



**Anthony Protas Consulting Pty Ltd**  
BUILDING REGULATIONS CONSULTANTS

17 January, 2005

Our Ref: 051706

R/160344

The General Manager  
Pittwater Council  
PO Box 882  
Monal Vale NSW 1660

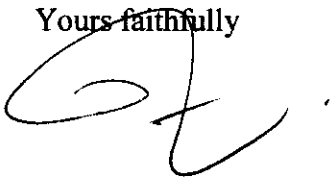
Dear Sir,

**Re: 1193 Barrenjoey Road, Palm Beach  
Construction Certificate**

Pursuant to the requirements of the Environmental Planning and Assessment Act please find attached a copy of our Construction Certificate, plans and specifications to which the Construction Certificate has been issued and other relevant documents.

Should you have any questions, please do not hesitate to contact the undersigned.

Yours faithfully



**Anthony Protas**  
**Anthony Protas Consulting Pty Ltd**

REC 160344  
230  
19.1.05

COPY

**Construction Certificate – 1193 Barrengoey Road, Palm Beach**  
**"Proposed alterations and additions to the existing cottage for café/kiosk"**

**1. Details of the applicant**

Mr ☒ Ms ☐ Mrs ☐ Dr ☐ Other ☐

First name

Stefan

Family name

Leibenatus

Flat/street no.

5

Street name

Queens Avenue

Suburb or town

Avalon Beach

State

NSW

Postcode

2107

Daytime telephone

9918 4340

Fax

Mobile

0408 690 987

Email

sc.leibenatus@iprimus.com.au

**2. Details of the development consent**

Development application no.

330/03

Date the consent was issued

7 December, 2004

**3. Decision of the certifying authority**

This certificate is issued:

☒ without any conditions

☐ subject to conditions of the kind referred to in clauses 187 or 188 of the Environmental Planning and Assessment Regulation 2000

Conditions have been placed on the certificate for the following reasons:

☒ the issue of this certificate has been endorsed on the plans and specifications that were lodged with the application.

Plan no.s approved

Architectural plan No's A1201 to A1205, A1301 to A1302 & A1701, dated June '04, prepared by M+BA Architects P/L. Specification issue A, dated July 2004.

Date of this decision

17 January, 2005



**4. Information attached to this decision**

- ☒ A fire safety schedule  
☐ Schedule of approved plans & specifications

**5. Certification****Anthony Protas**

certifies that

if the work is completed following the plans and specifications which have been approved, it will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in section 81A(5) of the *Environmental Planning and Assessment Act 1979*.

Construction certificate no.

**1706/05**

Date of this certificate

**17 January, 2005****6. Signature**

For this certificate to be valid, it must be signed by the certifying authority.

Signature



Name

**Anthony Protas**

Flat/Street no.

**Level 3, 84**

Street name

**Pitt Street**

Suburb or town

**Sydney**

State

**NSW**

Postcode

**2000**

Telephone

**9223 7158**

Fax

**9223 9492**

If the certifier is an accredited certifier:

Accreditation body of the certifier

**DIPNR**

Accreditation no. of the certifier

**2442****7. Applicant's right of appeal**

If the certifying authority is a council, a Minister or a public authority and the certifying authority has issued a construction certificate subject to conditions, you can appeal against these conditions to the Land and Environment Court within 12 months from the date of the decision.

## **ATTACHMENT**

### **SCHEDULE OF FIRE SAFETY MEASURES REQUIRED TO BE IMPLEMENTED IN THE BUILDING PREMISES**

Upon completion of erection of the building, and prior to occupation, the owner of the building shall cause the Principle Certifying Authority to be given a fire safety certificate in relation to each essential and other fire safety measure included in the following schedule. Such Certificate shall state, in relation to each essential and other fire safety measure implemented in the building or on the land which the building is situated:

- a) that the measure has been assessed by a person (chosen by the owner of the building) who is properly qualified to do so; and
- b) that, as of the date of the assessment, the measure was found to be capable of performing to a standard of not less than that nominated below.

#### **Fire Safety Measures Required to Be implemented in the Building**

<b>Fire Safety Measure</b>	<b>Standard of Performance</b>
portable fire extinguishers	BCA clause E1.6 AS 2444

 **COPY**

## Application for construction certificate

### 1. Details of the applicant

Mr ☒ Ms ☐ Mrs ☐ Dr ☐ Other

First name  Family name

Flat/street no.  Street name

Suburb or town  State  Postcode

Daytime telephone  Fax  Mobile

Email

### 2. Identify the land

Flat/street no.  Street name

Suburb or town  State  Postcode

Lot no.  Section

DP/MPS no.  Volume/folio

You can find the lot no., section, DP/MPS no. and volume/folio details on a map of the land or on the title documents for the land. If you need additional room, please attach a schedule and/or a map with these details.

### 3. Estimated cost of the development

\$  including GST

#### 4. Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work

Alterations and additions to change the use of cottage to a kiosk/café and restaurant

For building work, what is the class of the building under the Building Code of Australia?

class 6B

*This can be found on the development consent*

Has development consent been granted for the development?

No ☐

Yes ☒

What is the development application no.?

NO 330/03

What date was development consent granted?

7.12.2004

#### 5. Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐.

1. If you are going to carry out **building work**:

☒ a copy of any compliance certificates on which you rely

☒ detailed plans of the building (4 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any), and their height, design and construction

*Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make.*

☒ detailed specifications of the building (4 copies)

The specifications are to:

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used.

*Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.*

☒ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building

*This plan will assist the certifying authority to assess whether the work will reduce the fire protection capacity of the building.*

## 5. continued

- ☒ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to-satisfy provisions of the BCA:
  - a list of the performance requirements you will meet by using the alternative solution
  - the details of the assessment methods you will use to meet those performance requirements
  - a copy of any compliance certificates on which you rely
- ☒ evidence of any accredited component, process or design on which you seek to rely  
*Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000.*
- ☒ details of the fire safety measures, unless you are building a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool). These details are to include:
  - a list of any fire safety measures you propose to include in the building or on the land
  - if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land*The lists must describe the extent, capability and the basis of design of each measure.*
- ☒ the attached schedule, completed for the development  
*The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy. Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services.*

You may also need to pay a long service levy under section 34 of the *Building and Construction Industry Long Service Payments Act 1986* (or where such a levy is payable by instalments, the first instalment of the levy) before the certifying authority can issue a certificate to you.

2. If you are going to carry out work to do a subdivision (eg building roads or a stormwater drainage system):

- ☐ the details of the existing and proposed subdivision pattern (including the number of lots and the location of roads)
- ☐ the details of the consultation you have carried out with the public authorities who provide or will increase the services you will need (like water, road, electricity, sewerage)
- ☐ the existing ground levels and the proposed ground levels when the subdivision is completed
- ☐ copies of any compliance certificates on which you rely
- ☐ detailed engineering plans (4 copies). The detailed plans might include the following:
  - earthworks
  - roadworks
  - road pavement
  - road furnishings
  - stormwater drainage
  - water supply works
  - sewerage works
  - landscaping works
  - erosion control works

m/a

*Where you propose to modify plans that have already been approved, please mark the approved plans (by colour or otherwise) to show the modification.*

## 5. continued

3. If you are going to change the use of a building or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool)):

- ☐ a list of any fire safety measures you propose to include in the building or on the land
- ☐ if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
- ☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia

The lists of fire safety measures must describe the extent, capability and the basis of design of each measure.

## 6. Signatures

The owner(s) of the land must sign this application if:

- at the time the owner signed the development application, the owner did not give consent to the applicant to lodge a construction certificate, or
- the owner of the land has changed since the owner signed the development application.

As the owner(s) of the above property, I/we consent to this application: Letter of consent

Signature

Name

Date

Signature

Name

Date

The applicant, or the applicant's agent, must sign the application.

Signature

Name, if you are not the applicant

Date

In what capacity are you signing if you are not the applicant?

## 7. Privacy policy

The information you provide in this application will enable your application to be assessed by the certifying authority. If the information is not provided, your application may not be accepted. Please contact the council if the information you have provided in your application is incorrect or changes.

## Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

### All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m<sup>2</sup>)
- Gross site area (m<sup>2</sup>)

1 floor
~ 285 m <sup>2</sup> approx
1187 m <sup>2</sup>

### Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?  
(NB dual occupancy = two dwellings on the same site)


Yes ☐ No ☒

Yes ☐ No ☒

Yes ☐ No ☒

### Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	<input checked="" type="checkbox"/> 11	Tiles	<input type="checkbox"/> 10	Concrete or slate	<input type="checkbox"/> 20	Timber	<input type="checkbox"/> 40
Brick (veneer)	<input type="checkbox"/> 12	Concrete or slate	<input type="checkbox"/> 20	Timber	<input checked="" type="checkbox"/> 40	Steel	<input checked="" type="checkbox"/> 60
Concrete or stone	<input type="checkbox"/> 20	Fibre cement	<input type="checkbox"/> 30	Other	<input type="checkbox"/> 80	Aluminium	<input type="checkbox"/> 70
Fibre cement	<input type="checkbox"/> 30	Steel	<input checked="" type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90	Other	<input type="checkbox"/> 80
Timber	<input type="checkbox"/> 40	Aluminium	<input type="checkbox"/> 70			Not specified	<input type="checkbox"/> 90
Curtain glass	<input type="checkbox"/> 50	Other	<input type="checkbox"/> 80				
Steel	<input type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90				
Aluminium	<input type="checkbox"/> 70						
Other	<input type="checkbox"/> 80						
Not specified	<input type="checkbox"/> 90						

there will be mainly construction of masonry walls.

Our ref: 04-47

6 August 2004

C + S Lebenatus  
5 Queens Avenue  
Avalon NSW 2107

Attn: Stefan Lebenatus

Dear Stefan,

**RE: PROPOSED ALTERATIONS AND ADDITIONS  
'THE COTTAGE' GOVERNOR PHILLIP PARK, PLAM BEACH  
STORMWATER DRAINAGE CERTIFICATE**

We certify that the design shown on drawing no. 04-47/C1 complies with:

1. Section 3.1.2 'Drainage' of the Building Code of Australia Housing Provision.
2. AS3500.3.2 and Australian Rainfall and Runoff, 1987.
3. Accepted Engineering Practice and Principles.

No standards or practices other than the relevant Australian Standards have been relied upon for this certification.

Yours faithfully,

**WOOLACOTTS**



Stephen Branch  
BE(Hons) MEngSc FIEAust CPEng  
NPER Structural and Civil – Membership No. 312987



Pittwater Council

OFFICIAL RECEIPT

27/04/2004 Receipt No 140292

To STEFAN LEIBENATUS

5 QUEENS AVE  
AVALON

Applic Reference	Amount
GL Re GLSL-Buil	\$270.00
1 X 1193 BARRENJOEY RD NO	

Total: \$270.00

Amounts Tendered

Cash	\$0.00
Cheque	\$270.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$270.00
Rounding	\$0.00
Change	\$0.00
Nett	\$270.00

Printed 27/04/2004 5:06:42

Cashier: KRubin



DRAWING NUMBER	DRAWING NAME	SCALE
A1000	COVER SHEET	NTS
A1201	DEMOLITION PLAN	1:50
A1202	SURVEY (EXISTING)	1:100
A1203	PLAN (PROPOSED)	1:50
A1204	REFLECTED CEILING PLAN	1:50
A1205	ROOF PLAN	1:50
A1301	ELEVATIONS (N,S,E&W)	1:50
A1302	SECTIONS	1:50
A1701	WALL SECTIONS	1:20

