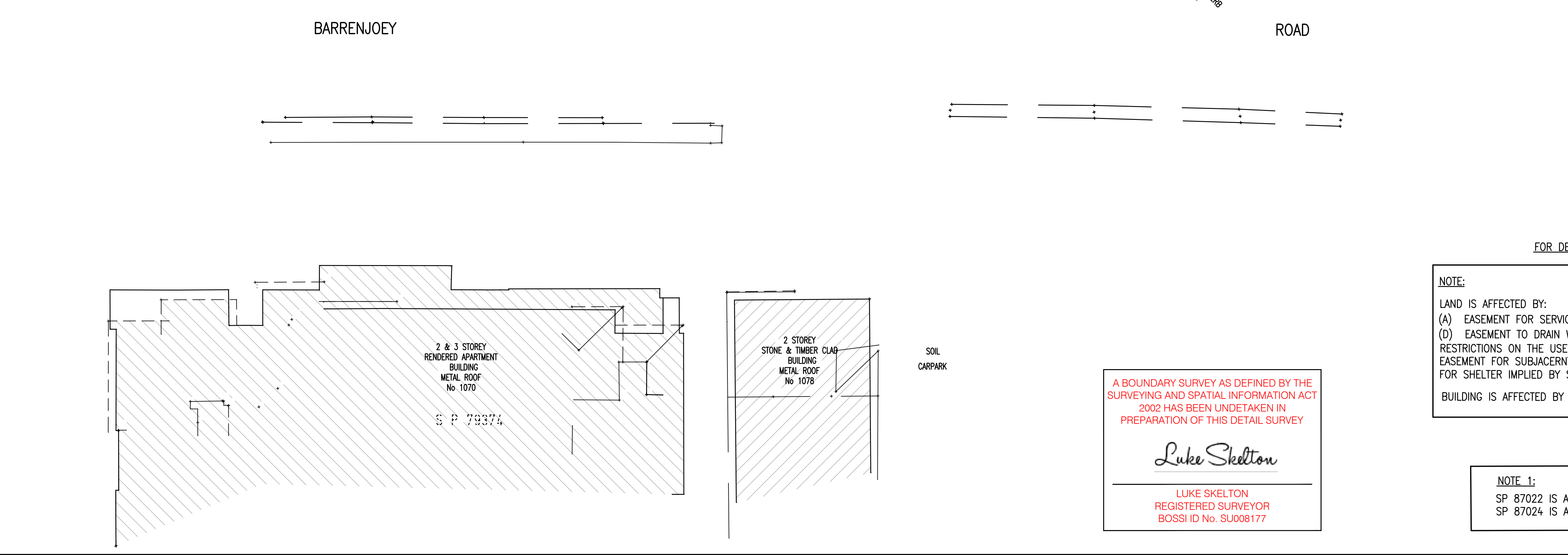
