

STATEMENT OF ENVIRONMENTAL EFFECTS

8 ALEXANDER STREET, MANLY

**PROPOSED MINOR ALTERATIONS TO EXISTING
DWELLING**

**PREPARED BY
PLAN A**



DECEMBER 2020

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1. INTRODUCTION

This application seeks approval for minor alterations to the existing dwellings upon land at Lot 1 in DP 970322 which is known as **No. 8 Alexander Street, Manly**.

In preparation of this development application consideration has been given to the following:

- Environmental Planning & Assessment Act, 1979.
- Manly Local Environmental Plan 2013.
- Manly Development Control Plan 2013.

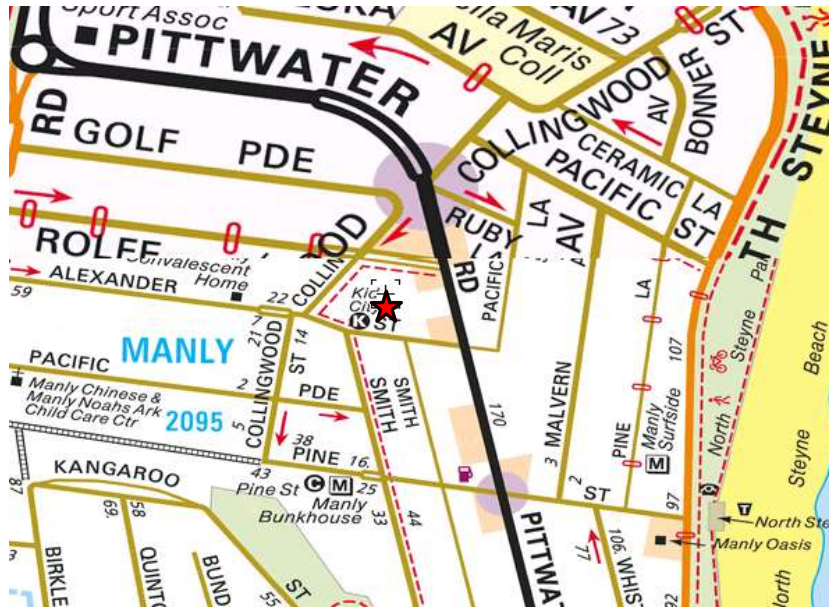
The following details and documents have been relied upon in the preparation of this document:

- Survey Plan prepared by CMS Surveyors Pty Ltd, Ref No. 19787 and dated 3/11/2020.
- Architectural Plans prepared Plan A, Job No. S2001 and dated 14/09/2020.
- Heritage Impact Statement prepared by Damian O'Toole Town Planning & Heritage Services.

This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. It provides an assessment of the proposed development against the heads of consideration as set out in Section 4.15 of the Environmental Planning and Assessment Act 1979. As a result of that assessment it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the Council.

2. SITE DESCRIPTION AND LOCALITY

The site comprises a single allotment of land identified as Lot 1 in DP 970322. The site is located to the northern side of Alexander Street with a frontage of 7.62m. The sites northern (rear) boundary has a frontage of 7.62m to Rofle Street. The site has an area of 424.2m². The locality is depicted in the following map:



Site Location Map

The site comprises a two storey brick dwelling with conventional pitched metal roof. A rendered masonry and palisade infill fence is erected along the Alexander Street frontage.

The site is depicted in the following photographs:



View of No. 8 Alexander Street (bounded in red)

The existing surrounding development comprises a mixture of original single level dwellings interspersed with large two storey dwellings of modern architecture and a number of semi-detached dwellings. The existing surrounding development is depicted in the following aerial photograph:



Aerial Photograph of Locality

3. THE DEVELOPMENT PROPOSAL

This proposal seeks approval for minor alterations to the existing dwelling as summarised below:

- Render ground floor and paint white.
- Provide white coloured weatherboard to first floor level.
- Glazed section in front fence to replace existing palings.
- Remove shingles to on ground level awning and replace with Colourbond to match roof (awning is leaking).

The proposed works will significantly improve residential amenity on the site and will enhance the buildings.

The proposal does not alter the existing floor space, building footprint or open space calculations.

4. ZONING & DEVELOPMENT CONTROLS

The proposed development is identified as development requiring the consent of the Council under the provisions of the Environmental Planning and Assessment Act 1979, as amended. The following is an assessment of the proposal against the relevant provisions of the Act and all of the relevant planning instruments and policies of Manly Council.