NOTES	
1) ALL LIGHTS TO BE DIMMABLE EXCEPT LIGHTS TO KITCHEN, WASHING, LINK, CHAIR STORE AND TOILET AREAS AND EXTERNAL LIGHT FITTINGS	
2) SUPPLY AND INSTALL AN INTRUDER SECURITY SYSTEM INTERNAL MOTION DETECTORS TO BE WIRED TO SECURITY ALARM SYSTEM AND WILL ACTIVATE AUDIBLE ALARM WHEN SYSTEM IS SWITCHED ON AND SENSES MOVEMENT. INSTALLED SYSTEM TO BE SELECTED BY CLIENT	
3) AS PART OF THE WORKS THE CONTRACTOR IS TO SUPPLY AND INSTALL A DUCTED AIR CONDITIONING SYSTEM THE AIR CONDITIONING SYSTEM TO BE DUCTED AIR SYSTEM WITH EXTERNAL COMPRESSOR. SYSTEM TO BE SIZED FOR DESIGNED OCCUPANCY OF THE INTERNAL DINING AREAS (EXCLUDES TERRACE AREAS)	
PS9	NEW MASONRY WALL PAINT FINISH TO SELECTED COLOUR
PS8	NEW MASONRY WALL CEMENT RENDERED AND PAINT FINISH TO SELECTED COLOUR
PS7	NEW MASONRY WALL OR INFIL FINISH SURFACE TO MATCH SURROUNDING WALL AND PAINT FINISH TO SELECTED COLOUR
PS4	PROPRIETARY PARTITION SYSTEM
PS7	FULL HEIGHT TILED WALL ON EXISTING MASONRY SUBSTRATE
PS5	EXISTING RENDERED MASONRY WALL MAKE GOOD SURFACE AND PAINT FINISH TO SELECTED COLOUR
PS6	FIBRE CEMENT EXTERNAL CLADDING TO METAL STUD WALL FINISH TO SELECTED COLOUR
PS3	VILLABOARD TO METAL STUD WALL TAPE AND SET PAINT FINISH TO SELECTED COLOUR
PS2A	13MM PLASTERBOARD TAPE AND SET TO NEW 92mm METAL STUD WALL PAINT FINISH TO SELECTED COLOUR
PS2	13MM PLASTERBOARD TAPE AND SET TO NEW 75mm METAL STUD WALL PAINT FINISH TO SELECTED COLOUR
PS3T	FULL HEIGHT TILED WALL ON VILLABOARD - 75mm METAL STUD WALL
L1	LIGHT TYPE 1
L2	LIGHT TYPE 2
L3	LIGHT TYPE 3
DL1	DOWNLIGHT TYPE 1
WL1	WALL LIGHT TYPE 1
WM	WALL WASHER TYPE 1
BL1	EXTERIOR BOLLARD LIGHT TYPE 1
SD	SMOKE DETECTOR
TD	THERMAL DETECTOR
VB (PF2)	VILLABOARD CEILING LINING (TAPE AND SET) - PAINT FINISH TYPE 2
PB (PF1)	PLASTERBOARD CEILING LINING (TAPE AND SET) - PAINT FINISH TYPE 1
VB (PF1)	VILLABOARD EAVES LINING (TAPE AND SET) - PAINT FINISH TYPE 1 TO EAVES
S	CEILING MOUNTED SPEAKER - WIRE ALL SPEAKERS TO OFFICE AS DIRECTED
MD-L	MOTION DETECTOR (EXTERNAL - ACTIVATES EXTERNAL LIGHTS)
MD	MOTION DETECTOR INTERNAL( - ACTIVATES AUDIBLE ALARM - LINK TO SECURITY SYSTEM AS DIRECTED)
EF	EXHAUST FAN TO DUCTED EXHAUST SYSTEM TO TOILETS
EA	EXHAUST AIR GRILL ETO DUCTED EXHAUST SYSTEM TO TOILETS
SA	AIR CONDITIONING SYSTEM SUPPLY AIR REGISTER
RA	AIR CONDITIONING SYSTEM RETURN AIR REGISTER
SKL	SKYLIGHT - DOUBLE GLAZED MANUAL OPENING ROOF WINDOW - VELUX MODEL VS0075 SIZE 780mm x 980mm
2400	DENOTES 2400mm CEILING HEIGHT
2780	DENOTES 2780mm CEILING HEIGHT
C1	DENOTES WALL COLOUR C1 (REFER TO FINISHES SCHEDULE FOR DETAILS)
C2	DENOTES WALL COLOUR C2 (REFER TO FINISHES SCHEDULE FOR DETAILS)
SC	DENOTES WALL SPECIAL COLOUR (REFER TO FINISHES SCHEDULE FOR DETAILS)
C1	DENOTES ALL WALLS IN THIS ROOM TO BE COLOUR C1 UNO (REFER TO FINISHES SCHEDULE FOR DETAILS)
C2	DENOTES ALL WALLS IN THIS ROOM TO BE COLOUR C2 UNO (REFER TO FINISHES SCHEDULE FOR DETAILS)
C3	DENOTES ALL WALLS IN THIS ROOM TO BE COLOUR C3 UNO (REFER TO FINISHES SCHEDULE FOR DETAILS)
C4	DENOTES ALL WALLS IN THIS ROOM TO BE COLOUR C4 UNO (REFER TO FINISHES SCHEDULE FOR DETAILS)
C5	DENOTES ALL WALLS IN THIS ROOM TO BE COLOUR C5 UNO (REFER TO FINISHES SCHEDULE FOR DETAILS)
C6	DENOTES ALL WALLS IN THIS ROOM TO BE COLOUR C6 UNO (REFER TO FINISHES SCHEDULE FOR DETAILS)

APPROVED

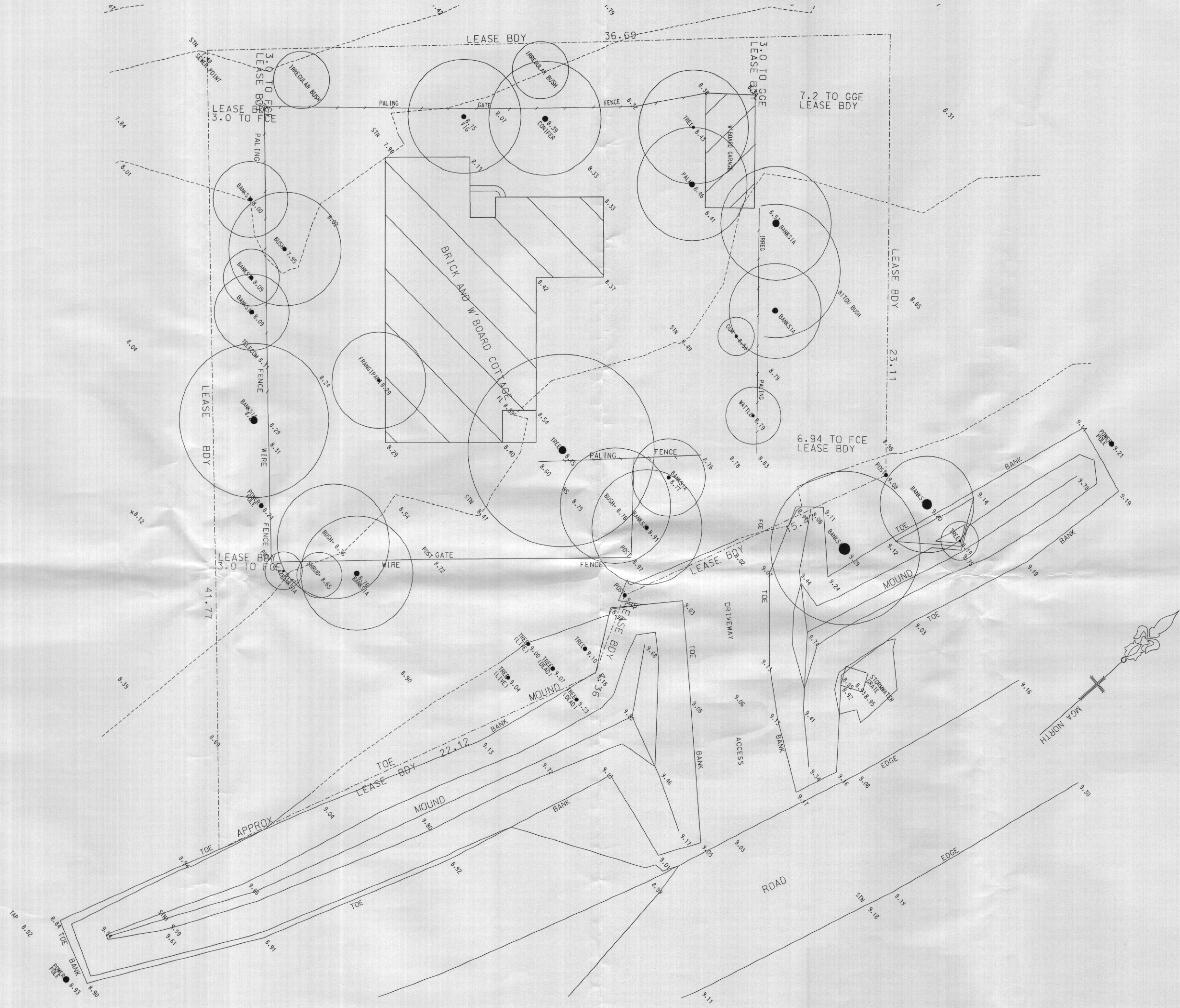
1 7 JAN 2005

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APPROVED  
17 JAN 2005  
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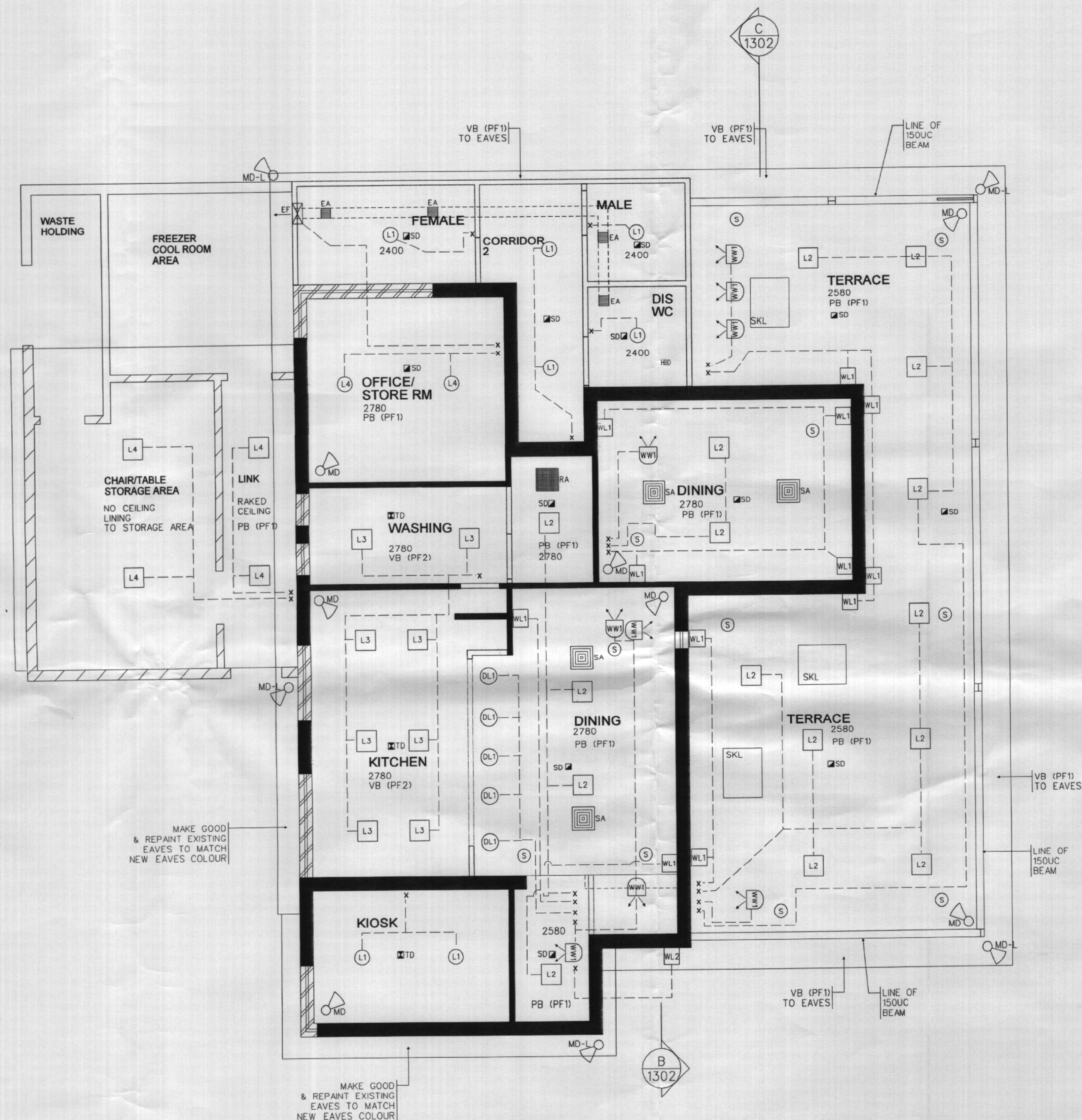
PROJECT	CLIENT	DESCRIPTION	ISSUE
The Cottage Palm Beach	C+S Leibenatus	Redevelopment of Existing Premises to Cafe/Restaurant	

