

#### DRAWING REGISTER (A3) & REVISION

LANDING PAGE	I	01
COVER PAGE	I	02
ARTIST IMPRESSIONS	I	03
ARTIST IMPRESSIONS	I	04
PROPOSED SITE PLAN	I	05
SITE ANALYSIS PLAN	I	06
LANDSCAPE INTENT & OPEN SPACE PLAN	I	07
FLOOR SPACE RATIO PLAN	I	08
BASEMENT FLOOR PLAN	I	09
GROUND FLOOR PLAN	I	10
FIRST FLOOR PLAN	I	11
ELEVATION 1	I	12
ELEVATION 2	I	13
ELEVATION 3	I	14
ELEVATION 4	I	15
SECTION A-A	I	16
SECTION B-B	I	17
SECTION C-C	I	18
SECTION D-D (POOL)	I	19
SLAB PLAN BASEMENT	I	20
SLAB PLAN GROUND	I	21
UPPER FLOOR FRAMING PLAN	I	22
ROOF PLAN	I	23
ELECTRICAL PLAN BASEMENT	I	24
ELECTRICAL PLAN GROUND	I	25
ELECTRICAL FIRST FLOOR	I	26
FLOOR COVERINGS BASEMENT	I	27
FLOOR COVERINGS BASEMENT	I	28
FLOOR COVERINGS GROUND	I	29
DOOR SCHEDULE	I	30
WINDOW SCHEDULE	I	31
BUILDING HEIGHT PLAN	I	32
SUN STUDY - JUNE	I	33
SUN STUDY - DECEMBER	I	34
DETAIL/CONTOUR SURVEY	I	35

# NEW PARADIGM DESIGN



# PROPOSED NEW RESIDENCE

for Sophia & Stuart Naylor - 2 Prince Edward Rd Seaforth NSW



DA ISSUE REVISION I -Monday, 20 January 2025

LISTER AVENUE VIEW

Artist Impressions are indicative only and construction detail is not to be assumed - final finishes & details may vary



CORNER LISTER AVE & PRINCE EDWARD RD VIEW

Artist Impressions are indicative only and construction detail is not to be assumed - final finishes & details may vary

LISTER AVENUE VIEW









PRINCE EDWARD RD VIEW

Artist Impressions are indicative only and construction detail is not to be assumed - final finishes & details may vary

PRINCE EDWARD RD VIEW







#### SITE GENERAL NOTES:

- 1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. 2. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 3. LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM. 4. VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
- 5. THIS SITE PLAN IS A TRANSCRIPTION OF THE ORIGINAL CONTOUR/ID SURVEY OR SITE PLAN, THE BUILDER AND SUB-CONTRACTORS ARE TO VERIFY ALL INFORMATION CONTAINED HEREIN PRIOR TO SITE START AND ANY DISCREPANCY RESOLVE WITH THIS OFFICE PRIOR TO CONSTRUCTION.
- 6. IT IS REQUIRED TO PROVIDE NEW PARADIGM DESIGN A NEW CONTOUR AND/OR IDENTIFICATION SURVEY PLAN PRIOR TO FINALISATION OF WORK.
- 7. SEWER TO HOUSE CONNECTION SPIGOT AND WATER MAIN TO HOUSE CONNECTION PLOTTED FROM GCCC INFRASTRUCTURE ASSET MAPPING - INDICATIVE ONLY, WHERE NO DETAIL SURVEY PROVIED. SUBJECT TO SURVEY AND SERVICE LOCATION.

#### SITE PREPARATION & DRAINAGE NOTES:

- 1. ROOFWATER TO BE PIPED VIA 100mm & PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM OR ON SITE RAIN WATER TANKS IF APPLICABLE, WITH OVERFLOW TO DIRECT TO RUBBLE PITS OR COUNCIL DISCHARGE SYSTEM AS PER APPROVAL REQUIREMENTS.
- 2. ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL
- 3. ALL HOUSEHOLD SEWER AND WASTE TO BE DISCHARGED TO COUNCIL SEWER SYSTEM OR ON SITE SEWERAGE FACILITY IF APPLICABLE - OSSFTO BE REVIEWED BY A QUALIFIED CONSULTANT
- 4. SITE CLASSIFICATION AND FOOTING/SLAB PREPARATION REFER NCC 2022 VOL 2. HOUSING PROVISIONS PART 4.2.
- 5. ALL GUTTERS AND DOWNPIPES TO ADHERE TO NCC 2022 VOL 2. H2D6 & HOUSING PROVISIONS PART 7.4.
- 6. ON SITE RAIN WATER HARVESTING WHERE NOT DIRECT LINES FROM ROOF/GUTTER TO HAVE CHARGED LINES. REFER MANUFACTURER INSTALLATION & SPECIFICATIONS.
- 7. ALL RETAINING WALLS GREATER THAN 1,000 IN HEIGHT TO BE DESIGNED BY A REGISTERED PRACTICING STRUCTURAL ENGINEER (RPEQ).

#### TERMITE PROTECTION:

- 1. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS3660 2014 & AS3600.1/2009. - REFER TO CONDITIONS OF APPROVAL
- 2. ALL TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- 3. TERMITE MANAGEMENT SYSTEMS TO NCC 2022 VOL 2 H1D3 & HOUSING PROVISIONS PART 3.4.2.

#### **REAL PROPERTY DESCRIPTION**

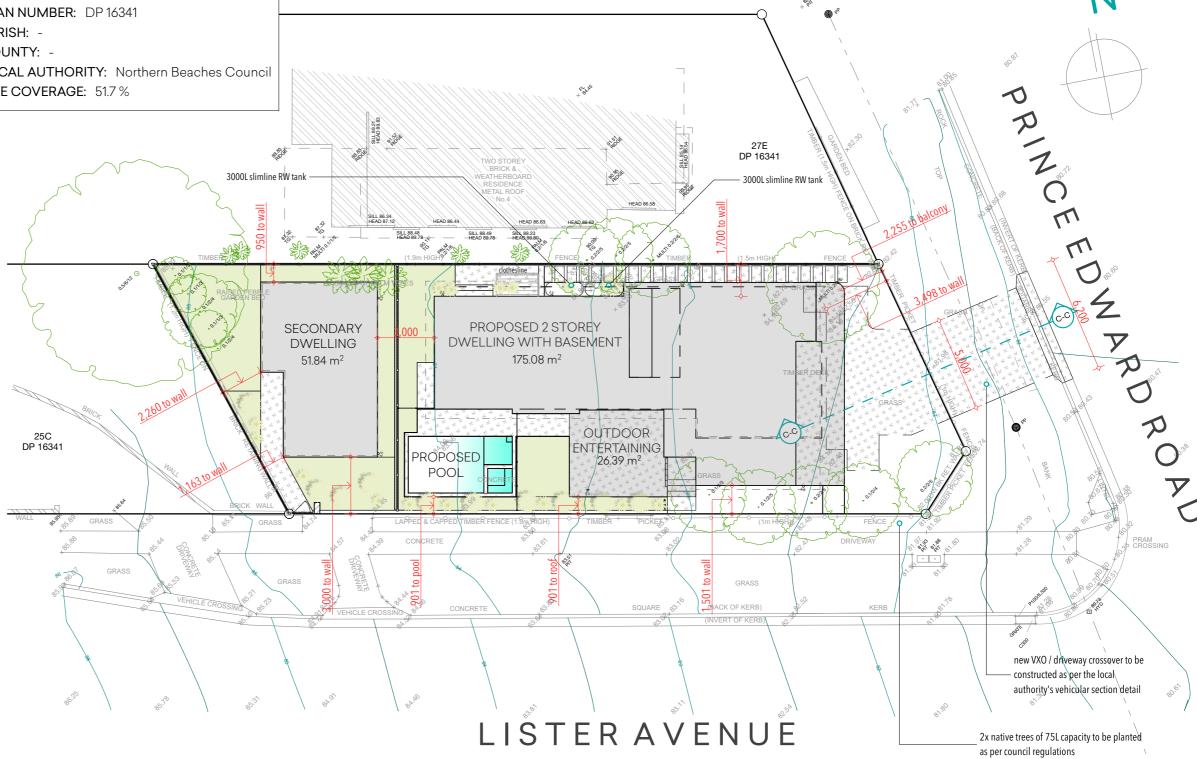
ADDRESS: 2 Prince Edward Rd Seaforth NSW

SITE AREA: 494 M<sup>2</sup> LOT NUMBER: LOT 28F PLAN NUMBER: DP 16341

PARISH: -COUNTY: -

LOCAL AUTHORITY: Northern Beaches Council

SITE COVERAGE: 51.7 %







NEW PARADIGM DESIGN PTY LTD®

Office 07 5654 5141 M 0412 495 878 hi@newparadigmdesign.com.au

1/2544 GOLD COAST HIGHWAY MERMAID BEACH 4218 QBCC LIC 1519 5787

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GENERAL NOTES: REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY WINDOWS DIMENSIONED AS HEIGHT x WIDTH DOORS AND CUPBOARDS DIMENSIONED AS

1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE 3. DO NOT SCALE FROM PLAN 4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600.1/2009(A)&(B) 6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS

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DATE

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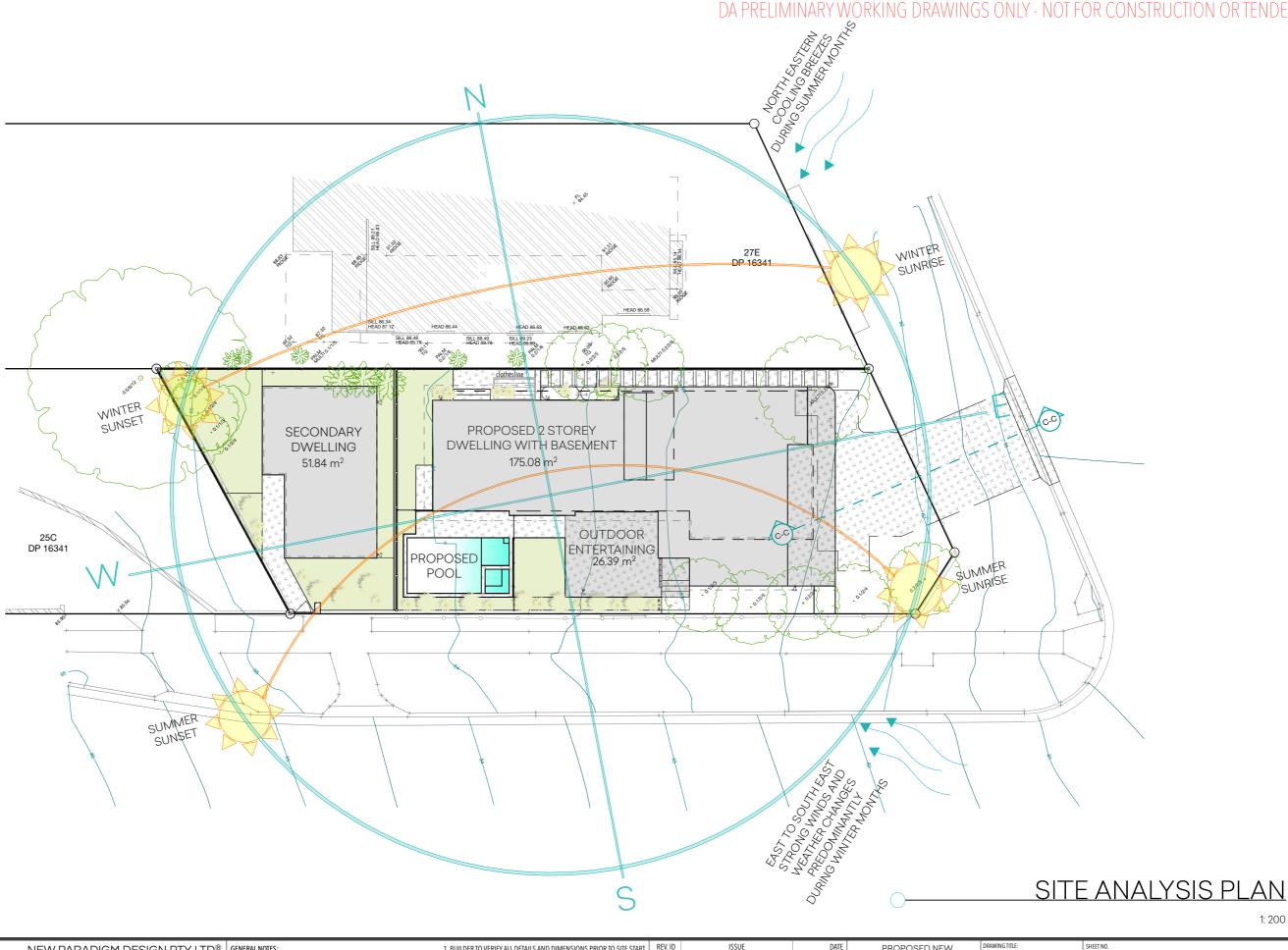
PROPOSED NEW RESIDENCE PROPOSED SITE Sophia & Stuart Naylor PLAN SITE ADDRESS

Seaforth NSW | 1:200 A3

2 Prince Edward Rd

5 of 35 DRAWN RV CHECKED BY B.E. B.E.