4.1 Planning for Bushfire Protection 2006



Extract of Bushfire Prone Lands Map

The subject site is not identified as bushfire prone land on Council's Bushfire Prone Land Map and therefore the provisions of Planning for Bushfire Protection 2006 do not apply.

4.2 Manly Local Environmental 2013



Extract of Zoning Map

The subject site is zoned R1 General Residential. The objectives of the R1 Zone are as follows:

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

It is considered that the proposed development achieves these objectives by:

- Ensuring the proposal compliments the existing streetscape and the existing surrounding properties. The proposed alterations are minor and do not increase bulk and scale.
- Retaining the existing amenity to the surrounding residences.

Single dwellings and associated structures are a permissible use in the R1 General Residential zone with the consent of Council. The following numerical standards are applicable to the proposed development:

Clause	Development Standard	Proposal	Compliance
Clause 4.3 Height of Buildings	8.5m	No change to existing	Not Applicable
Clause 4.4 Floor Space Ratio	0.60:1	No change to existing	Not Applicable

Clause 5.10 Heritage



Extract of Heritage Map

The subject site is not a heritage item however it is located within the C1 Pittwater Road Conservation Area and the street trees within this portion of Alexander Street are identified as a local heritage item. A Heritage Impact Statement has been prepared by Damian O'Toole Town Planning & Heritage Services which in summary provides:

This report has found that the proposed works will result in a neutral (negligible) heritage impact.

The proposed works will retain the contributory presentation of the buildings.

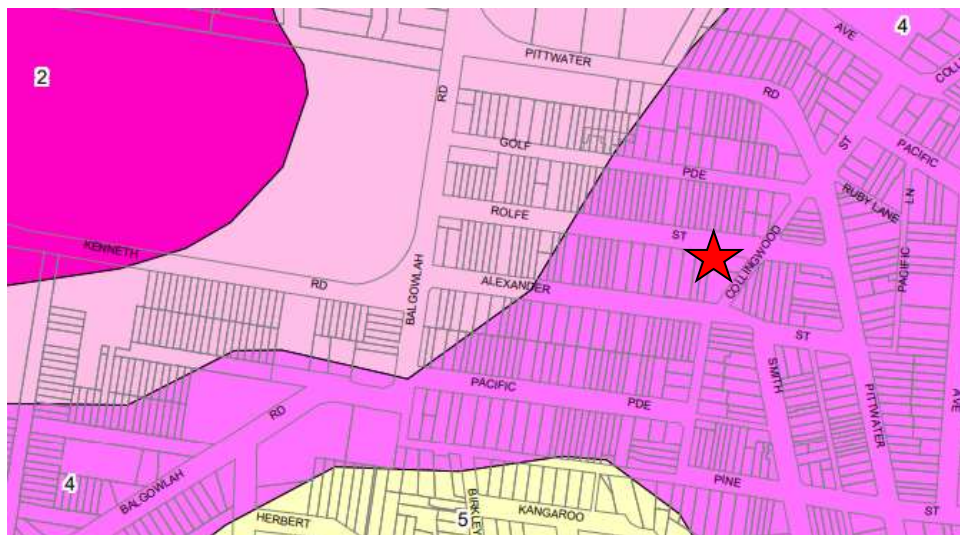
There would be no adverse heritage impact on the Pittwater Road Heritage Conservation Area as a result of the proposed development.

It is recommended that consent be granted for the proposed development. The proposed works will provide significant improved presentation to the subject site.

There are no further recommendations.

There is no further information required in this regard.

Clause 6.1 Acid Sulphate Soils Map, Landslip Risk Map.



Extract of Sulfate Soil & Landslip Risk Map

Clause 6.1 of the LEP relates to acid sulphate soils. It is noted that the subject site is identified as being Class 4 on Council's Acid Sulphate Soil map. The proposal does not result in any excavation and therefore will not affect the watertable.

There are no other specific clauses that specifically relate to the proposed development.

4.3 Manly Residential Development Control Plan 2013

The Manly DCP 2013 applies to all land where the LEP applies. Therefore, the DCP applies to the subject development.

Part 3

Part 3 provides general principles applying to all development and **Part 4** outlines development controls for specific forms of development including residential. The relevant provisions of **Part 3** are summarised below:

Clause 3.1.1 – Streetscape (Residential Areas)

The proposal provides for minor alterations to update the existing front façade and fencing of No. 8 Alexander Street. The works do not alter the existing bulk or scale nor reduce existing landscaping.

