

Proposed New Dwelling
for Patrick and Penny Joyce
16 Addison Rd, Sydney

Development Application Issue
December 2020

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Town Planning:

Site Area: 543.8m²

Floor space Ratio: 0.6
543.8x0.6= 326.3m²

Zone: E4 Environmental Living

Max. Wall Height: 7.2m
or calculated for gradient

Max. Building Height: 8.5m

Max. Roof Slope: 35°

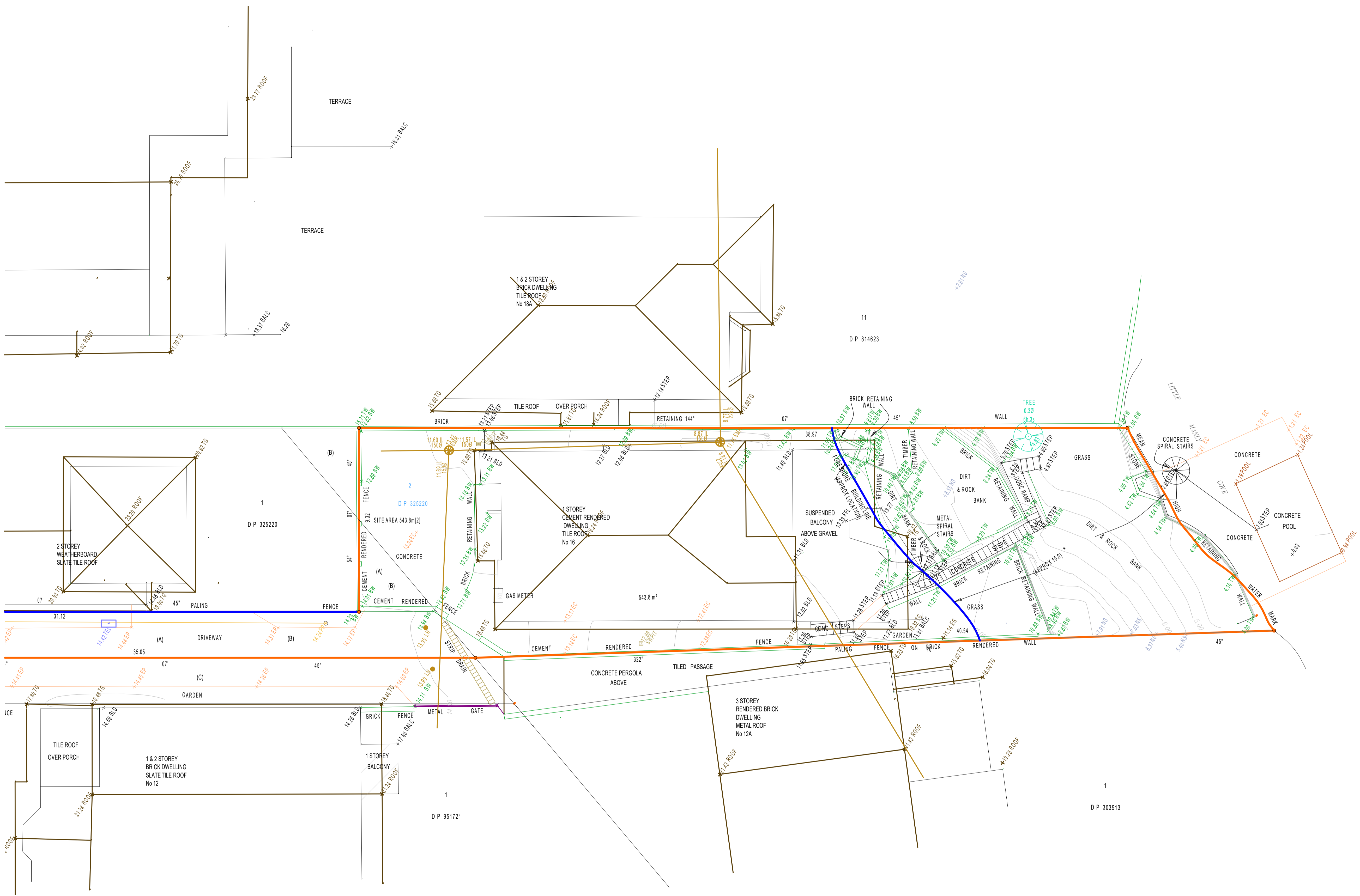
Lot size C: Min. 250m²

Setback: 1/3 Wall Height

Foreshore Scenic Protection Area
Bandicoot and Penguin Significant Area
Biodiversity Overlay



Artists Impression



NOTE: FORESHORE BUILDING LINE FROM L.E.P. MAP
 * APPROXIMATE LOCATION (15 METRES FROM M.H.W.M. 2013)

(A) RIGHTS OF WAY (RE A735434, A750076)
 (B) BENEFITED BY RIGHTS OF WAY (RE A750076, B795218)
 (C) RIGHT OF WAY (RE 750076)

- TYPICAL NOTES:**
- ORIGIN OF LEVELS PM 877, R.L.18.704 (A.H.D.)
 - BEARINGS ARE ON MAG NORTH
 - NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN
 - BEARINGS & DISTANCES HAVE BEEN COMPILED FROM TITLE AND/OR DEED INFORMATION SUPPLIED BY DEPARTMENT OF LANDS NSW
 - RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
 - SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY AND THE RELEVANT SERVICE DIAGRAMS OF THE VARIOUS AUTHORITIES. ALL SERVICES MUST BE VERIFIED ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN. LINKER SURVEYING PTY LTD BEARS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE SERVICES SHOWN HEREON.
 - ROOF, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY
 - ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
 - THE DIAMETER (Ø), SPREAD (S) & HEIGHT (H) OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
 - CONTOURS ARE AN INDICATION OF THE TOPOGRAPHY ONLY. SPOT LEVELS SHOULD BE USED IF DETAILED DESIGN IS TO BE UNDERTAKEN.
 - CONTOUR INTERVAL 0.5 METRE.

LEGEND OF TYPICAL CODES

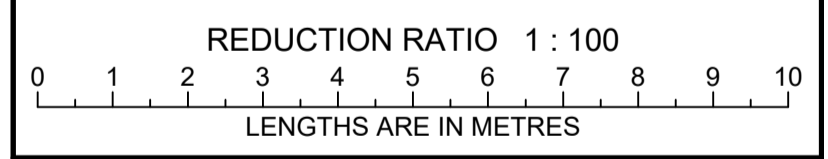
AE - ARCHITECTURAL EMBELLISHMENT	MJD - METAL LID
AP - ALIGNMENT PIN	NS - NATURAL SURFACE
AWN - AWNING	OCC - STRUCTURE
BALC - BALCONY	OPT - OPTUS PIT
BANK - BOTTOM OF AWNING	PS - STRAM CROSSING
BB - BOTTOM OF BANK	PED - PEDESTRIAN CROSSING
BCH - BOTTOM OF CHIMNEY	PERG - PERGOLA
BD - BOTTOM OF DOOR	PM - PERMANENT MARK
BOY - BOUNDARY	PP - POWER POLE
BR - BOTTOM OF FENCE	ROCK - ROCK
BRR - BOTTOM OF HANDRAIL	RWY - RAILWAY
BIT - BITUMEN	RM - REFERENCE MARK
BK - BOTTOM OF KERB	RR - ROOF RIDGE
BLD - BUILDING	RSN - CONCRETE NAIL
BM - BENCH MARK	SEW - SEWER
BOL - BOLLARD	SHR - SHRUB
BR - BOTTOM OF ROCK	SP - SEWER INSPECTION PIT
BRK - BRICK	SLH - SEWER LAMP HOLE
BRW - BOTTOM OF RETAINING WALL	SMH - SEWER MANHOLE
BS - BOTTOM OF STEPS	SNP - SIGN POST
BW - BOTTOM OF WALL	SSM - STATE SURVEY MARK
BWIN - BOTTOM OF WINDOW	SV - STOP VALVE
CHM - CHIMNEY	SW - STORM WATER
CL - CENTRELINE	TARCH - TOP OF ARCH
CLID - CONCRETE LID	TAWN - TOP OF AWNING
COL - COLLUMN	TB - TOP OF BANK
COM - COMMUNICATIONS PIT	TBX - TELSTRA BOX
CONC - CONCRETE	TCH - TOP OF CHIMNEY
OPT - CAPPORT	TD - TOP OF DOOR
D - DOOR	TEL - TELSTRA PIT
DD - DISH DRAIN	TELP - TELSTRA PILLAR
DH - DRILL HOLE	TF - TOP OF FENCE
DHW - DRILL HOLE & WINGS	TG - TOP OF GUTTER
DWY - DRIVEWAY	THR - TOP OF HANDRAIL
EB - EDGE OF BITUMEN	TI - TRAFFIC ISLAND
ESBK - ELECTRICITY BOX	TJN - TOP OF KERB
EC - EDGE OF CONCRETE	TL - TRAFFIC LIGHT
ED - EDGE OF DOOR	TP - TOP OF PARAPET
EG - EDGE OF GARDEN	TR - TREE
ELEC - ELECTRICITY PIT	TRF - TOP OF ROOF
EP - EDGE OF PATH	TRK - TOP OF ROOF
ER - EDGE OF ROAD	TRW - TOP OF WINDOW
FL - FENCE	TS - TOP OF STEPS
FL - FLOOR LEVEL	TW - TOP OF WALL
FL - FINISHED FLOOR LEVEL	TWN - TOP OF WINDOW
FP - FENCE POST	US - UNDERSIDE
GD - GLASS DOOR	UAWN - UNDERSIDE OF AWNING
GL - GROUND LEVEL	UKS - UNKNOWN SERVICE
GM - GAS METER	USB - UNDERSIDE OF BEAM
GP - HIGH POWERED GAS	USC - UNDERSIDE OF CEILING
HR - HANDRAIL	USE - UNDERSIDE OF EAVE
HYD - HYDRANT	USC - UNDERSIDE OF GUTTER
I - INVERT LEVEL	V - VENT
K - KERB	VER - VERANDA
LN - LINTEL	VC - VEHICLE CROSSING
LP - LAMP POST	W - WINDOW
MH - MANHOLE	WM - WATER METER

LEGEND OF TYPICAL SERVICES

C - COMMUNICATIONS CABLE	RW - RECYCLED WATER
CSMP - CERAMIC STORMWATER PIPE	RM - RISING MAIN
E - UNDERGROUND ELECTRICITY CABLES	RMS - ROADS & MARITIME SERVICES
AE - UNDERGROUND ELECTRICITY & OPTUS CABLES	S - SEWER
FS - FIRE SERVICE	SO - SEWER OUTFALL
GS - GAS LINE	ST - SHARED TRENCH
GE - GAS LINE & ELECTRICITY CABLES	SW - STORM WATER
NBN - NATIONAL BROAD BAND CABLES	SW - STORMWATER CREEK
NG - NATURAL GAS LINE	T - TELSTRA CABLES
OH - OVERHEAD CABLES	TG - TELSTRA & GAS CABLES
OPT - OPTUS CABLE	U - UNKNOWN SERVICE
PE - PRIVATE ELECTRICITY	UC - UCCS CABLES
PS - PRIVATE SEWER	VR - VERIZON CABLES
PW - PRIVATE WATER	W - WATER SUPPLY
	WM - WATER MAIN

- ALL UNDERGROUND SERVICE INFORMATION INCLUSIVE OF GENERAL POSITION AND SURFACE COVER DEPTHS NOTED ON THE PLAN ARE APPROXIMATELY ONLY.
- ALL UNDERGROUND SERVICE INFORMATION HAS BEEN COMPILED FROM SERVICE AUTHORITY PLANS PROVIDED BY THE AUTHORITIES.
- THE LOCATION OF SERVICES BETWEEN SURVEYED POINTS (AS INDICATED) HAVE BEEN SHOWN DIAGRAMMATICALLY ONLY USING THE SERVICE DIAGRAMS AS PROVIDED. THE EXACT LOCATION OF THESE SERVICES BETWEEN THE SURVEYED POINTS MUST BE VERIFIED PRIOR TO ANY EXCAVATION OR PLUMBING. NO WARRANTY IS GIVEN AGAINST THE POSSIBILITY OF THE EXISTENCE OF FURTHER UNWRITTEN SERVICES.
- ALL CONTRACTORS, TRADESMEN, BUILDING & PROJECT CONSULTANTS MUST CONTACT THE VARIOUS AUTHORITIES IN ACCORDANCE WITH STANDARD 'YOU DIG' PROCEDURES PRIOR TO UNDERTAKING ANY WORKS WITHIN THE VICINITY OF THE SERVICE LINES TO VERIFY THE POSITION OF THE SERVICE LINES.