DRAWING	PROJECT NO.	DATE
SURVEY (EXISTING)	04012	JUNE 04
DRAWING NO.	REVISION	SCALE
A1202	-	1:100



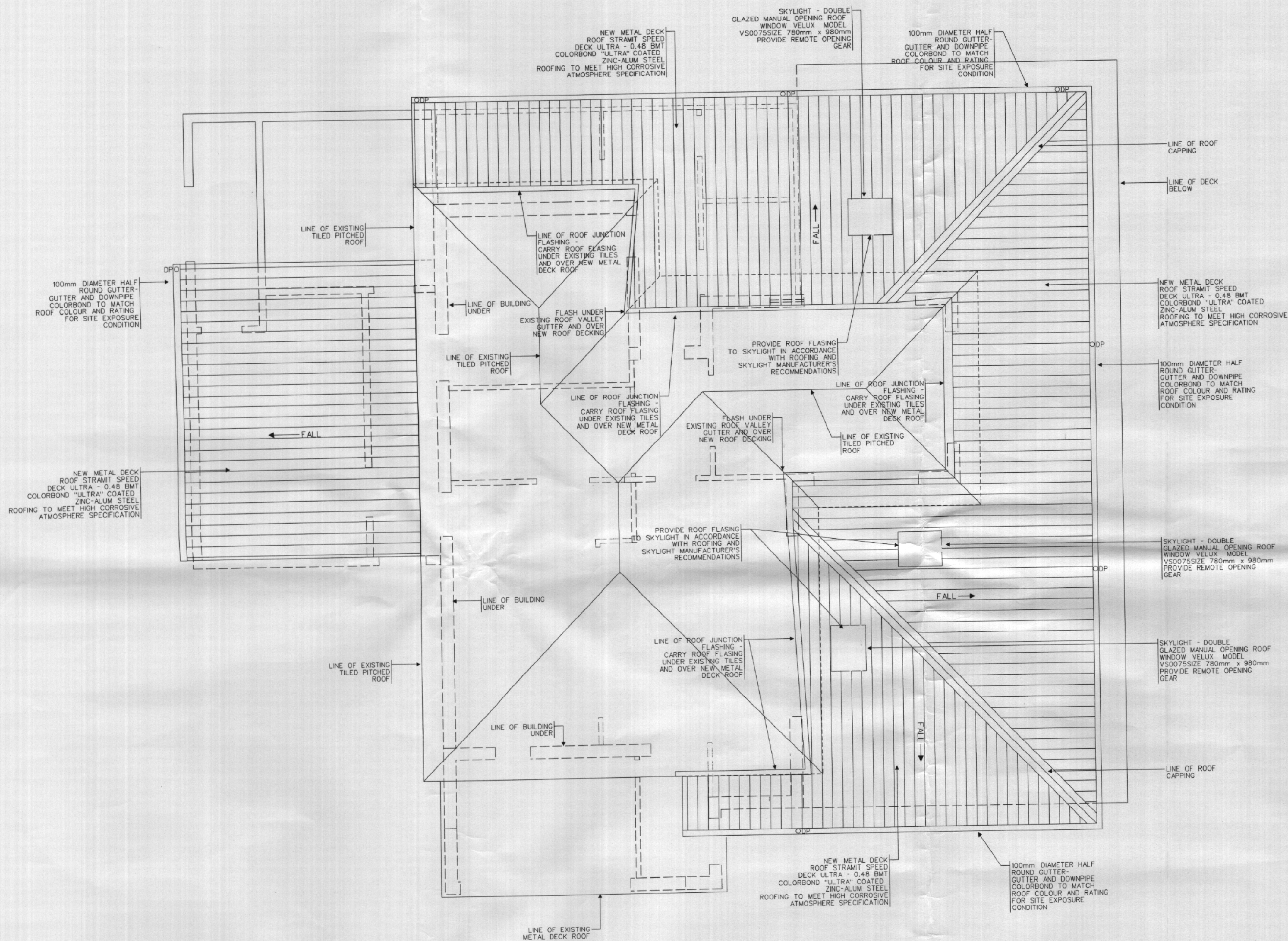






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17 JAN 2005  
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17 JAN 2005

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PROJECT

The Cottage C+S Leibenatus  
Palm Beach

CLIENT

DESCRIPTION

Redevelopment of  
Existing Premises  
to Cafe/Restaurant

ISSUE

DRAWING

ROOF PLAN

PROJECT NO.

04012

DATE

JUNE 04

DRAWING NO.

A1205

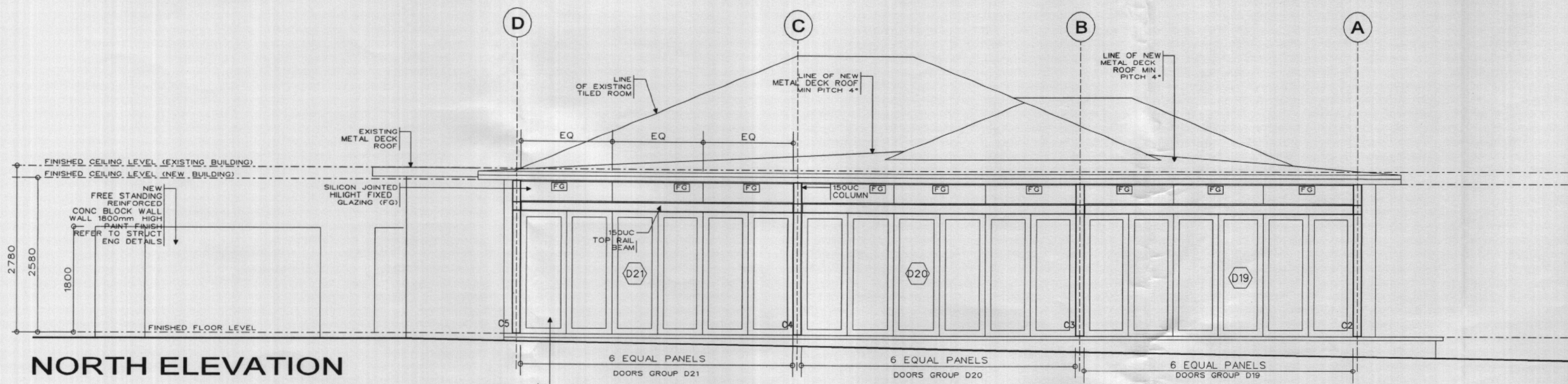
REVISION

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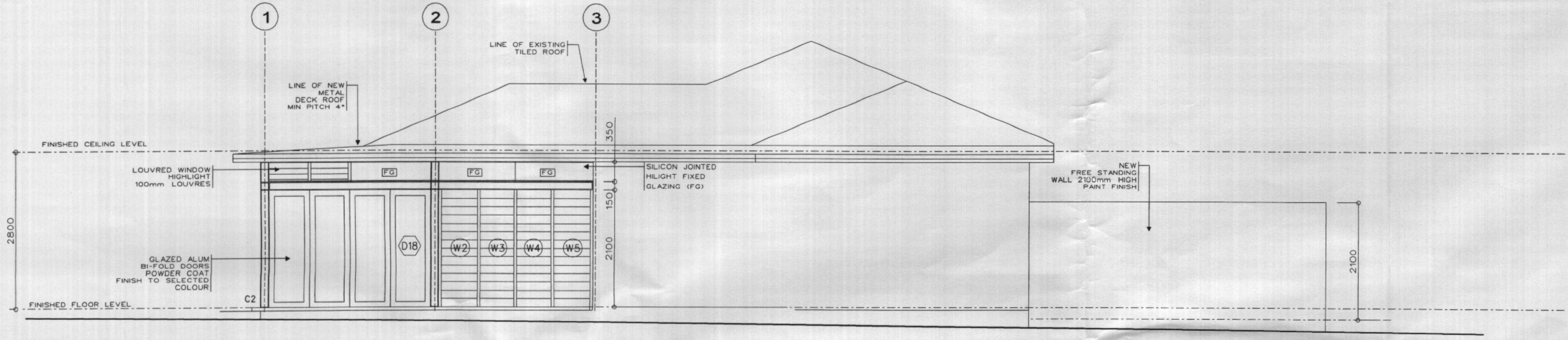
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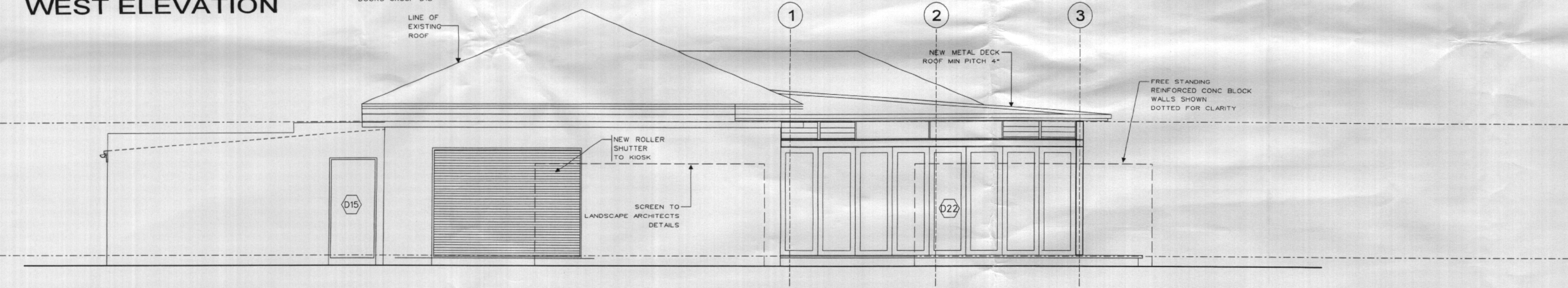




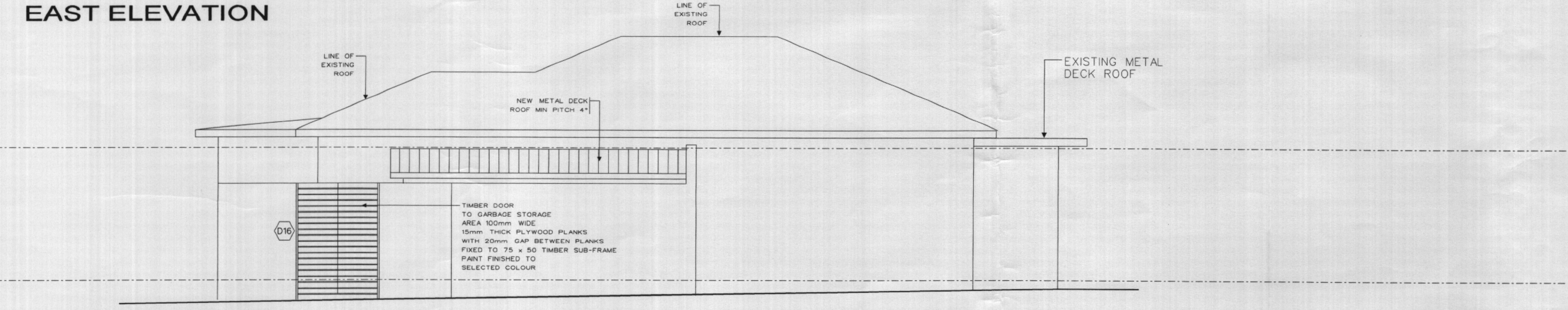
**NORTH ELEVATION**



**WEST ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**

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17 JAN 2005  
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**PROJECT**  
**The Cottage**  
**Palm Beach**