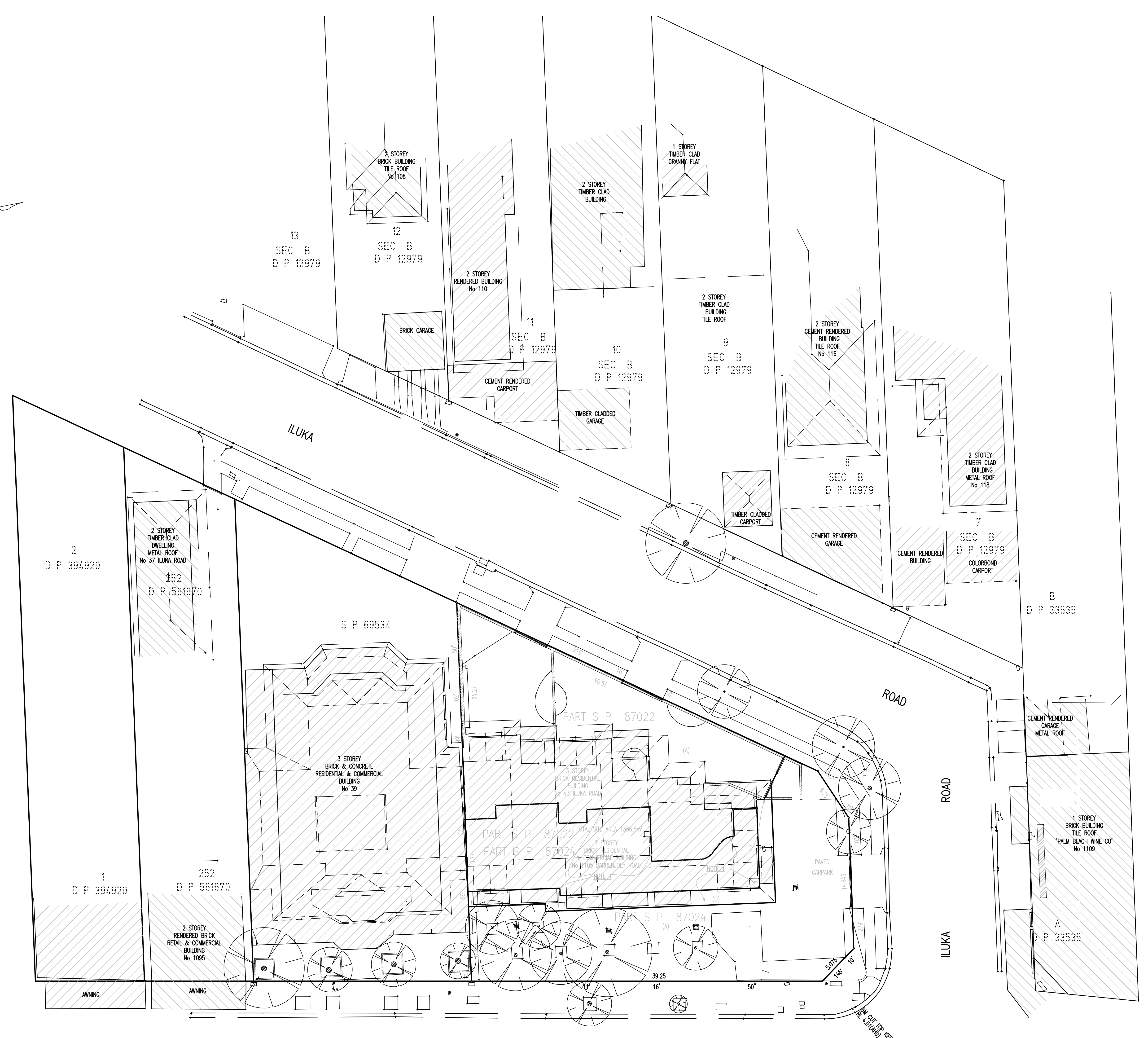


