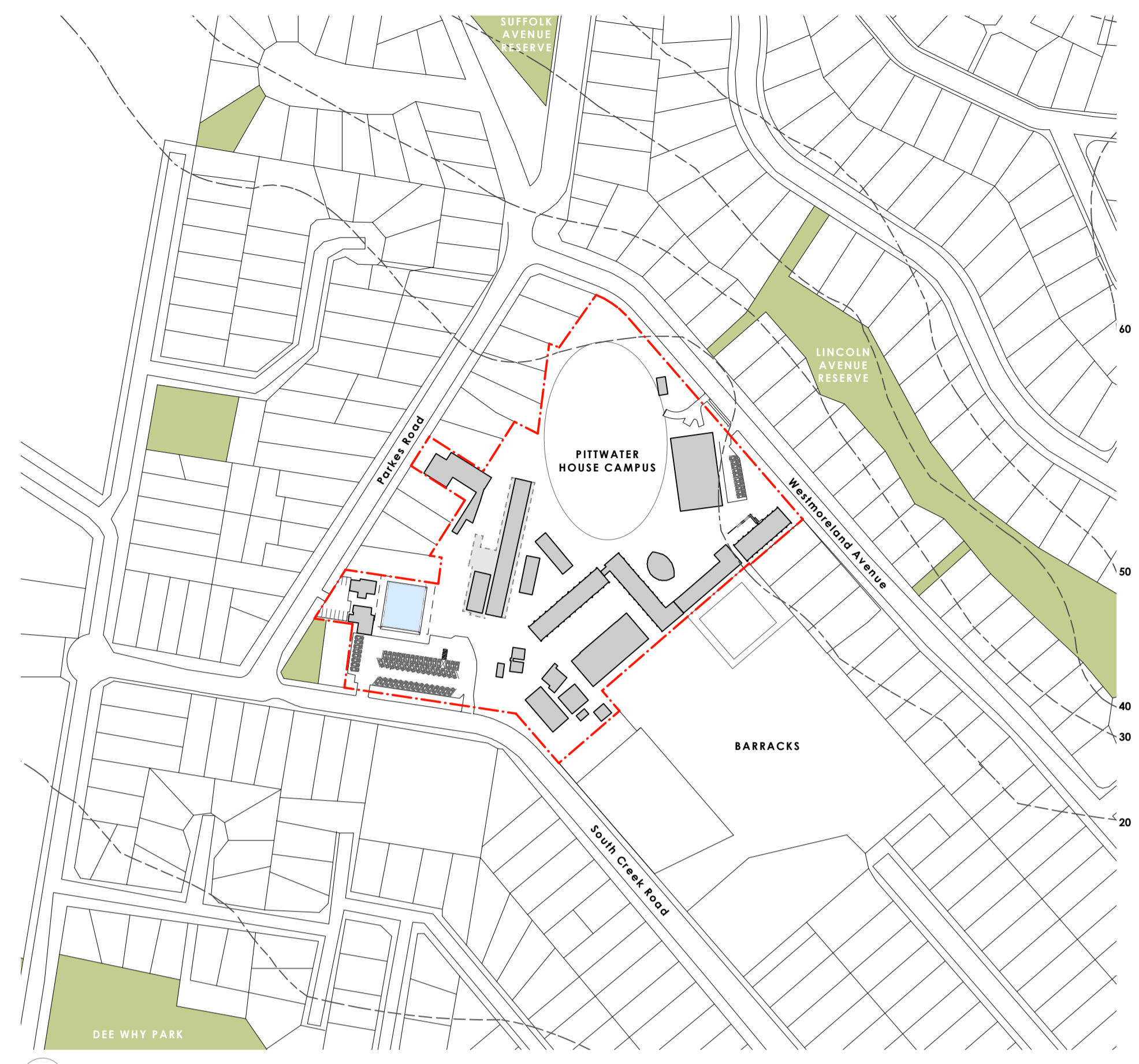


The Pittwater House Schools

DA ISSUE

DRAWING No.	DRAWING TITLE	SCALE	REVISION
DA 01	COVER SHEET		03
DA 02	SITE ANALYSIS	1:1, 1:1500	02
DA 03	SITE ANALYSIS	1:1000, 1:200, 1:2000	01
DA 04	SITE PLAN	1:500	02
DA 05	DEMOLITION PLANS	1:200, 1:500	01
DA 06	LIBRARY + STUDENT SERVICES PLANS	1:200	01
DA 07	LIBRARY + STUDENT SERVICES ELEVATIONS + SECTIONS	1:200	01
DA 08	SOUTH + WEST WING UNIVERSAL CORE PLANS	1:200	02
DA 09	TRAFFIC	1:200	02
DA 10	SHADOW DIAGRAMS	1:1500	01
DA 11	SCHEDULE OF COLOURS AND MATERIALS		01
DA 12.1	NOTIFICATION PLAN	1:1000	02
DA 12.2	NOTIFICATION PLAN	1:500	01
DA 13.1	CONSTRUCTION METHODOLOGY	1:1500	01
DA 13.2	CONSTRUCTION METHODOLOGY	1:1500	01
DA 13.3	CONSTRUCTION METHODOLOGY	1:1500	01

03



2 LOCATION PLAN
1:2500



3 CONTEXT PLAN
1:7500



4 VIEW FROM SOUTH CREEK ROAD



5 VIEW OF LIBRARY ENTRY

LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
BG	ROCK GUTTER	JG	JOINERY GUTTER
BR	BRICK	LD-1	EXTERNAL LOUVRES - RETRACTABLE
BSUS	STEEL BALUSTRADE	LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW	BLOCKWORK	MA	ENTRY MAT
EXFL	EXISTING FLOORING	MC	METAL CLADDING
CONC	CONCRETE	MR	METAL ROOFING
CPT	CARPET	PM	PERFORATED METAL
CT	CERAMIC TILE	RF	RUBBER FLOORING
DN	DOWNPIPE	RWO	RAINWATER OUTLET
EXT	EXISTING	SC	STEEL COLUMN
FG-1	FIBRE CEMENT FLOORING	SK	SKYLIGHT
FG	FIBRE GLASS	TD	TIMBER DOOR JOINERY
FR	FLOOR	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

LEGEND

	EXISTING ELEMENTS TO BE RETAINED
	EXISTING ELEMENTS TO BE DEMOLISHED

ISSUE	DATE	REVISION
01	31/10/19	DA Issue
02	5/2/20	DA Revision
03	11/5/20	DA Revision

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The Pittwater House Schools
70 South Creek Rd, Collaroy NSW 2097