**CLIENT**  
**C+S Leibenatus**

**DESCRIPTION**  
**Redevelopment of**  
**Existing Premises**  
**to Cafe/Restaurant**

**ISSUE**

**DRAWING**  
**ELEVATIONS**  
**N, S, E & W**

**DRAWING NO.**  
**A1301**

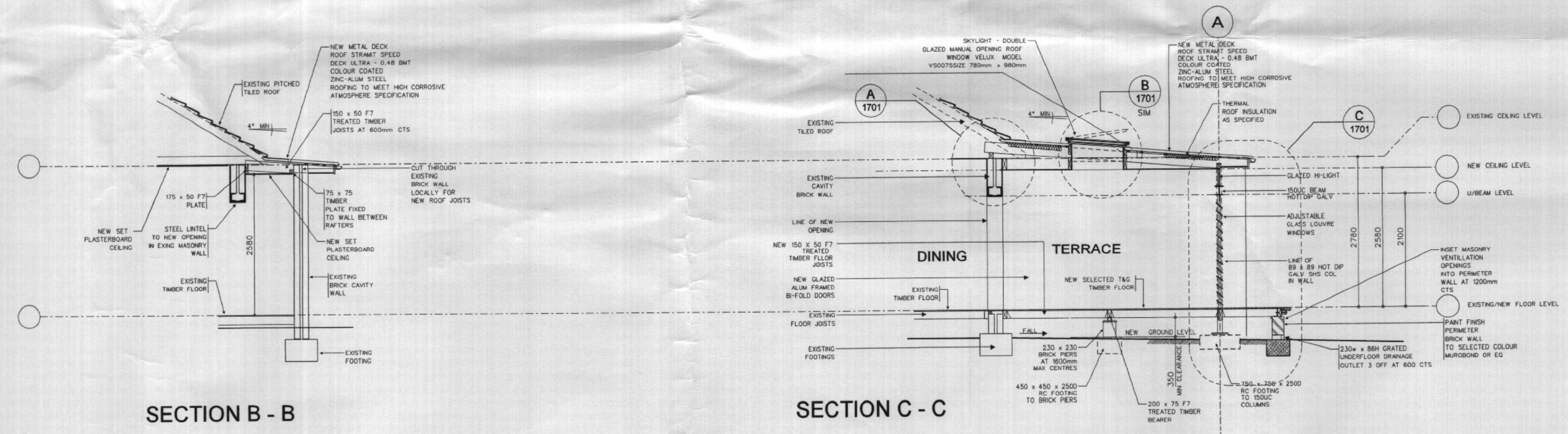
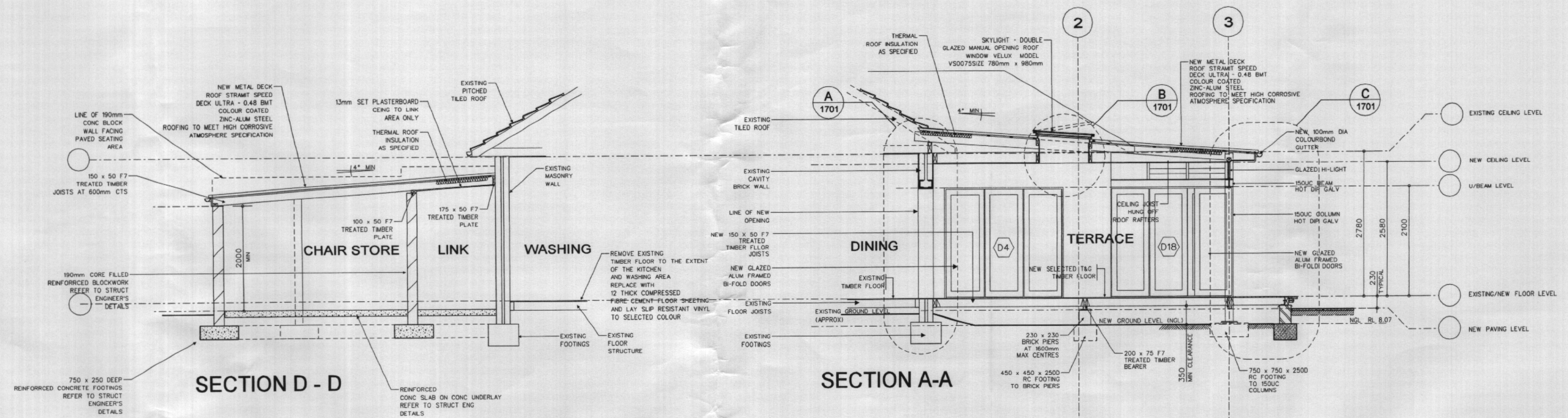
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**04012**

**REVISION**

**DATE**  
**JUNE 04**

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**1:50**





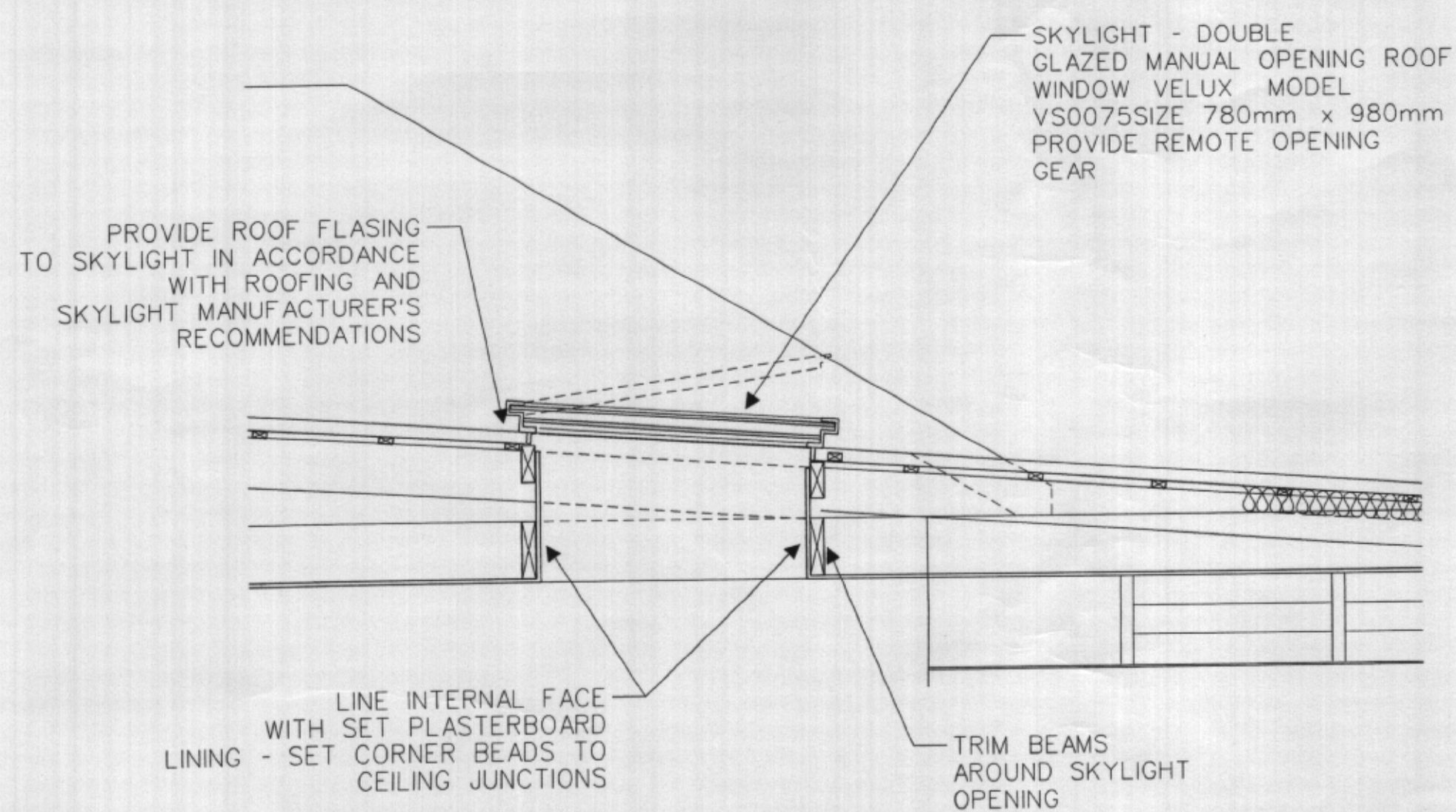
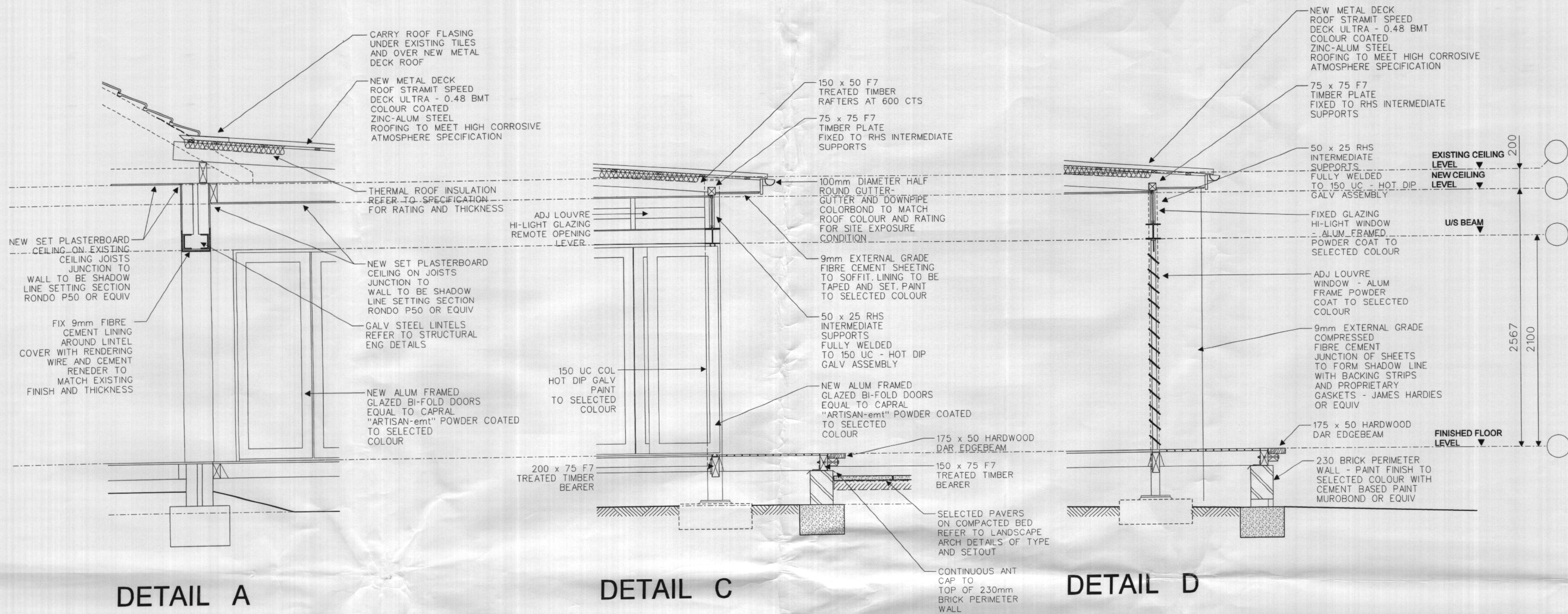
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PROJECT CLIENT DESCRIPTION  
The Cottage C+S Leibenatus  
Palm Beach  
Redevelopment of  
Existing Premises  
to Cafe/Restaurant

ISSUE  
DRAWING SECTIONS  
DRAWING NO. A1302  
PROJECT NO. 04012  
REVISION -  
DATE JUNE 04  
SCALE 1:50





APPROVED  
17 JAN 2005  
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M+BA Architects P/L

