNECTIONS TO COUNCIL SYSTEM:

IF PROPOSED DRAINAGE SYSTEM IS DESIGNED TO CONNECT TO COUNCIL'S DRAINAGE SYSTEM, IT IS ADVISED THAT A 'WORKS PERMIT' IS OBTAINED FROM THE RESPECTIVE COUNCIL PRIOR TO COMMENCEMENT OF WORKS

##### ABOVE GROUND PIPEWORK:

SHALL BE CARRIED OUT IN ACCORDANCE WITH *SECTION 6 OF AS3500.3:1990*

##### PIT SIZES AND DESIGN:

DEPTH (mm)	MINIMUM PIT SIZE (mm)
UP TO 450mm	450 x 450
450mm TO 600mm	600 x 600
600mm TO 900mm	600 x 900
900mm TO 1500mm	900 x 900 (WITH STEP IRONS)
1500mm TO 2000mm	1200 x 1200 (WITH STEP IRONS)

ALL PIPES SHOULD BE CUT FLUSH WITH THE WALL OF THE PIT.

PITS GREATER THAN 600mm DEEP SHALL HAVE A MINIMUM ACCESS OPENING OF 600 x 600mm

THE GRATED COVERS OF PITS LARGER THAN 600 x 600mm ARE TO BE HINGED TO PREVENT THE GRATE FROM FALLING INTO THE PIT.

THE BASE OF THE DRAINAGE PITS SHOULD BE AT THE SAME LEVEL AS THE INVERT OF THE OUTLET PIPE. RAINWATER SHOULD NOT BE PERMITTED TO POND WITHIN THE STORMWATER SYSTEM

- **TRENCH DRAINS:** CONTINUOUS TRENCH DRAINS ARE TO BE OF WIDTH NOT LESS THAN 150mm AND DEPTH NOT LESS THAN 100mm. THE BARS OF THE GRATING ARE TO BE PARALLEL TO THE DIRECTION OF SURFACE FLOW.
- **STEP IRONS:** PITS BETWEEN 1.2m AND 6m ARE TO HAVE STEP IRONS IN ACCORDANCE WITH AS1657. FOR PITS GREATER THAN 6m OTHER MEANS OF ACCESS MUST BE PROVIDED.
- **PVC PITS:** PVC PITS WILL ONLY BE PERMITTED IF THEY ARE NOT A GREATER SIZE THAN 450 x 450mm (MAXIMUM DEPTH 450mm) AND ARE HEAVY DUTY
- **IN-SITU PITS:** IN-SITU PITS ARE TO BE CONSTRUCTED ON A CONCRETE BED OF AT LEAST 150mm THICK. THE WALLS ARE TO BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF *CLAUSE 4.6.3 OF AS3500.4:1990*. PITS DEEPER THAN 1.8m SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.



##### GRATES:

GRATES ARE TO BE GALVANISED STEEL GRID TYPE. GRATES ARE TO BE OF HEAVY-DUTY TYPE IN AREAS WHERE THEY MAY BE SUBJECT TO VEHICLE LOADING.

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2019/0418**



DRAWING TITLE:

**DETAILS, NOTES &  
LEGEND**

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DRAWN	DATE	DESCRIPTION	ISSUE	FOR	APPROVED BY:	DESIGNED BY:	S.S	ISSUE
C.BASE	18.10.2018	ISSUED FOR DA	A	MRZ DESIGNS PTY LTD	 SCOTT SHARMA, M.I.E. Aust.	CHECKED BY:	S.S	<b>B</b>
J.N	18.12.2018	ARCHITECTURAL AMENDED	B	SITE ADDRESS:		SCALE	-	
				LOT 10 , No. 39		SHEET SIZE	A3	
				WARRIEWOOD ROAD		CLIENT REF.	DRAWING No.	<b>D1</b>
				WARRIEWOOD		-	<b>E308245</b>	
PROJECT		PROPOSED DWELLING						



AREA CALCULATIONS		
TOTAL SITE AREA	407.3	m²
EXISTING DEVELOPMENT		
ROOF AREA	0.0	m²
PAVED AREA	0.0	m²
DRIVEWAY AREA	0.0	m²
IMPERVIOUS AREA	0.0	m²
TOTAL IMPERVIOUS AREA PERCENTAGE	0.00%	
PROPOSED DEVELOPMENT		
PROPOSED ROOF AREA	223.0	m²
PROPOSED PAVED AREA	14.0	m²
PROPOSED DRIVEWAY AREA	35.6	m²
TOTAL IMPERVIOUS AREA	272.6	m²
TOTAL IMPERVIOUS AREA PERCENTAGE	66.93%	