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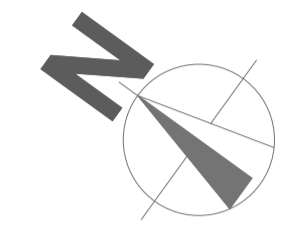
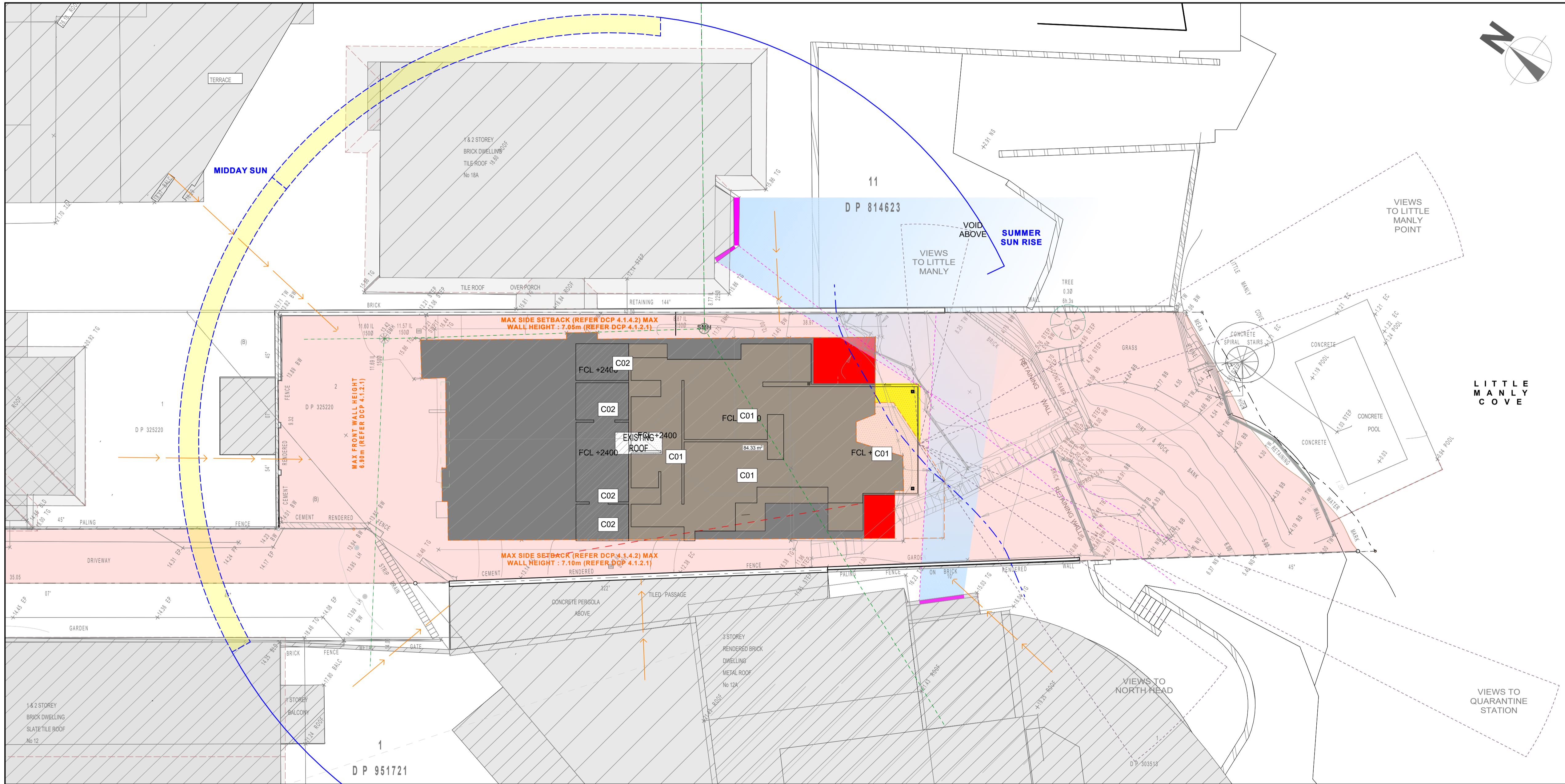
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 DATE OF SURVEY: 15.04.16
 SURVEYOR: KB
 DRAFTER: PH

REF: 160320
 ISSUE: 1
 ISSUE DATE: 65
 SHEET SIZE: AO
 SHEET 1 OF 1 SHEETS

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 MANLY**

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TELEPHONE (09) 303-4004 FACSIMILE (09) 303-4001

16 Addison Rd, Sydney

Consultants	
Quantity Surveyors	Dean, Murray & Partners Ltd.
Structural Engineers	Law Sue Davison Ltd.
Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd.

designed	**	peer review	**
drawn	**	checked	**

scale 1:100 @ A1 date 21/12/2020

title
Locality And Site Analysis 1:200 @ A3

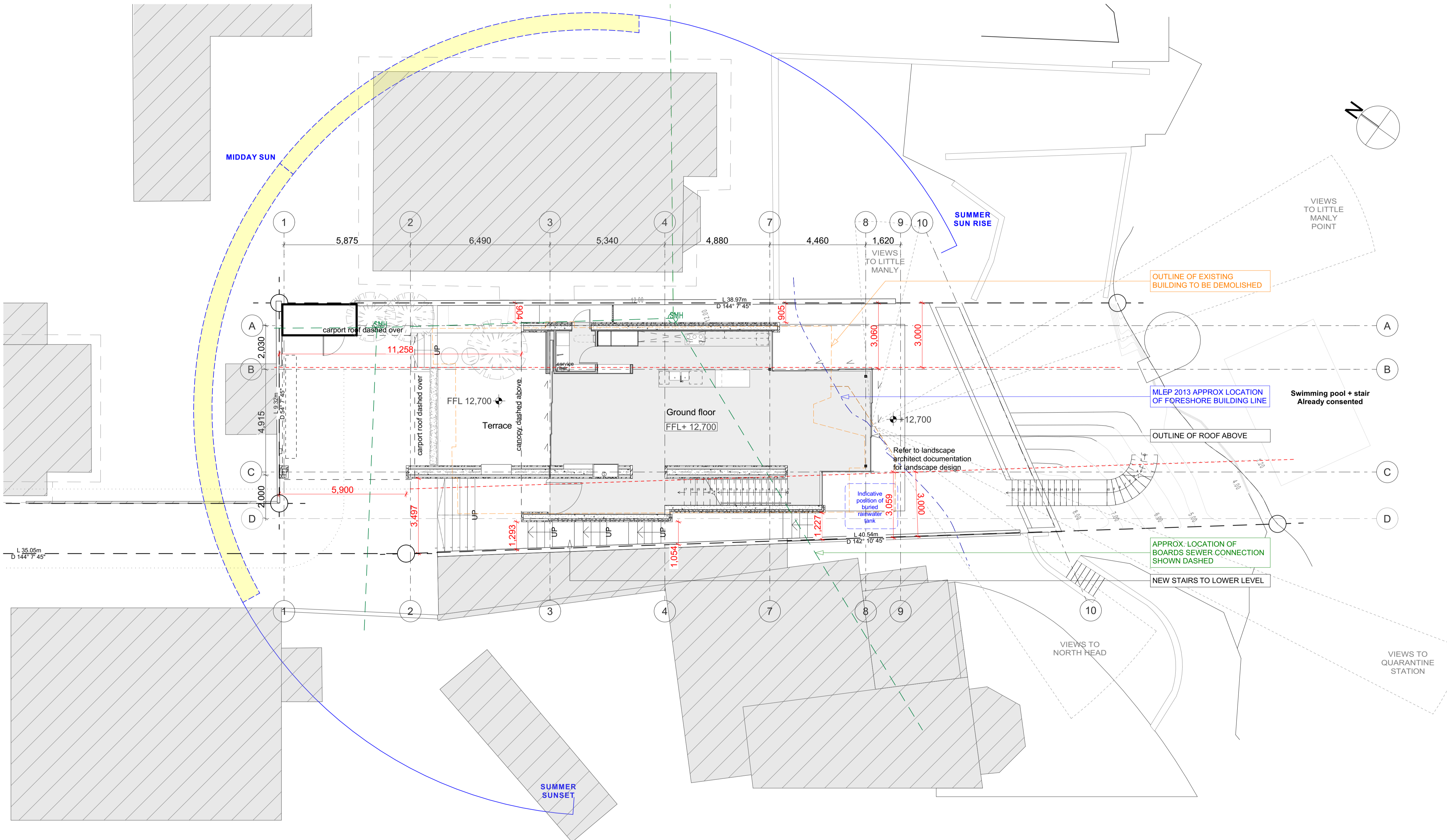
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sheet no.	revision
1.2	A

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- Area of new set back to be removed 7.5m2 total
- Area of new proposed building beyond line of existing building total 2.0m2
- Proposed increased line of site to harbour for neighbouring properties
- Overlooking



Town Planning:

Site Area: 543.8m²

Floor space Ratio: 0.6
543.8x0.6= 326.3m²

Zone: E4 Environmental Living

Max. Wall Height: 7.2m
or calculated for gradient

Max. Building Height: 8.5m

Max. Roof Slope: 35°

Lot size C: Min. 250m²

Setback: 1/3 Wall Height

Foreshore Scenic Protection Area
Bandicoot and Penguin Significant Area
Biodiversity Overlay

Dwelling Gross Floor Area	
Boat shed	22m2
Lower Floor	84.5m2
Ground Floor	104m2
First Floor	92m2
TOTAL:	302.5m2
(excludes plant, vertical circulation & basement storage)	
Storage Shed	4.3m2

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drawn	**	checked	**

scale 1:100 @ A1 date 23/07/2021

title
Site Plan 1:200 @ A3

drawing set
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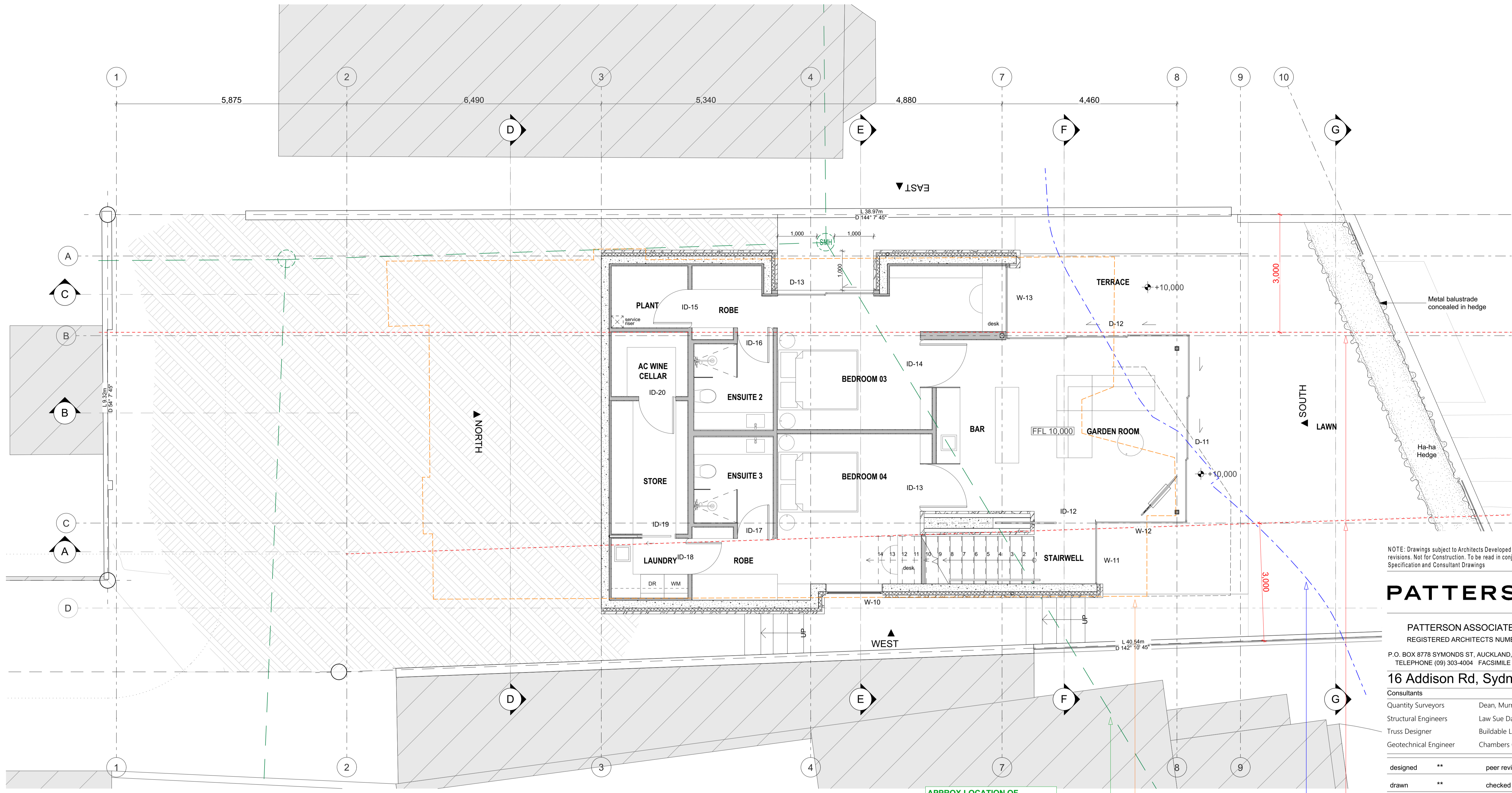
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1 Site Plan 1:100

1:100



1 Lower Floor Plan

1:50

APPROX LOCATION OF BOARDS SEWER CONNECTION SHOWN DASHED

OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

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designed ** peer review **
 drawn ** checked **