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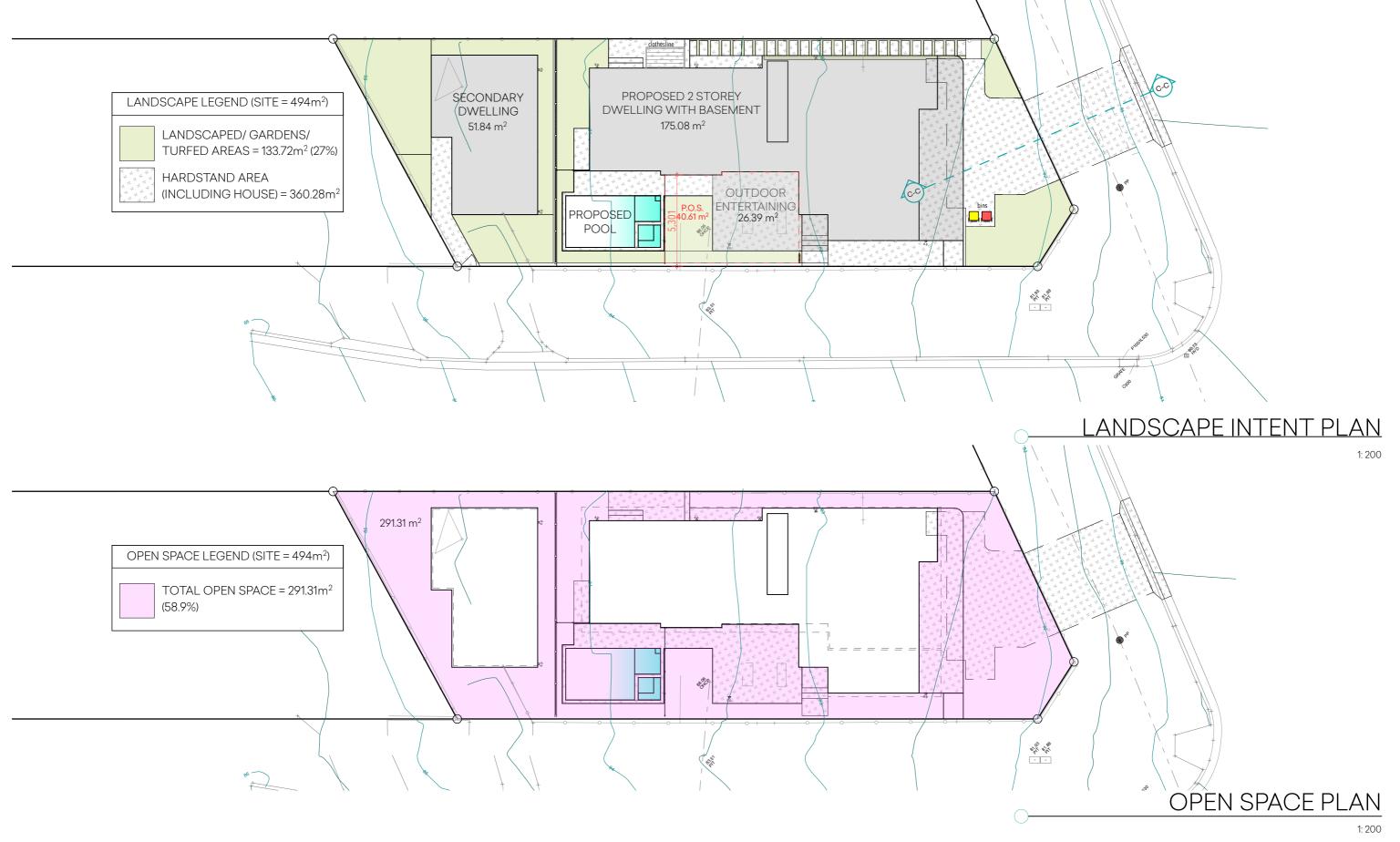
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PROPOSED NEW RESIDENCE SITE ANALYSIS Sophia & Stuart Naylor PLAN SITE ADDRESS: 2 Prince Edward Rd

Seaforth NSW 1:200 A3

6 of 35 DRAWN BY: B.E.

CHECKED BY: B.E. **BUILDING DESIGNERS** ASSOCIATION OF AUSTRALIA





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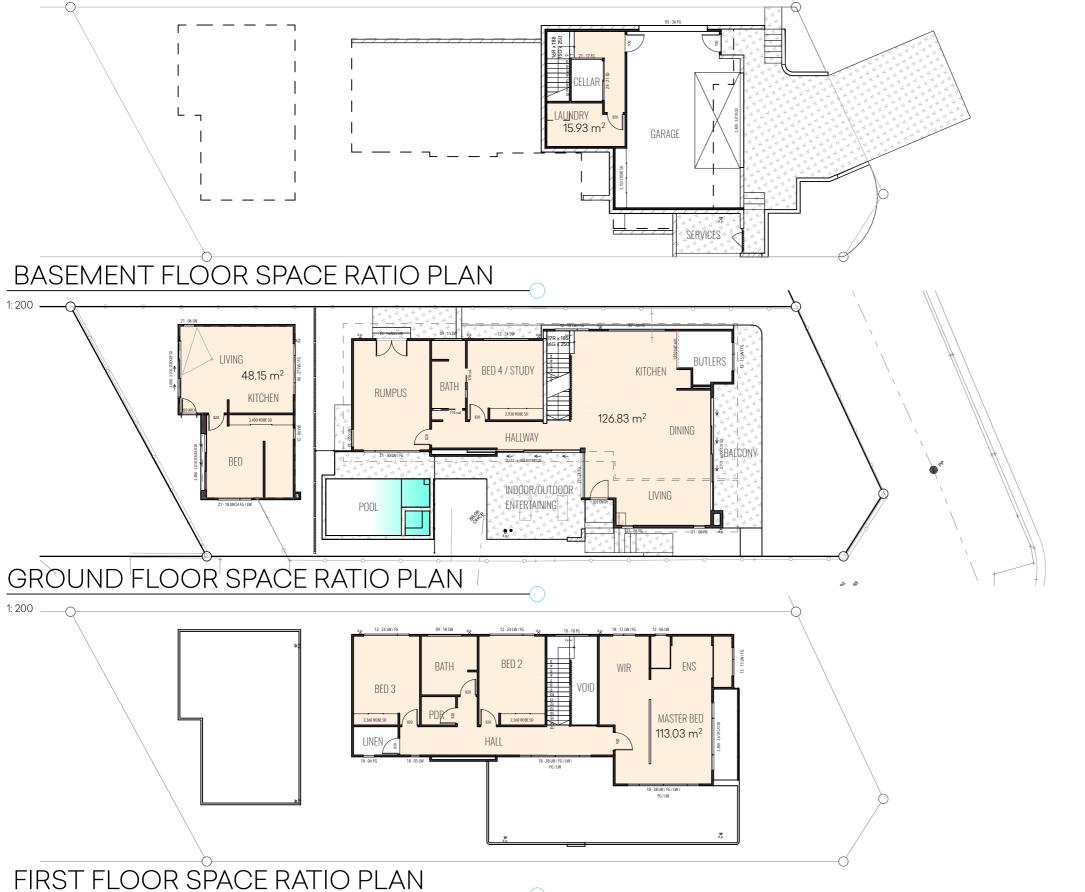
PROPOSED NEW RESIDENCE Sophia & Stuart Naylor SITE ADDRESS: 2 Prince Edward Rd SCALE:

Seaforth NSW 1:200 A3

LANDSCAPE INTENT & OPEN SPACE PLAN

7 of 35 DRAWN BY: CHECKED BY: B.E. B.E.





## **FSR CALCULATIONS**

PROPOSED BASEMENT = 15.93m<sup>2</sup>

PROPOSED GROUND FLOOR = 174.98m<sup>2</sup>

PROPOSED FIRST FLOOR = 113.03m<sup>2</sup>

TOTAL PROPOSED GFA = 303.94m<sup>2</sup>

1: 200



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STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

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2 Prince Edward Rd	SCALE:
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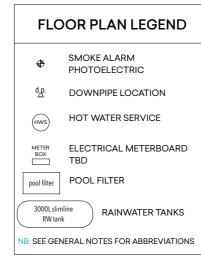
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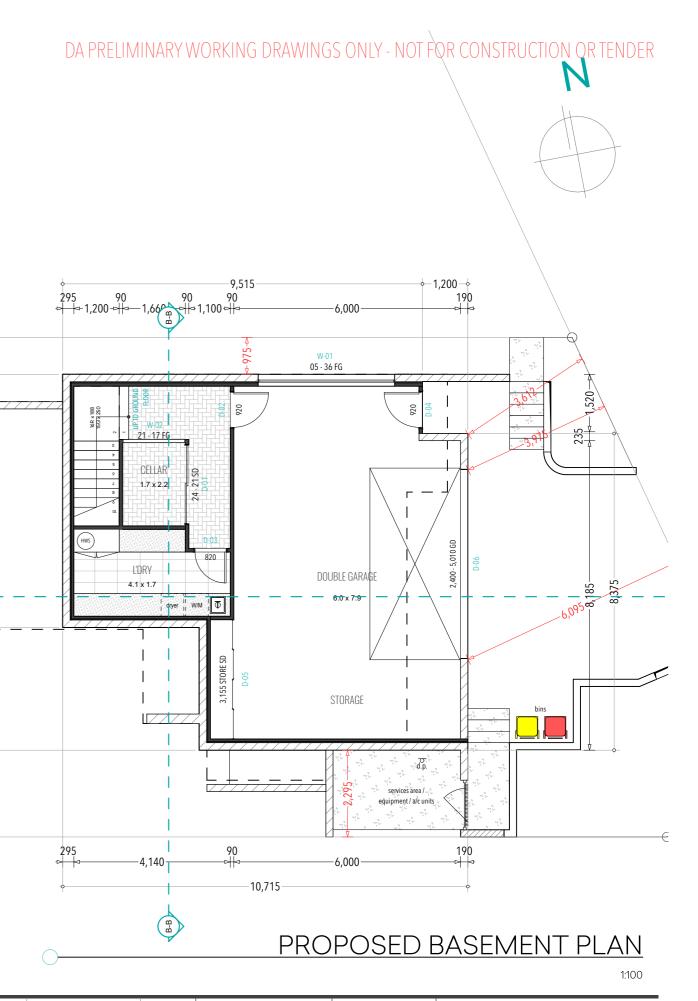
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8 of 35 DRAWN BY: CHECKED BY: B.E. B.E.











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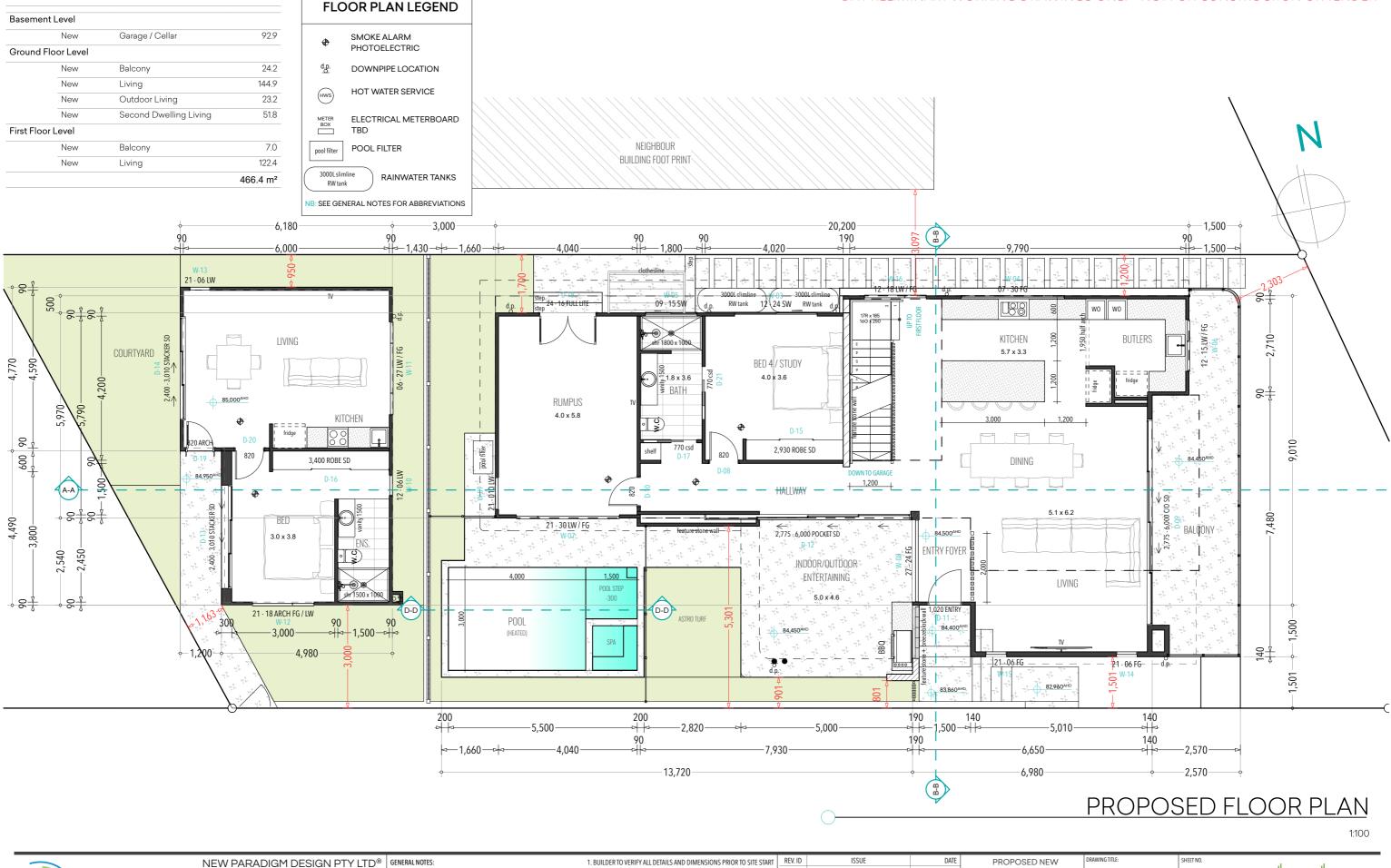
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PROPOSED NEW RESIDENCE BASEMENT Sophia & Stuart Naylor FLOOR PLAN SITE ADDRESS: 2 Prince Edward Rd

Seaforth NSW 1:100, 1:1 A3

9 of 35 DRAWN BY: CHECKED BY: B.E. B.E.