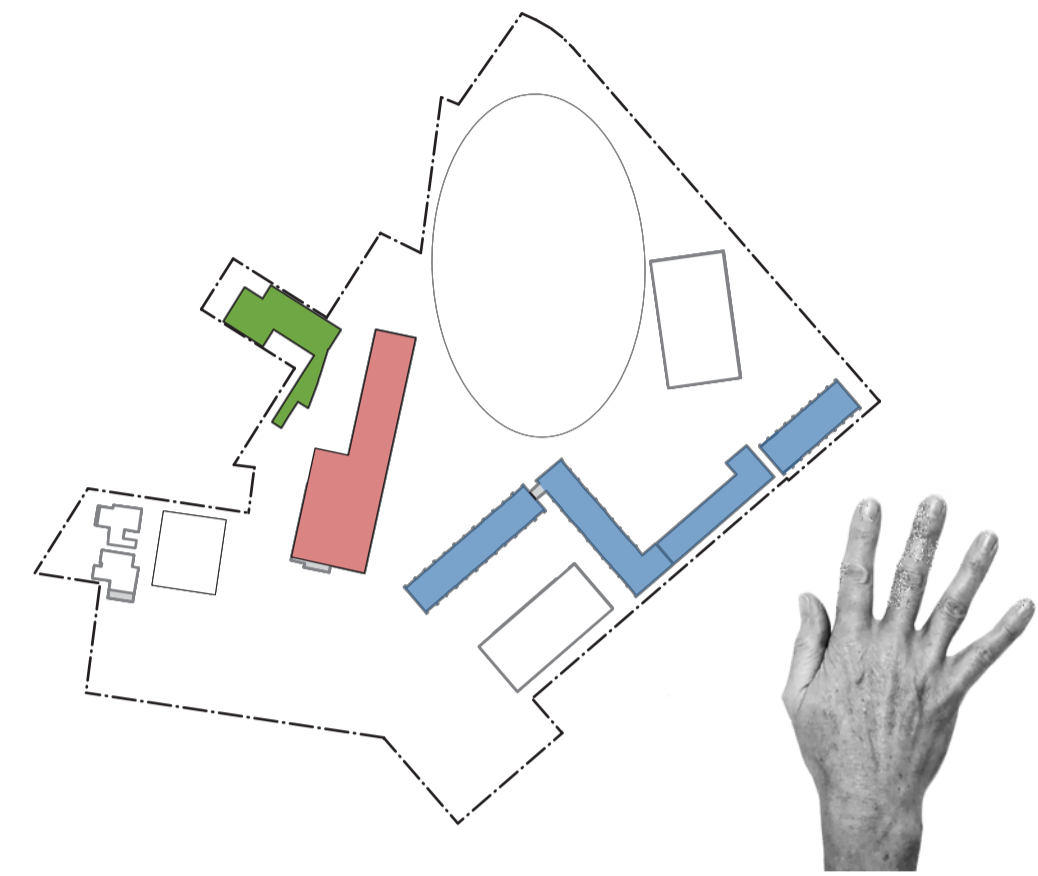
NEESON MURCUTT + NEILLE
NEESON MURCUTT ARCHITECTS PTY LTD
L1 9 ROSLIN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT: RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 01	03	COVER SHEET	DA	@A1	11/5/20

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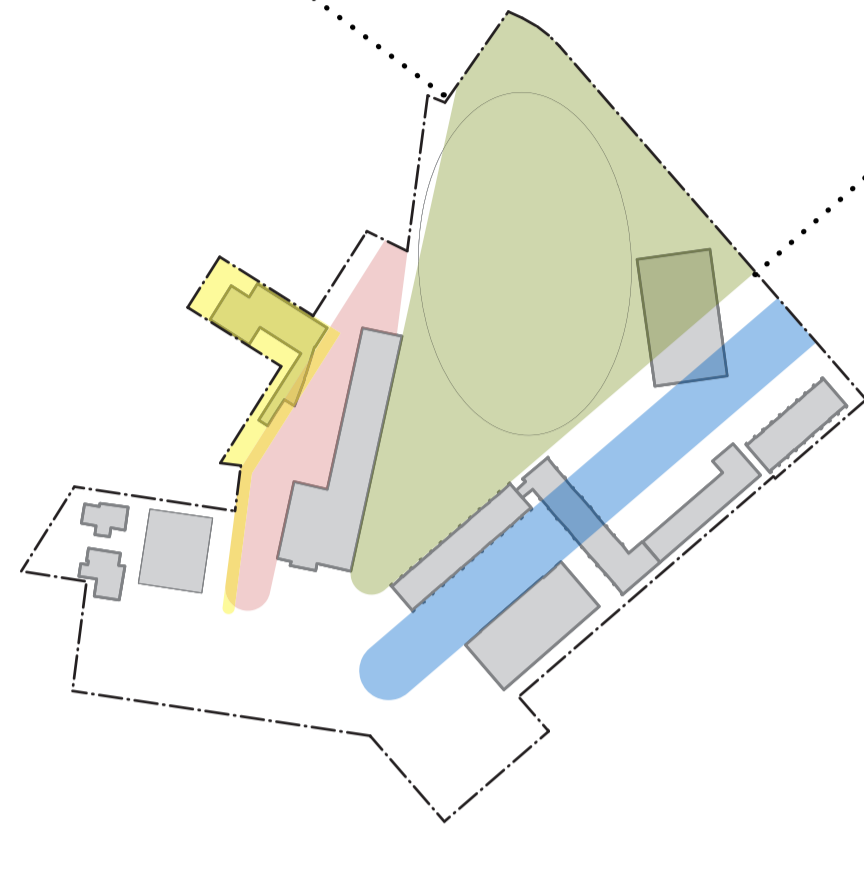
- COMPLY WITH RELEVANT AUTHORITIES REQUIREMENTS
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- IF IN DOUBT ASK
CAD File: 1801_PIT_STAGE 01

