

SITE PLAN
SITE ANALYSIS PLAN

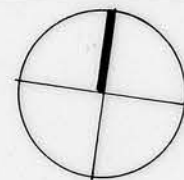


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/2191

SITE DETAILS: EXISTING	
Lot/Section/DP	A/-/DP 324526
LEP Zoning	C4
Site area:	533.7m ²
GFA	314.5m ²
FSR	0.59:1
Total Open Space	241.8m ² (45%)
Landscaped Open Space	181m ² (75%)

Written dimensions take precedence over scaled dimensions. Contractors shall verify all critical dimensions on site and notify this office of any discrepancies. Contractor to ensure that drawing is current issue before commencement of work.
The Client identified hereon is licensed to use the drawings for the purpose for which they were made. Transfer of the licence is prohibited. Architect reserves the right to terminate the licence.
© Copyright of these drawings remains with the Architect.



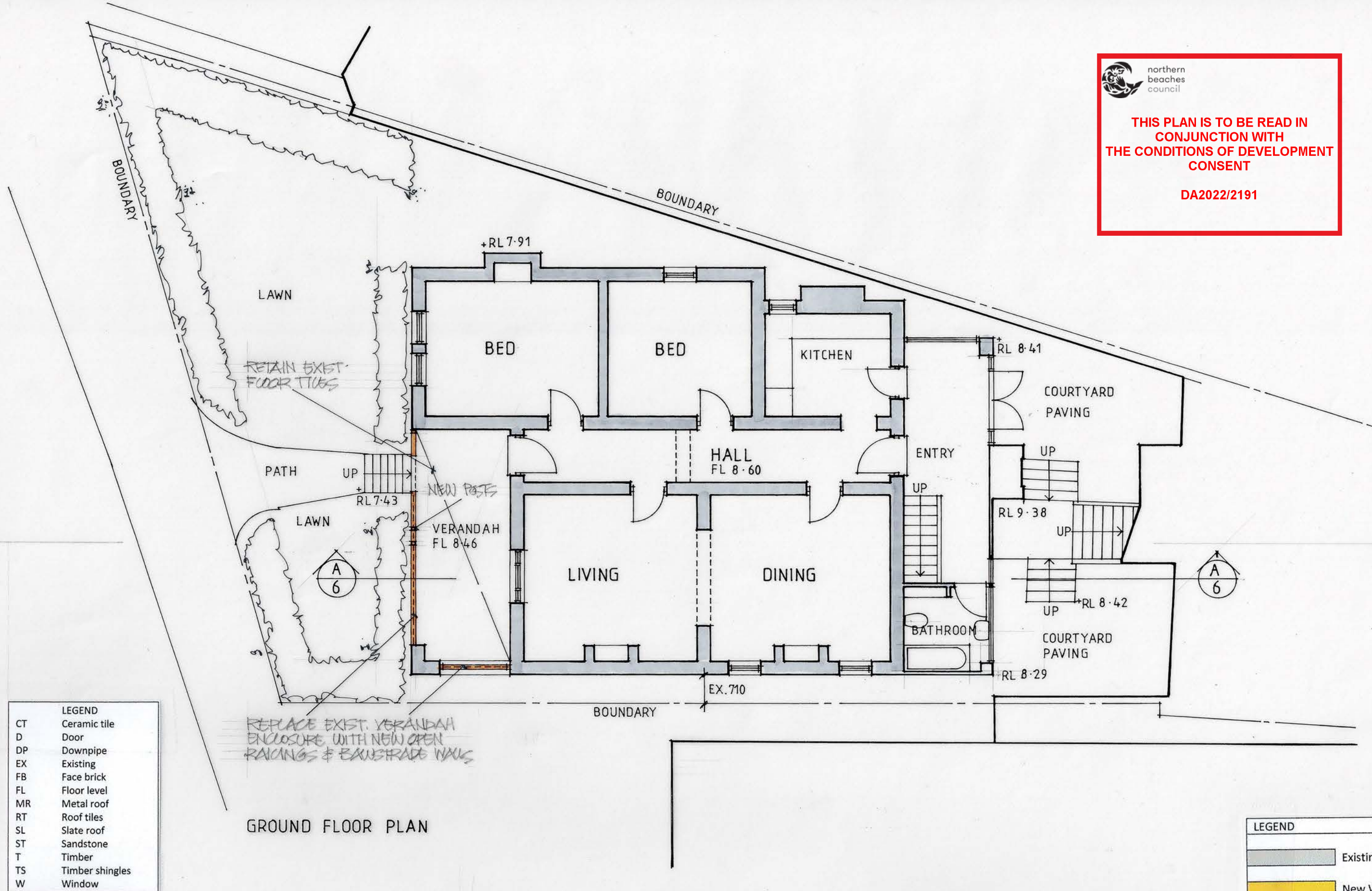
Rev.	Date	Amendment
A	20.10.21	Pre-DA issue