The intended outcomes of this clause are noted as:

- i) *complement the predominant building form, distinct building character, building material and finishes and architectural style in the locality;*
- ii) *ensure the bulk and design of development does not detract from the scenic amenity of the area (see also paragraph 3.4 Amenity) when viewed from surrounding public and private land;*
- iii) *maintain building heights at a compatible scale with adjacent development particularly at the street frontage and building alignment, whilst also having regard to the LEP height standard and the controls of this plan concerning wall and roof height and the number of storeys;*
- iv) *avoid elevated structures constructed on extended columns that dominate adjoining sites such as elevated open space terraces, pools, driveways and the like. See also paragraph 4.1.8 Development on Sloping Sites and paragraph 4.1.9 Swimming Pools, Spas and Water Features;*
- v) *address and compliment the built form and style any heritage property in the vicinity to preserve the integrity of the item and its setting. See also paragraph 3.2 Heritage Considerations;*
- vi) *visually improve existing streetscapes through innovative design solutions; and*
- vii) *Incorporate building materials and finishes complementing those dominant in the locality. The use of plantation and/or recycled timbers in construction and finishes is encouraged. See also paragraph 3.5.7 Building Construction and Design*

It is considered that the proposal provides for minor alterations to two existing dwellings that are compatible with the existing surrounding streetscape.

The proposed alterations will be compatible with the style and form of the surrounding dwellings. The proposal is supported by Heritage Impact Statement which demonstrates that the proposal is compatible with the existing streetscape.

Clause 3.3 - Landscaping

The proposed alterations do not reduce the existing area of the site available for landscaping.

Clause 3.4 - Amenity (Views, Overshadowing, Overlooking/Privacy, Noise)

The objectives of the clause are noted as:

- Objective 1) To protect the amenity of existing and future residents and minimise the impact of new development, including alterations and additions, on privacy, views, solar access and general amenity of adjoining and nearby properties.*
- Objective 2) To maximise the provision of open space for recreational needs of the occupier and provide privacy and shade.*

It is suggested that the works will achieve these objectives as:

- The proposal provides for minor alterations only to the external finishes, front façade and fencing.
- The materials and finishes are compatible with the streetscape and the building envelope has not been altered.
- The proposed alterations have no detrimental impact on the privacy or amenity of the adjoining properties.

Clause 3.5 - Sustainability

A BASIX Certificate is not required, given the minor nature of the works.

Clause 3.7 - Stormwater Management

There is no increase in hard surface area and therefore all stormwater will continue to connect to the existing stormwater system.

Part 4

Given the minor alterations relate to the front façade, external finishes and fencing only the provisions of this Part are not applicable.

There are no other provisions of the Manly DCP that apply to the proposed development.

5. EP & A ACT - SECTION 4.15

The Provisions of any Environmental Planning Instruments

The proposal is subject to the provisions of the Manly Local Environmental Plan 2013 and the Manly DCP 2013. It is considered that the provisions of these documents have been satisfactorily addressed within this report.

There are no other environmental planning instruments applying to the site.

The Likely Impacts of the Development

It is considered that the development will provide for minor alterations to the existing front façade and fencing without detrimentally impacting on the character of the area. The proposal does not result in the removal of any vegetation and there is no increase in hard surface area. The proposal is supported by a Heritage Impact Statement.

The Suitability of the Site for the Development

The subject site is zoned R1 General Residential and the construction of alterations to the existing dwellings in this zone are permissible with the consent of Council. The resultant development does not alter the existing bulk and scale and is compatible with existing surrounding development. The proposal does not result in the removal of any vegetation.

For these reasons it is considered that the site is suitable for the proposed development.

The Public Interest

It is considered that the proposal is in the public interest in that it will provide for alterations to update the existing front façade of the properties that are consistent with other development in this locality without unreasonably impacting the amenity of the adjoining properties or the public domain.

6. CONCLUSION

This application seeks approval for the construction of alterations to the existing dwellings. As demonstrated in this report the proposal is consistent with the aims and objectives of the Manly Local Environmental Plan 2013 and the Manly DCP 2013. The proposal does not have any detrimental impact on the amenity of the adjoining properties or the character of the locality.

It is therefore considered that the proposed of alterations to the existing dwelling upon land at **No. 8 Alexander Street, Manly** is worthy of the consent of Council.

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