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FLOOR AREA SCHEDULE

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STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS

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I PRELIMINARY WORKING DRAWINGS 20/1/2025

RESIDENCE

CLIENT: Sophia & Stuart Naylor

SITE ADDRESS:

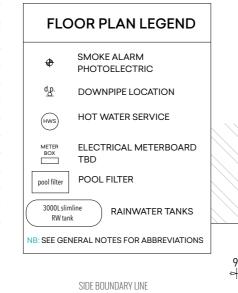
GROUND FLOOR
PLAN

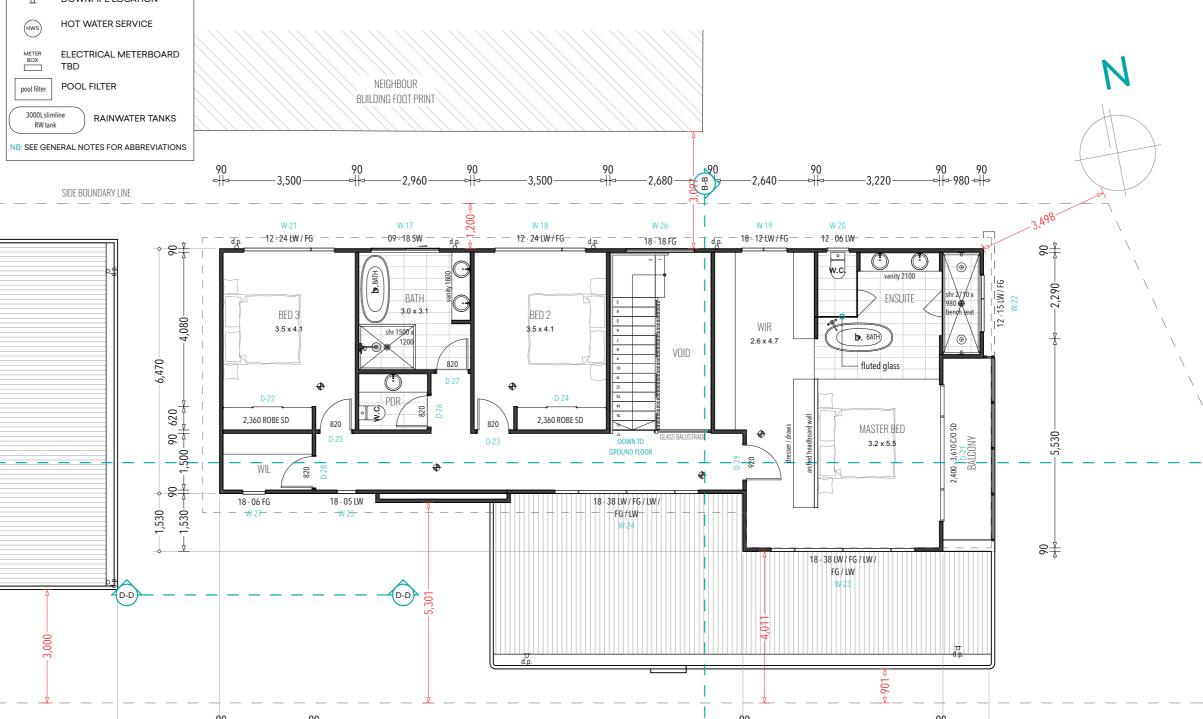
Seaforth NSW | 1:100, 1:1 A3

2 Prince Edward Rd









PROPOSED FIRST FLOOR PLAN

<del>|</del>|-1,220⊸|

**←1,220 ←** 



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STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS

13,840

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PROPOSED NEW RESIDENCE FIRST FLOOR Sophia & Stuart Naylor PLAN SITE ADDRESS: 2 Prince Edward Rd

Seaforth NSW | 1:100, 1:1 A3

5,110-

5,290

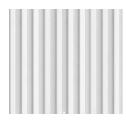
11 of 35 DRAWN BY: CHECKED BY: B.E.

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B.E.



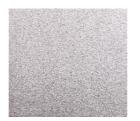
150mm white weathertex weathergroove smooth cladding



batten screening



timber batten garage door



rendered greenboard - painted white



300mm white weathertex weathergroove smooth cladding



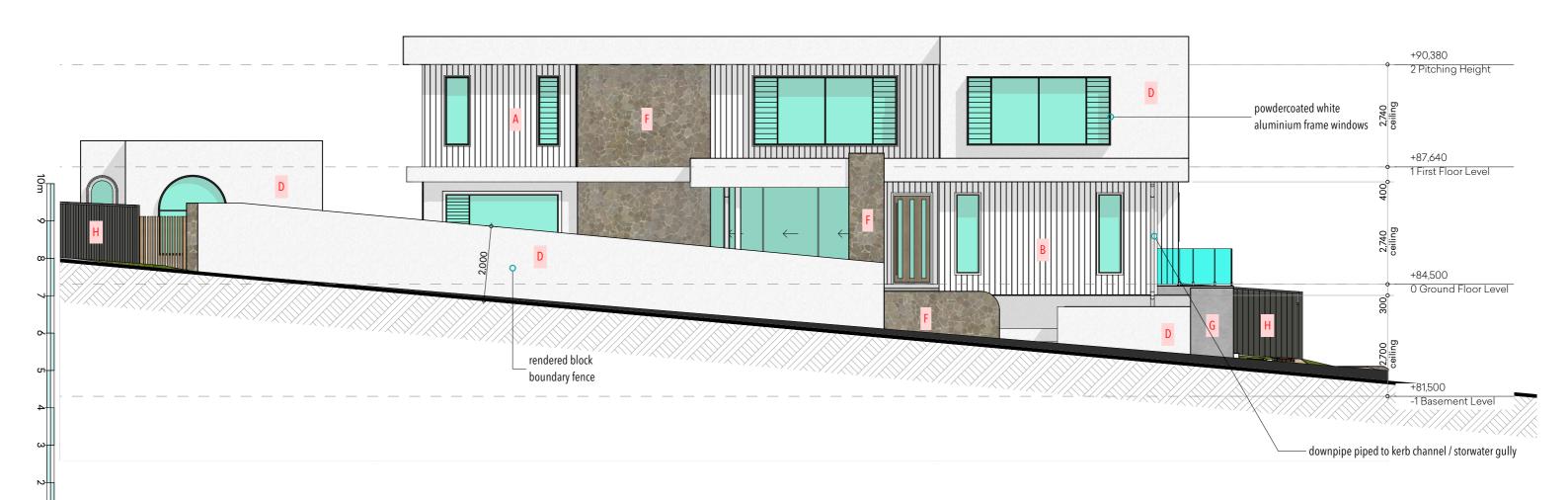
feature stone



G formed concrete finish



1.8m high timber H pailing fence to side boundaries - painted woodland grey





1:100



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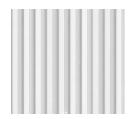
	PROPOSED NEW	DRAWING HILE:
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ENT: Sophia & Stuart Naylor		FLEVATION 1
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	2 Prince Edward Rd	SCALE:

Seaforth NSW 1:100 A3

12 of 35 CHECKED BY: DRAWN BY: B.E. B.E. **BUILDING DESIGNERS** ASSOCIATION OF AUSTRALIA



150mm white weathertex weathergroove smooth cladding



batten screening



timber batten garage door



rendered greenboard - painted white



300mm white weathertex weathergroove smooth cladding



feature stone



G formed concrete finish



1.8m high timber H pailing fence to side boundaries painted woodland grey





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PRELIMINARY WORKING 6/11/2024 DRAWINGS PRELIMINARY WORKING 13/11/2024 DRAWINGS PRELIMINARY WORKING 20/1/2025 DRAWINGS

PROPOSED NEW RESIDENCE Sophia & Stuart Naylor **ELEVATION 2** SITE ADDRESS: 2 Prince Edward Rd SCALE:

Seaforth NSW 1:100 A3

13 of 35 DRAWN BY: B.E.

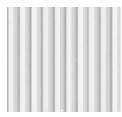
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B.E.

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150mm white weathertex weathergroove smooth cladding



white aluminium batten screening



timber batten garage door



rendered greenboard - painted white



300mm white weathertex weathergroove smooth cladding



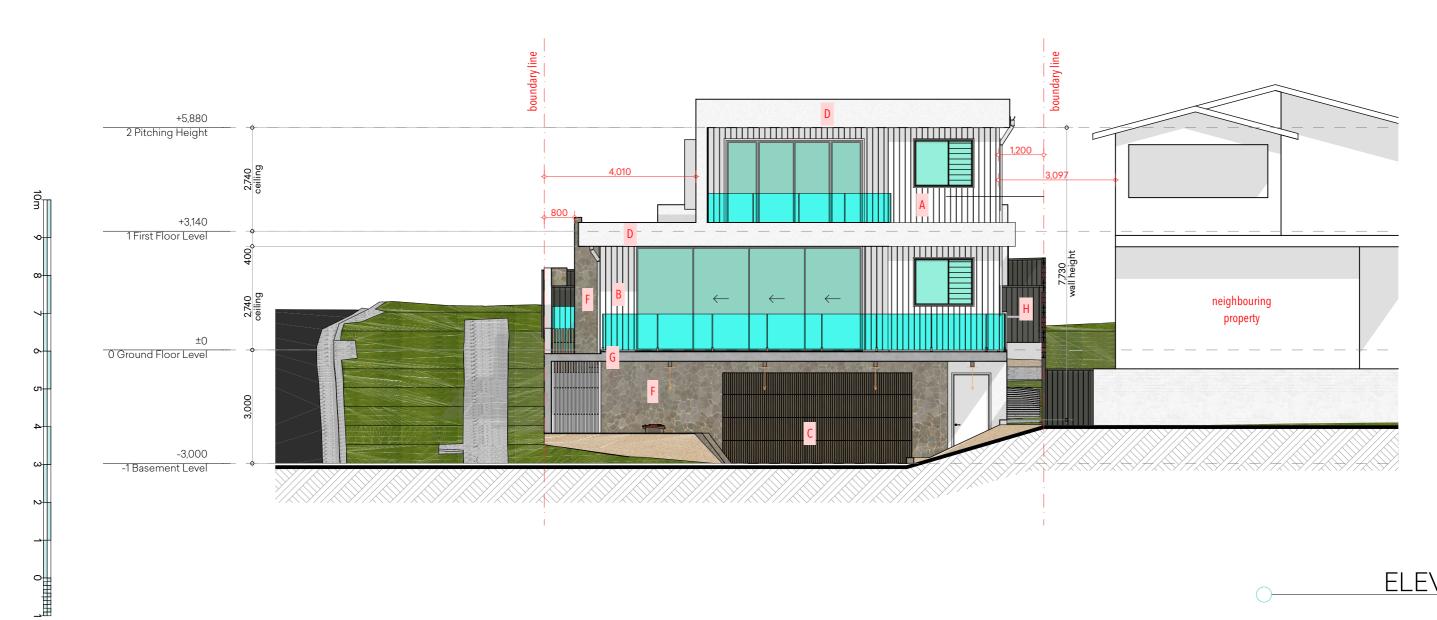
feature stone



G formed concrete finish



1.8m high timber H pailing fence to side boundaries - painted woodland grey



**ELEVATION 3** 

1:100



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	ı	PRELIMINARY WORKING DRAWINGS	20/1/2025	

DATE

PROPOSED NEW RESIDENCE	DRAWING TITLE:
ENT: Sophia & Stuart Naylor	FLEVATION 3
E ADDRESS:	SCALE:

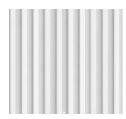
Seaforth NSW | 1:100 A3

14 of 35 DRAWN BY: CHECKED BY: B.E. B.E.





150mm white weathertex weathergroove smooth cladding



white aluminium batten screening



timber batten garage door



rendered greenboard - painted white



300mm white weathertex weathergroove smooth cladding



feature stone



G formed concrete finish



1.8m high timber H pailing fence to side boundaries - painted woodland grey



**ELEVATION 4** 

1:100



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GENERAL NOTES: - REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT x WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS 6. AL

1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START	-
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE	
3. DO NOT SCALE FROM PLAN	
ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN	-
STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY	
5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600.1/2009(A)&(B)	-
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STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.	

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	PROPOSED NEW RESIDENCE	DRAWING TILE.
CLIENT:	Sophia & Stuart Naylor	FI EVATION 4
SITE ADDRESS	i.	
	2 Prince Edward Rd	SCALE:

Seaforth NSW 1:100 A3



#### FLOOR LEVELS & BALCONY STEPDOWNS

finished slab level and surrounding ground/slabs to NCC 2022 Vol 2 Housing Provision part 3.3.3. - the height to the slab-on-ground (measured at the slab edge) above external finished surfaces must be not less than 150mm above finished ground level; or 100mm above sandy, well-drained areas; or 50 mm above paved or concreted areas that slope away from the building in accordance with NCC Vol 2 HP part 3.3.3.

Recommended balcony step downs/termination heights - N1 40mm, N2 50mm, N3 75mm, N4 100mm - Waterproofing membranes for external above ground use must comply with AS 4654.1 and AS 4654.2.