SITE ANALYSIS PLAN	Scale: 1:250@A3
ALTERATIONS TO DUAL OCCUPANCY: 45 Fairlight Crescent, FAIRLIGHT NSW 2094 GREENWOOD MILLER ARCHITECTS 9 Mossgiel Street, FAIRLIGHT. NSW. 2094 M: 0438 774 051 E: greenwoodmiller@bigpond.com	Date: 23.11.22 Dwg no: 1247 - 02_A

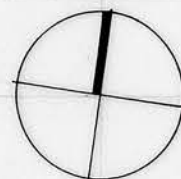


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

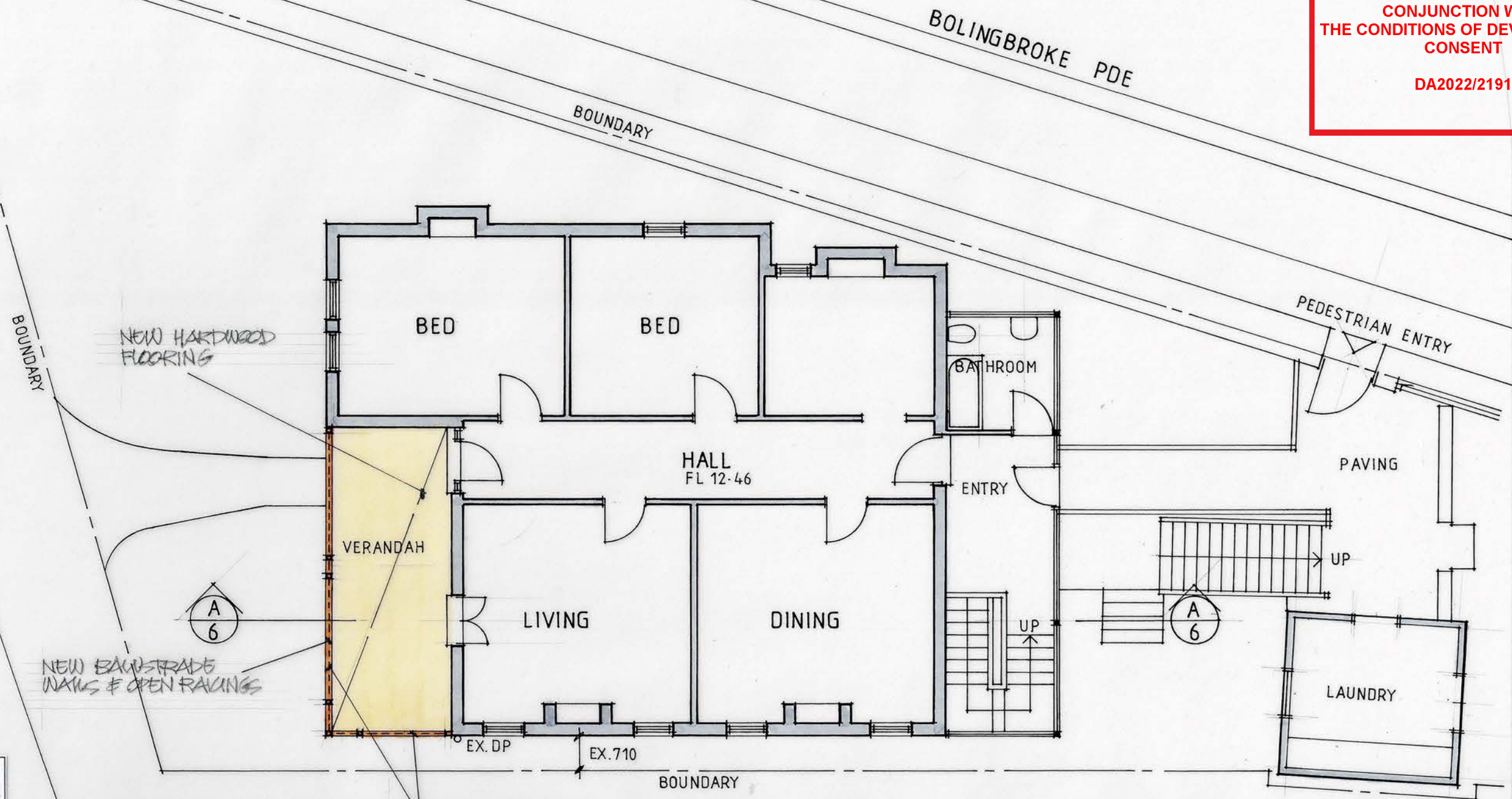
DA2022/2191




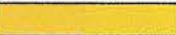
Written dimensions take precedence over scaled dimensions. Contractors shall verify all critical dimensions on site and notify this office of any discrepancies. Contractor to ensure that drawing is current issue before commencement of work.
The Client identified hereon is licensed to use the drawings for the purpose for which they were made. Transfer of the licence is prohibited. Architect reserves the right to terminate the licence.
© Copyright of these drawings remains with the Architect.



Rev.	Date	Amendment	PROPOSED GROUND FLOOR PLAN	Scale: 1:100@A3