TRUE NORTH
MGA2020



ISSUE	DATE	AMENDMENT	BY
2	6.06.18	ADD LEVELS AND WINDOWS	DK/PH
3	6.11.20	ADDITIONAL DETAIL	SJ/PH
4	26.11.20	AMEND ADJOINING LOT DETAIL	KR/PH
5	08.11.21	REVISIONS AND REVISIONS CONVERTED TO BARS	KB/MS

TYPICAL NOTES:
 DIMENSIONS ARE ON UNLESS OTHERWISE STATED.
 A FULL BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
 BEARINGS ARE ON MAGNETIC NORTH. SEE NORTH POINT FOR APPROXIMATE RELATIONSHIP TO TRUE NORTH.
 SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON GRADE. DIMENSIONS PROVIDED BY THE RELEVANT AUTHORITIES. FIELD CORRECTIONS OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
 LEVELS BASED ON AUSTRALIAN HEIGHT DATUM (AHD).
 ROAD, FACE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
 ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGNOSTIC PURPOSES ONLY.

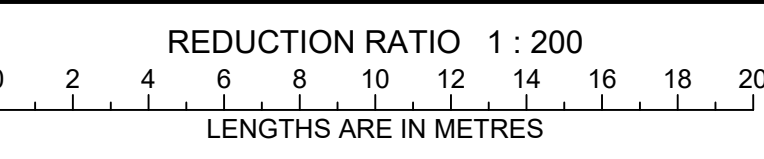
LEGEND OF TYPICAL CODES

AC - ARCHITECTURAL ENVELOPMENT	AL - ALUMINIUM FINISH	ML - METAL LED	NR - NATURAL SURFACE
AM - MIMING	AN - ANCHOR	NC - NATURAL FINISH	NS - STRUCTURE
BA - BALCONY	BB - BOTTOM OF BRICK	OC - OFFICE	OPT - OPTIC FIT
BAW - BOTTOM OF BRICK WALL	BBW - BOTTOM OF BRICK WORK	OC - OVER CROSSING	PED - PEDESTRIAN CROSSING
BC - BOTTOM OF CHIMNEY	BD - BOTTOM OF DOOR	PE - PEDESTAL	PF - PERMANENT MARK
BD - BOTTOM OF DOOR	BE - BOTTOM OF WINDOW	PI - PILING	RF - RAINFALL
BE - BOTTOM OF WINDOW	BF - BOTTOM OF FENCE	RO - ROCK	RO - ROCK
BF - BOTTOM OF FENCE	BE - BOTTOM OF KERB	RM - REFERENCE MARK	RO - ROCK
BT - BOTTOM OF TIE	BU - BUILDING	RM - REFERENCE MARK	RO - ROCK
BU - BUILDING	BU - BUILDING	RM - REFERENCE MARK	RO - ROCK
BU - BUILDING	BU - BUILDING	RM - REFERENCE MARK	RO - ROCK

LEGEND OF TYPICAL SERVICES

C - COMMUNICATIONS CABLE	FW - FIRE WATER
COM - COMMUNICATIONS CABLE	FW - FIRE WATER
E - UNDERGROUND ELECTRICITY	FW - FIRE WATER
G - GAS	FW - FIRE WATER
KA - UNDERGROUND ELECTRICITY & GAS	FW - FIRE WATER
PS - FIRE SERVICE	FW - FIRE WATER
G - GAS LINE	FW - FIRE WATER
CE - GAS LINE & ELECTRICITY CABLES	FW - FIRE WATER
MN - NATIONAL BROAD BAND CABLES	FW - FIRE WATER
NE - NATIONAL GAS LINE	FW - FIRE WATER
OH - OVERHEAD CABLES	FW - FIRE WATER
OP - OPTIC CABLE	FW - FIRE WATER
PE - PRIVATE ELECTRICITY	FW - FIRE WATER
PM - PRIVATE WATER	FW - FIRE WATER

1. ALL UNDERGROUND SERVICE INFORMATION INCLUDES OF GENERAL POSITION AND SURFACE COVER UNLESS NOTED ON THE PLAN AS APPROXIMATELY ONLY.
 2. ALL UNDERGROUND SERVICE INFORMATION HAS BEEN COMPILATED FROM SERVICE AUTHORITY PLANS PROVIDED BY THE AUTHORITIES.
 3. THE LOCATION OF SERVICES BENEATH SPREADS (E.G. ROOFS) HAVE BEEN SHOWN INDICATIVELY ONLY. ONLY THE SERVICE PROVIDER IS PROVIDED THE EXACT LOCATION OF THESE SERVICES. SERVICE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY EXCAVATION OR PILING WORK. REVISIONS SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK.
 4. ALL CONTRACTORS, TRADESMEN, BUILDING & PROJECT CONSULTANTS MUST CONTACT THE RELEVANT AUTHORITIES IN ADVANCE WITH REGARD TO THE ABOVE NOTED PROCEDURES PRIOR TO UNDERTAKING ANY WORKS WITHIN THE SCOPE OF THE SERVICE LINES TO VERIFY THE POSITION OF THE SERVICE LINES.