STRATEGIC STRATEGIES



THREE SCHOOLS - ONE CAMPUS - BUILDING 'FINGERS'

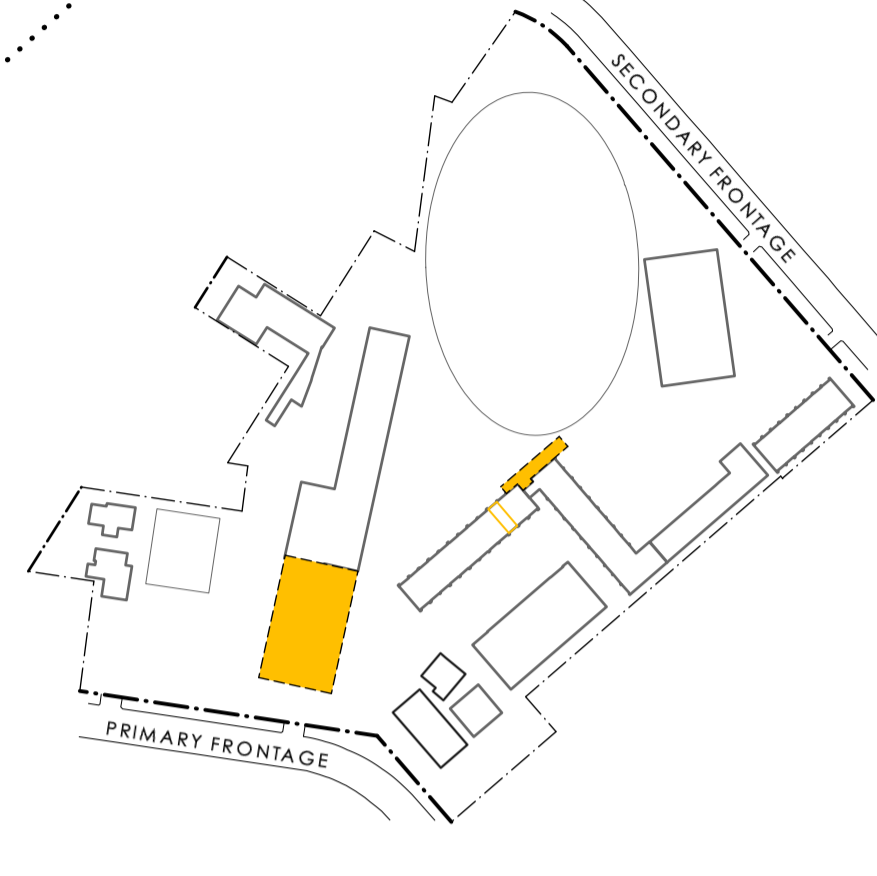
Three schools occupy the campus and together form Pittwater House. The masterplan strengthens the core location of each distinct school. They are like the 'fingers' extending from the 'palm' on South Creek Road, up towards Westmoreland Avenue.