A	23.11.22	DA issue	ALTERATIONS TO DUAL OCCUPANCY: 45 Fairlight Crescent, FAIRLIGHT NSW 2094 GREENWOOD MILLER ARCHITECTS 9 Mossgiel Street, FAIRLIGHT. NSW. 2094 M: 0438 774 051 E: greenwoodmiller@bigpond.com	Date: 23.11.22 Dwg no: 1247 - 03_A

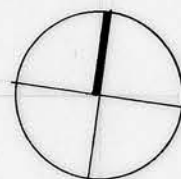


LEGEND	
CT	Ceramic tile
D	Door
DP	Downpipe
EX	Existing
FB	Face brick
FL	Floor level
MR	Metal roof
RT	Roof tiles
SL	Slate roof
ST	Sandstone
T	Timber
TS	Timber shingles
W	Window

LEGEND	
	Existing structure
	New Work

FIRST FLOOR PLAN

Written dimensions take precedence over scaled dimensions. Contractors shall verify all critical dimensions on site and notify this office of any discrepancies. Contractor to ensure that drawing is current issue before commencement of work.
The Client identified hereon is licensed to use the drawings for the purpose for which they were made. Transfer of the licence is prohibited. Architect reserves the right to terminate the licence.
© Copyright of these drawings remains with the Architect.