FOR DETAIL SEE SHEETS 2 TO 4

NOTE:
 LAND IS AFFECTED BY:
 (A) EASEMENT TO DRAIN WATER (DP 1173714)
 (B) EASEMENT TO DRAIN WATER (DP 1173714)
 (C) EASEMENT TO DRAIN WATER (DP 1173714) (SP 87024 ONLY)
 EASEMENT FOR SUBJACENT AND LATERAL SUPPORT AND EASEMENT FOR SHELTER IMPLIED BY SEC 106 STRATA SCHEMES DEVELOPMENT ACT 2015
 BUILDING IS AFFECTED BY A STRATA MANAGEMENT STATEMENT

A BOUNDARY SURVEY AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002 HAS BEEN UNDERTAKEN IN PREPARATION OF THIS DETAIL SURVEY

Luke Skelton

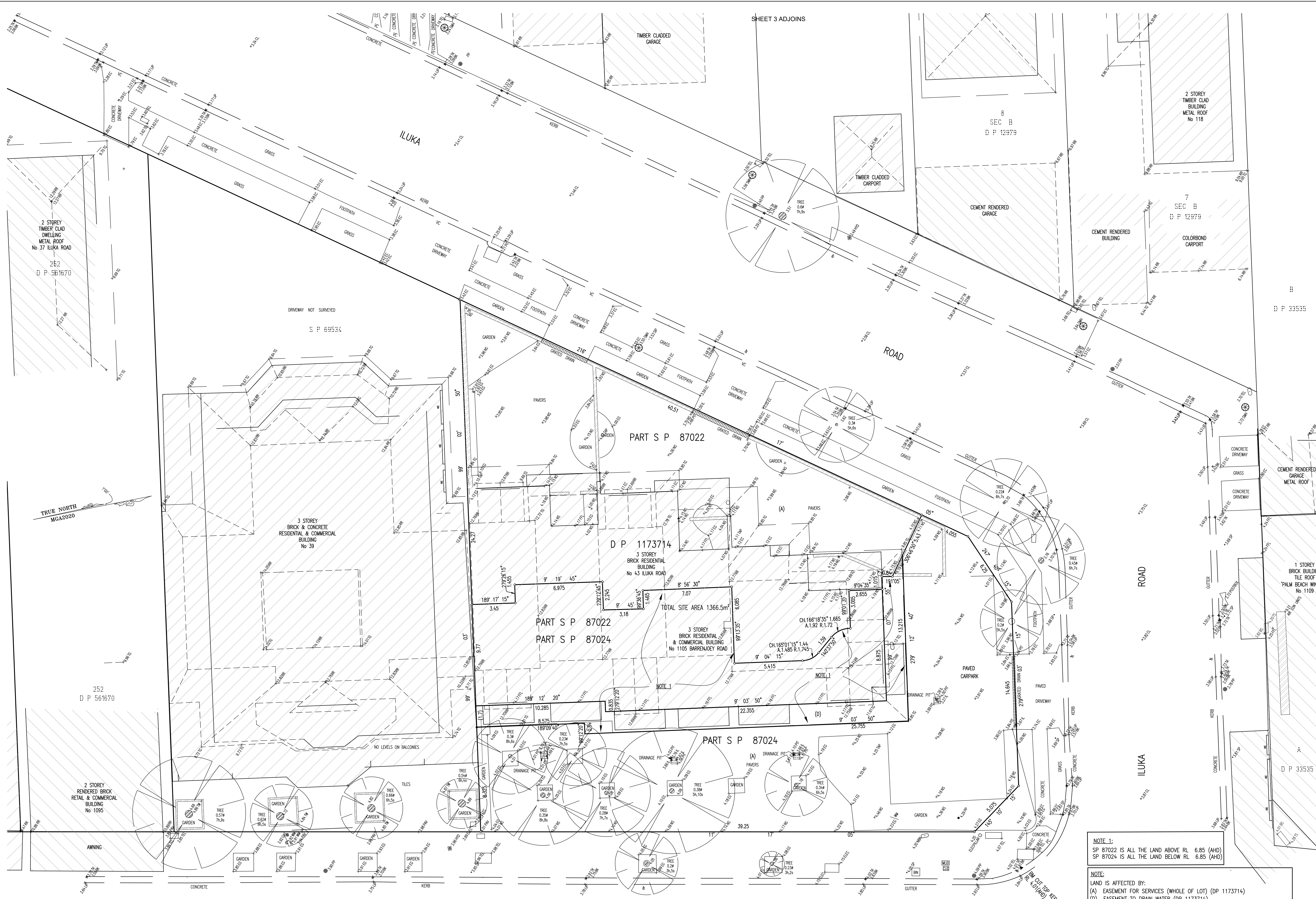
LUKE SKELTON
REGISTERED SURVEYOR
BOSSI ID NO. SU008177