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PROJECT

The Cottage  
Palm Beach

CLIENT

C+S Leibenatus

DESCRIPTION

Redevelopment of  
Existing Premises  
to Cafe/Restaurant

ISSUE

DRAWING  
CONSTRUCTION  
DETAILS

DRAWING NO.  
A1701

PROJECT NO.  
04012

REVISION

-

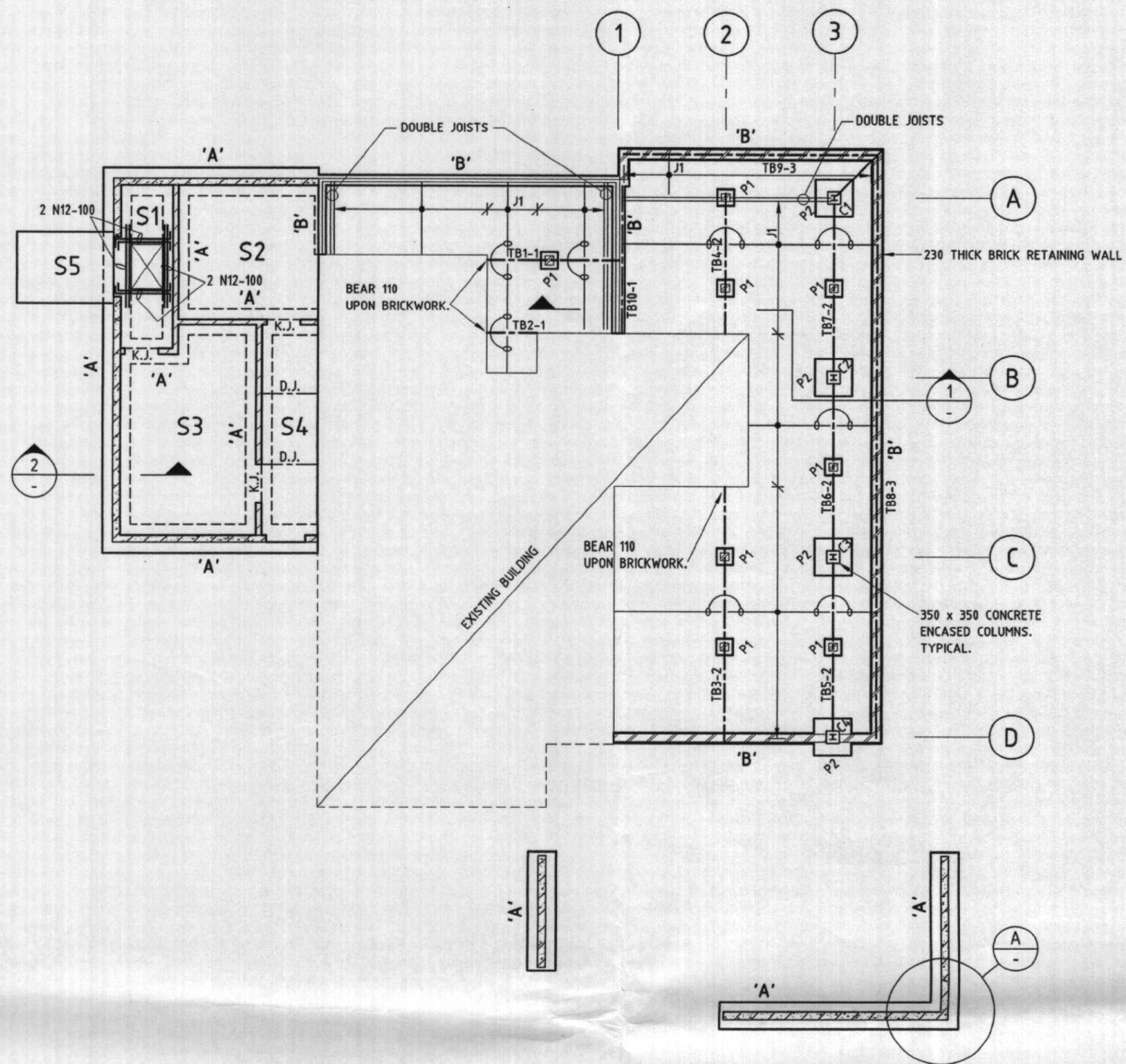
DATE

JUNE 04

SCALE

1:20





## FOOTING / GROUND FLOOR PLAN

TOP OF FOOTINGS TO BE 150 MIN BELOW FINISHED FLOOR, GROUND LEVEL OR TO SUIT SERVICES.

STRIP FOOTINGS	'A'	250 DEEP x 750
	'B'	250 DEEP x 350
PADS	P1	450 x 450 x 250 DEEP
	P2	1000 x 1000 x 500 DEEP

SLABS S1 TO S5 TO BE 125 THICK POURED ON A 75mm DRAINAGE LAYER CONSISTING OF 10mm SINGLE SIZED ROUNDED AGGREGATE TOPPED WITH A 0.2mm POLYTHENE MEMBRANE. REINFORCE SLABS WITH SL82 FABRIC BOTTOM (30 COVER).

WHERE SLABS ABUT BLOCK WALLS, PROVIDE 10mm BITUMEN IMPREGNATED FIBREBOARD.

--- DENOTES 190 RC BLOCK WALL, REFER DETAIL.

'D.J.' DENOTES DUMMY JOINT - REFER TO DETAIL.

'K.J.' DENOTES PRESSED METAL GALVANISED KEY FORM, WITH PLASTIC CAPPING.

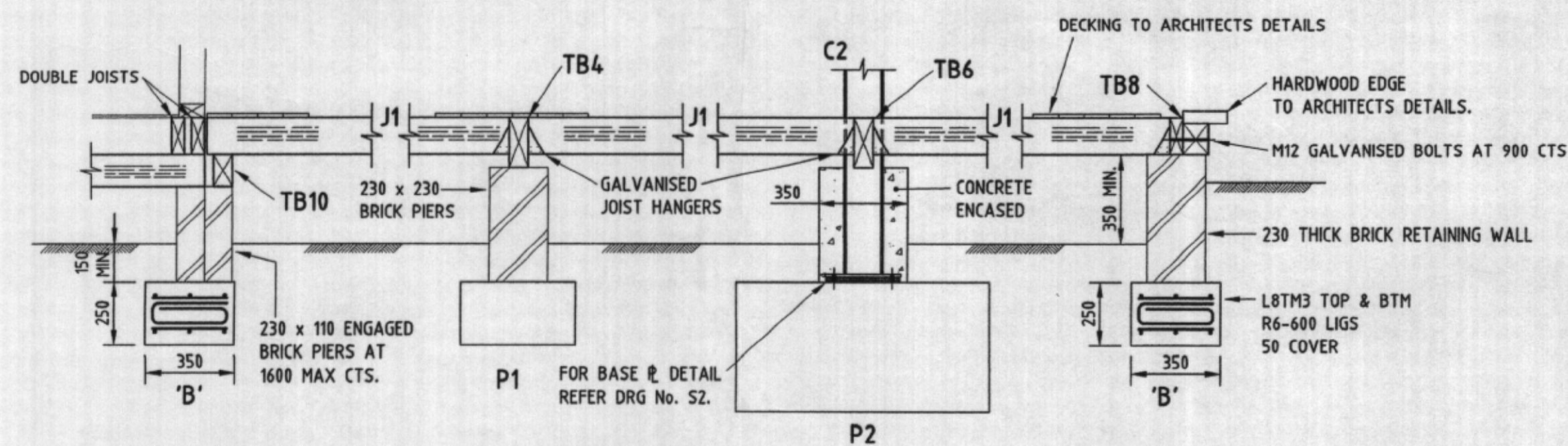
### MEMBER SIZES

COLUMNS C1 TO C4 REFER TO DRG No. S2

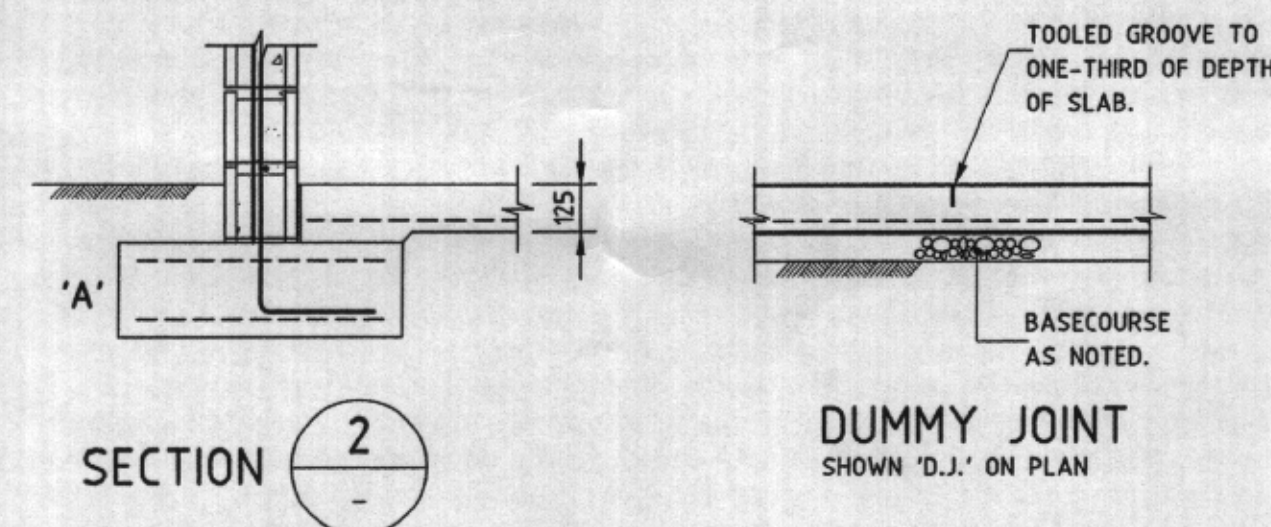
BEARERS (TB)	1	125 x 75 - F7
	2	200 x 75 - F7
	3	150 x 75 - F7 + 125 x 100 - F7

JOISTS J1 150 x 50 - F7 AT 450 CTS

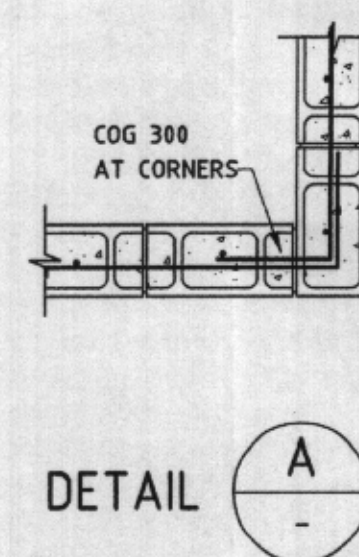
NOTATION	MEMBER MARK	MEMBER SIZE
BEARERS - TB1-1		



SECTION 1



TYPICAL 190 RC BLOCK WALL DETAIL

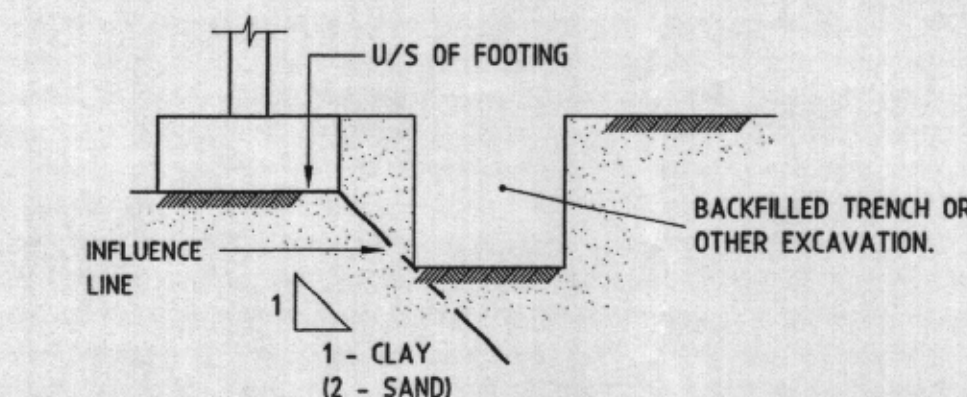


## GENERAL NOTES

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS, SPECIFICATIONS AND AS1100 TECHNICAL DRAWING.
- ANY DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- ANY SETTING OUT DIMENSIONS SHOWN ON THE DRAWING SHALL BE VERIFIED BY THE BUILDER.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE STRUCTURE IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, CONDITIONS OF THE DEVELOPMENT CONSENT AND RELEVANT AUSTRALIAN STANDARD CODES.

## FOUNDATION NOTES

- UNLESS NOTED FOOTINGS SHALL BEAR UPON NATURAL GROUND WITH A MINIMUM SAFE BEARING CAPACITY OF 100 kPa.
- FOUNDATION MATERIAL SHALL BE APPROVED BY THE SUPERINTENDENT BEFORE COMMENCING FOOTING CONSTRUCTION.
- FOOTINGS SHALL BE LOCATED CENTRAL UNDER WALLS AND COLUMNS UNLESS NOTED OTHERWISE.
- UNLESS OTHERWISE APPROVED, EXCAVATIONS NEAR NEW OR EXISTING FOOTINGS SHALL NOT BE WITHIN THE FOOTING INFLUENCE LINE.



## CONCRETE NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- CONCRETE QUALITY - AS NOTED ON THE DRAWINGS. PROJECT ASSESSMENT OF STRENGTH GRADE SHALL BE USED.
- CLEAR COVER OF REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS. REINFORCEMENT SHALL BE RIGIDLY SUPPORTED TO MAINTAIN SPECIFIED COVER DURING CONSTRUCTION.
- SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISH.
- CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE SUPERINTENDENT.
- BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS.
- NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT.
- CONDUITS, PIPES ETC., SHALL ONLY BE LOCATED IN THE MIDDLE ONE THIRD OF SLAB DEPTH. (UNLESS NOTED OTHERWISE.)
- REINFORCEMENT SYMBOLS:  
R - GRADE 250 PLAIN BAR IN ACCORDANCE WITH AS 1302  
N - GRADE 500 DEFORMED BAR DUCTILITY CLASS N (D500N) IN ACCORDANCE WITH AS/NZS 4671 WITH A CARBON EQUIVALENT (CE) LIMIT OF 0.39 MAX.  
SL - GRADE 500 SQUARE WELDED FABRIC, DEFORMED BARS DUCTILITY CLASS L (D500L) IN ACCORDANCE WITH AS/NZS 4671.  
RL - GRADE 500 RECTANGULAR WELDED FABRIC, DEFORMED BARS DUCTILITY CLASS L (D500L) IN ACCORDANCE WITH AS/NZS 4671.
- REINFORCEMENT IS REPRESENTED DIAGMATICALLY; IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN. OBTAIN APPROVAL FROM THE SUPERINTENDENT FOR ANY OTHER SPLICES.
- WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- FABRIC SHALL BE LAPPED 1 MESH + 50 mm.
- CURE CONCRETE IN ACCORDANCE WITH AS 3600. METHOD OF CURING SHALL BE SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL.