scale 1:50, 1:100 @ A1 date 18/05/2021

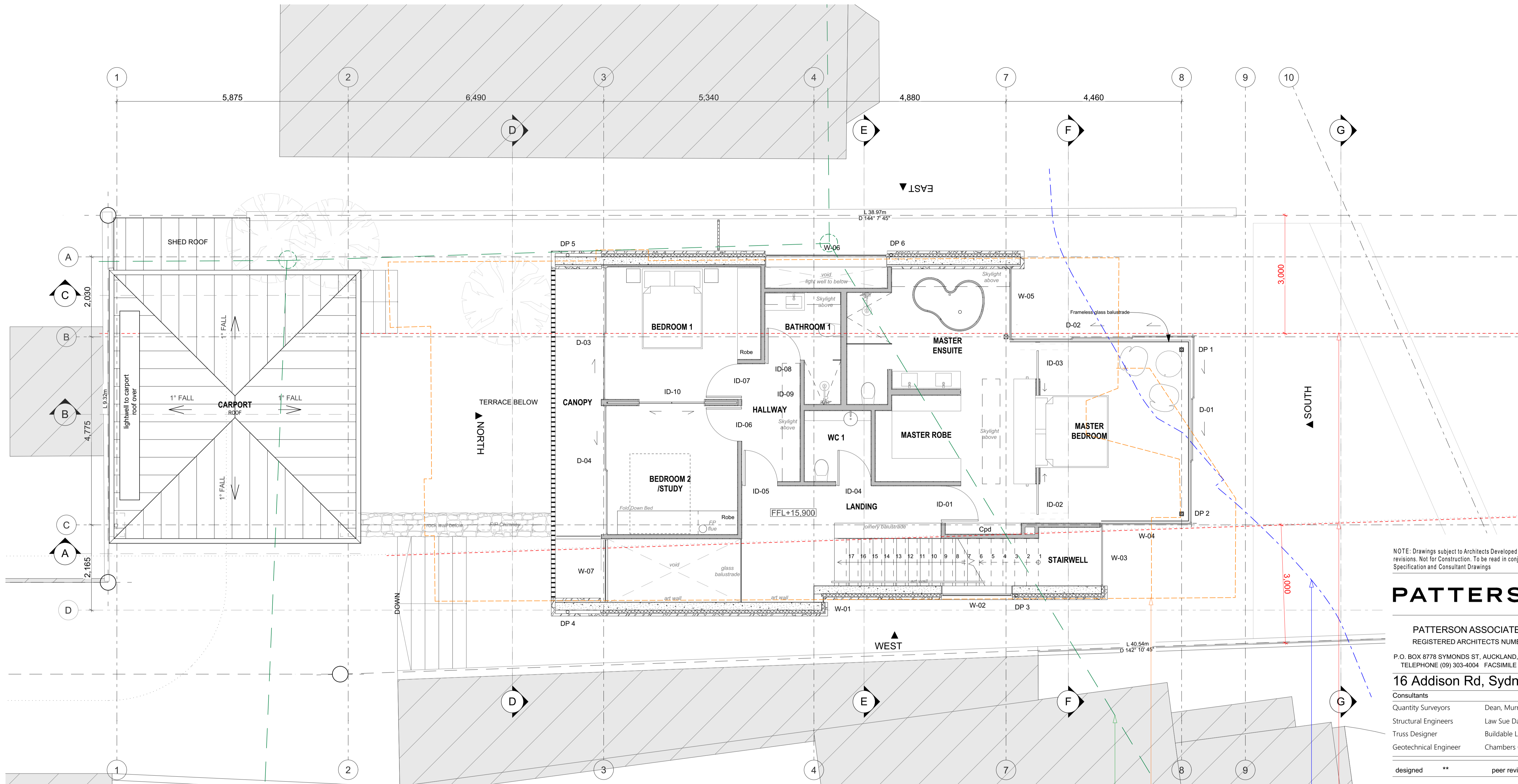
Lower Floor Plan GA - 1:100 @ A3

drawing set
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3

First Floor Plan

1:50

APPROX LOCATION OF BOARDS SEWER CONNECTION SHOWN DASHED

OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

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drawn	**	checked	**

scale 1:50, 1:100 @ A1 date 18/05/2021

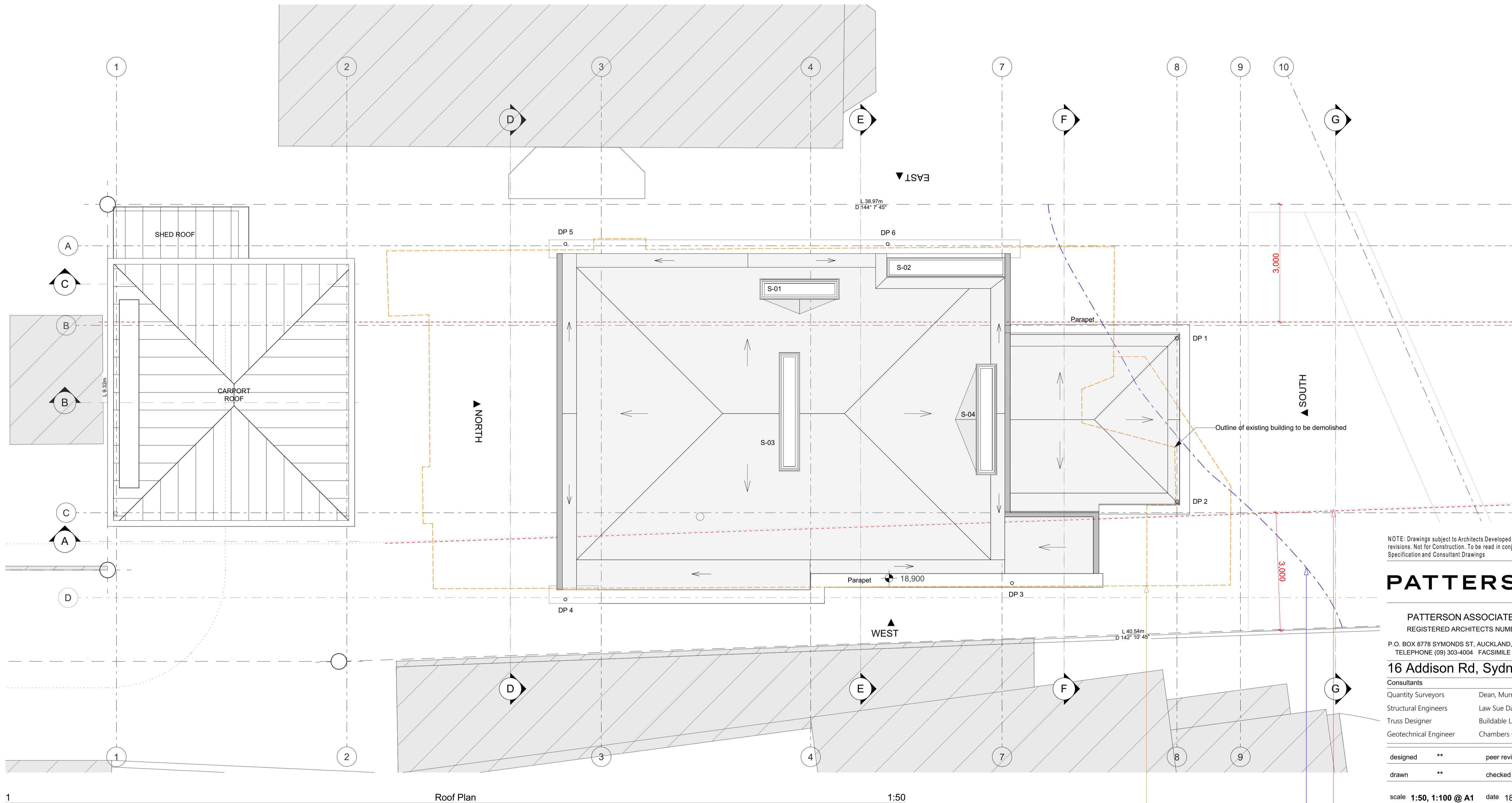
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First Floor Plan - 1:100 @ A3

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 drawn ** checked **

scale 1:50, 1:100 @ A1 date 18/05/2021

title
Roof Plan - 1:100 @ A3

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1.7 A

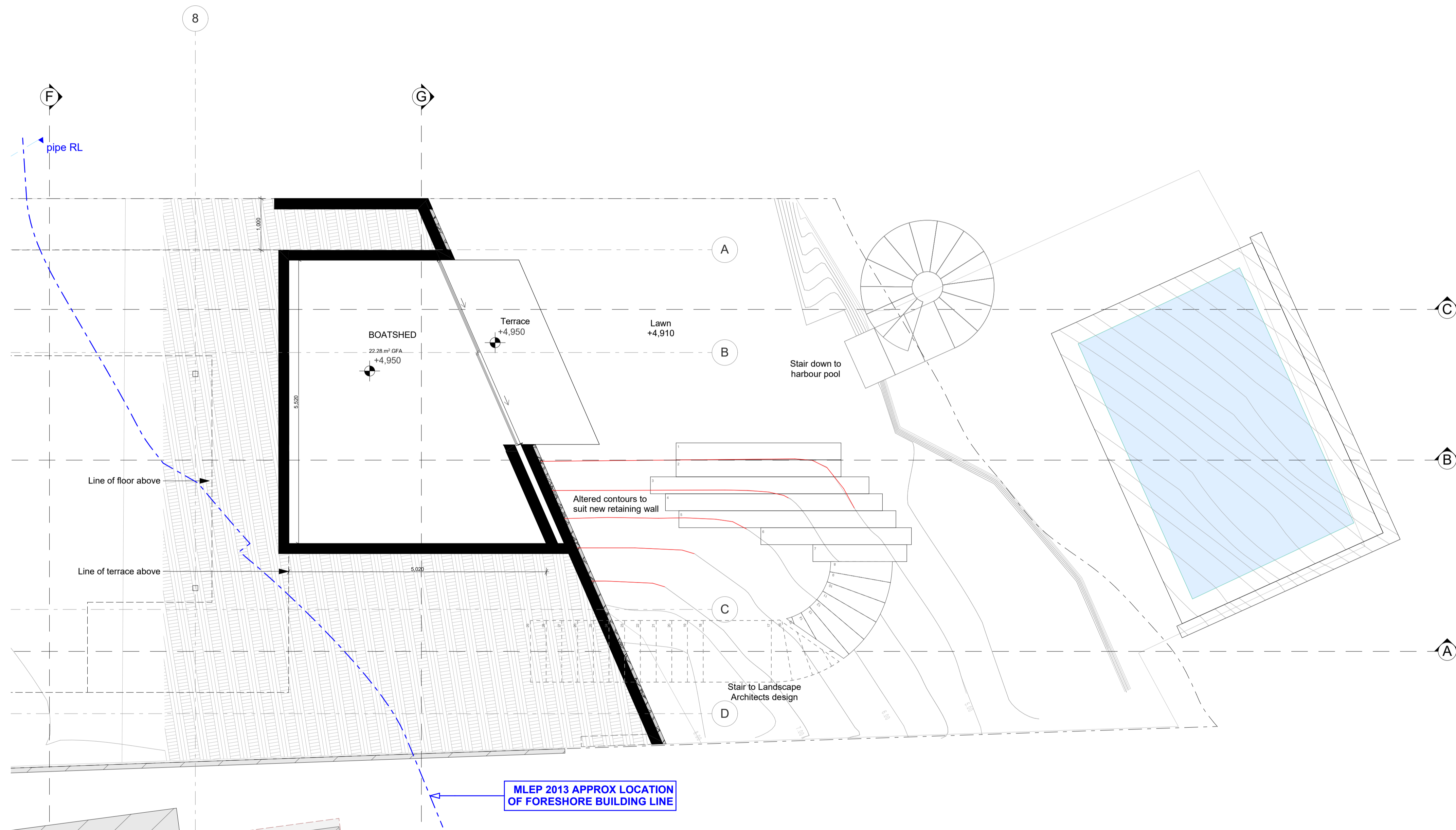
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OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

1 Roof Plan 1:50



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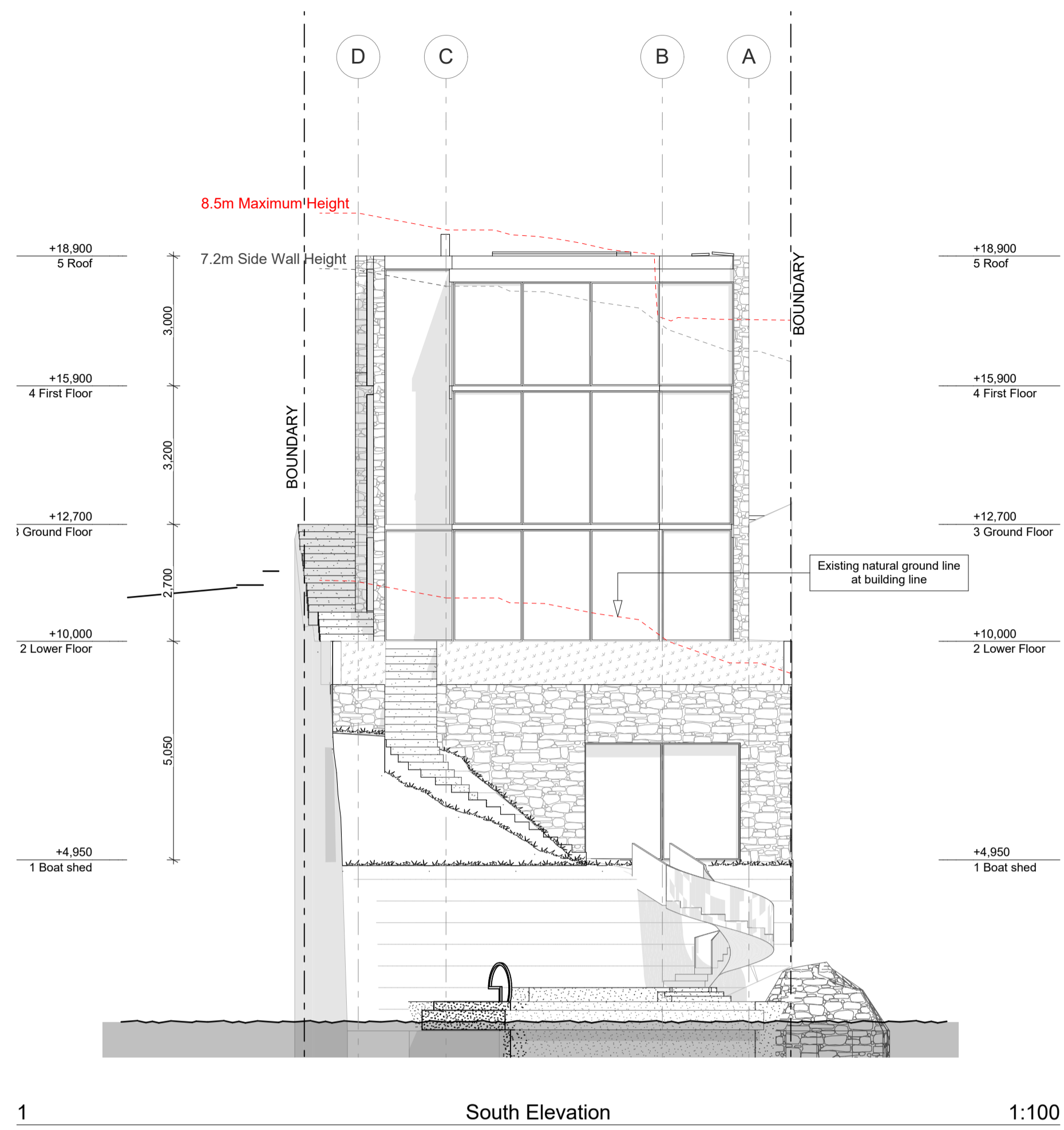
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**Boat shed Plan - 1:100
@ A3**

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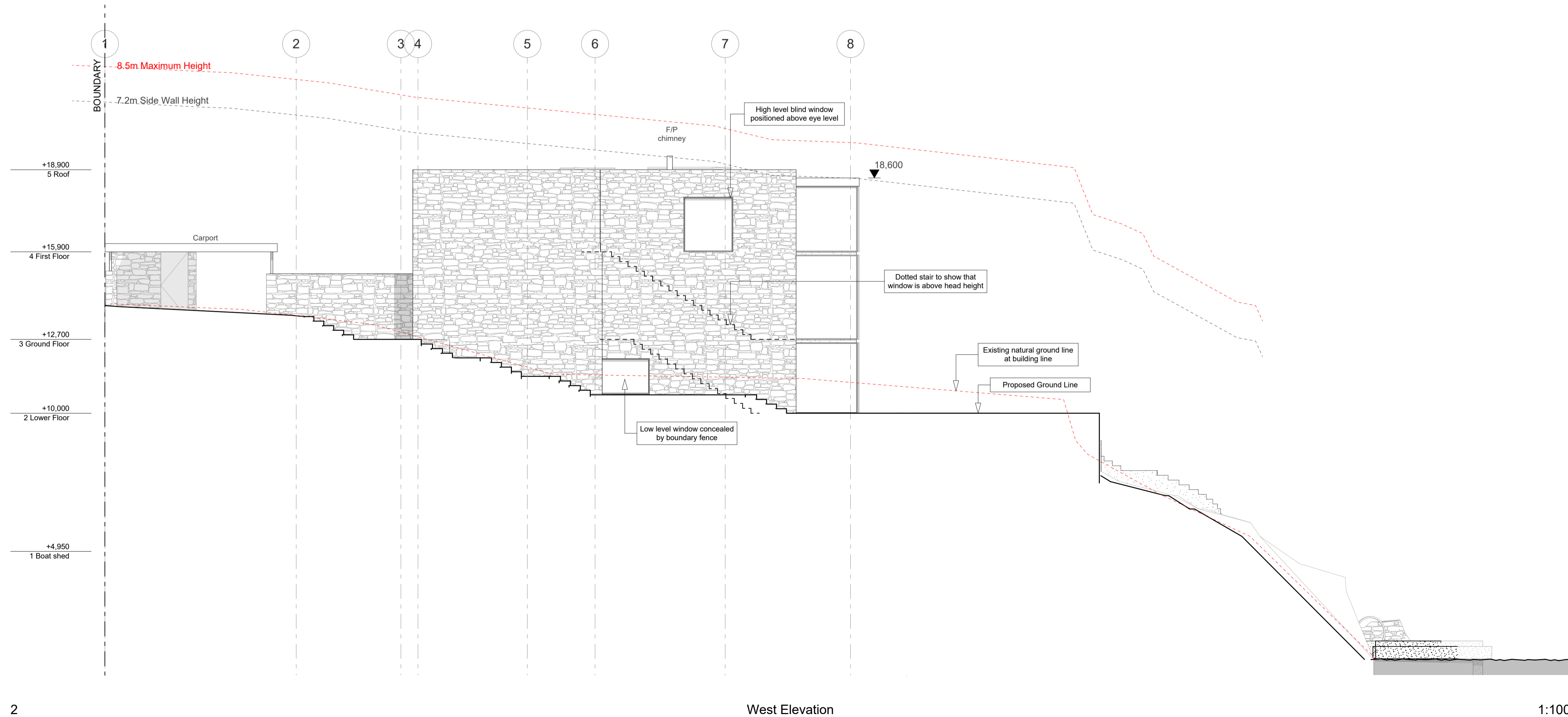
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1 South Elevation 1:100