#### **BOX GUTTER NOTES**

#### STRUCTURAL NOTE

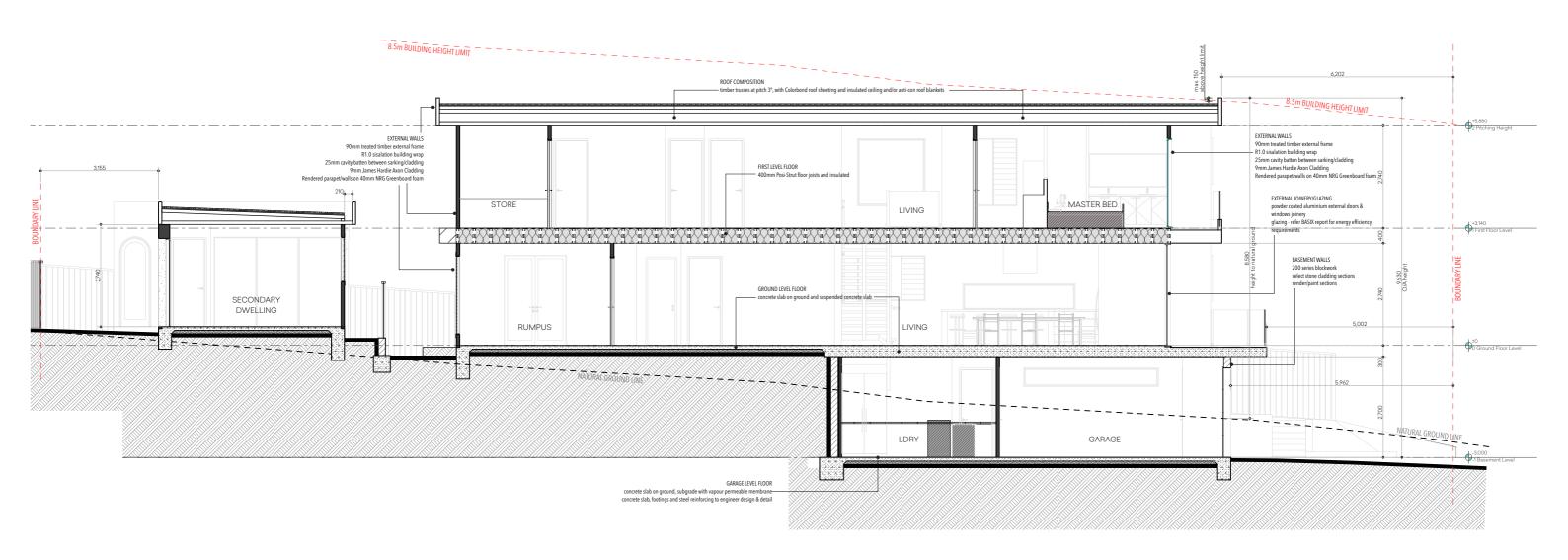
all structural elements - tie down & bracing, footings, columns, roof framing and wall frame to be designed & sized by a registered practicing engineer queensland (RPEQ)

#### **GENERAL NOTE**

all details, dimensions, materials etc to be verified with designer & client prior to build and necessary alterations rectified prior to construction start on site

#### FRAMING NOTE

trusses, roof frame, wall frame, subfloor frame and tie down & bracing designed and installed in accordance with AS1684.2 2021 and manufacturers specifications



#### TERMITE VISUAL BARRIER OR MANAGEMENT SYSTEMS

termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1/2014 and NCC 2022 Vol 2 HP part 3.4. (refer details page) -

termite management system to NCC 2022 VOL 2 HP PART 3.4.2. - all select barrier products refer to manufacturers specification and conditions of approval

SECTION A-A

B.E.

4400



NEW PARADIGM DESIGN PTY LTD®

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1/2544 GOLD COAST HIGHWAY MERMAID BEACH 4218 QBCC LIC 1519 5787

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GENERAL NOTES:

- REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY

- WINDOWS DIMENSIONED AS HEIGHT x WIDTH

- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START
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REV. ID	ISSUE	DAT
G	PRELIMINARY WORKING DRAWINGS	6/11/2024
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I	PRELIMINARY WORKING DRAWINGS	20/1/202

CLIENT:

SITE ADDRES

PROPOSED NEW RESIDENCE	DRAWING TITLE:
Sophia & Stuart Naylor	SECTION A-A
S: 2 Pripos Edward Pd	SCALE:

Seaforth NSW | 1:100 A3

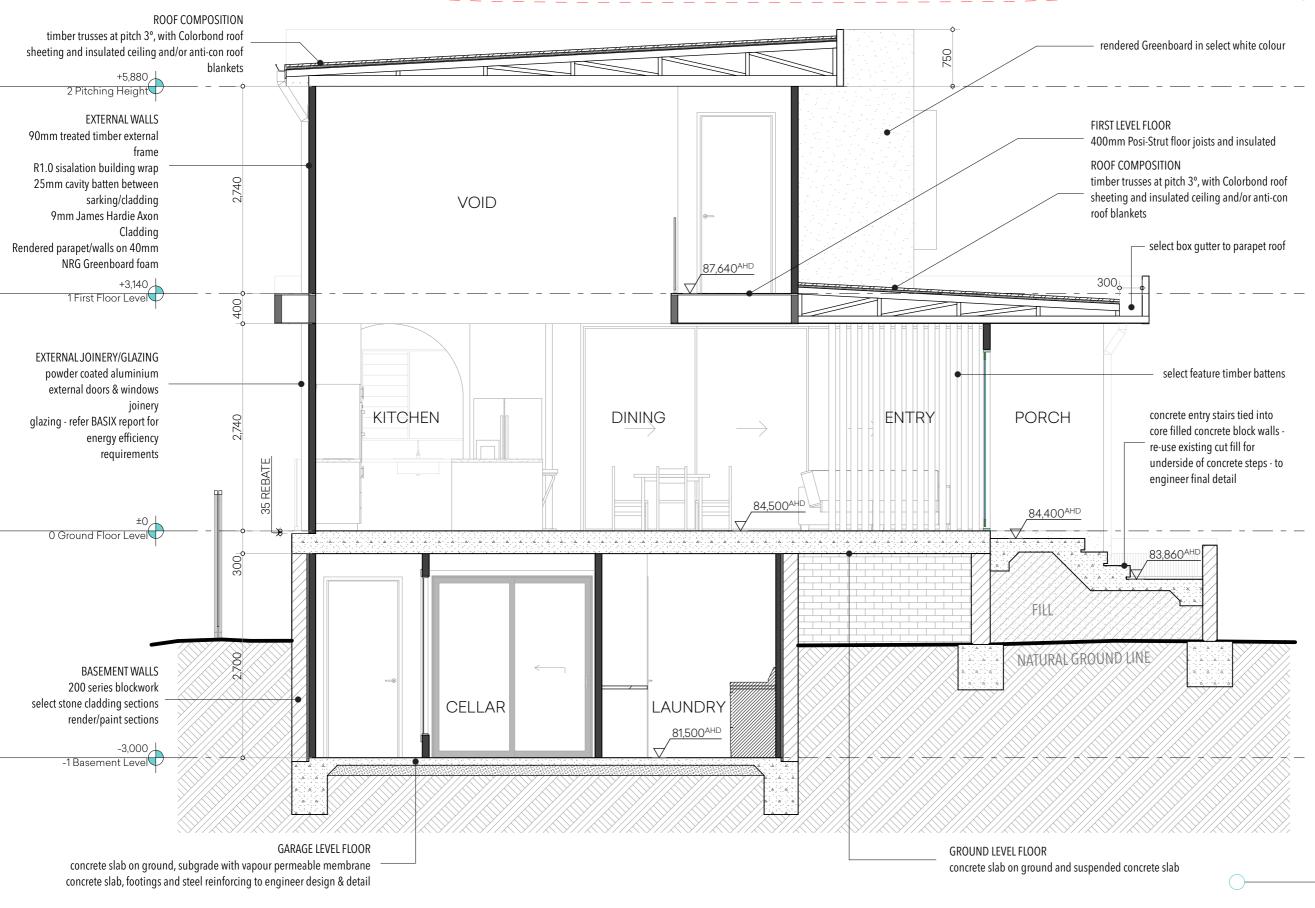
16 of 35

BY: CHECKED BY:

B.E.

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA



#### BOX GUTTER NOTES

- 1. the minimum width for domestic projects is 200mm
- 2. box gutters must be straight no bends
- 3. sides must be vertical
- 4. gutter maintains a constant width
- 5. must have a constant slope between
- 1:40 and 1:100
- 6. downpipe must be vertical from sump 7. minimum sump length is 400mm

# TERMITE VISUAL BARRIER OR MANAGEMENT SYSTEMS

termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1/2014 and NCC 2022 Vol 2 HP part 3.4. (refer details page) - termite management system to NCC 2022 VOL 2 HP PART 3.4.2. - all select barrier products refer to manufacturers specification and conditions of approval

#### STRUCTURAL NOTE

all structural elements - tie down & bracing, footings, columns, roof framing and wall frame to be designed & sized by a registered practicing engineer queensland (RPEQ)

#### **GENERAL NOTE**

all details, dimensions, materials etc to be verified with designer & client prior to build and necessary alterations rectified prior to construction start on site

#### FRAMING NOTE

trusses, roof frame, wall frame, subfloor frame and tie down & bracing designed and installed in accordance with AS1684.2 2021 and manufacturers specifications

**SECTION B-B** 

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 20/1/2025

DATE

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PROPOSED NEW
RESIDENCE

CUENT:
Sophia & Stuart Naylor
SITE ADDRESS:
2 Prince Edward Rd

SCALE:

DRAWING TITLE:

SECTION B-B

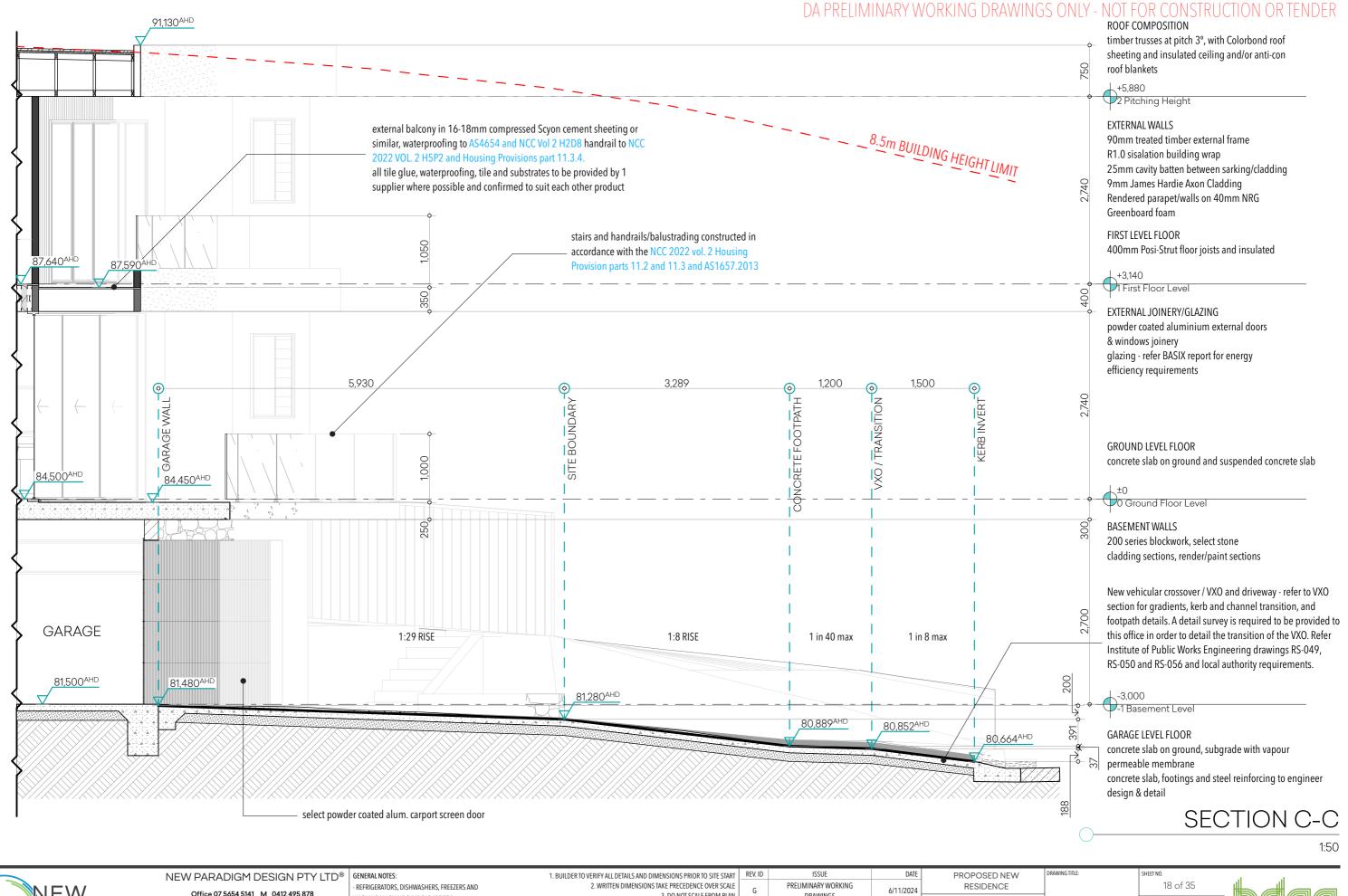
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B.E. B.E.