## MASONRY NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700 AND CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY CONTRACT DOCUMENTS.
- MASONRY UNITS  
MINIMUM CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH ( $f_{uc}$ ) = 15 MPa
- MORTAR  
MINIMUM MORTAR CLASSIFICATION M3
- UNLESS NOTED OTHERWISE MASONRY WALLS BUILT AGAINST STEEL OR CONCRETE COLUMNS, WALLS OR BEAMS SHALL BE FIXED TO THOSE ELEMENTS USING 50 mm WIDE x 1.5 mm THICK WITH 50 mm UPTURN GALVANISED STEEL WALL TIES AT 600 mm MAXIMUM CENTRES, POWER FIXED WITH 3.8 DIA. DRIVE PINS. EMBED EACH TIE A MINIMUM OF 450 mm INTO COURSE OF HOLLOW BLOCKWORK, 300 INTO SOLID BLOCK WORK AND BRICKWORK.
- CAVITY AND VENER TIES TO BE TYPE A, MEDIUM DUTY, SPACED AT 600mm MAX CTS (VERTICAL AND HORIZONTAL). ADJACENT TO COLUMNS, CROSS WALLS, CONTROL JOINTS AND AROUND THE PERIMETER OF OPENINGS PROVIDE WALL TIES AT 300mm MAX CTS.
- CAVITIES IN BRICKWORK SHALL BE FILLED WITH MORTAR TO FINISH GROUND LEVEL PRIOR TO BACKFILLING AGAINST WALL. BACKFILLING AND COMPACTION OF FILL MATERIAL AGAINST BRICK WALLS SHALL BE CARRIED OUT SIMULTANEOUSLY ON EACH SIDE OF THE WALL.
- CHASES AND RECESSES IN LOAD-BEARING MASONRY SHALL NOT BE MADE WITHOUT THE APPROVAL OF THE SUPERINTENDENT.
- NON LOAD-BEARING MASONRY WALLS SHALL STOP 15 mm BELOW THE UNDERSIDE OF SLABS AND BEAMS.
- REINFORCED CONCRETE BLOCK WALLS SHALL COMPLY WITH THE FOLLOWING:
  - ALL BLOCKS SHALL BE DOUBLE "U" BLOCKS WITH SHALLOW TOP GROOVES FOR REINFORCEMENT.
  - ALL MORTAR DAGS SHALL BE REMOVED BEFORE FILLING CORES WITH GROUT. PROVIDE CLEAN OUT HOLES AT THE BASE OF ALL WALLS AND EACH POUR BREAK.
  - FILL ALL CORES WITH GROUT OF  $f'c$  20 MPa SLUMP 230. 10 mm AGGREGATE SIZE. MINIMUM CEMENT CONTENT = 300kg/m<sup>3</sup>
  - ALL PERPENDS, EXCEPT WHERE REQUIRED FOR WEEPHOLES SHALL BE FULLY FILLED WITH MORTAR.
  - CORE GROUT IS TO BE COMPACTED TO ENSURE COMPLETE FILLING OF ALL CORES.
  - PROVIDE TEMPORARY PROPPING TO WALLS WHERE REQUIRED FOR STABILITY DURING CONSTRUCTION.
  - STARTER BARS SHALL BE ACCURATELY POSITIONED BY TEMPLATES OR SIMILAR MEANS.
  - STARTER BARS SHALL BE TIED TO VERTICAL WALL BARS THROUGH INSPECTION OPENINGS AT THE BASE OF THE WALL AND ALSO ACCURATELY FIXED IN POSITION AT THE TOP BY AN APPROPRIATE METHOD.
  - REINFORCEMENT SHALL BE ACCURATELY PLACED AND FIRMLY HELD IN POSITION TO A TOLERANCE OF  $\pm 10$  mm

No.	Date	Description	Ver.	Appr.
Amendment				

**Woolacotts.**  
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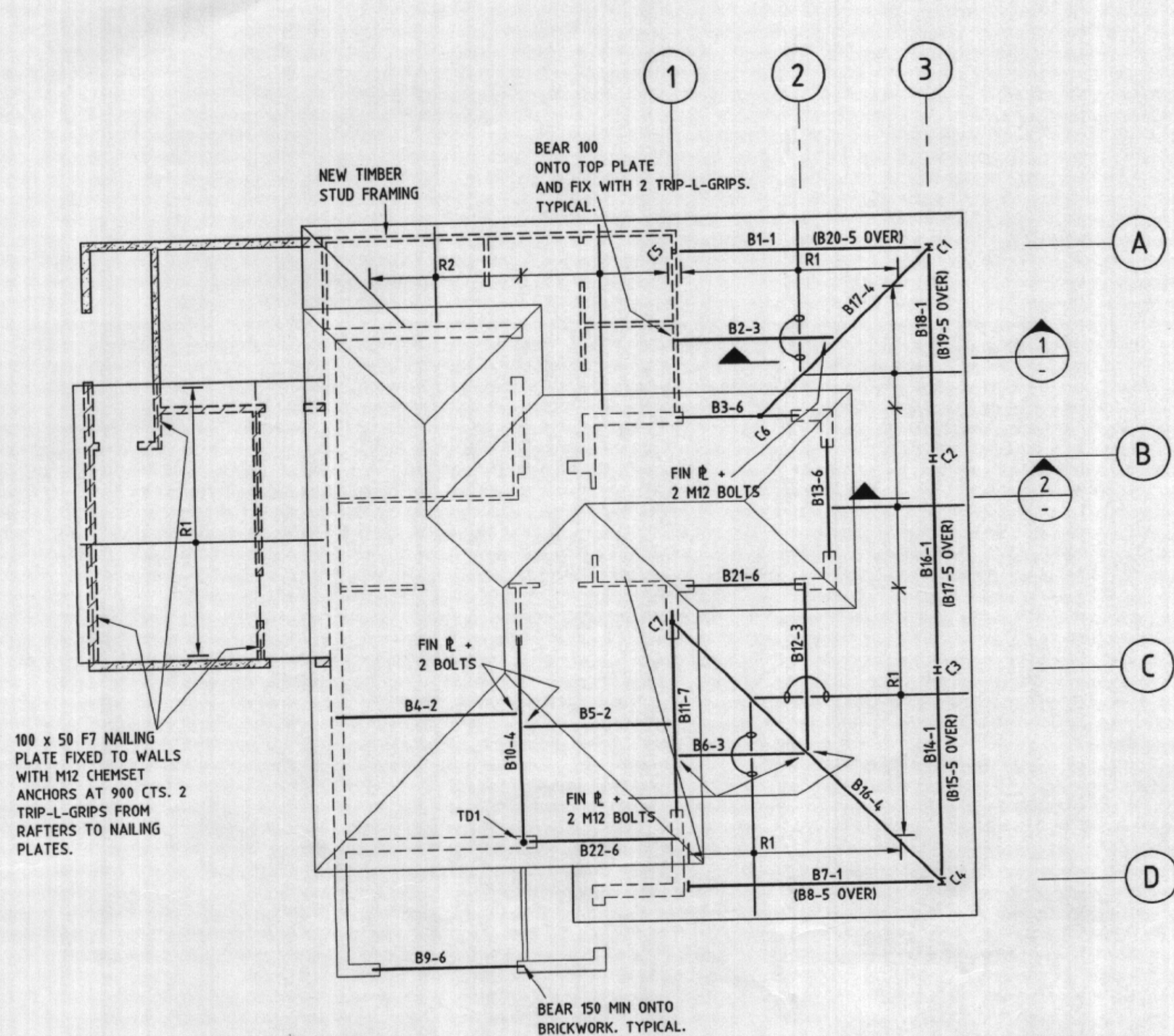
Project  
**'THE COTTAGE', GOVERNOR PHILLIP PARK  
PALM BEACH FOR  
C. & S. LEBENATUS**

Architect  
**M + BA ARCHITECTS PTY LTD**  
P.O. BOX 498 AVALON 2107  
PH: 9918 5151

Drawing title  
**FOOTING / GROUND FLOOR  
PLAN AND DETAILS**

Approved	Verified	Prepared	Date	Scale
	B.P.	D.G./D.Mc.	JULY 2004	1:100, 20
Job number		Drawing number	Amendment	
04-47		S1		





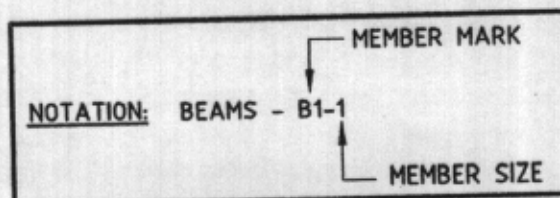
# ROOF PLAN

## MEMBER SIZES

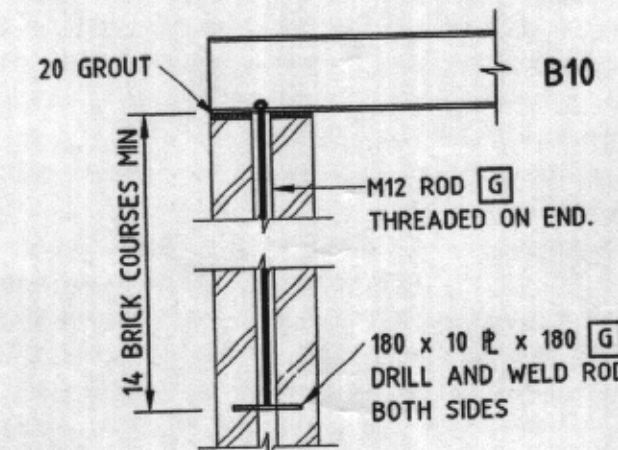
COLUMNS C1 TO C4 150 UC 23 [G]  
C5 TO C7 89 x 89 x 3.5 SHS

BEAMS (B) 1 150 UC 23 [G]  
PROVIDE 50 x 25 x 3 RHS (PT) POSTS AT 1600 MAX CTS SHOP WELDED ON TOP OF UC. - REFER SECTION 1.  
2 300 x 63 HYSPAN  
3 200 x 43 HYSPAN  
4 200 UB 18  
5 75 x 75 - F7  
6 150 x 250 TEE FROM 10 [G]  
7 200 x 250 TEE FROM 10 [G] BEAR 150 MIN EACH END

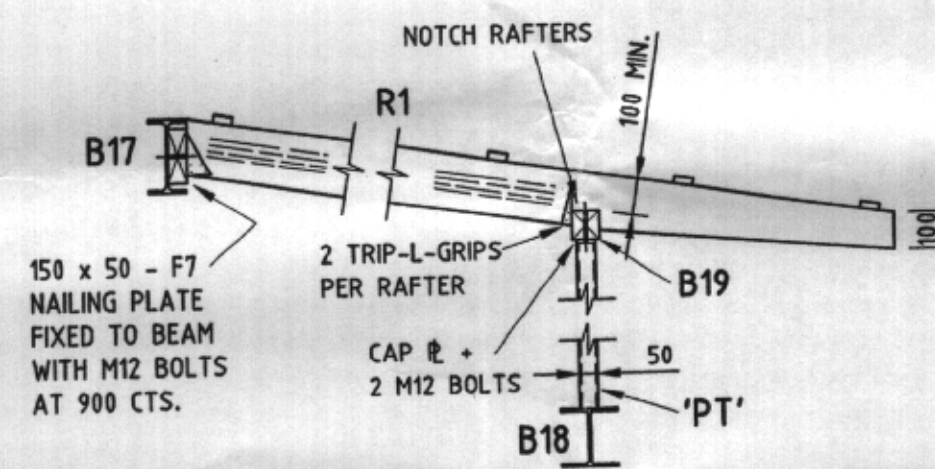
RAFTERS R1 150 x 50 - F7 AT 600 CTS  
R2 100 x 50 - F7 AT 600 CTS