2 West Elevation 1:200

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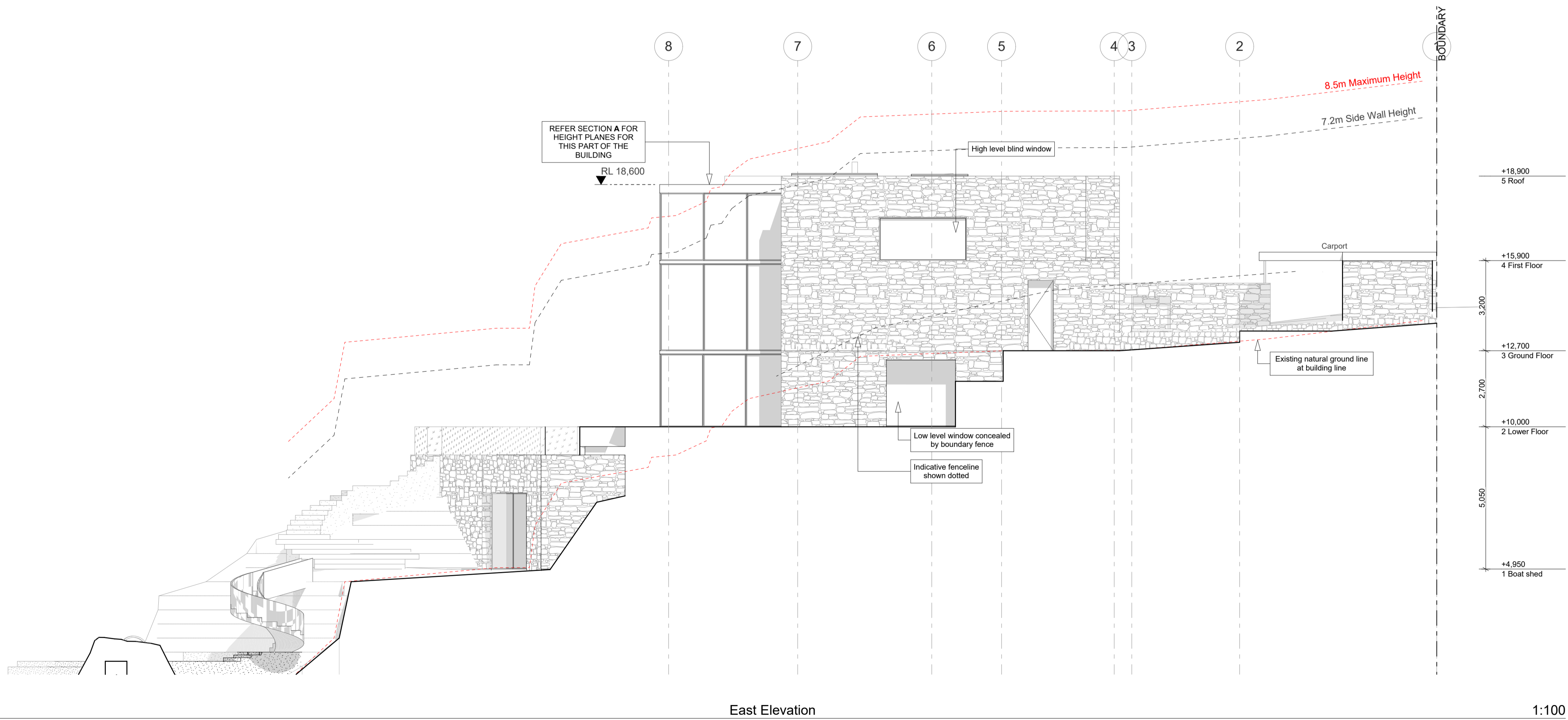
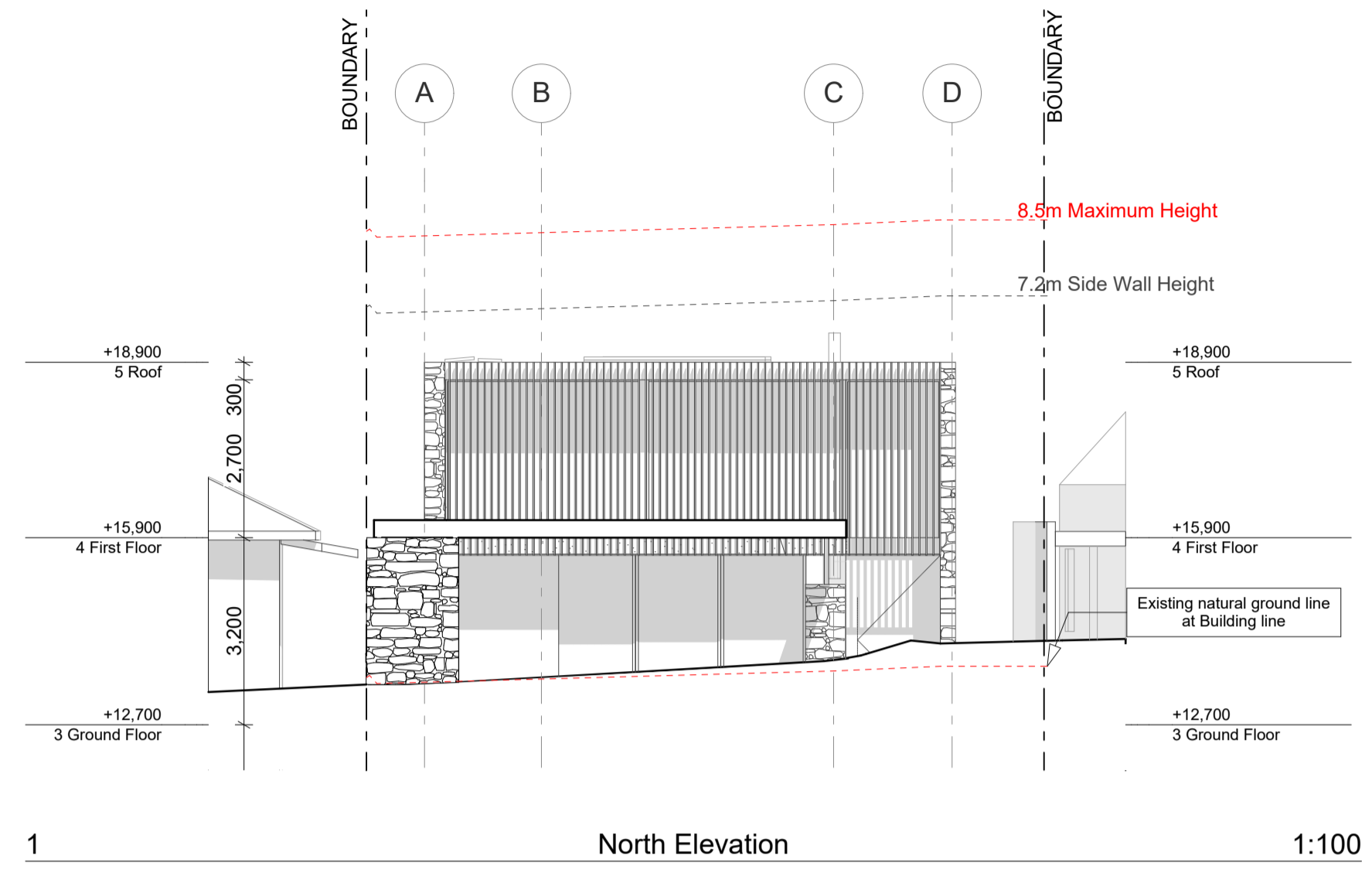
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Elevations - 1:200 @ A3

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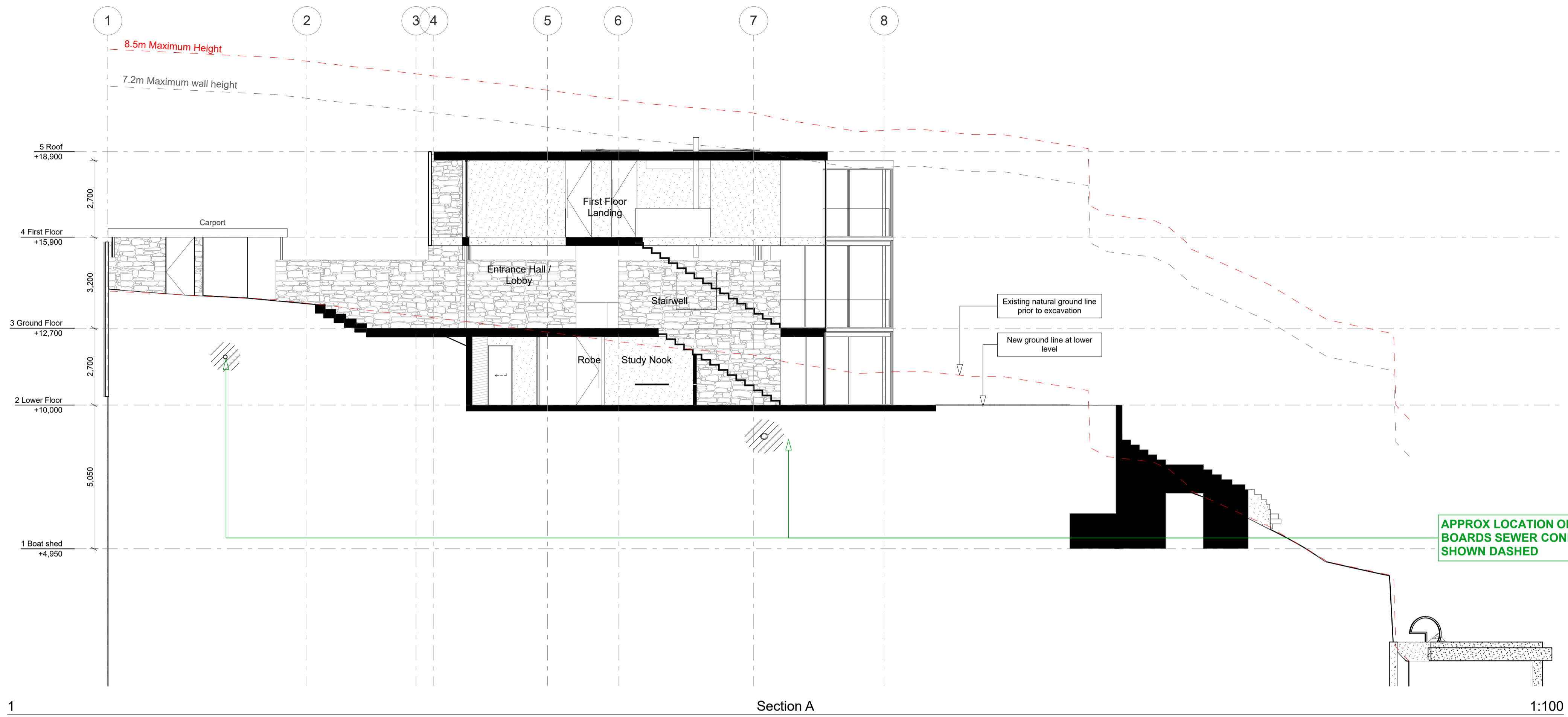
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Elevations - 1:200 @ A3

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2.2 A

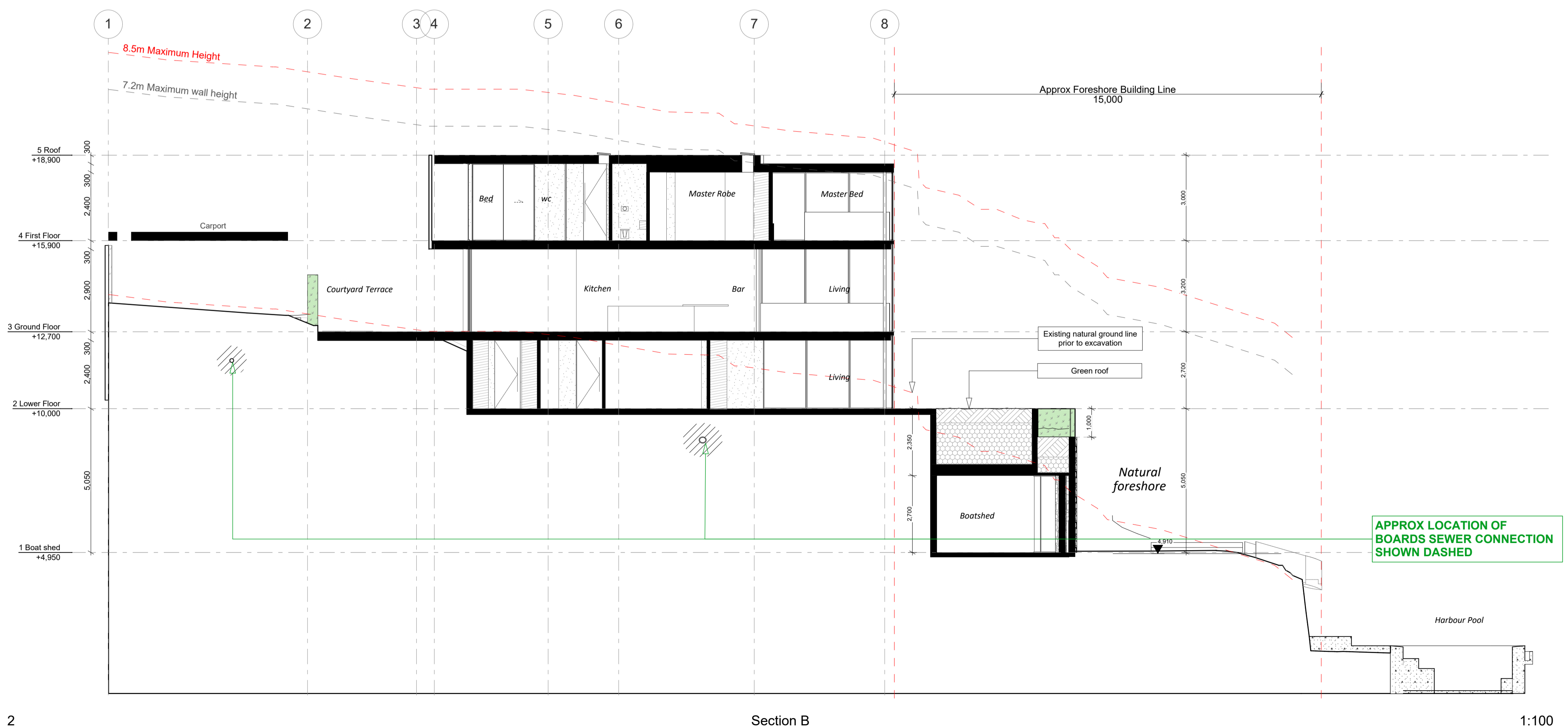
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1