NOTE 1:
 SP 87022 IS ALL THE LAND ABOVE RL 6.85 (AHD)
 SP 87024 IS ALL THE LAND BELOW RL 6.85 (AHD)

**PLAN OF DETAIL & LEVELS AT
 No 1105-1107 BARRENJOEY ROAD
 PALM BEACH**

Head Office (NSW)
 Suite 604, Level 6, 45 Jones Street,
 Ultimo NSW 2007
 PO Box 1807,
 Strathfield Hills, NSW, 2157,
 2021
 T: (02) 9922 4200
 E: syd@veris.com.au
 W: www.veris.com.au
 ABN 63 615 783 727





SHEET 3 ADJOINS

ISSUE	DATE	AMENDMENT	BY
2	6.06.18	ADD LEVELS AND WINDOWS	DK/PH
3	6.11.20	ADDITIONAL DETAIL	SR/PH
4	26.11.20	AMEND ADJOINING LOT DETAIL	KR/PH
5	08.11.21	REVISIONS AND REVISIONS CONVERTED TO THIS DRAWING	KB/MS

TYPICAL NOTES:
 1. UNLESS OTHERWISE SPECIFIED, ALL LEVELS SHALL BE TO FINISH (AFL).
 2. A FULL BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
 3. BEARINGS ARE ON MAGNETIC NORTH. SEE NORTH POINT FOR APPROXIMATE RELATIONSHIP TO TRUE NORTH.
 4. SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SERVICE RECORDS PROVIDED BY THE RELEVANT AUTHORITIES. FIELD CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
 5. LEVELS BASED ON AUSTRALIAN HEIGHT DATUM (AHD).
 6. ROAD, GATE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
 7. ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGNOSTIC PURPOSES ONLY.

LEGEND OF TYPICAL CODES

CODE	DESCRIPTION	CODE	DESCRIPTION
AL	ALUMINIUM FINISH	MLO	METAL LID
AN	ARCHITECTURAL ENVELOPMENT	NO	NATURAL SURFACE
AP	APPOINTMENT PIN	NS	STRUCTURE
AR	ARCHITECTURAL	OPT	OPTIC PIT
BALC	BALCONY	PC	POWER CROSSING
BA	BOTTOM OF BANK	PCD	PEDESTRIAN CROSSING
CH	CHIMNEY	PFCD	PETECOLA
ED	EDGE OF DOOR	PM	PERMANENT MARK
EP	EDGE OF FENCE	PP	PERMANENT MARK
FT	FOOTPATH	RF	ROOF
GA	GARDEN	RM	REFERENCE MARK
GR	GRASS	RO	ROOF RISE
IB	INTERNAL BALCONY	RS	ROOF SURFACE
IBL	INTERNAL BALCONY LANDING	RSN	ROOF SURFACE
IBW	INTERNAL BALCONY WINDOW	SR	SHRUB
IBW	INTERNAL BALCONY WINDOW	SRW	SHRUB WITH WATER
IBW	INTERNAL BALCONY WINDOW	SRW	SHRUB WITH WATER
IBW	INTERNAL BALCONY WINDOW	SRW	SHRUB WITH WATER
IBW	INTERNAL BALCONY WINDOW	SRW	SHRUB WITH WATER
IBW	INTERNAL BALCONY WINDOW	SRW	SHRUB WITH WATER