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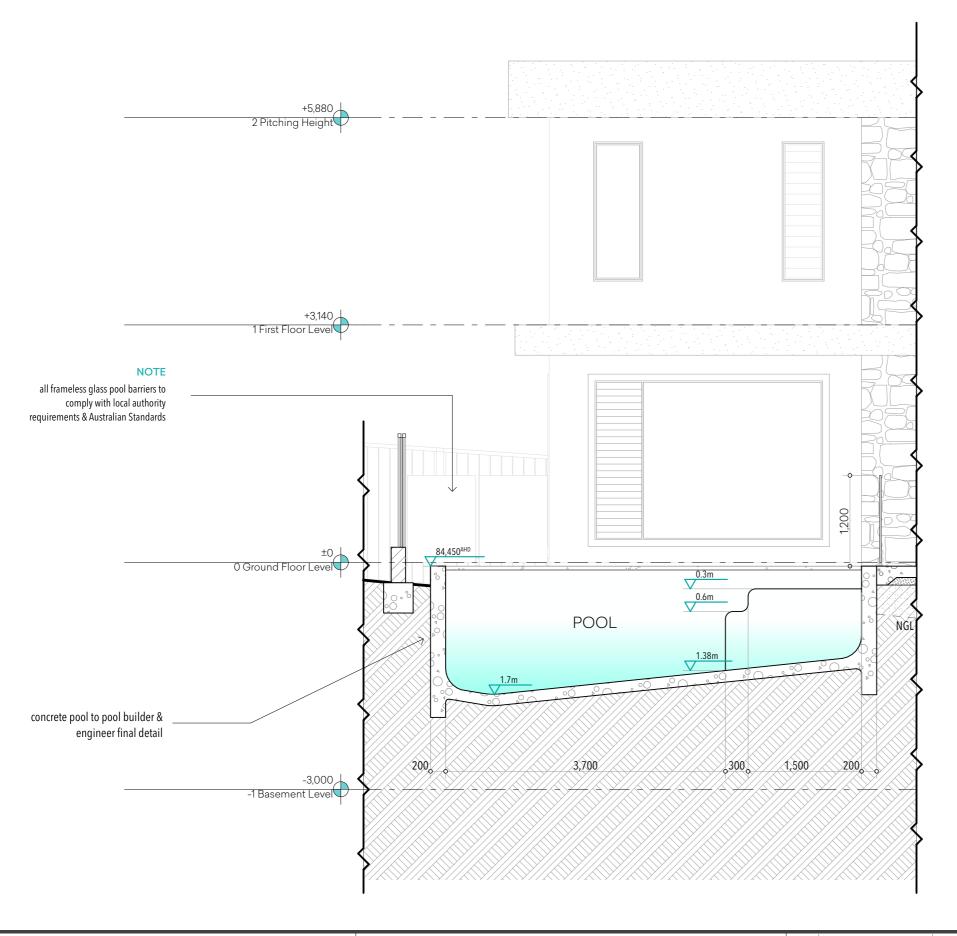
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DRAWN BY:
B.E.

CHECKED BY:

B.E.

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



SECTION D-D (POOL)

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PROPOSED NEW	DRAWING TITLE:
RESIDENCE	
Sophia & Stuart Naylor	SECTION D-D (POOL)
SS:	(
2 Prince Edward Rd	SCALE:
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Seaforth NSW 1:50 A3

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OL)	B.E.	



X EXISTING WASTE POSITION

#### **SLAB PLAN NOTES**

ALL SITE PREPARATION, CUT/FILL AND EXCAVATION TO NCC VOL 2 PART 3.2. ALL FOOTINGS AND CONCRETE SLABS TO ADHERE TO NCC 2022 VOI 2 & HOUSING PROVISIONS PART 4.2.

PLUMBER TO VERIFY ALL DIMENSIONS PRIOR TO POSITIONING UNDERSLAB POINTS. MEASUREMENTS MAY VARY. ALL PLUMBING AND DRAINAGE WORK TO COMPLY WITH AS3500-2003, NCC 2022 VOL. 3, AND NCC 2022 VOL 2 & HOUSING PROVISIONS PART

ALL SLAB DIMENSIONS TO BE VERIFIED PRIOR TO SETOUT. SLAB AND FOOTINGS TO BE CONSTRUCTED TO ENGINEERS DETAIL AND IN ACCORDANCE WITH AS2870.

TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS3600.1. AND NCC 2022 VOL 2. & HOUSING PROVISIONS PART 3.4.

FOUNDATIONS OF FOOTING AND SLAB CONSTRUCTION TO COMPLY WITH NCC VOL 2, PART 3,2,5,

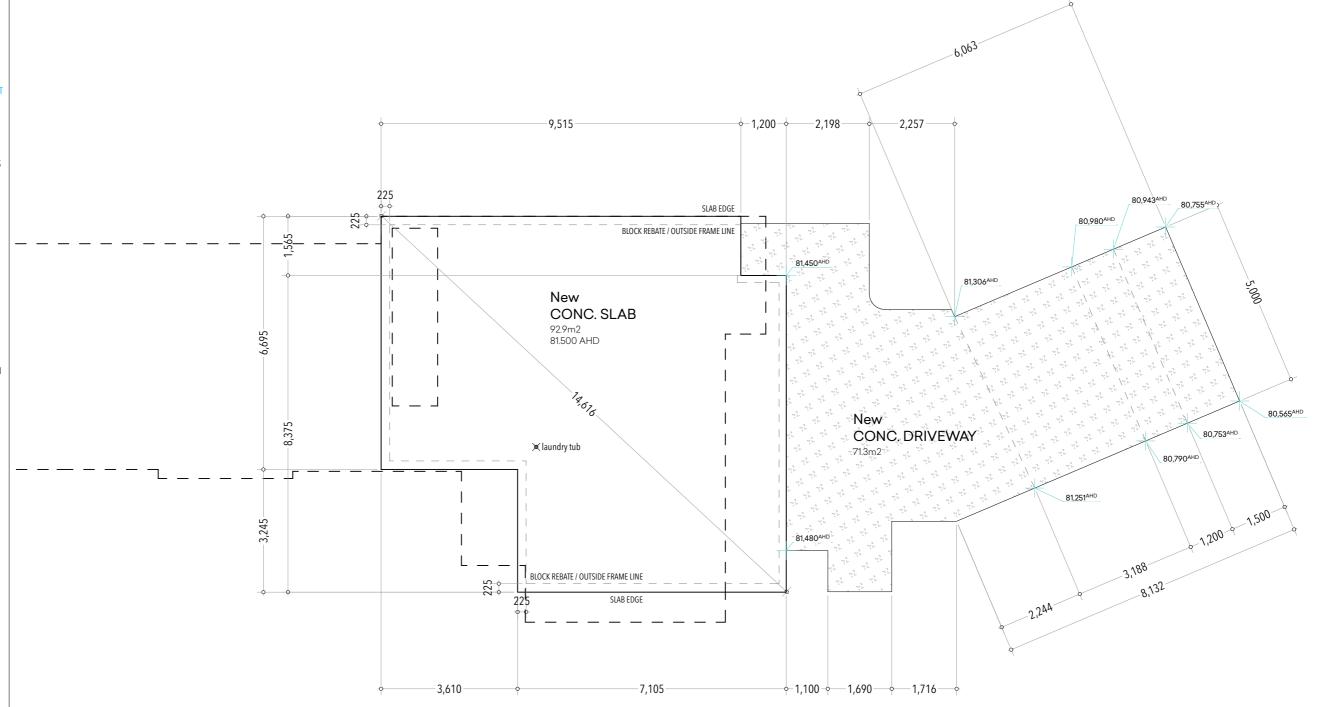
ALL TIMBER SUB-FLOOR MEMBER SIZES AND SPANS SUBJECTTO **ENGINEER DESIGN & SPECIFICATION** AND TO BE COMPLIANT WITH AS1684.2-2021.

WET AREAS - ARE TO BE REBATED 45mm IN TO CONCRETE SLAB AT A MINIMUM. IT IS A REQUIREMENT TO REBATE TIMBER FLOOR JOISTS OR TRUSSES 45mm AS A MINIMUM. SUBJECT TO GRADIENTS OF PLUMBING REQUIREMENTS.

ENGINEER PROVIDED SUB-FLOOR LAYOUT SUPERSEDES SUBFLOOR LAYOUT SHOWN HERE.

FINISHED SLAB LEVELTO COMPLY WITH NCC 2022 VOL 2 & HOUSING OVISIONS PART 3.3.3. - THE HEIGHT TO THE SLAB ON GROUND (MEASURED AT THE SLAB EDGE) ABOVE EXTERNAL FINISHED SURFACES MUST BE NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL; OR 100mm ABOVE SANDY, WELL DRAINED AREAS; OR 50mm ABOVE PAVED OR CONCRETED AREAS THAT SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH NCC PART 3.3.3.

SLAB & FLOOR WASTE SYMBOLS ARE INDICATIVE ONLY AND SUBJECT TO FINAL FIXTURE SELECTION, THEIR MANUFACTURER SPECS. AND PLUMBER/BUILDER REQUIREMENTS



SLAB PLAN BASEMENT

B.E.



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PRELIMINARY WORKING 6/11/2024 DRAWINGS PRELIMINARY WORKING 13/11/2024 DRAWINGS PRELIMINARY WORKING 20/1/2025 DRAWINGS

DATE

ISSUE

REV. ID

PROPOSED NEW RESIDENCE SLAB PLAN Sophia & Stuart Naylor **BASEMENT** SITE ADDRESS

Seaforth NSW | 1:100 A3

2 Prince Edward Rd

20 of 35 DRAWN BY: CHECKED BY: B.E.

**BUILDING DESIGNERS** ASSOCIATION OF AUSTRALIA

#### **SLAB PLAN NOTES**

ALL SITE PREPARATION, CUT/FILL AND EXCAVATION TO NCC VOL 2 PART 3.2. ALL FOOTINGS AND CONCRETE SLABS TO ADHERE TO NCC 2022 VOL 2 & HOUSING PROVISIONS PART 4.2.

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FOUNDATIONS OF FOOTING AND SLAB CONSTRUCTION TO COMPLY WITH NCC VOL 2. PART 3.2.5.

ALLTIMBER SUB-FLOOR MEMBER SIZES AND SPANS SUBJECT TO **ENGINEER DESIGN & SPECIFICATION** AND TO BE COMPLIANT WITH AS1684.2-2021.

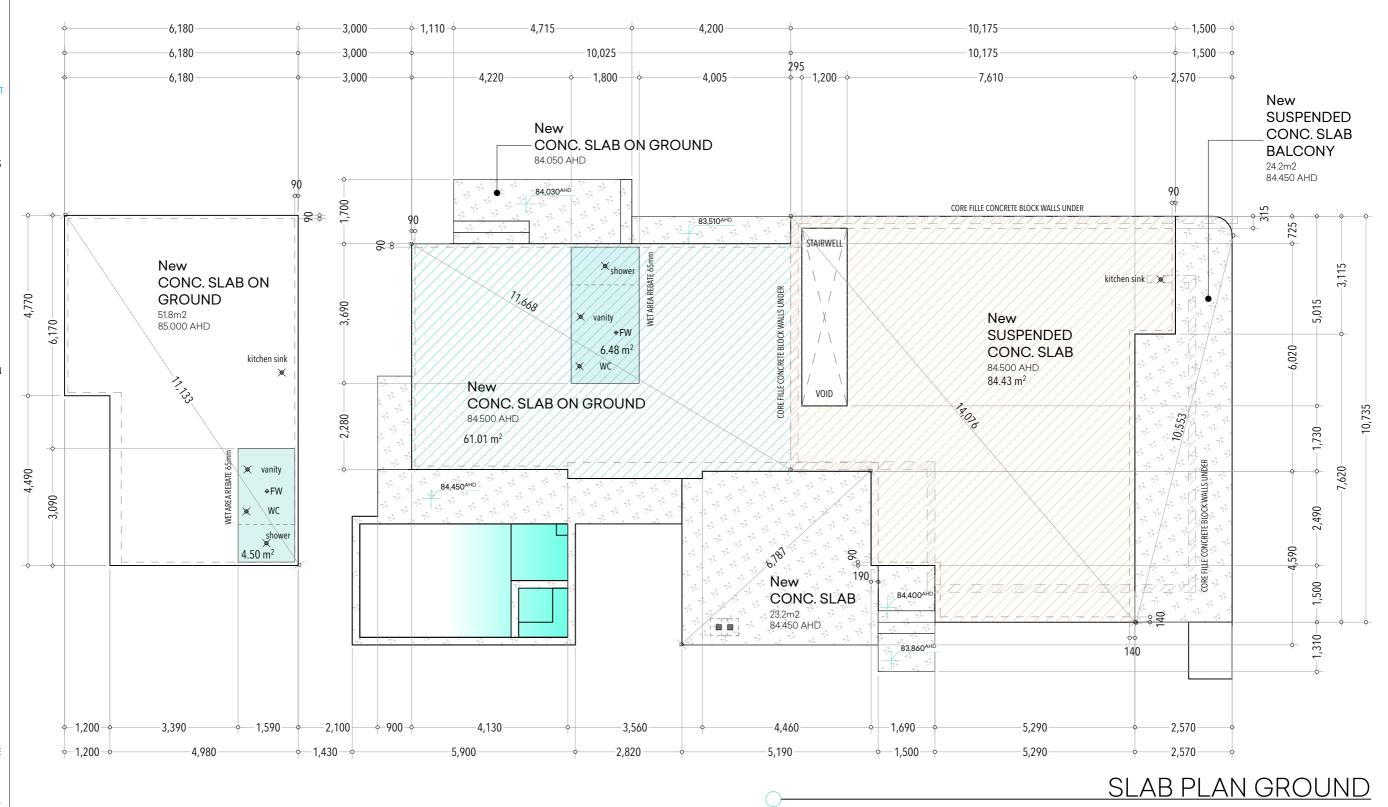
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PROPOSED NEW RESIDENCE SLAB PLAN Sophia & Stuart Naylor **GROUND** 2 Prince Edward Rd

Seaforth NSW | 1:100 A3

21 of 35 DRAWN BY: CHECKED BY: B.E. B.E.