Section A

1:100



2

Section B

1:100

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Sections - 1:200 @ A3

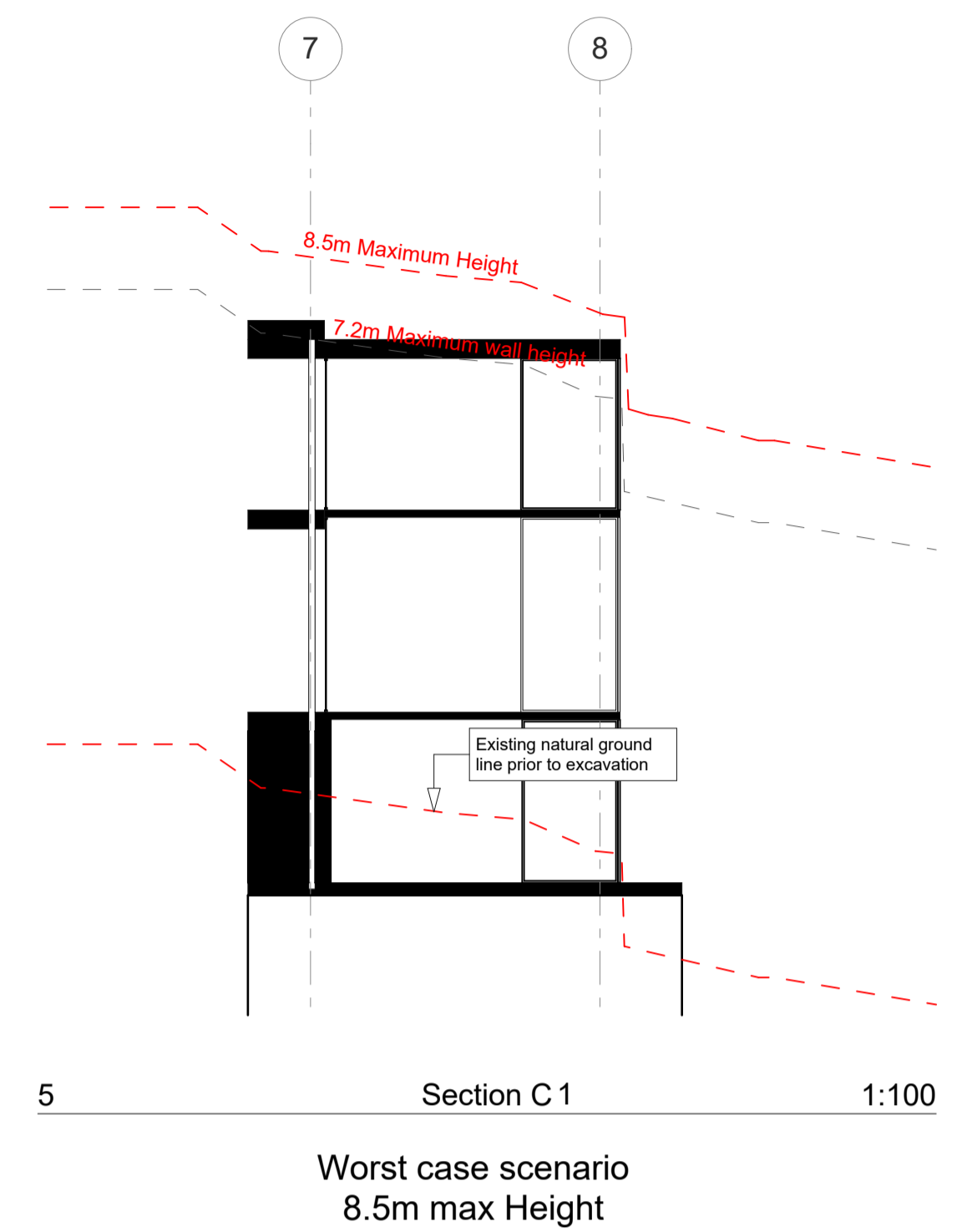
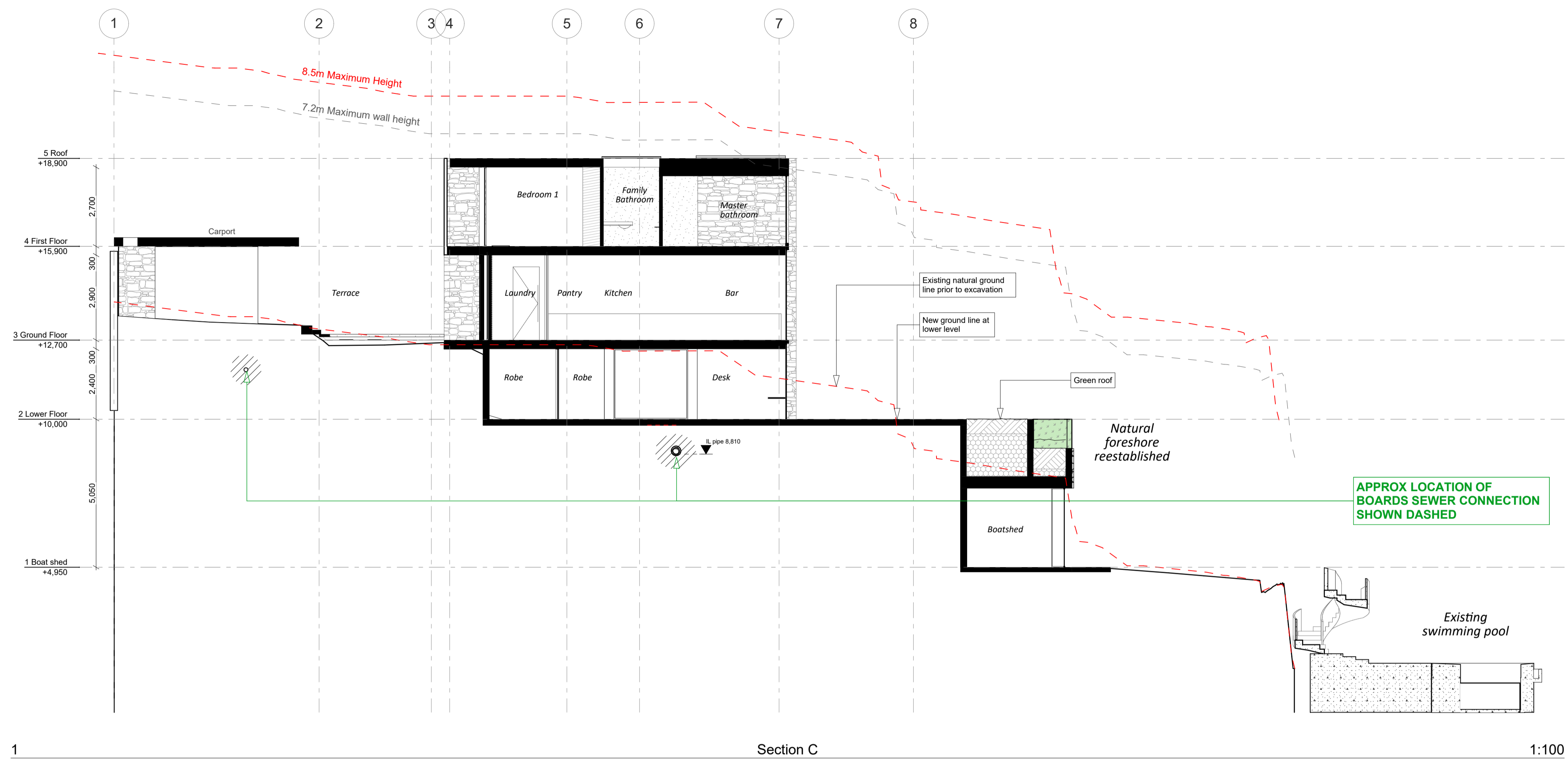
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designed ** peer review **
drawn ** checked **