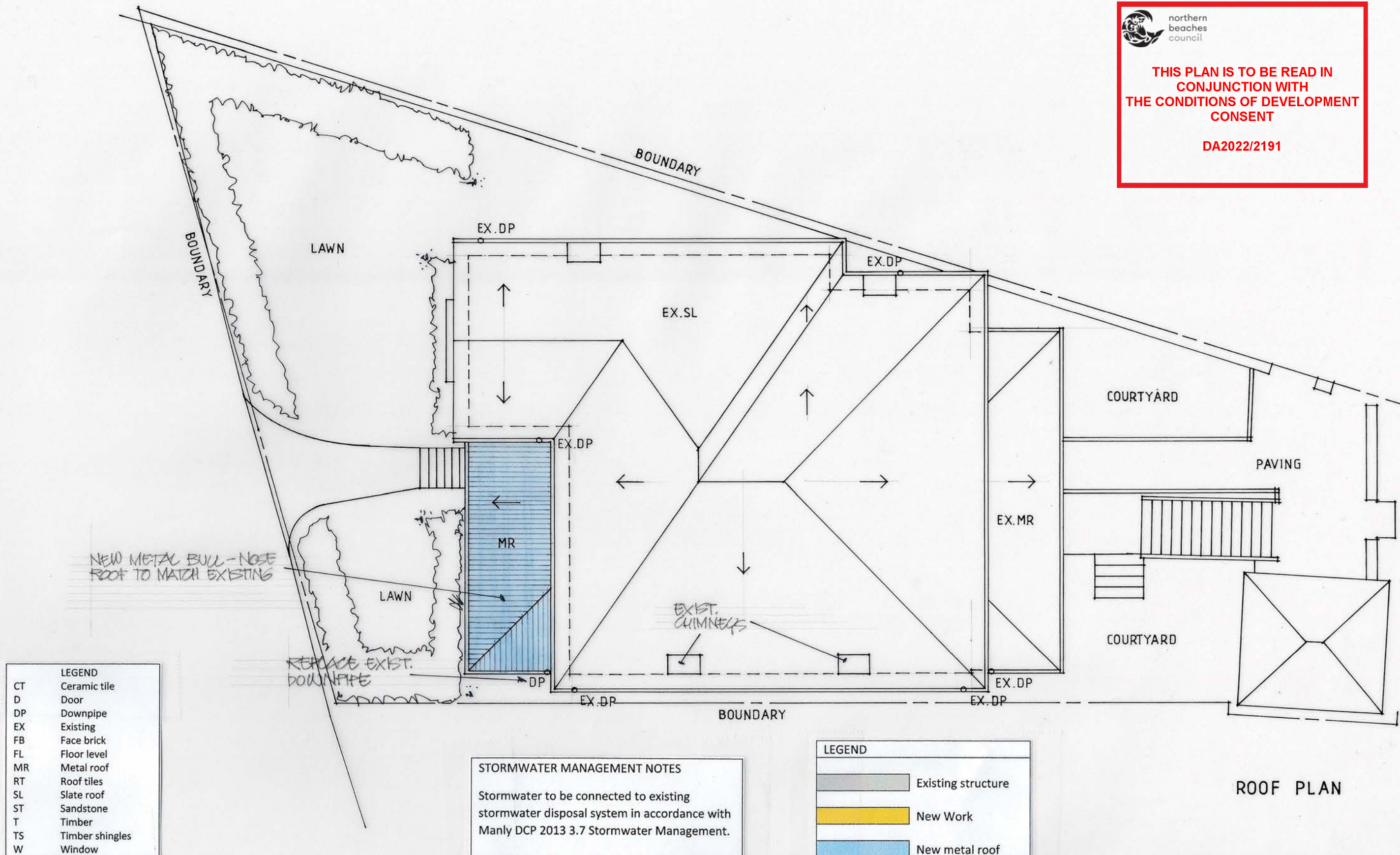
Rev.	Date	Amendment
A	23.11.22	DA issue

PROPOSED FIRST FLOOR PLAN	Scale: 1:100@A3
ALTERATIONS TO DUAL OCCUPANCY:	Date: 23.11.22
45 Fairlight Crescent, FAIRLIGHT NSW 2094	Dwg no: 1247 - 04_A
GREENWOOD MILLER ARCHITECTS	
9 Mossgiel Street, FAIRLIGHT. NSW. 2094	
M: 0438 774 051 E: greenwoodmiller@bigpond.com	