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**⋈** NEW WASTE POSITION X EXISTING WASTE POSITION

#### **SLAB PLAN NOTES** ALL SITE PREPARATION, CUT/FILL AND

EXCAVATION TO NCC VOL 2 PART 3.2. ALL FOOTINGS AND CONCRETE SLABS TO ADHERE TO NCC 2022 VOL 2 & HOUSING PROVISIONS PART 4.2

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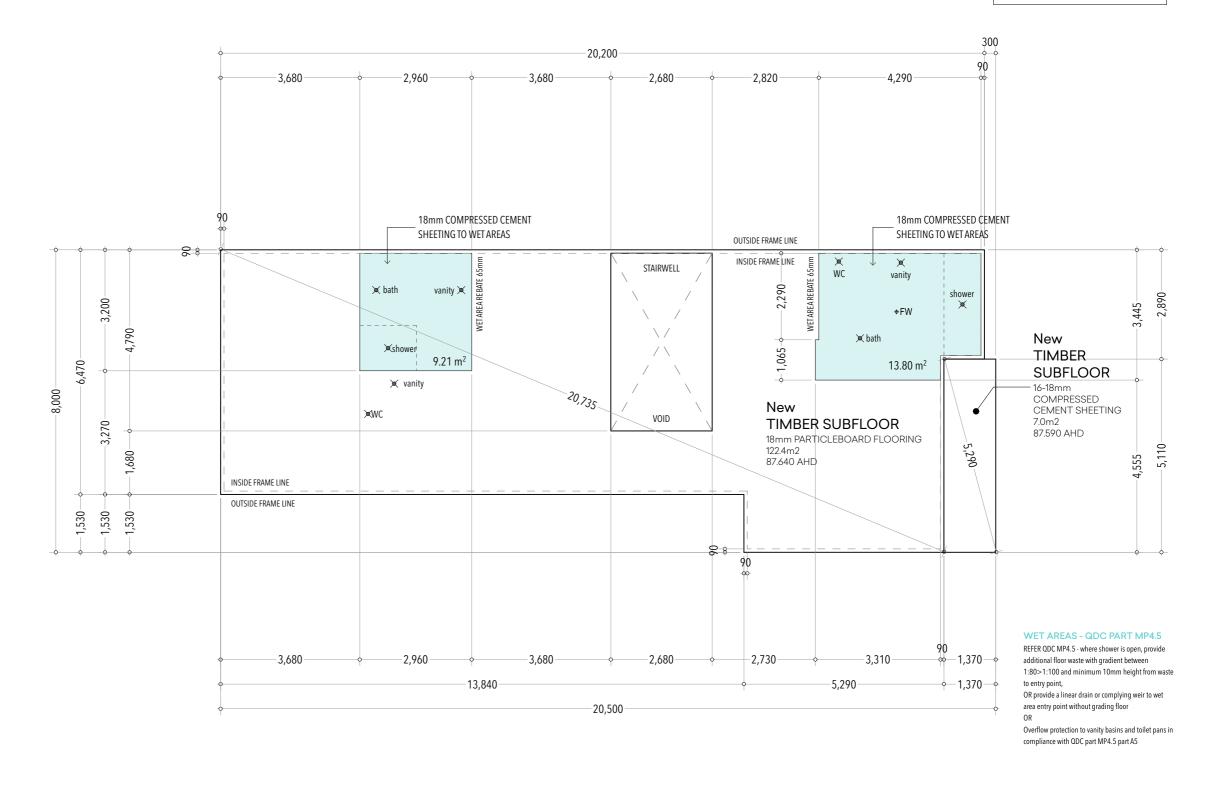
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# UPPER FLOOR FRAMING PLAN

22 of 35

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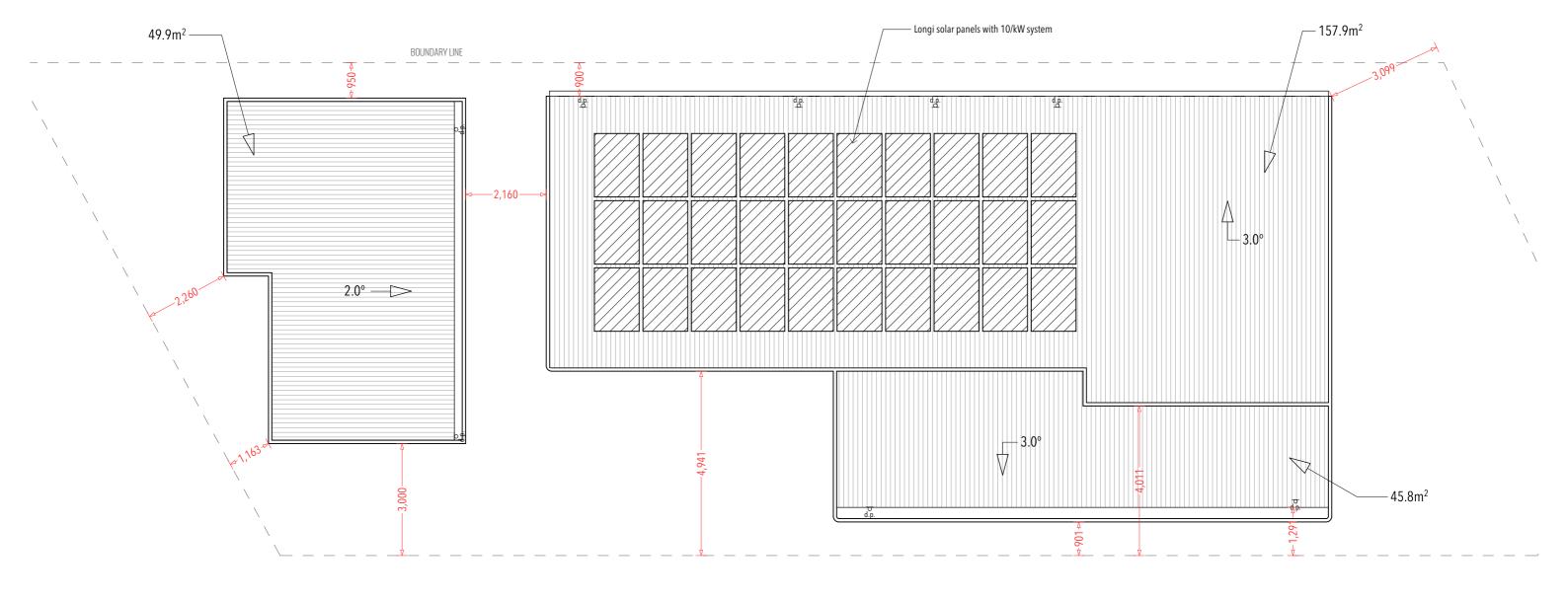
ISSUE

PROPOSED NEW RESIDENCE UPPER FLOOR Sophia & Stuart Naylor

DRAWN BY: FRAMING PLAN B.E. **BUILDING DESIGNERS** ASSOCIATION OF AUSTRALIA

1/2544 GOLD COAST HIGHWAY MERMAID BEACH 4218 STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY WINDOWS DIMENSIONED AS HEIGHT x WIDTH SITE ADDRESS 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600.1/2009(A)&(B) 2 Prince Edward Rd 6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL Seaforth NSW | 1:100 A3 STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS

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	5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600.1/2009(A)&(B)
ć	. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL
	STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

-	DATE	ISSUE	LEV. ID
4 CLIENT	6/11/2024	PRELIMINARY WORKING DRAWINGS	G
4 SITE AD	13/11/2024	PRELIMINARY WORKING DRAWINGS	Н
5	20/1/2025	PRELIMINARY WORKING	ı

	PROPOSED NEW RESIDENCE	DRAWING TITLE:
	CLIENT: Sophia & Stuart Naylor	ROOF PLAN
	SITE ADDRESS:	
1	2 Drings Edward Dd	SCALE:

Seaforth NSW 1:100 A3

	51122111
ROOF PLAN	DRAWN
COME	

<sup>NO.</sup> 23 of 35		
i BY: .E.	CHECKED BY: B.F.	
.E.	D.E.	BUILDING DESIGNERS
		ASSOCIATION OF AUSTRALIA

#### NOTE

ALL ELECTRICAL EXCEPT SMOKE DETECTORS, IS INDICATIVE ONLY AND TO BE VERIFIED WITH OWNERS, AND BUILDER/FLECTRICAN DURING QUOTING AND BUILDING STAGES

#### **ELECTRICAL PLAN NOTES**

- 1. ALL HEIGHTS ARE TO BE MEASURED FROM THE MAIN FLOOR LEVEL UNLESS OTHERWISE NOTED
- 2. LIGHT SWITCHES @ 1300mm MAX ABOVE GROUND LEVEL
- 3. TOP OF METER BOX TO BE 1900 mm MAX ABOVE GROUND LEVEL
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- OTHERWISE DIMENSIONED. 5. PROVIDE SMOKE ALARMS /
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- 2 H3D6 AND HOUSING PROVISIONS PART 9.5.1. AND AS3786 - 2004.
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- 7. L.E.D. LIGHTING IS RECOMMENDED
- TO ALL POSSIBLE APPLICATIONS. 8. ALL ELECTRICAL WORK TO COMPLY TO AS3000 - 2003

## **ELECTRICAL LEGEND**

GPO SPECIAL PT. - REFER STD. DETAILS  $\bigcirc$ DOUBLE GPO 300mm  $\wedge$ SINGLE GPO 1050mm DOUBLE GPO 1050mm USB DOUBLE GPO & USB POINT 1050mm

SIDE TABLE POSITIONS

DOWNLIGHT MOUNTED

DOUBLE GPO & USB PT. TO SUIT BED

 $\bigcirc$ SOLAR LED

Ī LIGHT ON WALL 

DOWNLIGHT RECESSED 0

(P)

PENDANT LIGHT ADJUSTABLE SELECT BATHROOM WALL LIGHT

FLURO CEILING 1200mm

LED BATTEN CEILING 1200mm

FLOOD LIGHT

MOTION DETECTING SENSOR LIGHT

圭

 $(\times)$ 

 $\otimes$ 

ANTENNA POINT

 $\nabla$ 

DATA/PHONE POINT

 $\otimes$ 

**EXHAUST FAN** EXHAUST FAN W/ LIGHT

(0)

HEAT LAMP/LIGHT/EXHAUST UNIT

 $\bigcirc$  AC

CEILING FAN 1200mm

AIR CON DUCT OUTLET



METER BOX

SMOKE DETECTOR PHOTO-ELECTRIC

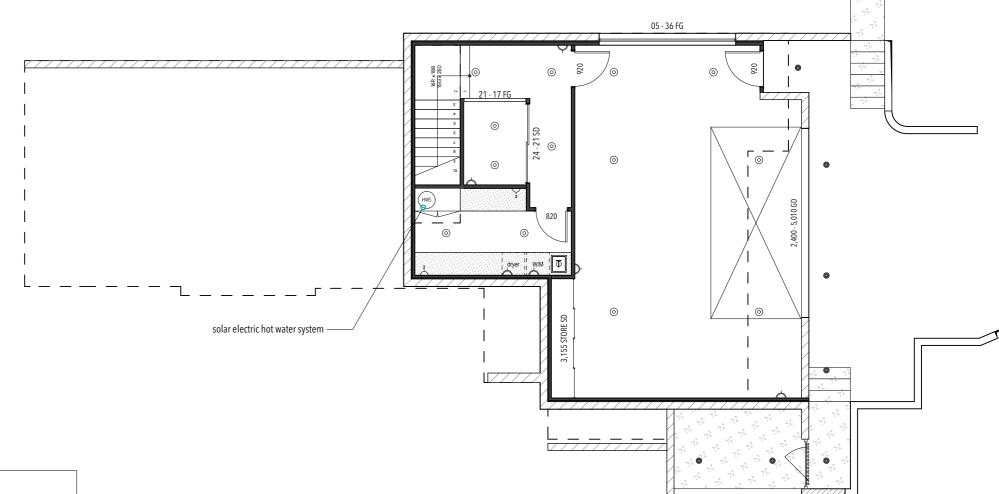
ELECTRICAL METERBOARD TBD

#### **ENERGY EFFICIENT LIGHTING**

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# ELECTRICAL PLAN BASEMENT

DEVININ BA

B.E.