scale 1:100 @ A1 date 21/12/2020

title
Sections - 1:200 @ A3

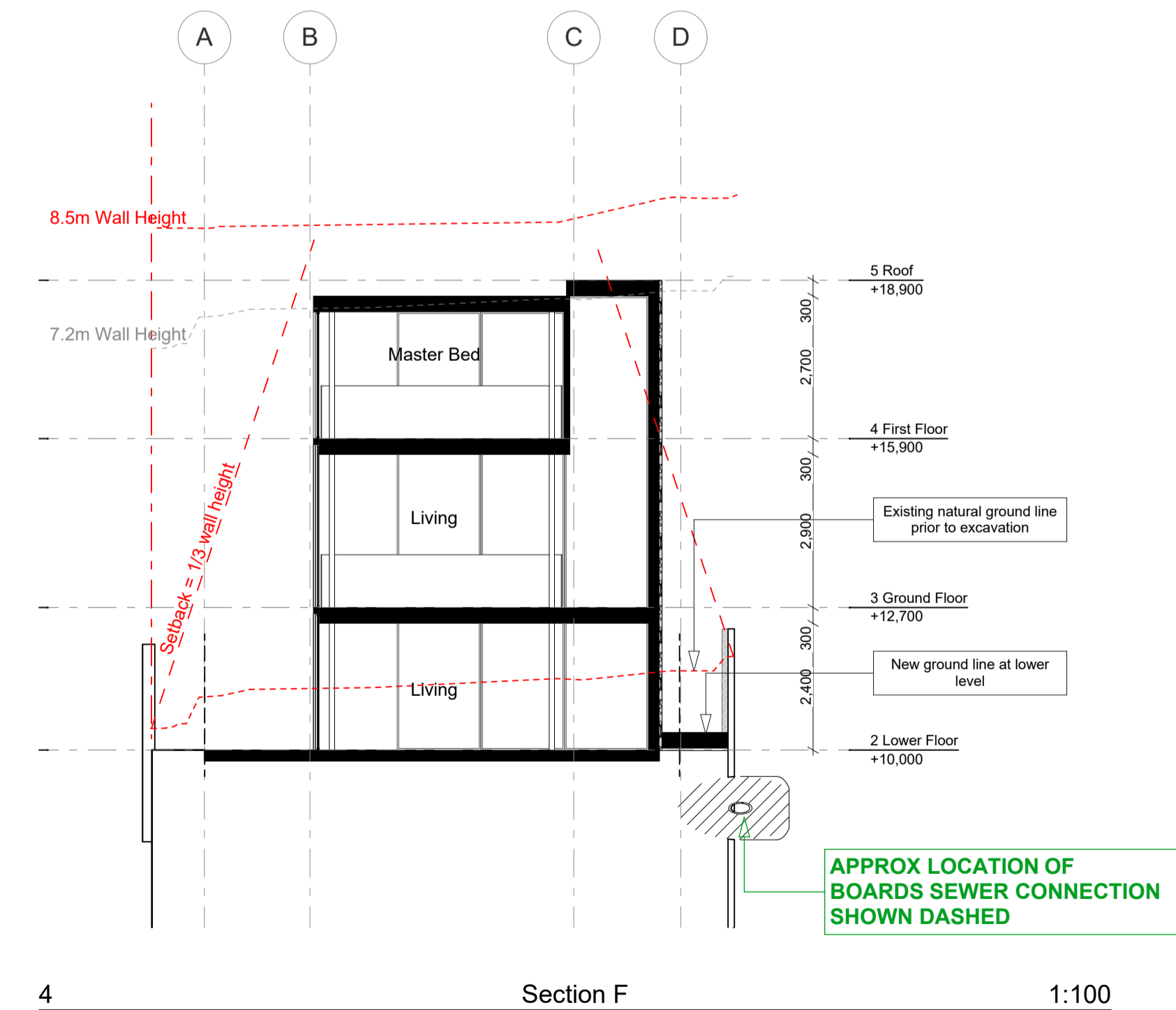
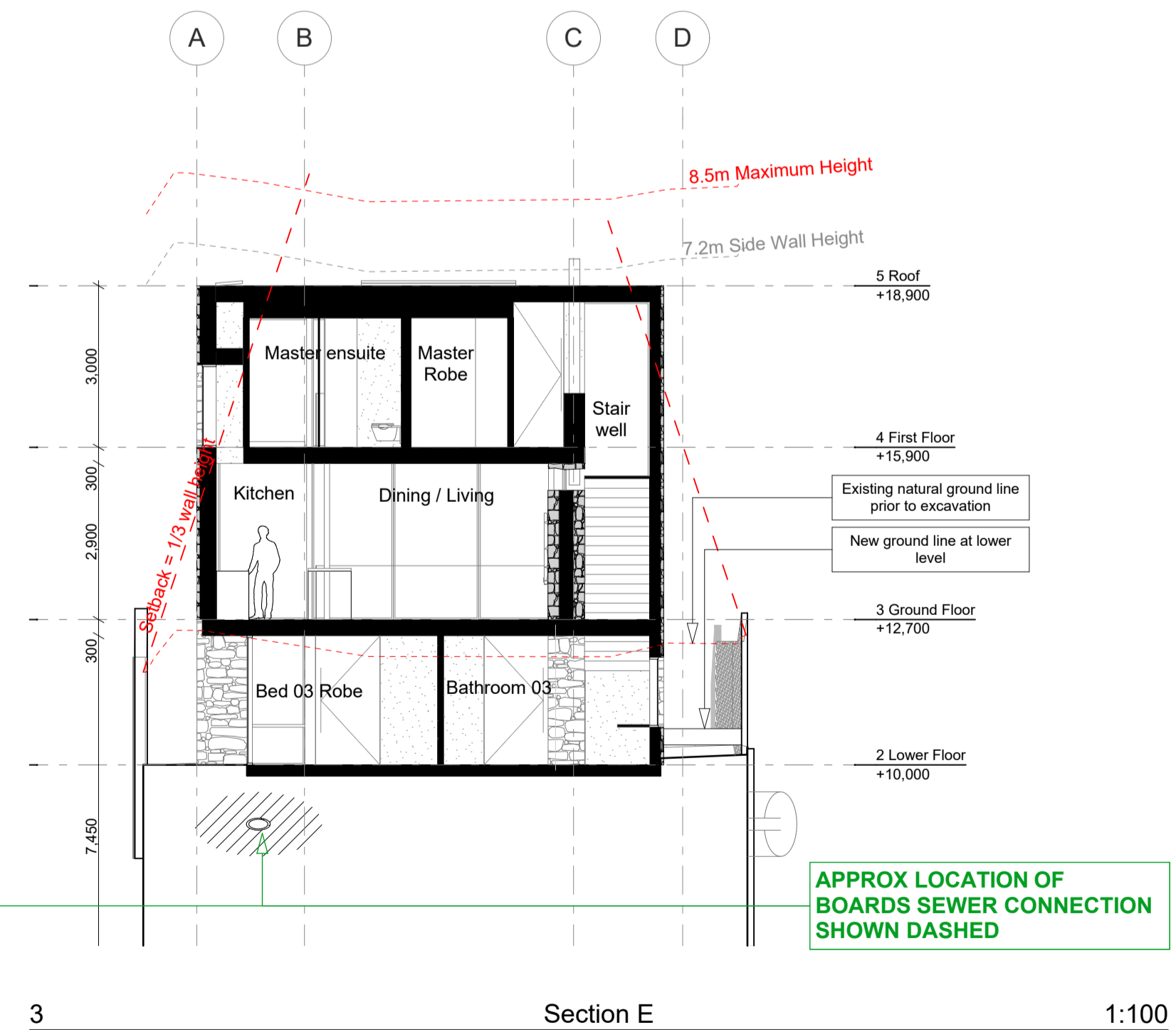
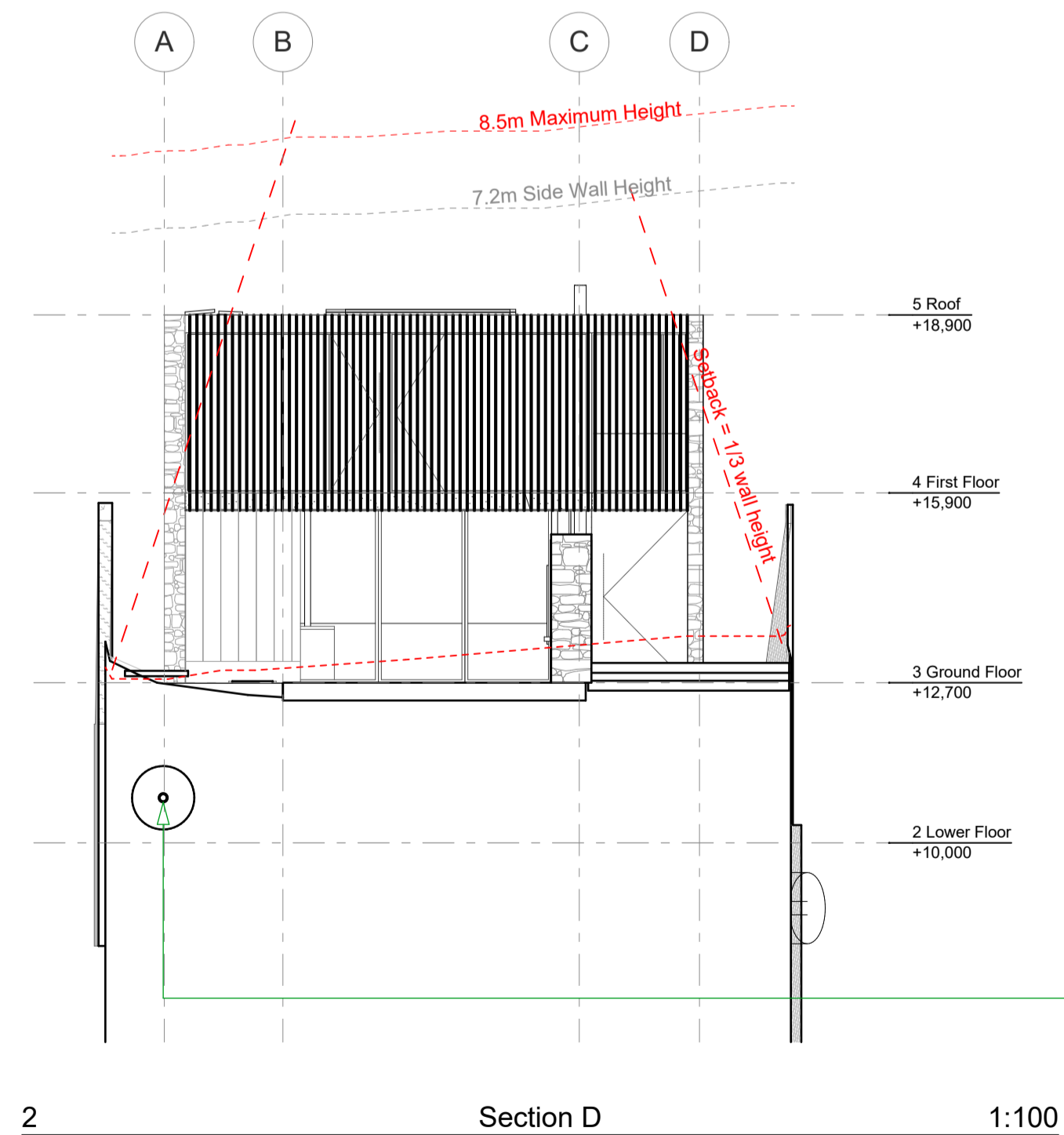
drawing set
Development Application
Not For Construction

ref no.
18010

sheet no. revision
3.2 A

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2 Section D 1:100

3 Section E 1:100

4 Section F 1:100



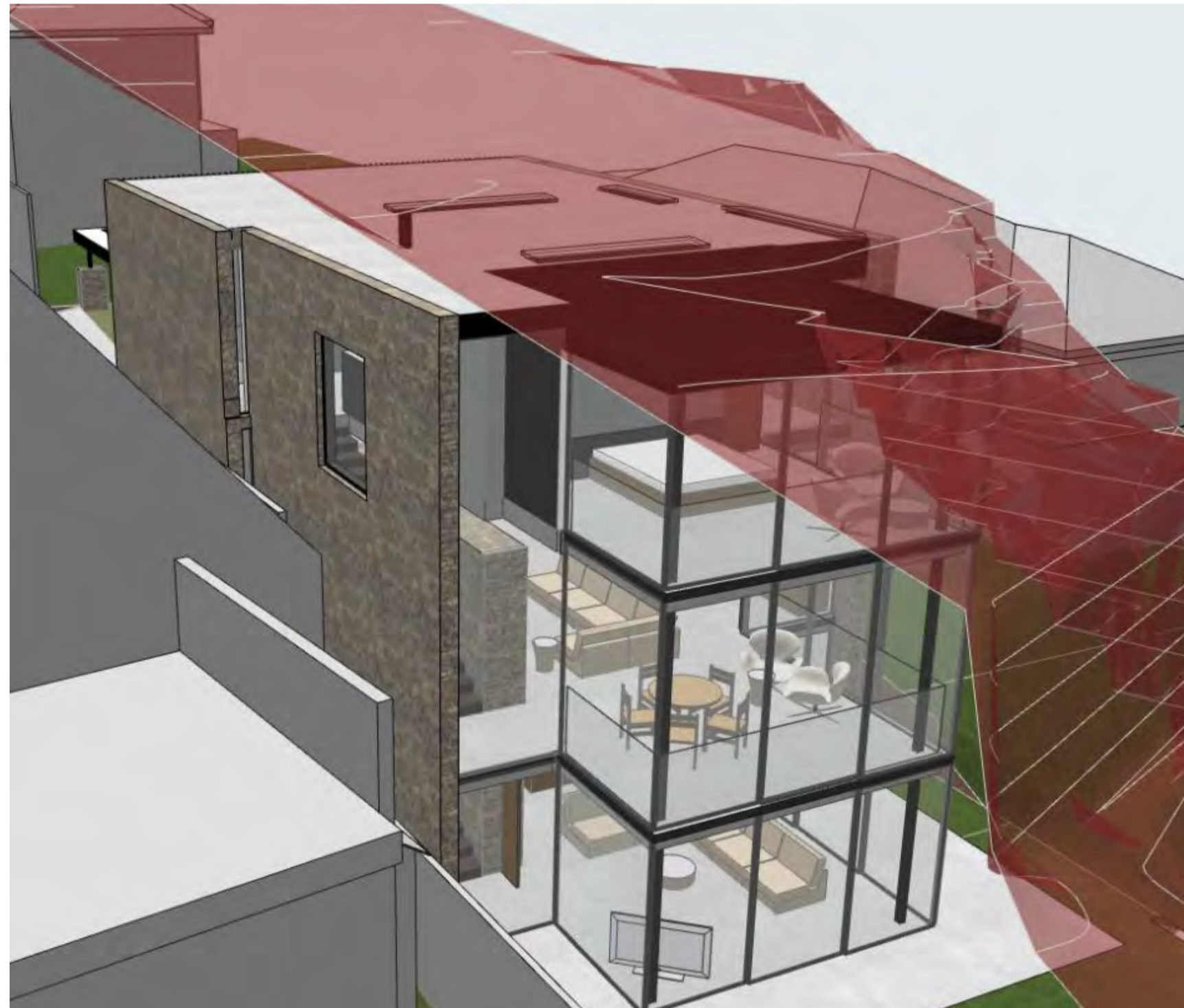
1 8.5m Rolling Height Plane - SE View



3 7.2m Wall Height Plane - SE View



5 1/3 Boundary Setback - SE View



2 8.5m Rolling Height Plane - SW View



4 7.2m Wall Height Plane - SW View



6 1/3 Boundary Setback - SW View

NOTE: Drawings subject to Architects Developed and Detail Design revisions. Not for Construction. To be read in conjunction with Specification and Consultant Drawings

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16 Addison Rd, Sydney

Consultants
Quantity Surveyors Dean, Murray & Partners Ltd.
Structural Engineers Law Sue Davison Ltd.
Truss Designer Buildable Layouts Ltd.
Geotechnical Engineer Chambers Consultants Ltd.

designed ** peer review **

drawn ** checked **

scale @ A1 date 21/12/2020

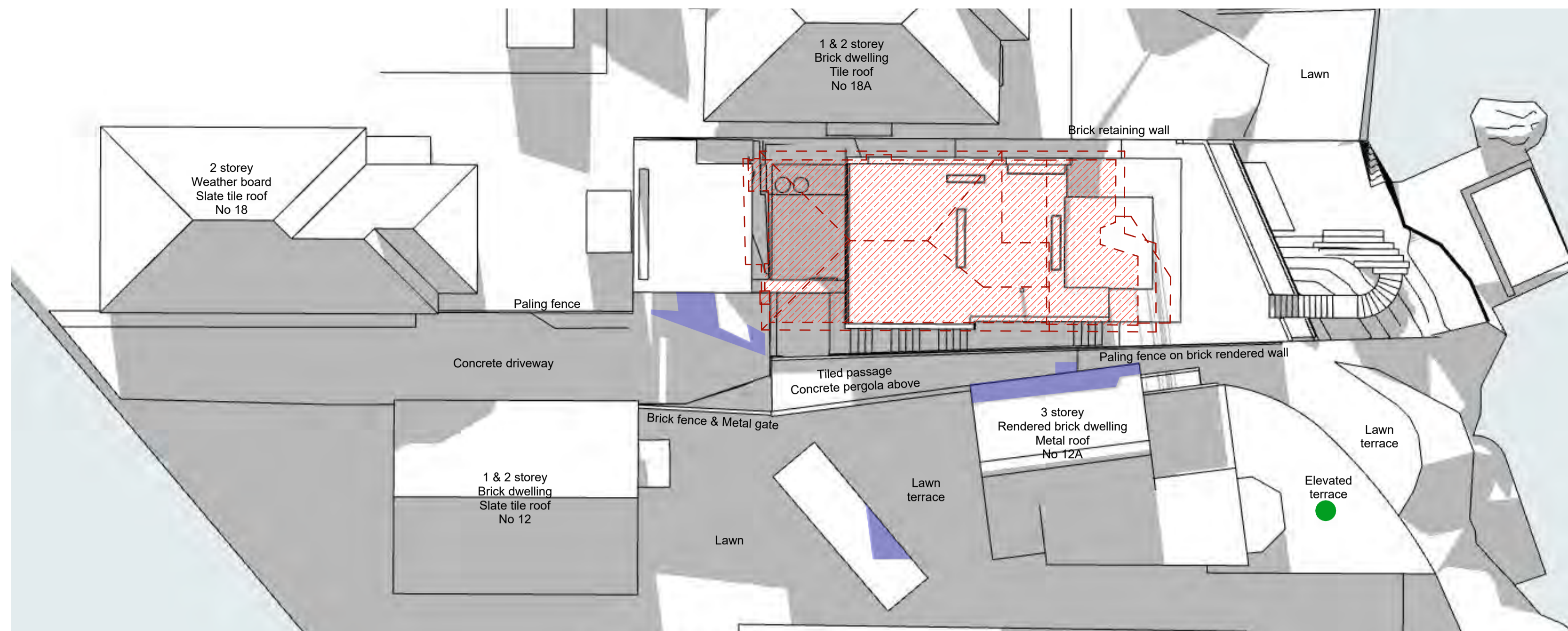
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Setback & building height diagram