**NOTE:** ENSURE ANY PROPOSED PAVING IS GRADED SO THAT IT IS NOT IMPACTING ADJOINING PROPERTIES.

**INSPECTION RISER (IR)**  
PROVIDE 'SCREW CAP' INSPECTION RISER AT LOWEST POINT OF 'CHARGED LINES'

**NOTE:** ALL PROPOSED GRATED DRAINS TO BE 150mm WIDE

PIT SCHEDULE (U.N.O)				
PIT No.	PIT TYPE	PIT SIZE	SURFACE LEVEL	INVERT LEVEL
SP1	GRATED INLET	450 x 450	14.27	13.82
SP2	GRATED INLET	450 x 450	13.35	13.05

RAINWATER RE-USE TANK - RWT

(AS PER BASIX REQUIREMENTS)

SIZE: 3,055 LITRES (MIN)

SLIMLINE TANK BY "KINGSPAN WATER" OR SIMILAR

(2400L x 700W x 1940H)

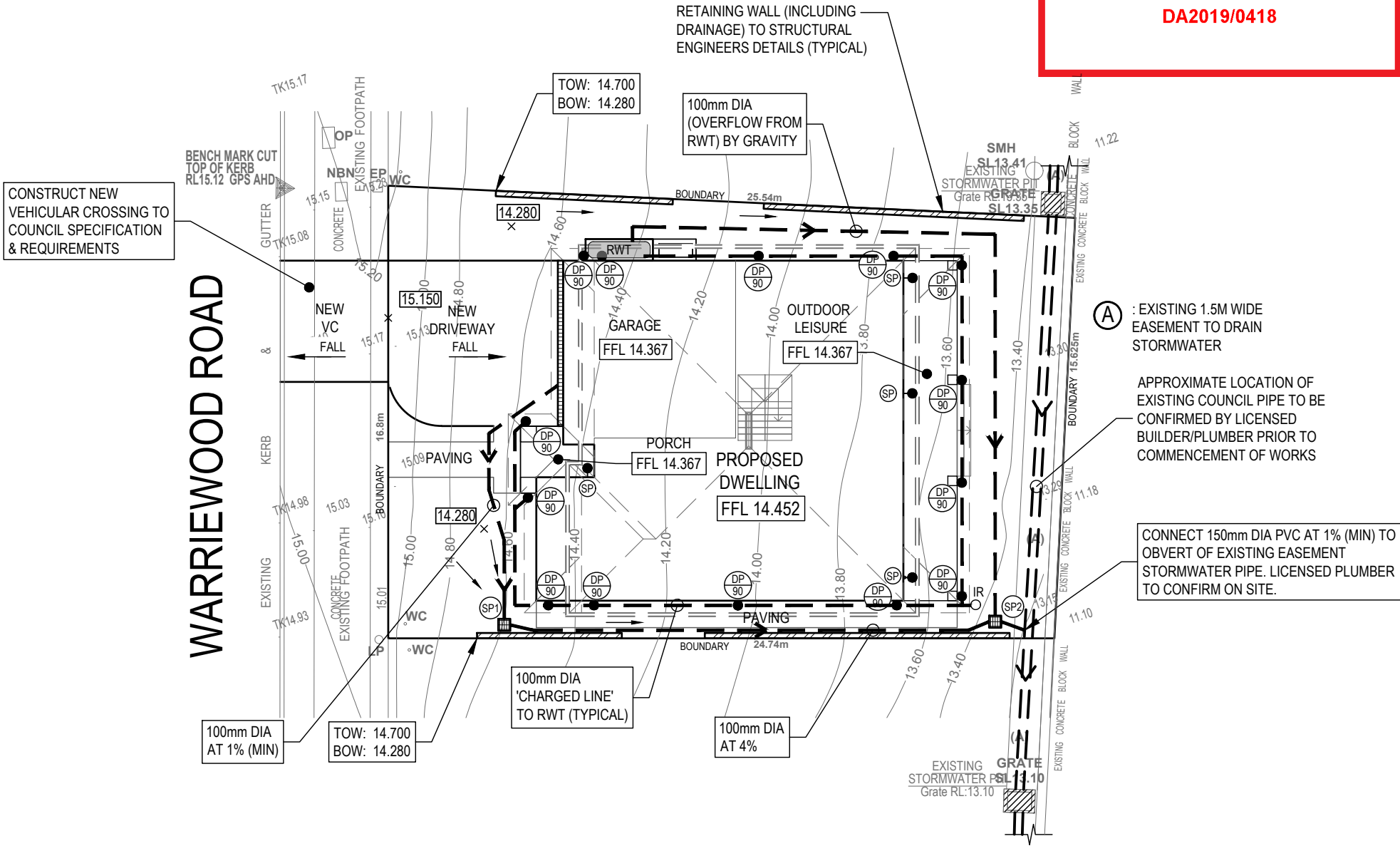