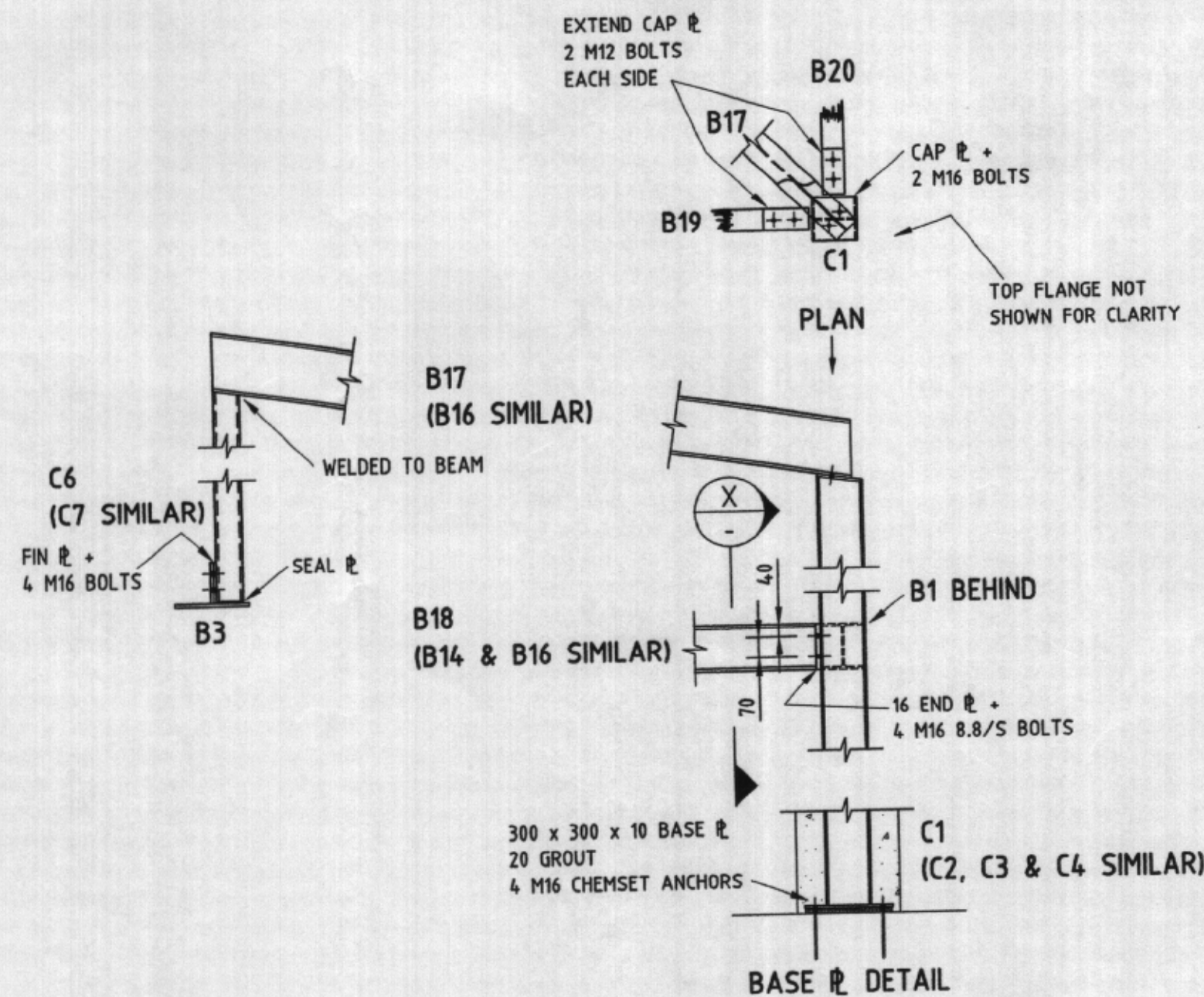
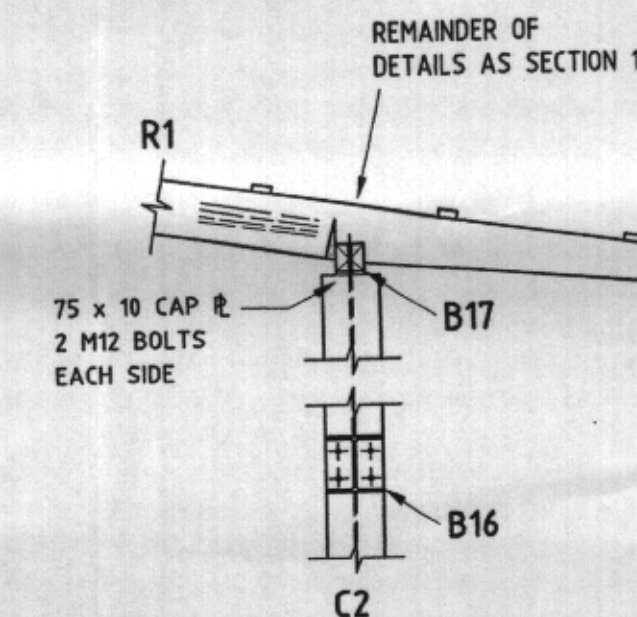
## TIE DOWN 'TD1' DETAIL



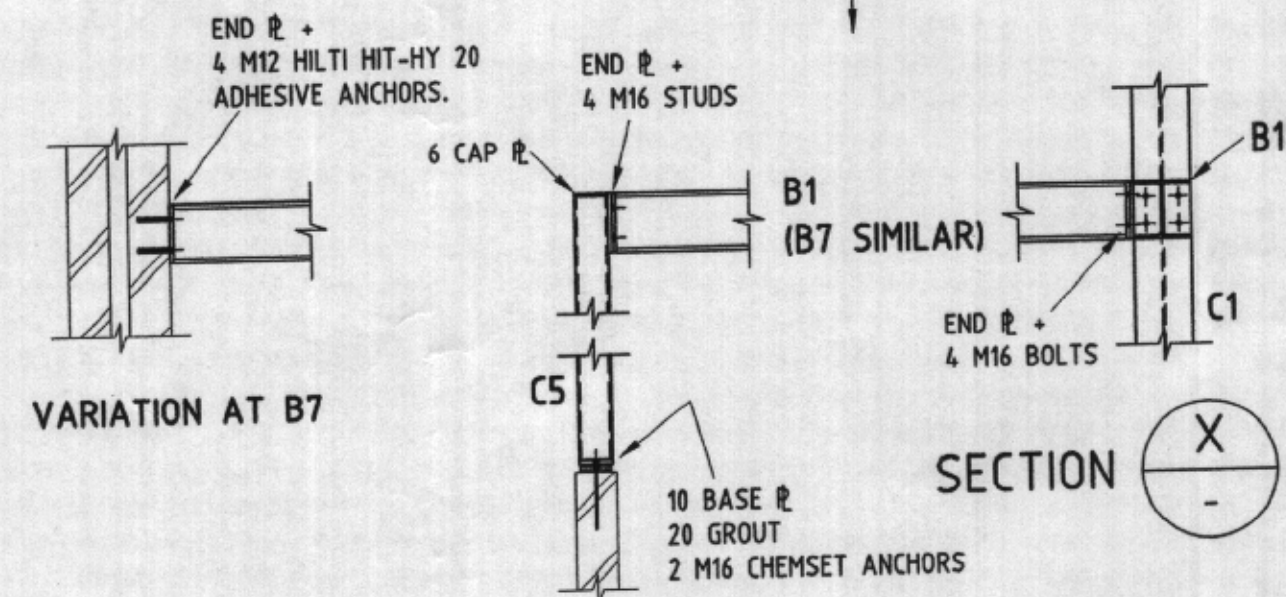
## SECTION 1



## SECTION 2



## VARIATION AT B7



## STRUCTURAL STEELWORK NOTES

- S1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- S2 STEEL QUALITY  
ALL STEELWORK SHALL BE GRADE 250 UNLESS NOTED.  
ROLLED SECTIONS (UB, UC, PFC, EA etc) SHALL BE GRADE BHP-300PLUS.  
RECTANGULAR HOLLOW SECTIONS SHALL BE GRADE 350 UNLESS NOTED.  
COLD FORMED PURLIN AND GIRT SECTIONS SHALL BE IN ACCORDANCE WITH AS1397 AND AS1538, AND BE EQUIVALENT TO BHP GALVASPAN, COATING CLASS Z350.
- S3 WELDING  
ALL WELDING SHALL BE IN ACCORDANCE WITH AS 1554.  
UNLESS NOTED ALL CONNECTIONS BETWEEN MEMBERS SHALL BE 6 mm CONTINUOUS FILLET WELD TYPE G.P.  
BUTT WELDS SHALL BE COMPLETE PENETRATION TYPE SP.  
WELDING SYMBOLS ON DRAWINGS ARE IN ACCORDANCE WITH AS 1101 PART 3.
- S4 BOLTING  
BOLTS SHALL BE M20 4.6/5 UNLESS NOTED.  
MEMBERS SHALL BE CONNECTED WITH 2 BOLTS UNLESS NOTED.  
BOLTING PROCEDURES SHALL BE AS FOLLOWS:

BOLTING PROCEDURE	BOLT NAME	AUSTRALIAN STANDARD	INSTALLATION AS 4100
4.6/5	COMMERCIAL	AS 1111	SNUG TIGHTENED
8.8/5	HIGH STRENGTH	AS 1252	SNUG TIGHTENED
8.8/TF	HIGH STRENGTH	AS 1252	TENSIONED FRICTION
8.8/TB	HIGH STRENGTH	AS 1252	TENSIONED BEARING

APPROVED LOAD-INDICATING WASHERS SHALL BE USED UNDER THE BOLT HEAD OF 8.8/TF AND 8.8/TB JOINTS.

- S5 HOLES IN MEMBERS FOR FIXINGS OF OTHER TRADES SHALL NOT EXCEED 14 mm DIAMETER.
- S6 PLATES  
ALL PLATES SHALL BE 10 mm THICK UNLESS NOTED.  
BEARING PLATE DIMENSIONS PARALLEL TO WEBS ARE GIVEN FIRST.
- S7 SURFACE TREATMENT  
PRIMER UNLESS NOTED ALL STEELWORK SHALL BE POWERTOOL CLEANED TO A CLASS 2 PREPARATION IN ACCORDANCE WITH AS 1627.2 AND COATED WITH A MINIMUM OF 75 MICRONS OF AN APPROVED ZINC PHOSPHATE PRIMER IN ACCORDANCE WITH AS K108.  
NO PRIMING COAT SHALL BE APPLIED TO CONTACTING SURFACES UTILISING 8.8/TF BOLTS NOR TO MEMBERS TO BE SUBSEQUENTLY CONCRETE ENCASED OR FIRE RATED.  
[Z] MEMBERS NOTED [Z] SHALL BE GIVEN A CLASS 2.5 PREPARATION IN ACCORDANCE WITH AS 1627.4 AND COATED WITH A MINIMUM OF 75 MICRONS OF AN APPROVED INORGANIC ZINC SILICATE.  
[G] MEMBERS NOTED [G] SHALL BE HOT DIP GALVANISED.  
ALL BOLTS, NUTS AND WASHERS USED IN CONNECTION OF MEMBERS NOTED [Z] OR [G] SHALL BE HOT DIP GALVANISED.  
MAKE GOOD PROTECTIVE COATINGS AT SITE WELDS AND UNCOATED STEELWORK AT T.F. BOLTED JOINTS.
- S8 STRUCTURAL STEELWORK BELOW GROUND SHALL BE CONCRETE ENCASED AND HAVE 75mm CONCRETE COVER, REINFORCED WITH GALVANISED F41 MESH WITH 40mm COVER, LAPPED 150mm AT SPLICES.

## TIMBER FRAMING NOTES

- TF1 ALL DESIGN, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 1684, AND AS 1720 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- TF2 TIMBER SIZES, WALL BRACING AND CONNECTION DETAILS WHERE NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH AS 1684.
- TF3 ROOF BRACING AND ANCHOR DETAILS WHERE NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH AS 1684.
- TF4 ALL TIMBER MEMBERS SUBJECT TO WEATHER EXPOSURE SHALL BE DURABILITY CLASS 1 IN ACCORDANCE WITH THE NSW TIMBER MARKETING ACT (1977) OR HAZARD LEVEL H3 FOR TREATED TIMBERS IN ACCORDANCE WITH AS1604.