NOTE 1:
 SP 87022 IS ALL THE LAND ABOVE RL 6.85 (AHD)
 SP 87024 IS ALL THE LAND BELOW RL 6.85 (AHD)

NOTE:
 LAND IS AFFECTED BY:
 (A) EASEMENT FOR SERVICES (WHOLE OF LOT) (DP 1173714)
 (D) EASEMENT TO DRAIN WATER (DP 1173714)
 RESTRICTIONS ON THE USE OF LAND (DP 1173714)(SP 87024 ONLY)
 EASEMENT FOR SUBJACENT AND LATERAL SUPPORT AND EASEMENT FOR SHELTER IMPLIED BY SEC 106 STRATA SCHEMES DEVELOPMENT ACT 2015
 BUILDING IS AFFECTED BY A STRATA MANAGEMENT STATEMENT

LEGEND OF TYPICAL SERVICES

C	COMMUNICATIONS CABLE	RM	RECYCLED WATER
CO	CORNER STONEMAN PILE	RW	RINDING WATER
E	UNDERGROUND ELECTRICITY	RS	RACE & MARINE SERVICES
ES	ELECTRICITY SERVICE	RS	RACE & MARINE SERVICES
GA	GAS LINE & ELECTRICITY CABLES	SS	SEWER OUTCALL
GS	GAS LINE	ST	SHAWED TRENCH
GS	GAS LINE	ST	SHAWED TRENCH
GS	GAS LINE	ST	SHAWED TRENCH
GS	GAS LINE	ST	SHAWED TRENCH
GS	GAS LINE	ST	SHAWED TRENCH

REDUCTION RATIO 1:100

0 1 2 3 4 5 6 7 8 9 10

LENGTHS ARE IN METRES

CLIENT: MACARTHUR PROJECTS PTY LTD

TITLE No: SP 87024 & SP87022 REF: 200442B

DATUM: AHD ISSUE: 5

DATE OF SURVEY: 06.11.20 ISSUE DATE: 09.11.21

SURVEYOR: KB SHEET SIZE: A0

DRAFTER: MS SHEET 2 OF 4 SHEETS

Head Office (NSW)
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 Ultimo, NSW 2007
 PO Box 1807,
 Stradbroke Island, NSW, 2012

T: 02 9262 4200
 E: sydney@veris.com.au
 W: www.veris.com.au
 ABN 63 618 788 727

A BOUNDARY SURVEY AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2000 HAS BEEN UNDERTAKEN IN PREPARATION OF THIS DETAIL SURVEY