INSTALL TO MANUFACTURES SPECIFICATIONS, AS3500 AND COUNCIL REQUIREMENTS

- FOR RE-USE AS SPECIFIED BY BASIX CERTIFICATE
- ENSURE TOP OF TANK IS MIN 0.5m BELOW ROOF GUTTERS TO ENSURE SUFFICIENT HEAD FOR THE SYSTEM
- TANK TO BE INSTALLED BY LICENSED PLUMBER IN ACCORDANCE WITH AS/NZS 3500:2003 AND NSW CODE OF PRACTICE PLUMBING AND DRAINAGE 2006

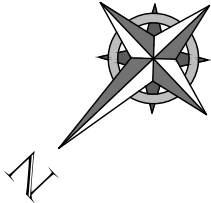
northern  
beaches  
council


THIS PLAN IS TO BE READ IN  
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CONSENT

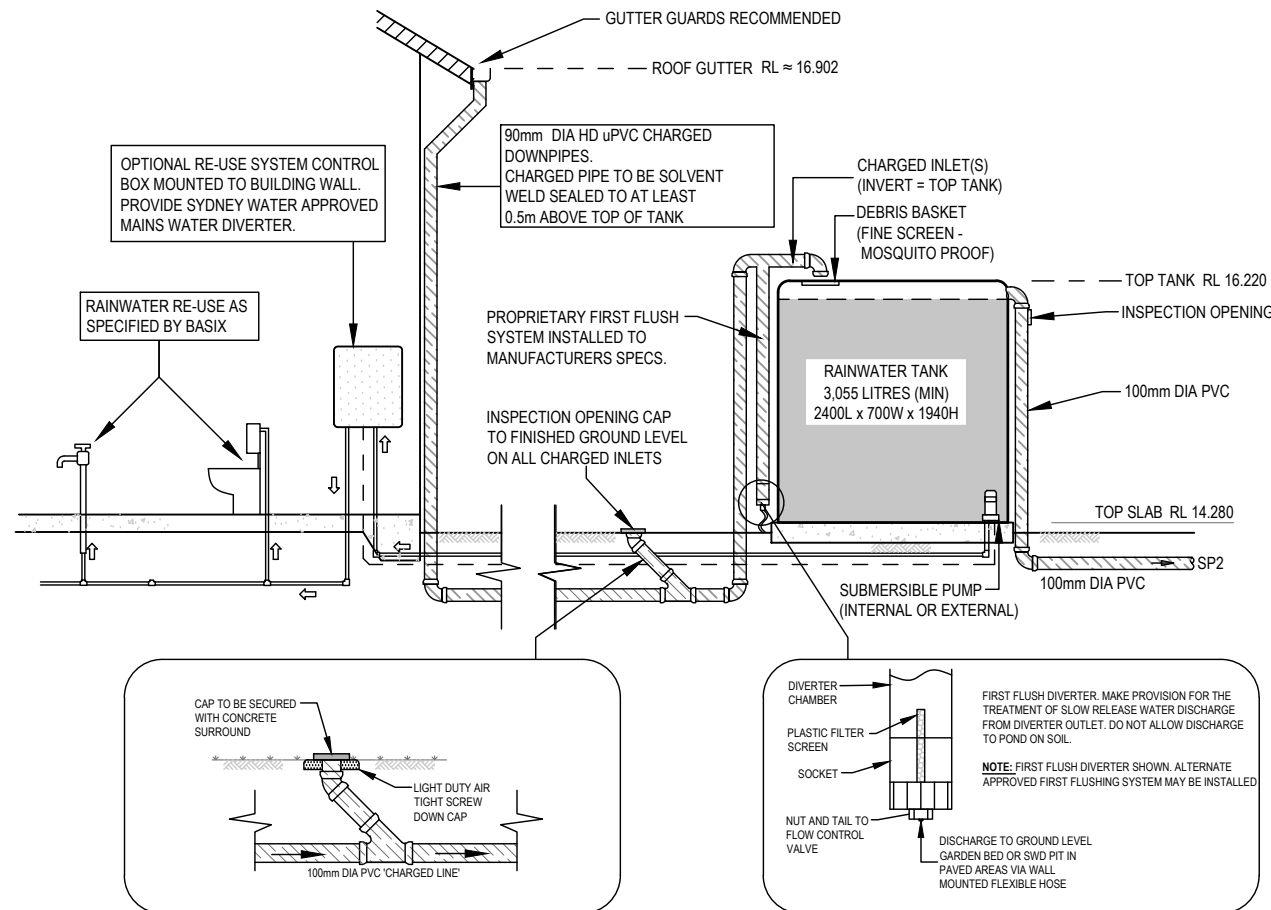
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NOTE: THESE PLANS ARE FOR CONCEPT ONLY  
NOT FOR CONSTRUCTION.