drawing set
**Development Application
Not For Construction**

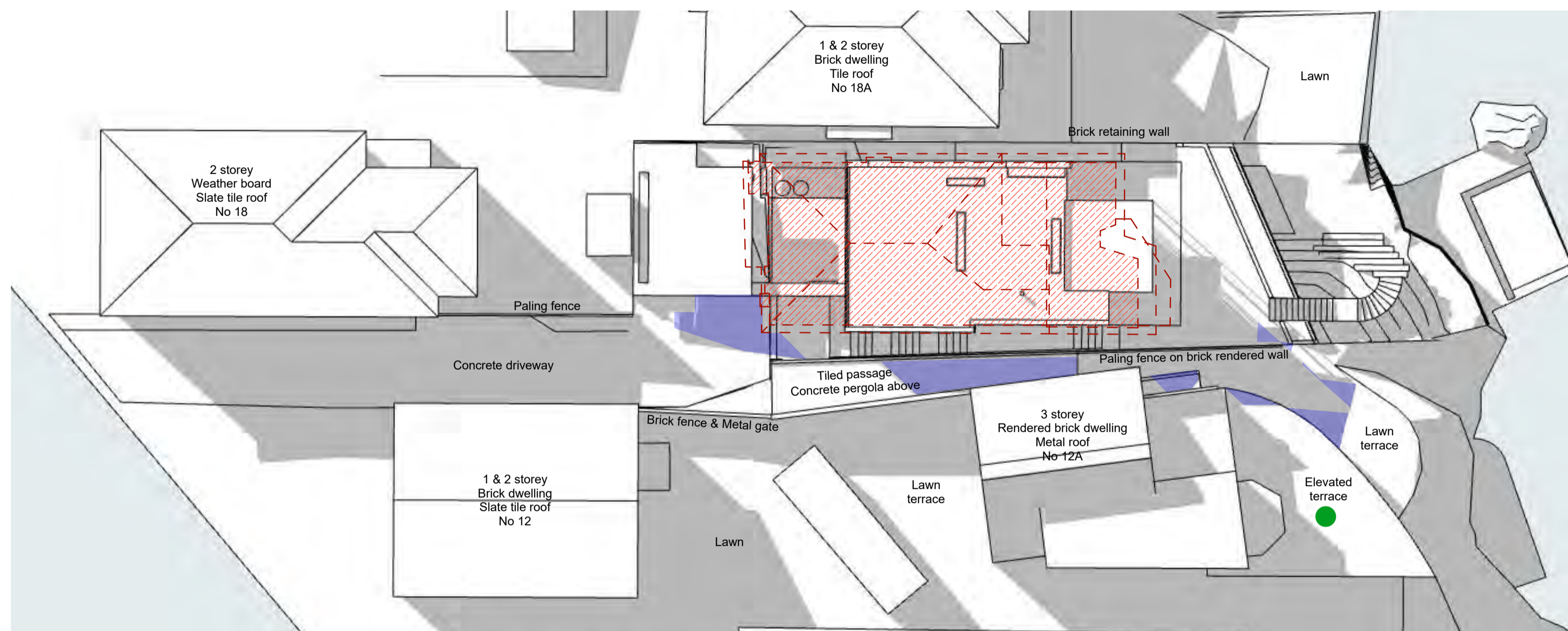
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sheet no. revision
3.3 A

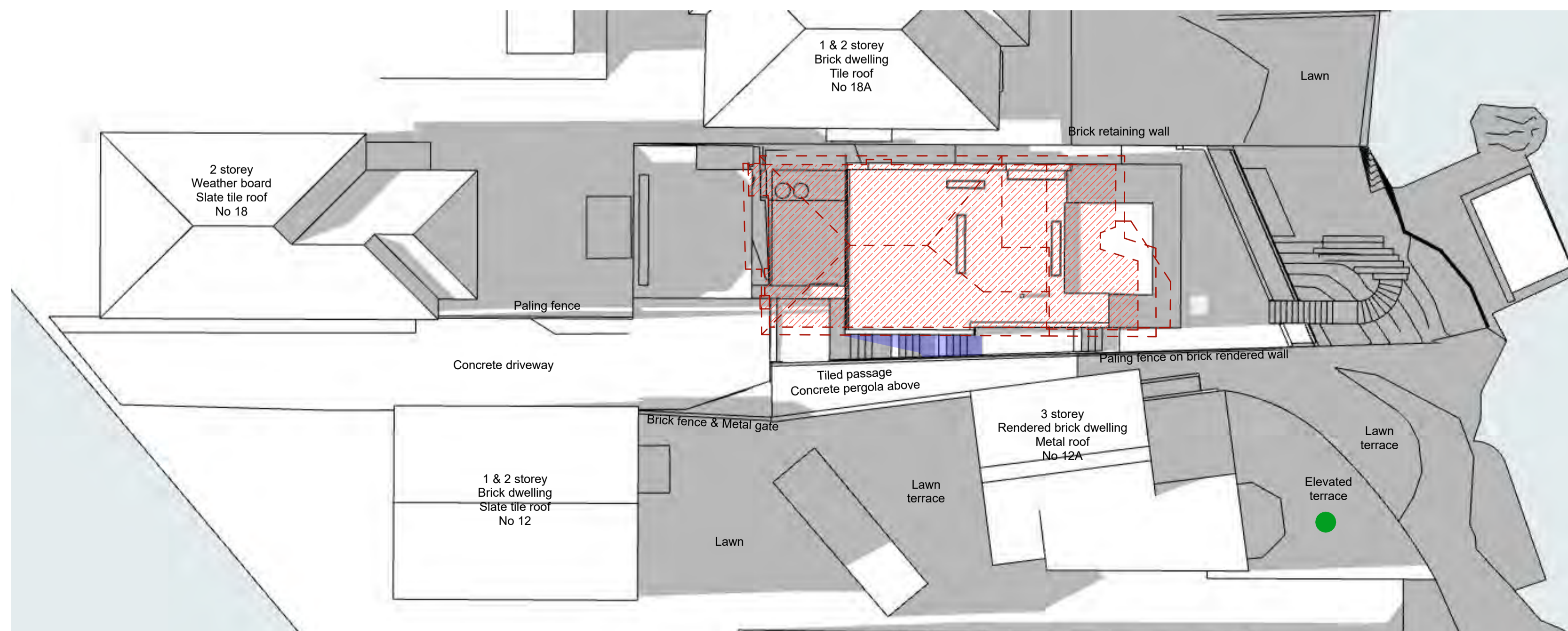
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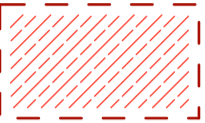



Proposed - June 21 9:00



Proposed - June 21 12:00



Proposed - June 21 15:00

-  Existing building footprint
-  Existing shadow
-  Additional shadow
-  Primary private open space

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designed	**	peer review	**
drawn	**	checked	**

scale 1:100 @ A1 date 21/12/2020

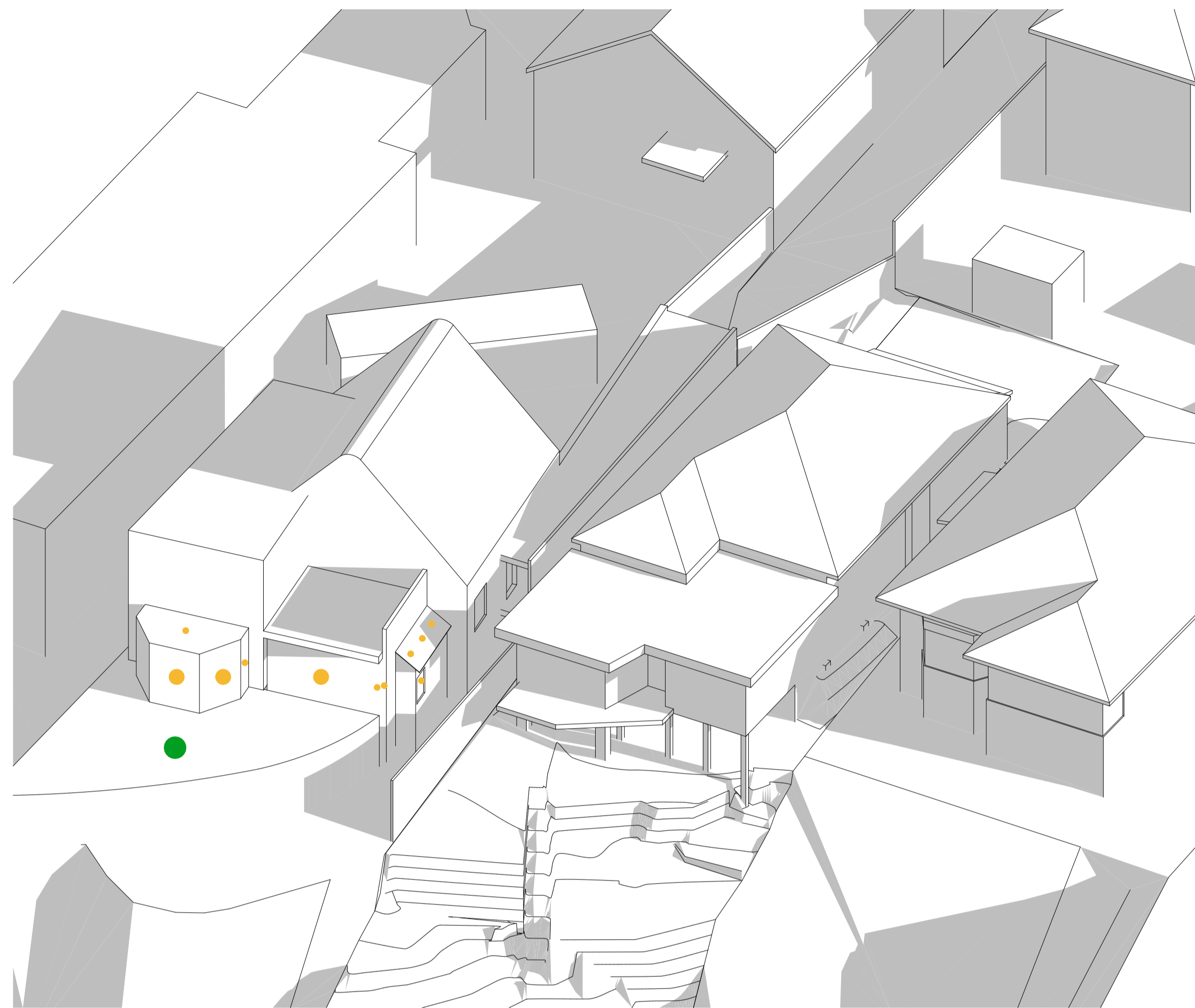
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**Shadow Diagram Plans
June 21**

drawing set
**Development Application
Not For Construction**

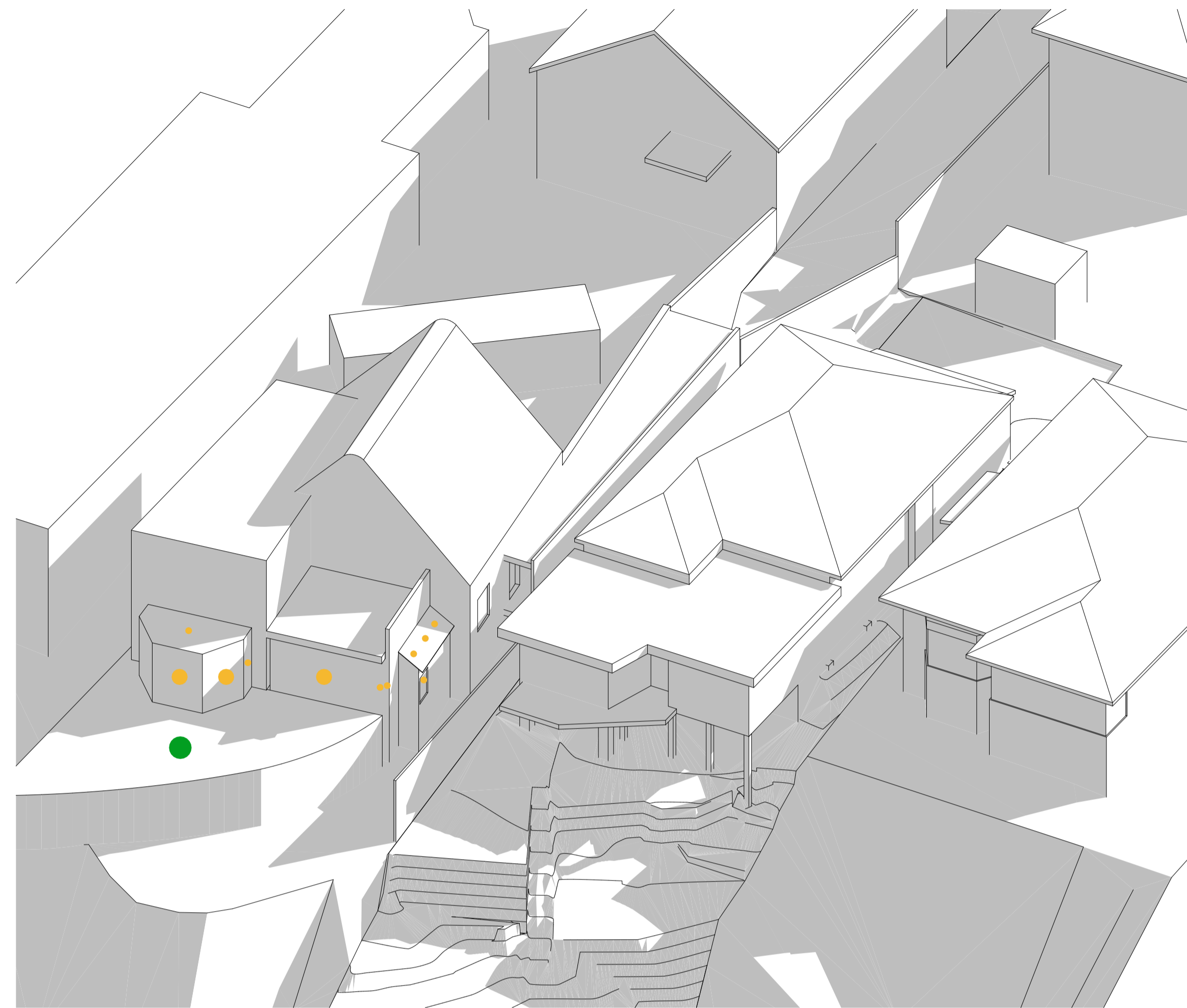
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sheet no. revision
4.1 A