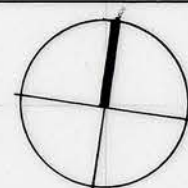


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/2191

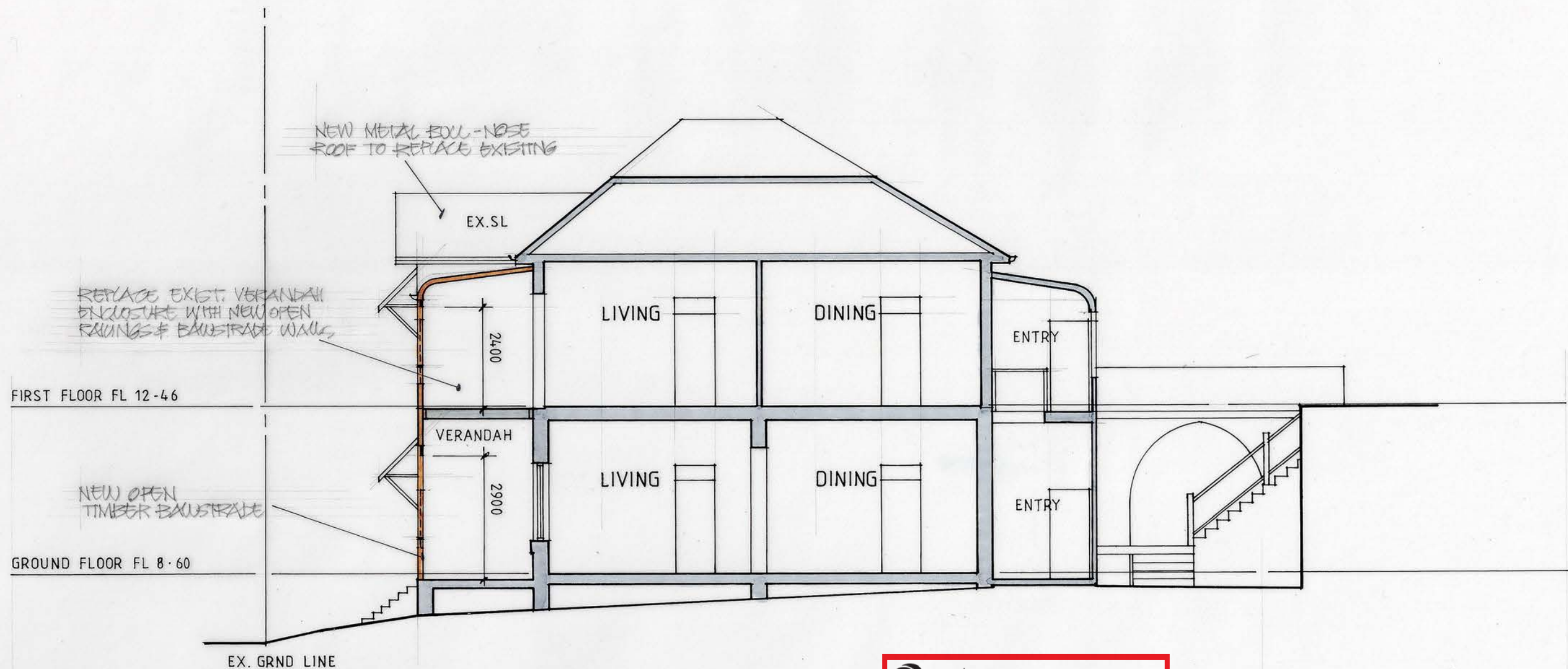


Written dimensions take precedence over scaled dimensions. Contractors shall verify all critical dimensions on site and notify this office of any discrepancies. Contractor to ensure that drawing is current issue before commencement of work.
The Client identified hereon is licensed to use the drawings for the purpose for which they were made. Transfer of the licence is prohibited. Architect reserves the right to terminate the licence.
© Copyright of these drawings remains with the Architect.