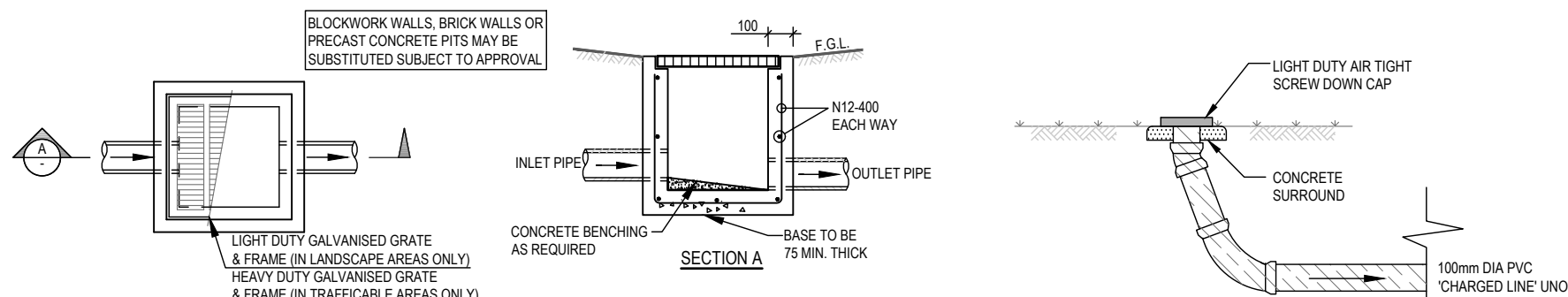


<div><div>DONOVAN</div><div>ASSOCIATES</div><div>INCORPORATED ENG SURVEY PTY LTD ABN: 84 134 616 078 PH/ 02 9806 3000 F/ 02 9891 2806 E/ admineng@donovanassociates.com.au 15 PARKES STREET PARRAMATTA NSW 2150</div></div>	DRAWING TITLE:	DRAWN	DATE	DESCRIPTION	ISSUE	FOR	APPROVED BY:	DESIGNED BY:	S.S	ISSUE
	STORMWATER MANAGEMENT PLAN	C.BASE	18.10.2018	ISSUED FOR DA	A	MRZ DESIGNS PTY LTD	<div> SCOTT SHARMA, M.I.E. Aust.</div>	CHECKED BY:	S.S	B
		J.N	18.12.2018	ARCHITECTURAL AMENDED	B	SITE ADDRESS:		SCALE	1:200	
						LOT 10 , No. 39		SHEET SIZE	A3	SHEET No.
						WARRIEWOOD ROAD		CLIENT REF.	DRAWING No.	D2
		PROJECT		PROPOSED DWELLING	WARRIEWOOD	-		E308245		
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## RAINWATER RE-USE TANK - ABOVE GROUND

NTS

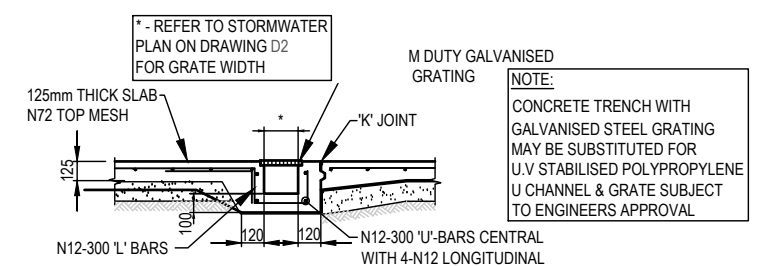


## TYPICAL PIT (SIP)

NTS

## INSPECTION RISER - IR

NTS



## GRATED DRAIN

NTS



## TYPICAL WARNING SIGN

NTS

EVERY EXTERNAL SUPPLY OUTLET FROM RAINWATER RE-USE TANK TO BE LABELED WITH METALLIC WARNING SIGN

DRAWING TITLE:

## STORMWATER DETAILS

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				WARRIEWOOD
PROJECT		PROPOSED DWELLING		

APPROVED BY:

*Scott Sharma*

SCOTT SHARMA, M.I.E. Aust.

DESIGNED BY:	S.S	ISSUE
CHECKED BY:	S.S	B
SCALE	AS NOTED	
SHEET SIZE	A3	SHEET No.
CLIENT REF.	DRAWING No.	D3
-	E308245	