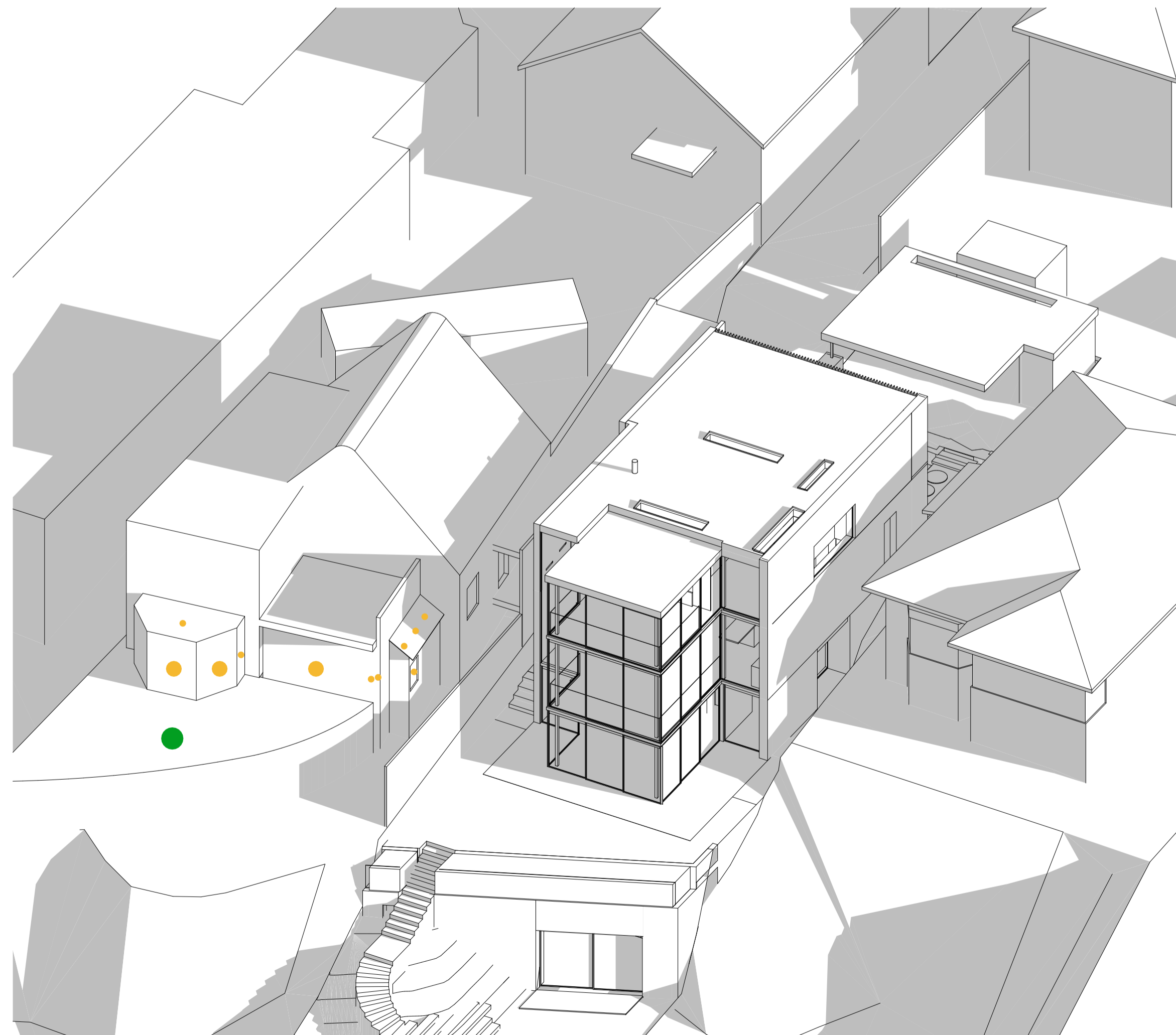
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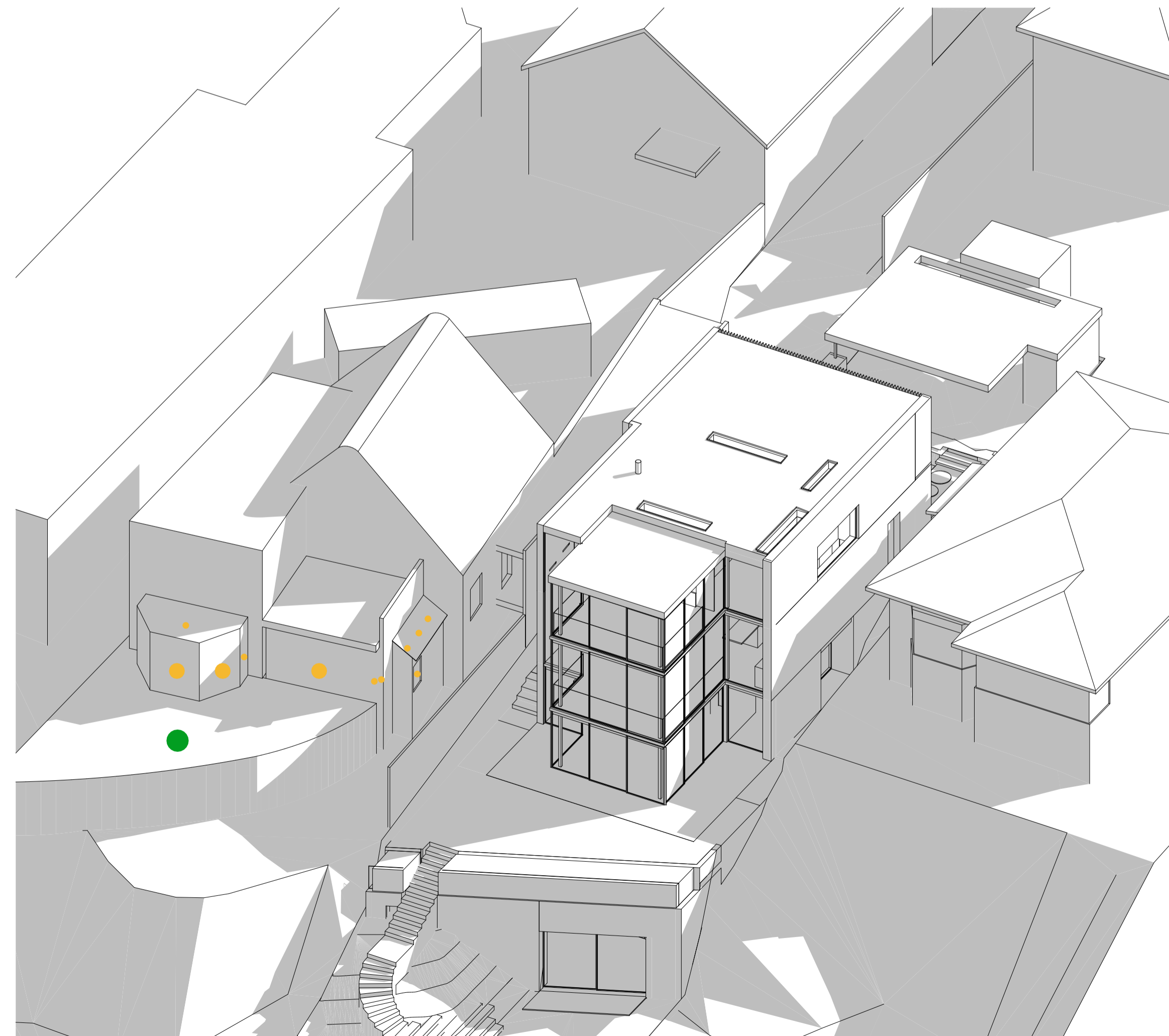
Existing - June 21 9:00



Existing - June 21 12:00



Proposed - June 21 9:00



Proposed - June 21 12:00

- Primary living room windows
- Primary private open space

NOTE: Drawings subject to Architects Developed and Detail Design revisions. Not for Construction. To be read in conjunction with Specification and Consultant Drawings

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Geotechnical Engineer	Chambers Consultants Ltd.

designed	**	peer review	**
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drawn	**	checked	**
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scale	1:100 @ A1	date	21/12/2020
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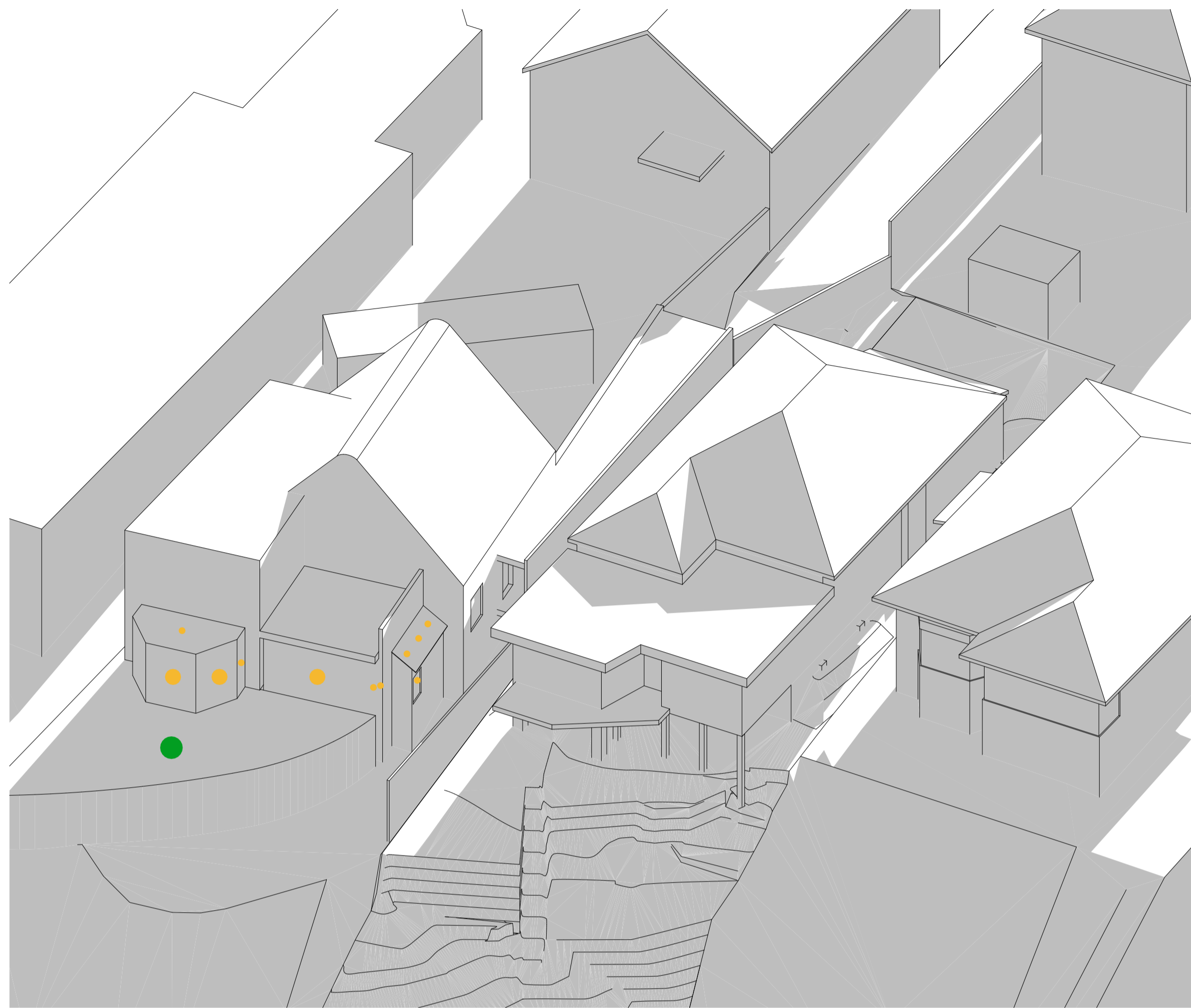
title
**Shadow Diagram 3D
June 21 9:00 & 12:00**

drawing set
**Development Application
Not For Construction**

ref no.
18010

sheet no.	revision
4.2	A

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Existing - June 21 15:00



Proposed - June 21 15:00

- Primary living room windows
- Primary private open space

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designed	**	peer review	**
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drawn	**	checked	**
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scale	1:100 @ A1	date	21/12/2020
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title

Shadow Diagram 3D
June 21 15:00

drawing set

Development Application
Not For Construction

ref no.

18010

sheet no.

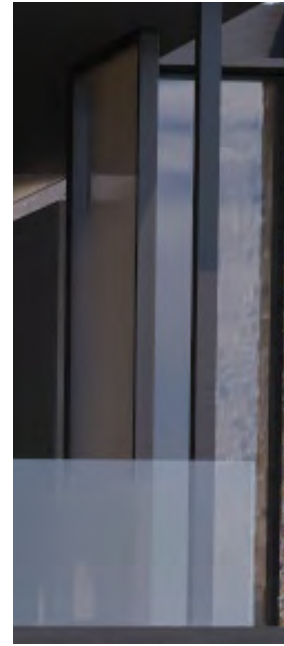
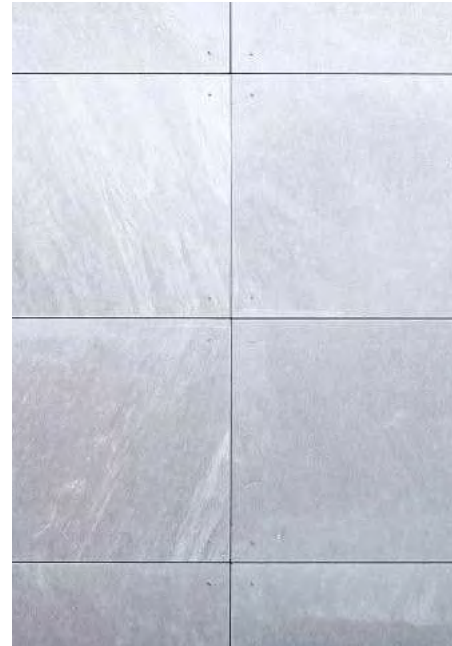
4.3

revision

A

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EXTERIOR

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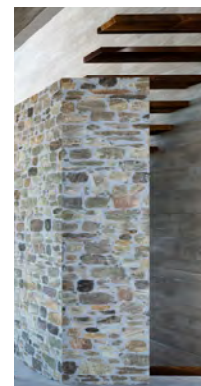
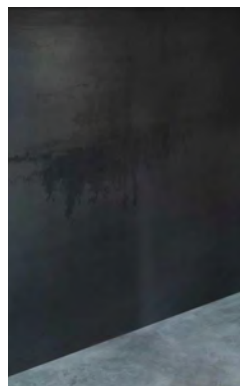
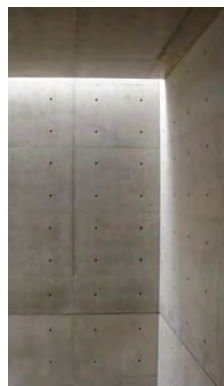
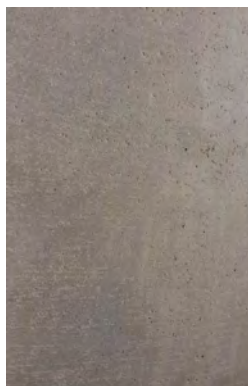
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designed	**	peer review	**
drawn	**	checked	**

scale @ A1 date 21/12/2020

Material Palette



INTERIOR

drawing set
Development Application
Not For Construction

ref no.
18010

sheet no.	revision
5.1	A

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