Rev.	Date	Amendment
A	23.11.22	DA issue

ROOF PLAN & STORMWATER MANAGEMENT PLAN	Scale: 1:100@A3
ALTERATIONS TO DUAL OCCUPANCY: 45 Fairlight Crescent, FAIRLIGHT NSW 2094 GREENWOOD MILLER ARCHITECTS 9 Mossgiel Street, FAIRLIGHT. NSW. 2094 M: 0438 774 051 E: greenwoodmiller@bigpond.com	Date: 23.11.22 Dwg no: 1247 - 05_A



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/2191

LEGEND	
	Existing structure
	New Work

Written dimensions take precedence over scaled dimensions. Contractors shall verify all critical dimensions on site and notify this office of any discrepancies. Contractor to ensure that drawing is current issue before commencement of work.
The Client identified hereon is licensed to use the drawings for the purpose for which they were made. Transfer of the licence is prohibited. Architect reserves the right to terminate the licence.
© Copyright of these drawings remains with the Architect.

Rev.	Date	Amendment
A	23.11.22	DA issue

SECTION	Scale: 1:100@A3
ALTERATIONS TO DUAL OCCUPANCY: 45 Fairlight Crescent, FAIRLIGHT NSW 2094 GREENWOOD MILLER ARCHITECTS 9 Mossgiel Street, FAIRLIGHT. NSW. 2094 M: 0438 774 051 E: greenwoodmiller@bigpond.com	Date: 23.11.22 Dwg no: 1247 - 06_A



LEGEND	
CT	Ceramic tile
D	Door
DP	Downpipe
EX	Existing
FB	Face brick
FL	Floor level
MR	Metal roof
RT	Roof tiles
SL	Slate roof
ST	Sandstone
T	Timber
TS	Timber shingles
W	Window



LEGEND	
	Existing structure
	New Work
	New metal roof

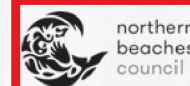
Written dimensions take precedence over scaled dimensions. Contractors shall verify all critical dimensions on site and notify this office of any discrepancies. Contractor to ensure that drawing is current issue before commencement of work.
The Client identified hereon is licensed to use the drawings for the purpose for which they were made. Transfer of the licence is prohibited. Architect reserves the right to terminate the licence.
© Copyright of these drawings remains with the Architect.

Rev.	Date	Amendment
A	23.11.22	DA issue

WEST ELEVATION	Scale: 1:100@A3
ALTERATIONS TO DUAL OCCUPANCY:	Date: 23.11.22
45 Fairlight Crescent, FAIRLIGHT NSW 2094	Dwg no: 1247 - 07_A
GREENWOOD MILLER ARCHITECTS	
9 Mossgiel Street, FAIRLIGHT. NSW. 2094	
M: 0438 774 051 E: greenwoodmiller@bigpond.com	



SOUTH ELEVATION



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/2191

LEGEND	
CT	Ceramic tile
D	Door
DP	Downpipe
EX	Existing
FB	Face brick
FL	Floor level
MR	Metal roof
RT	Roof tiles
SL	Slate roof
ST	Sandstone
T	Timber
TS	Timber shingles
W	Window

LEGEND	
	Existing structure
	New Work
	New metal roof

Written dimensions take precedence over scaled dimensions. Contractors shall verify all critical dimensions on site and notify this office of any discrepancies. Contractor to ensure that drawing is current issue before commencement of work.
The Client identified hereon is licensed to use the drawings for the purpose for which they were made. Transfer of the licence is prohibited. Architect reserves the right to terminate the licence.
© Copyright of these drawings remains with the Architect.

Rev.	Date	Amendment
A	23.11.22	DA issue

SOUTH ELEVATION	Scale: 1:100@A3
ALTERATIONS TO DUAL OCCUPANCY: 45 Fairlight Crescent, FAIRLIGHT NSW 2094	Date: 23.11.22
GREENWOOD MILLER ARCHITECTS 9 Mossgiel Street, FAIRLIGHT, NSW. 2094	Dwg no: 1247 - 08_A
M: 0438 774 051 E: greenwoodmiller@bigpond.com	