24 of 35



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G	PRELIMINARY WORKING DRAWINGS	6/11/2024
Н	PRELIMINARY WORKING DRAWINGS	13/11/2024
I	PRELIMINARY WORKING DRAWINGS	20/1/2025

CLIENT:

SITE ADDRESS

RESIDENCE	
Sophia & Stuart Naylor	ELECTRICAL PLAN BASEMENT
:	
2 Prince Edward Rd	SCALE:
21 mice Lawara na	

Seaforth NSW | 1:100, 1:1.11 A3



**ELECTRICAL LEGEND** 

Cat 6 Data Pt

Ceiling Fan Downlight LED Recessed

Exhaust Fan w/LED

GPO Bedside Height

GPO Double 300mm

GPO Double 1050mm

Special Pendant

TV height GPO Double

TV Antenna Pt

GPO Double 1050mm w/USB

GPO refer standard heights

Smoke Detector Photo-Flectric

0

**Φ** 

P

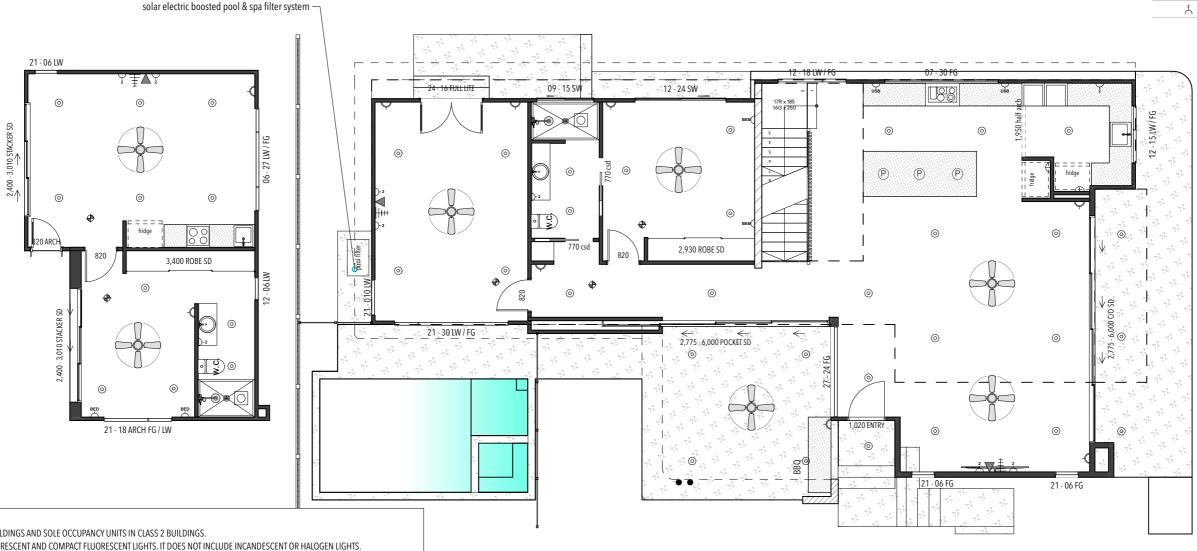
41

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# **ELECTRICAL PLAN GROUND**

B.E.



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G	PRELIMINARY WORKING DRAWINGS	6/11/2024
Н	PRELIMINARY WORKING DRAWINGS	13/11/2024
I	PRELIMINARY WORKING DRAWINGS	20/1/2025

PROPOSED NEW RESIDENCE **ELECTRICAL** Sophia & Stuart Naylor PLAN GROUND SITE ADDRESS

Seaforth NSW | 1:1.11, 1:100 A3

2 Prince Edward Rd

25 of 35 DRAWN BY: CHECKED BY: B.E.

**BUILDING DESIGNERS** ASSOCIATION OF AUSTRALIA

#### ELECTRICAL LEGEND Ceiling Fan Downlight LED Recessed 27 0 Exhaust Fan Only 0 Exhaust Fan w/LED GPO Bedside Height GPO Double 300mm GPO Double 1050mm

Smoke Detector Photo-Electric

#### **ELECTRICAL PLAN NOTES**

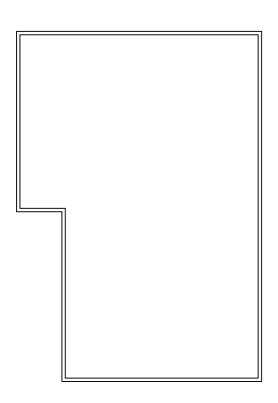
ALL ELECTRICAL EXCEPT SMOKE DETECTORS,

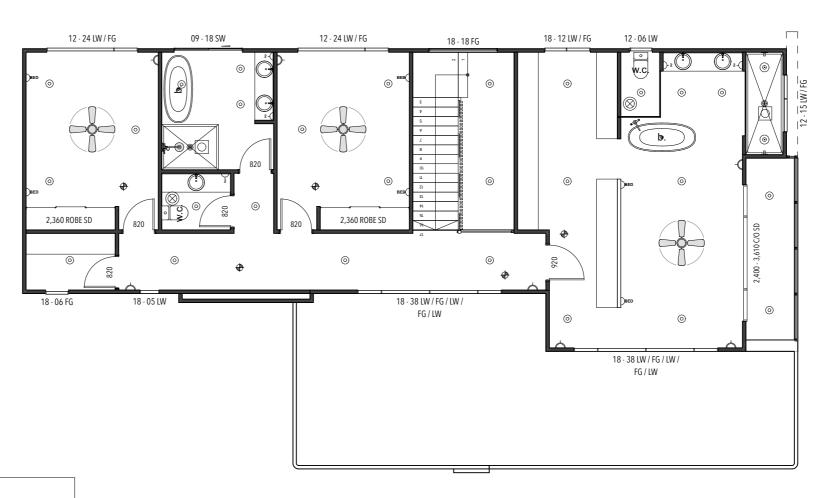
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# ELECTRICAL PLAN UPPER

CHECKED BY:

B.E.



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PRELIMINARY WORKING 6/11/2024 DRAWINGS PRELIMINARY WORKING 13/11/2024 DRAWINGS PRELIMINARY WORKING 20/1/2025 DRAWINGS

DATE

ISSUE

RFV. ID

PROPOSED NEW RESIDENCE **ELECTRICAL** Sophia & Stuart Naylor FIRST FLOOR SITE ADDRESS

Seaforth NSW | 1:1, 1:100, 1:1.11, 1:1.10 A3

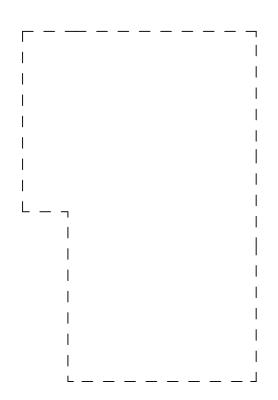
2 Prince Edward Rd

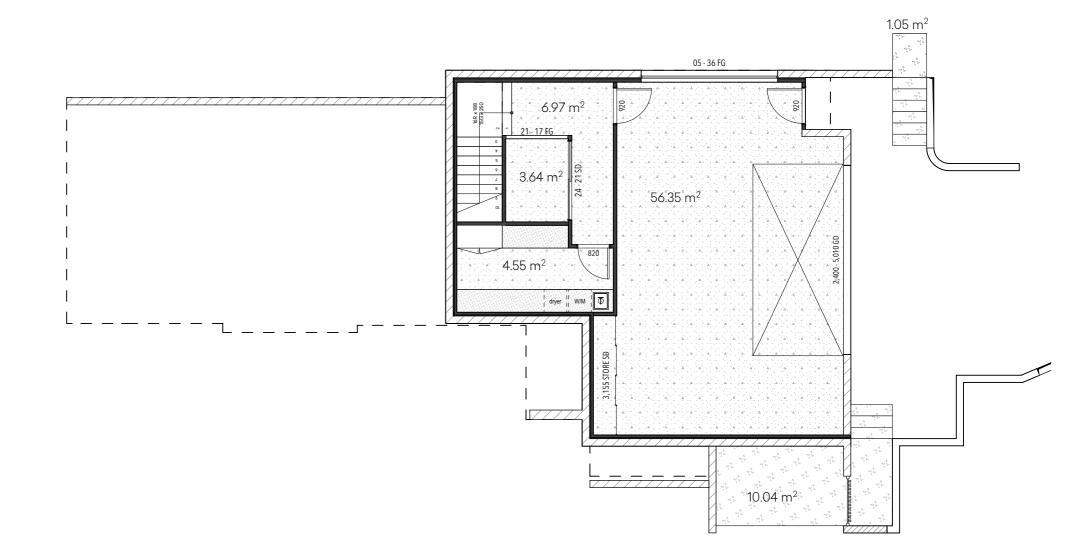
26 of 35 DRAWN BY: B.E.

**BUILDING DESIGNERS** ASSOCIATION OF AUSTRALIA









#### FLOOR COVERING & TILING NOTES:

- 1.FLOOR TILE HATCHING SHOWN INDICATES AREA TO BE TILED ONLY AND NOT THE FINISHED LAYOUT
- 2. THESE DIMENSIONS ARE A PRICING GUIDE ONLY AND ALL AREAS AND SIZES MUST BE CHECK MEASURED ON SITE PRIOR TO FABRICATION OR CUTTING
- 3. TRANSITIONS BETWEEN FLOOR COVERINGS TO BE CENTRALISED WITH DOOR THICKNESS
- 4. ALL FLOOR COVERING SELECTIONS ARE TO BE VERIFIED WITH PROPERTY OWNER/CLIENT AND BUILDING CONTRACTOR PRIOR TO ORDERING MATERIALS

# FLOOR COVERINGS BASEMENT



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PRELIMINARY WORKING 6/11/2024 DRAWINGS PRELIMINARY WORKING 13/11/2024 DRAWINGS PRELIMINARY WORKING 20/1/2025 DRAWINGS

DATE

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PROPOSED NEW RESIDENCE FLOOR COVERINGS Sophia & Stuart Naylor BASEMENT SITE ADDRESS:

Seaforth NSW 1:100 A3

2 Prince Edward Rd

27 of 35 DRAWN BY: CHECKED BY: B.E.

**BUILDING DESIGNERS** ASSOCIATION OF AUSTRALIA

B.E.





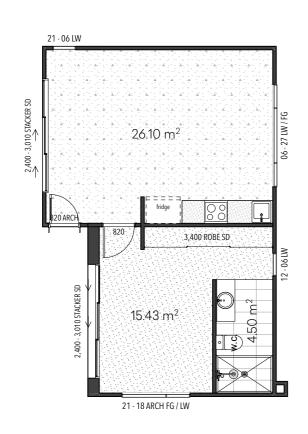
HONED CONCRETE **EXTERIOR** 

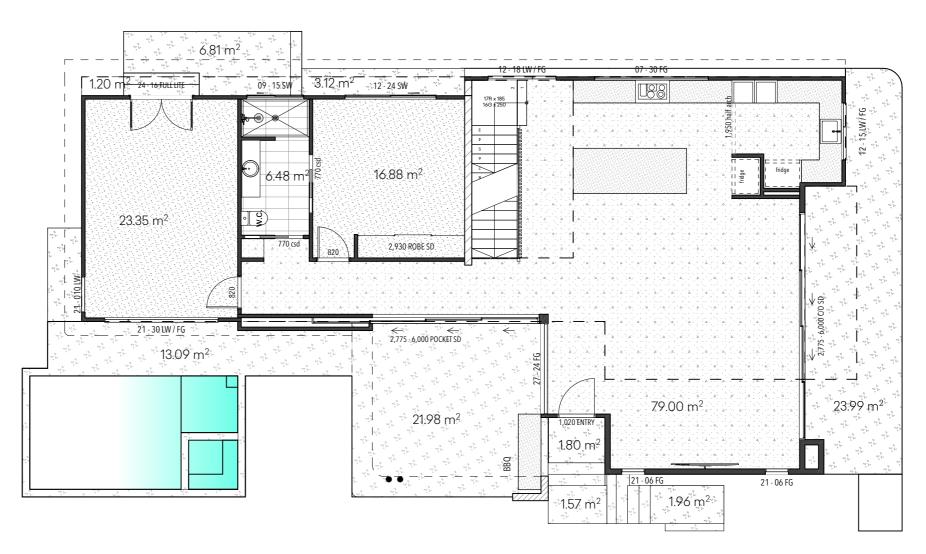


SELECT WET AREA TILES



SELECT CARPET





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# FLOOR COVERINGS GROUND



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PRELIMINARY WORKING DRAWINGS PRELIMINARY WORKING DRAWINGS PRELIMINARY WORKING 6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL DRAWINGS STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS

ISSUE

REV. ID

DATE PROPOSED NEW RESIDENCE 6/11/2024 Sophia & Stuart Naylor 13/11/2024 SITE ADDRESS: 2 Prince Edward Rd 20/1/2025

FLOOR COVERINGS BASEMENT

Seaforth NSW 1:100 A3

28 of 35 DRAWN BY: CHECKED BY: B.E. B.E.







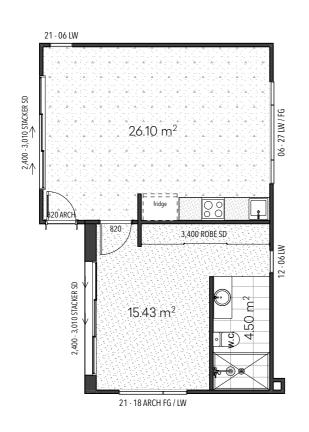
HONED CONCRETE **EXTERIOR** 

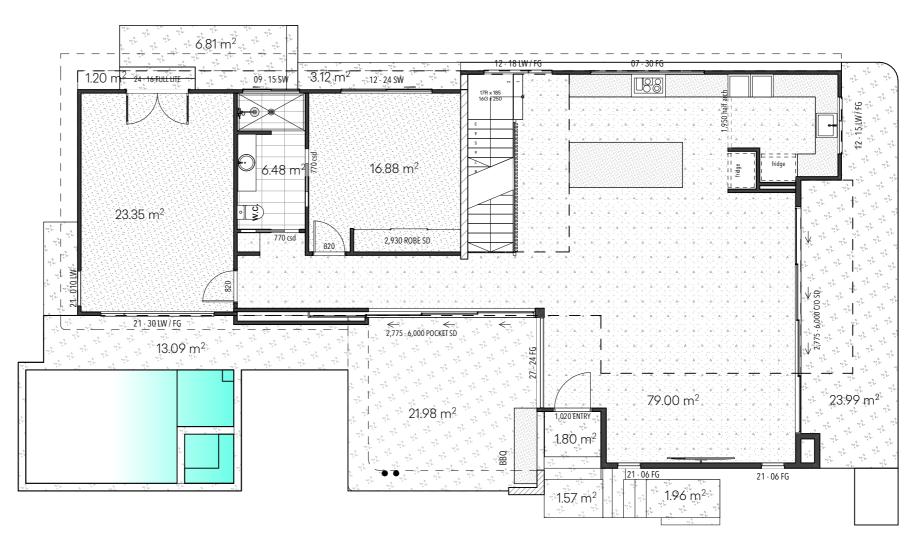


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STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS

REV. ID ISSUE DATE PRELIMINARY WORKING 6/11/2024 DRAWINGS PRELIMINARY WORKING 13/11/2024 DRAWINGS PRELIMINARY WORKING 20/1/2025 DRAWINGS

PROPOSED NEW RESIDENCE FLOOR COVERINGS Sophia & Stuart Naylor **GROUND** 

Seaforth NSW 1:100 A3

2 Prince Edward Rd

SITE ADDRESS:

29 of 35 DRAWN BY: CHECKED BY: B.E. B.E.