No.	Date	Description	Ver.	Appr.
Amendment				
<p><b>Woolacotts.</b> Consulting Engineers</p> <p>Woolacotts Hale Corlett &amp; Jumlakis Consulting Engineers Pty Ltd A.C.N. 002 751 620 24 Broughton Rd Artarmon 2064. Telephone (02) 9413 1399 Facsimile (02) 9413 1132 E-mail office@woolacotts.com.au</p>				
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<p>Project <b>'THE COTTAGE', GOVERNOR PHILLIP PARK PALM BEACH FOR C. &amp; S. LEBENATUS</b></p>				
<p>Architect <b>M + BA ARCHITECTS PTY LTD P.O. BOX 498 AVALON 2107 PH: 9918 5151</b></p>				
<p>Drawing title <b>ROOF PLAN AND DETAILS</b></p>				
Approved <i>[Signature]</i> 24/7/04	Verified B.P. 14.7.04	Prepared D.G./D.Mc 14.7.04	Date <b>JULY 2004</b>	Scale <b>1:100, 20</b>
Job number <b>04-47</b>		Drawing number <b>S2</b>		Amendment

## REFERENCE DRAWINGS:

FOR GENERAL AND MASONRY NOTES REFER TO DRG. No. S1.



## DRAINAGE NOTES

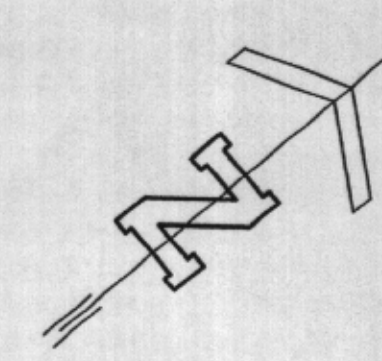
- D1 ALL WORKS GENERALLY SHALL BE IN ACCORDANCE WITH AS 3500.3.2
- D2 FOR PIPE DIAMETERS NOT EXCEEDING 150mm, USE:  
- VITRIFIED CLAY PIPE TO AS 1742  
- SEWER GRADE UPVC TO AS 1260 OR  
- CLASS 2 FIBRE REINFORCED CONCRETE TO AS 4139
- D3 PVC PIPES SHALL BE SOLVENT WELDED. ALL OTHER PIPES SHALL BE RUBBER RING JOINTED UNLESS NOTED OTHERWISE.
- D4 UNLESS SPECIFIED OTHERWISE, BED & BACKFILL SHALL BE COMPACTED SAND TO 100mm PLUS ONE THIRD PIPE DIAMETER ABOVE THE PIPE. REMAINDER OF BACKFILL SHALL BE COMPACTED EXCAVATED MATERIAL. WHEN UNDER VEHICULAR PAVEMENT, REMAINDER OF BACKFILL SHALL BE COMPACTED BASECOURSE.
- D5 LOADS ON PIPES DURING CONSTRUCTION SHALL NOT EXCEED THE REQUIREMENT OF AS 3725, OR THE RECOMMENDATIONS OF THE PIPE MANUFACTURER.
- D6 TRENCH WIDTHS SHALL BE IN ACCORDANCE WITH AS 3500, BUT NOMINALLY THE GREATER OF 1.5 PIPE DIAMETER OR PIPE DIAMETER PLUS 300.

## EROSION CONTROL NOTES

- E1 INSTALL SILT FENCES ON LOW SIDE OF SITE AND AS REQUIRED BY LOCAL COUNCIL PRIOR TO COMMENCEMENT OF TOPSOIL STRIPPING.
- E2 INSTALL DRAINAGE SYSTEM AND SILT FENCES AROUND PITS AS SOON AS PRACTICABLE.
- E3 REINSTATE GRASS COVER AS SOON AS PRACTICABLE.

## LEGEND:

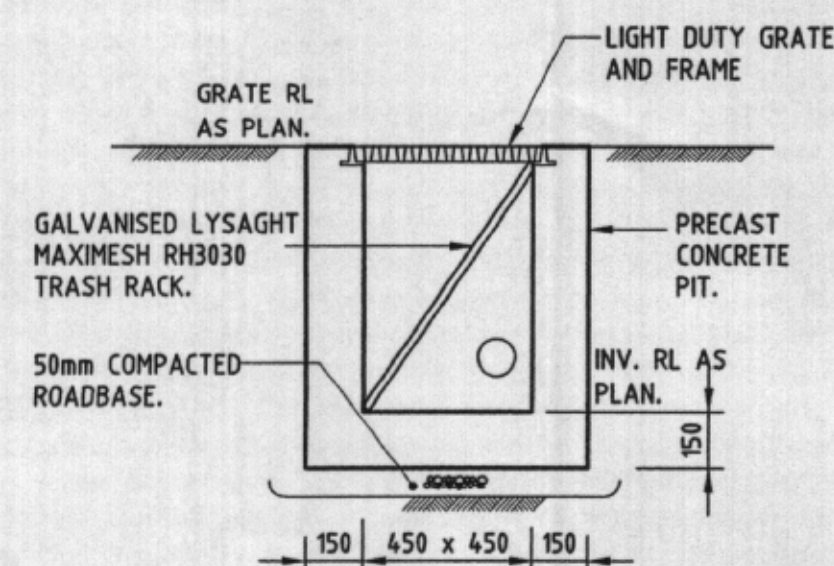
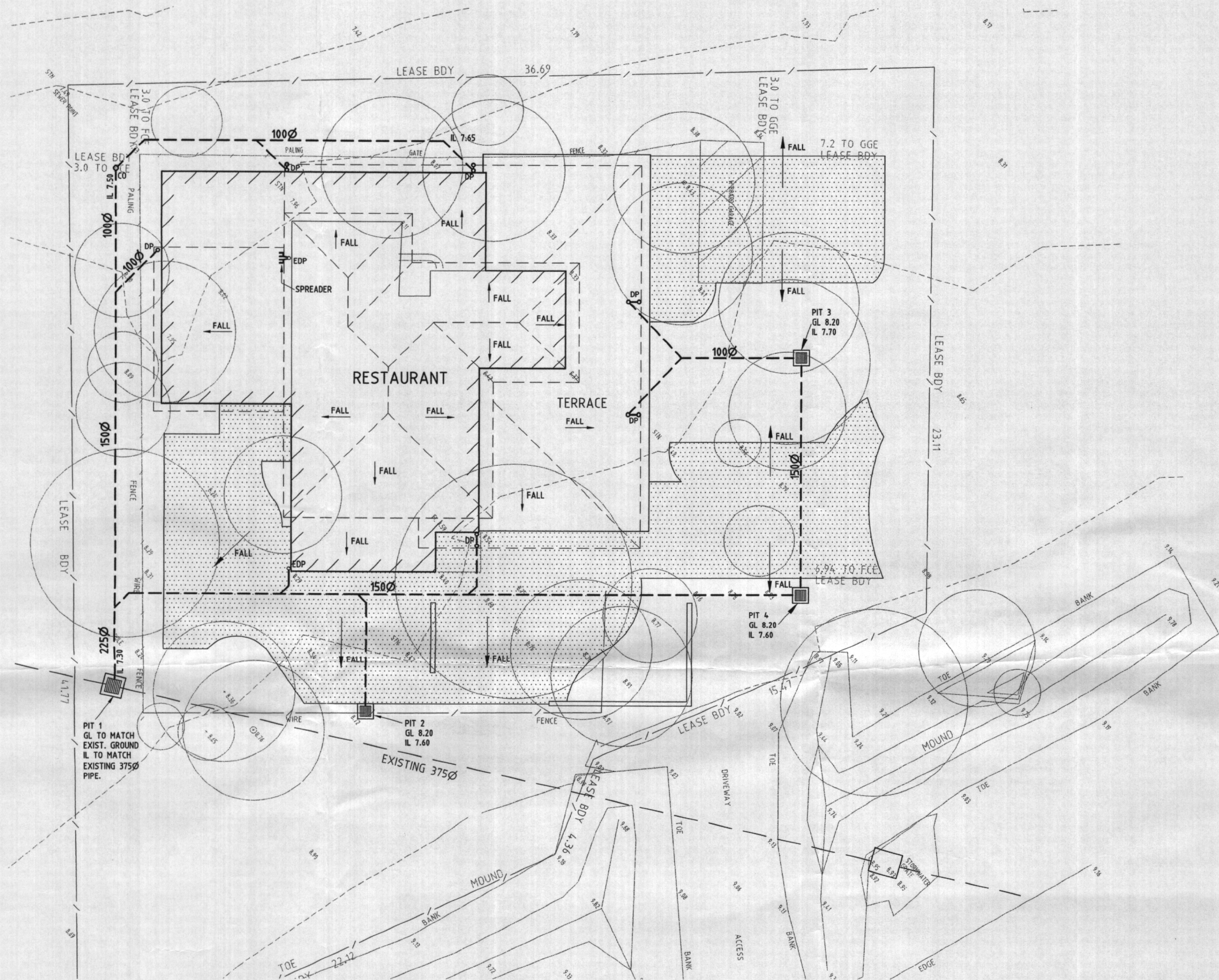
	PAVING TO LANDSCAPE ARCHITECTS DETAILS
	STORMWATER PIPE
	DOWNPIPE
	EXISTING DOWNPIPE
	CLEAR OUT
	INVERT LEVEL
	GRATE LEVEL



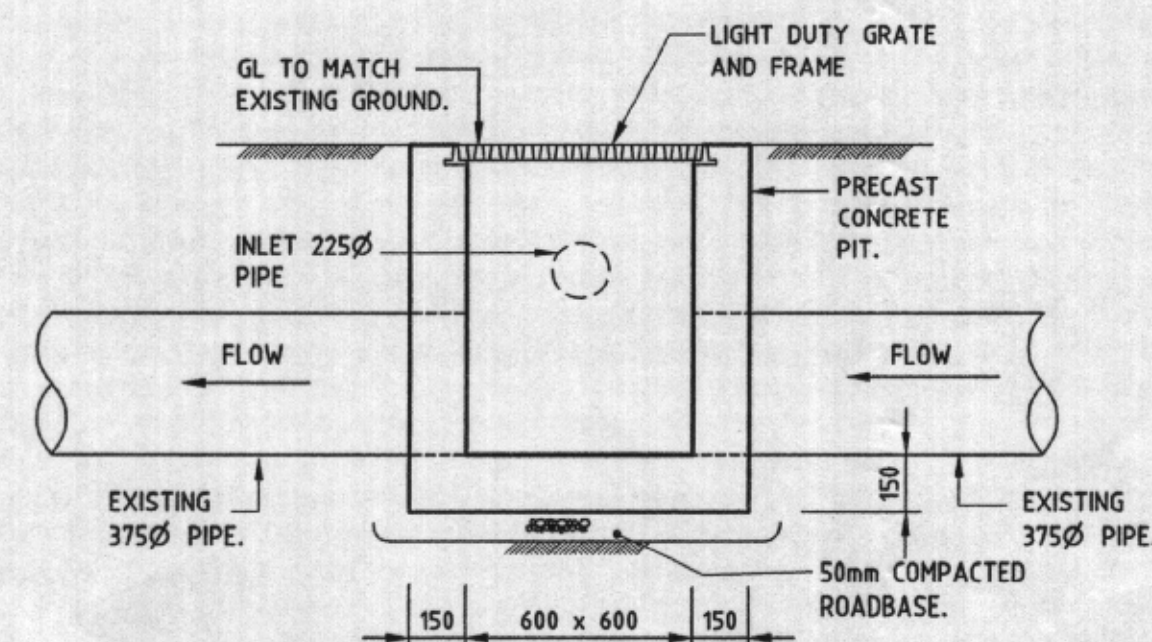
No.	Date	Description	Ver.	Appr.
Amendment				
<b>Woolacotts.</b> Consulting Engineers Woolacotts Hale Corlett & Jumbis Consulting Engineers Pty Ltd A.C.N. 002 761 620 2A Broughton Rd. Artarmon 2084. Telephone (02) 9413 1399 Facsimile (02) 9413 1132 E-mail office@woolacotts.com.au				
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Project				
'THE COTTAGE', GOVERNOR PHILLIP PARK PALM BEACH FOR C. & S. LEBENATUS				
Architect				
M + BA ARCHITECTS PTY LTD P.O. BOX 498 AVALON 2107 PH: 9918 5151				
Drawing title				
STORMWATER MANAGEMENT PLAN AND DETAILS				
Approved	Verified	Prepared	Date	Scale
23/7/04	23.7.04	23/7/04	JULY 2004	1:100, 20
Job number	Drawing number	Amendment		
04-47	C1			

## REFERENCE DRAWINGS:

FOR GENERAL NOTES REFER TO DRG. No. 51



PITS 2, 3 & 4



PIT 1