Luke Skelton

LUKE SKELTON
 REGISTERED SURVEYOR
 BOSSHID No. SU008177

SHEET 4 ADJOINS

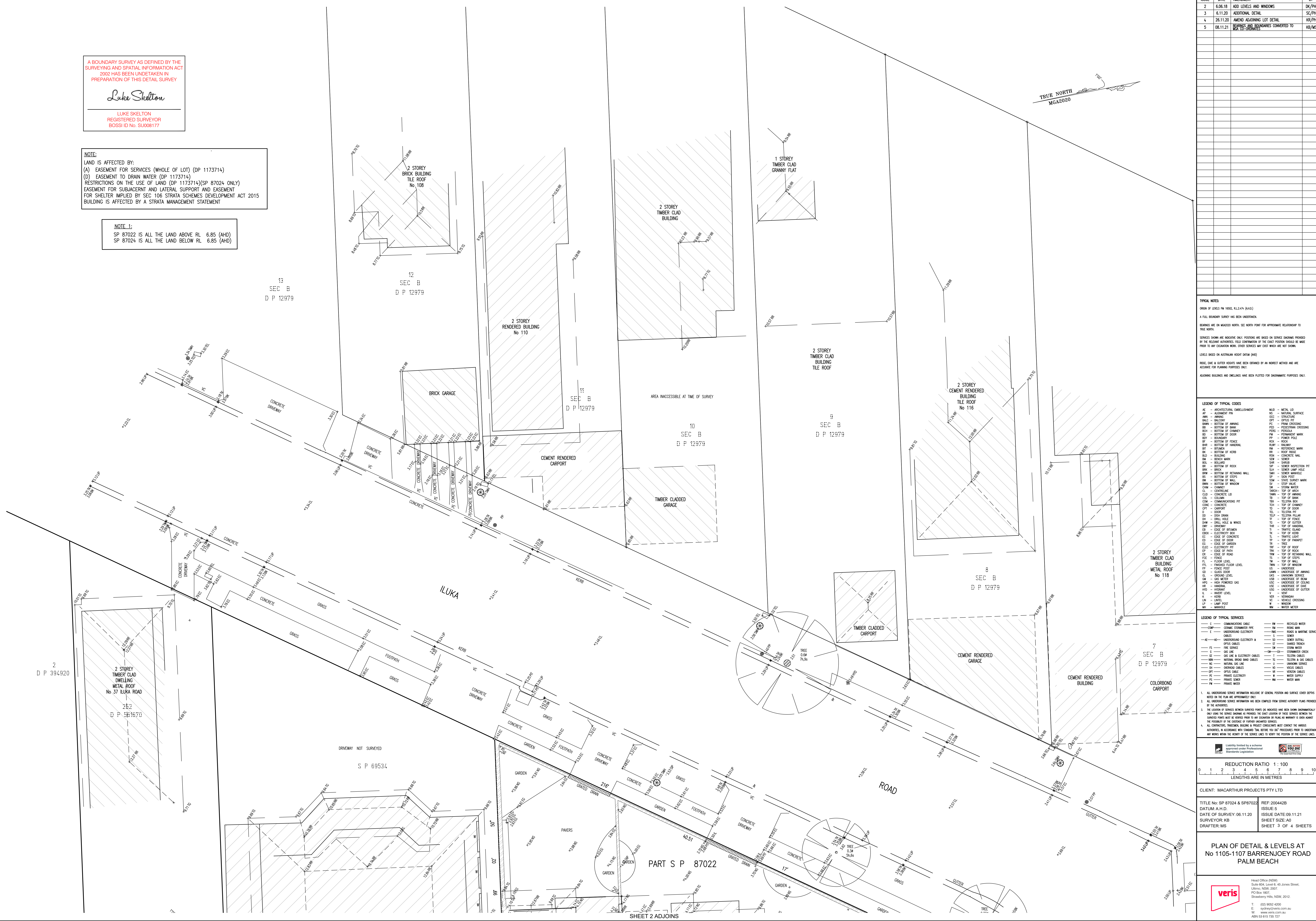
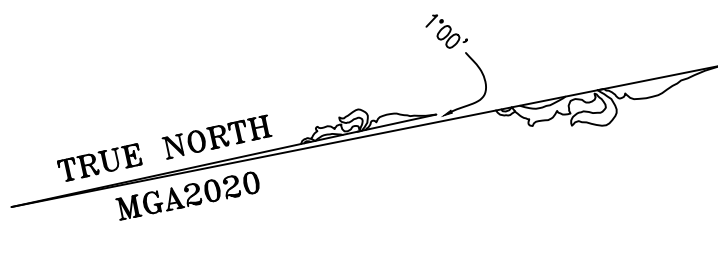
A BOUNDARY SURVEY AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002 HAS BEEN UNDERTAKEN IN PREPARATION OF THIS DETAIL SURVEY

Luke Skelton

LUKE SKELTON
REGISTERED SURVEYOR
BOSSI ID No. SU008177

NOTE:
LAND IS AFFECTED BY:
(A) EASEMENT FOR SERVICES (WHOLE OF LOT) (DP 1173714)
(D) EASEMENT TO DRAIN WATER (DP 1173714)
(E) RESTRICTIONS ON THE USE OF LAND (DP 1173714)(SP 87024 ONLY)
EASEMENT FOR SUBJACENT AND LATERAL SUPPORT AND EASEMENT FOR SHELTER IMPLIED BY SEC 106 STRATA SCHEMES DEVELOPMENT ACT 2015
BUILDING IS AFFECTED BY A STRATA MANAGEMENT STATEMENT