NEW PARADIGM DESIGN PTY LTD® GENERAL NOTES:

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ART	REV. ID	ISSUE	DATE	
ALE LAN	G	PRELIMINARY WORKING DRAWINGS	6/11/2024	
IAN RITY &(B) ALL	Н	PRELIMINARY WORKING DRAWINGS	13/11/2024	
	ı	PRELIMINARY WORKING DRAWINGS	20/1/2025	

PF	DRAWING TITLE:	
CLIENT:	ophia & Stuart Naylor	DOOR SCHEE
SITE ADDRESS:		
	2 Prince Edward Rd	SCALE:
	zoc zawara na	

Seaforth NSW 1:1.24 A3

30 of 35 DRAWN BY: CHECKED BY: DULE B.E. B.E.



West							WINDOW SCHEDULE		DA PREHIMI	NINDANNOBKINIC I	DRAWINGS ONI	V NIOTEOR CONC	TRUCTION OR T
The control of the		W-01	W-02	W-03	W-04	W-05		W-07	W-08	W-09	V-10	W-11	W-12
	dow Type												
100   100	w Name	Aluminium Fixed	CI Tools Window	Aluminium Sliding	Aluminium Fixed	Aluminium Sliding	CI Tools Window						
1/3	У	1	1	1	1	1	1	1	1	1	1	1	1
The control of the													
Second   S													
The control of the co									-				
Web Control Co	tion												
		New	New	New	New	New	New	New	New	New	New	New	New
Value	nc notes												
WAST	Symbol												
Wide	evation												
Comparison   Com	doutting	W-13	W-14	W-15	W-16	W-17		W-19	W-20	W-21	W-22	W-23	W-24
V		Cl Tools Window	CL Tools Window	Cl Tools Window	Cl Tools Window	Aluminium Clidina	Cl Tools Window	Ol Tools Window	Cl Tools Window				
2,100   2,100   1,20		Ci Tools Willdow	Ci Tools Willdow	Ci Tools Willdow	Ci Tools Willdow	Aldifillian Silding	Ci Tools Willdow						
## Made Assign	it	2100	2100	2100	1200	900	1200	1800	1200	1200	1200	1800	1800
w Head might 2400 2400 2400 2400 2400 2400 2400 240	h												
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Ground Floor Level   Ground Floor Level   Ground Floor Level   Ground Floor Level   First Floor Level													
New	ion												
on WINDOW SCHEDULE W 1/29 W 1/													
on WINDOW SCHEDUE W Type W Type W Type W Mane Cl Tools Window Aluminium Fixed Cl Tools Window Type W	fic Notes		-	-									
MINDOW SCHEDULE W 75 W 26 W 27 W 30 W 3													
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w Name Cl Tools Window Aluminium Fixed Cl Tools Window ty 1 1 1 27				W-27									
ty 1 1 1 27	low Type												
	ow Name	CI Tools Window	Aluminium Fixed										
		1	1		27								

	WIN	DOW SCHEDULE		
ID	W-25	W-26	W-27	
Window Type				
Window Name	CI Tools Window	Aluminium Fixed	CI Tools Window	
Quantity	1	1	1	27
Height	1,800	1,800	1,800	
Width	514	1,810	610	
Window head height	2,400	2,400	2,400	
Window sill height	600	600	600	
Location	First Floor Level	First Floor Level	First Floor Level	
Renovation Status	New	New	New	
Specific Notes				
2D Symbol	_		_	
Elevation				

WINDOW SCHEDULE



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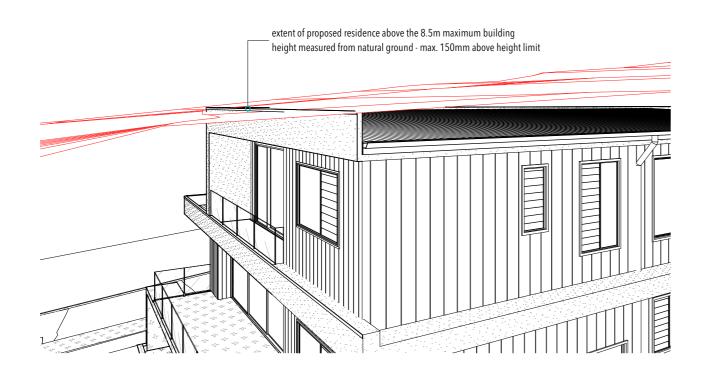
	1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START
	2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
	3. DO NOT SCALE FROM PLAN
-	4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN
	STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY
-	5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600.1/2009(A)&(B)
	6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL
	STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

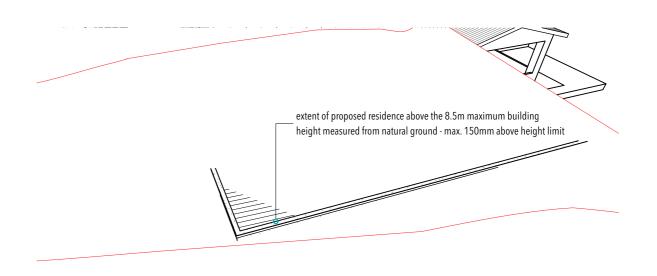
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RT	REV. ID	ISSUE	DATE		Р
E N	G	PRELIMINARY WORKING DRAWINGS	6/11/2024		
N				CLIENT:	S
ry H		PRELIMINARY WORKING DRAWINGS	13/11/2024	SITE ADDRES	_
B) LL		PRELIMINARY WORKING	20/1/2025		
s. I		DRAWINGS			

	PROPOSED NEW	DRAWING TITLE:	SHEET NO.	
	RESIDENCE		31 of	f 3
NT:	Sophia & Stuart Naylor	WINDOW	DRAWN BY:	CI
		SCHEDULE	B.E.	

CHECKED BY: B.E. B.E. 2 Prince Edward Rd Seaforth NSW 1:1.47 A3









# **BUILDING HEIGHT VIEW**

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1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START REV. ID 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE 3. DO NOT SCALE FROM PLAN  $4.\,\mathsf{ALL}\,\mathsf{WORK}\,\mathsf{TO}\,\mathsf{COMPLY}\,\mathsf{WITH}\,\mathsf{THE}\,\mathsf{PROVISIONS}\,\mathsf{OF}\,\mathsf{THE}\,\mathsf{BUILDING}\,\mathsf{CODE}\,\mathsf{OF}\,\mathsf{AUSTRALIA},\mathsf{AUSTRALIAN}$ STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600.1/2009(A)&(B) - DOORS AND CUPBOARDS DIMENSIONED AS

6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL WIDTH

STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

ISSUF DATE PRELIMINARY WORKING 6/11/2024 DRAWINGS PRELIMINARY WORKING 13/11/2024 DRAWINGS PRELIMINARY WORKING 20/1/2025 DRAWINGS

PROPOSED NEW RESIDENCE Sophia & Stuart Naylor SITE ADDRESS: 2 Prince Edward Rd

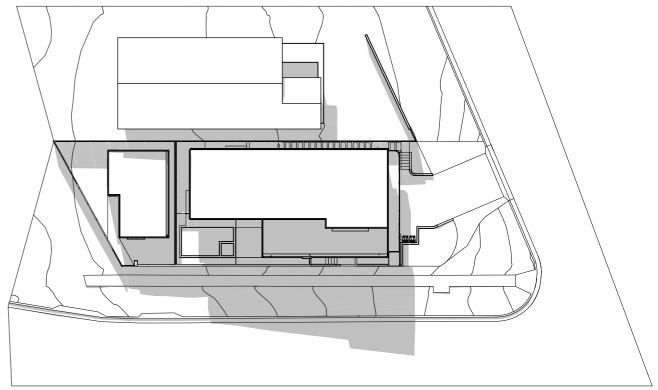
BUILDING HEIGHT PLAN

Seaforth NSW 1:29.97, 1:51.98, 1:60.76 A3

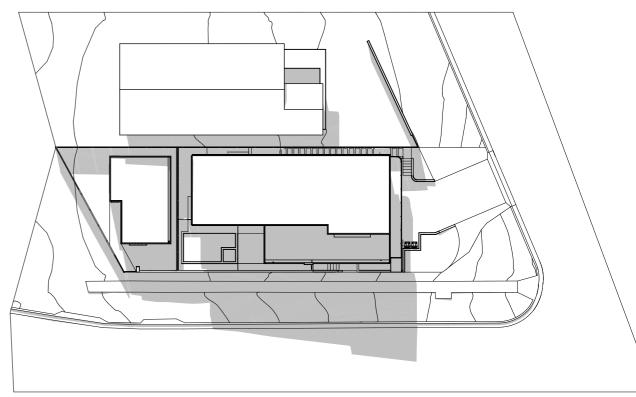
DRAWN BY: B.E.

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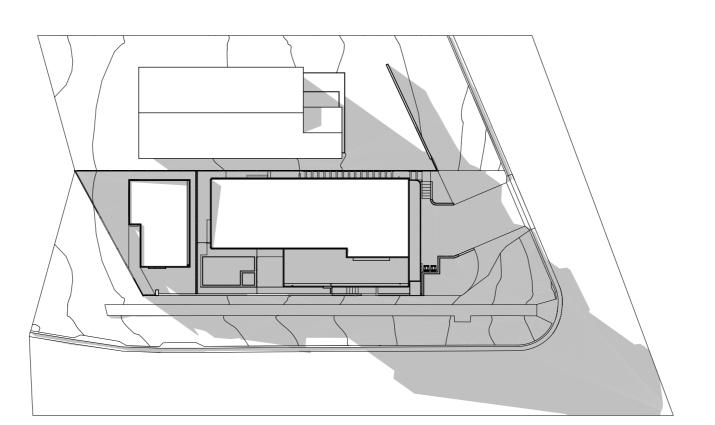




21st JUNE - 12PM



21st JUNE - 9AM



21st JUNE - 3PM

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DATE

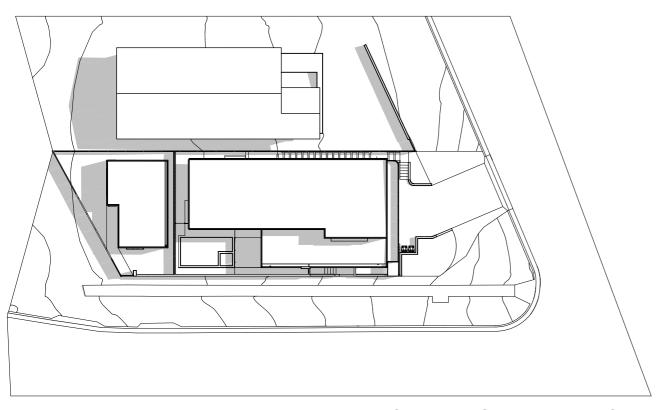
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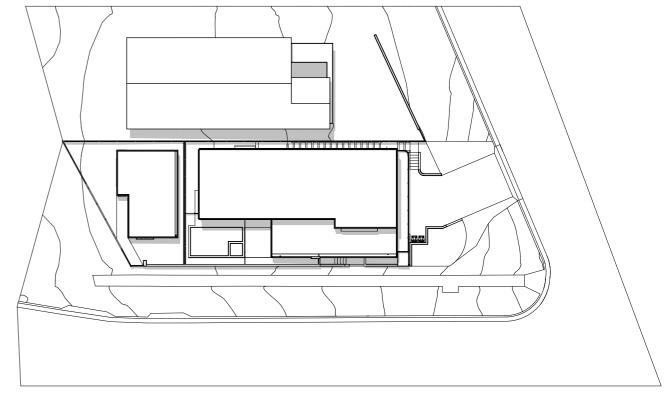
PROPOSED NEW RESIDENCE Sophia & Stuart Naylor SITE ADDRESS:

2 Prince Edward Rd SCALE: Seaforth NSW 1:400 A3

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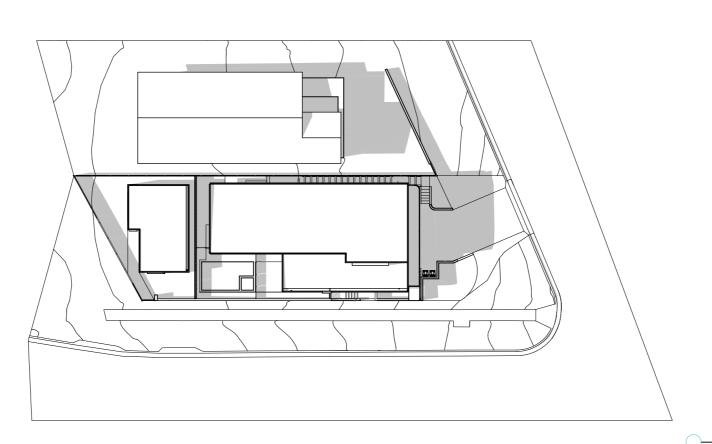
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21st DECEMBER - 12PM

21st DECEMBER - 9AM





21st DECEMBER - 3PM



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6/11/2024

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PROPOSED NEW RESIDENCE SUN STUDY -Sophia & Stuart Naylor DECEMBER SITE ADDRESS: 2 Prince Edward Rd SCALE:

Seaforth NSW 1:400 A3

DRAWN BY: B.E.

34 of 35 CHECKED BY: B.E.