NOTE 1:
SP 87022 IS ALL THE LAND ABOVE RL 6.85 (AHD)
SP 87024 IS ALL THE LAND BELOW RL 6.85 (AHD)



ISSUE	DATE	AMENDMENT	BY
2	6.06.18	ADD LEVELS AND WINDOWS	DK/PH
3	6.11.20	ADDITIONAL DETAIL	SK/PH
4	26.11.20	AMEND ADJOINING LOT DETAIL	KR/PH
5	08.11.21	BEARINGS AND BEARINGS CONVERTED TO THE CORRECTED	KB/MS

TYPICAL NOTES:
DRAIN OF LEVELS IN 1000; 4.2-4.4 (AHD)
A FULL BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
BEARINGS ARE ON MAGNETIC NORTH. SEE NORTH POINT FOR APPROXIMATE RELATIONSHIP TO TRUE NORTH.
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SERVICE RECORDS PROVIDED BY THE RELEVANT AUTHORITIES. FIELD CORROBORATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
LEVELS BASED ON AUSTRALIAN HEIGHT DATUM (AHD)
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ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGNOSTIC PURPOSES ONLY.

LEGEND OF TYPICAL CODES

AC - ARCHITECTURAL ENCLOSURE	ALD - METAL LOD
AL - ALUMINIUM FIN	ND - NATURAL SURFACE
AW - WALLING	SC - STRUCTURE
BALC - BALCONY	OPT - OPTIC PIT
BAN - BOTTOM OF BANK	PFC - POWER CROSSING
BO - BOTTOM OF CHIMNEY	PTC - PITCH
BD - BOTTOM OF DOOR	PM - PERMANENT MARK
BO - BOUNDARY	PP - POWER
BF - BOTTOM OF FENCE	ROK - ROCK
BO - BOTTOM OF FENCE	RSK - ROCK
BT - BUTTRESS	RY - RAIN
BU - BOTTOM OF KERB	RW - REFERENCE MARK
BU - BUILDING	ROH - ROOF HOLE
BU - BUILDING	ROH - ROOF HOLE
BU - BUILDING	ROH - ROOF HOLE
BU - BUILDING	ROH - ROOF HOLE
BU - BUILDING	ROH - ROOF HOLE

LEGEND OF TYPICAL SERVICES

C - COMMUNICATIONS CABLE	RM - RECYCLED WATER
COM - COMMUNICATIONS	RW - RAIN WATER
E - UNDERGROUND ELECTRICITY	SMS - SMOKE SERVICES
EC - UNDERGROUND ELECTRICITY & CABLES	SO - SINKER OUTLET
PS - PRIVATE SERVICE	SI - SWAMP INLET
G - GAS LINE	SM - STORMWATER
GL - GAS LINE & ELECTRICITY CABLES	ST - STONEMAN CREEK
MN - NATIONAL BROAD BAND CABLES	T - TELEPHONE
MC - METAL MANHOLE	TD - TELSTRA & GAS CABLES
OH - OVERHEAD CABLES	UN - UNDERGROUND
OP - OPTIC CABLE	UR - UNDERGROUND
PE - PRIVATE ELECTRICITY	W - WOODS
PS - PRIVATE SERVICE	W - WOODS
PM - PRIVATE WATER	W - WOODS

REDUCTION RATIO 1:100
LENGTHS ARE IN METRES

CLIENT: MACARTHUR PROJECTS PTY LTD
TITLE No: SP 87024 & SP87022 REF: 200442B
DATUM: A.H.D. ISSUE: S
DATE OF SURVEY: 06.11.20 ISSUE DATE: 09.11.21
SURVEYOR: KB SHEET SIZE: AD
DRAFTER: MS SHEET 3 OF 4 SHEETS

PLAN OF DETAIL & LEVELS AT
No 1105-1107 BARRENJOEY ROAD
PALM BEACH