LANDSCAPES 'SPINES'

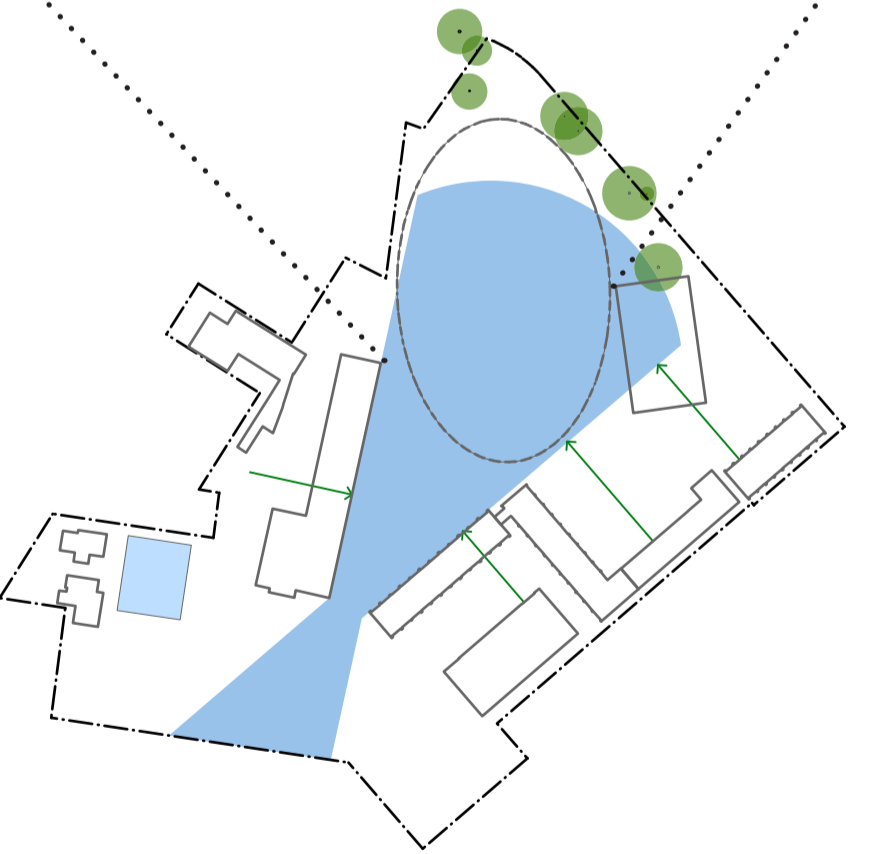
The campus is organised by a series of landscape spines – the spaces between the 'fingers'. This strategic hierarchy of landscape and open play areas builds on what the campus already has, preserving amenity, defining possible locations for new buildings, and speaking to the beauty of the existing site. The central spine incorporates the impressive oval. The western spine builds on this as the Junior school playground – the former creekline. The eastern spine connects through the heart of the Senior school.

The simple organisation of 'building fingers' and 'landscape spines' provides a clear circulation logic, efficient movement and intuitive wayfinding. It allows internal spaces to be connected to landscape, natural light and fresh air – such spaces make us feel good, and help with alertness and learning.



THE NEW 'FACE'

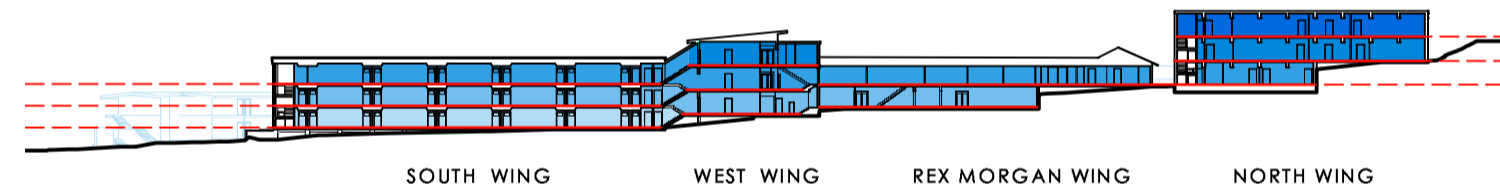
The masterplan brings clarity to South Creek Road as the primary street address. It locates new buildings with shared facilities defining a shared zone – the 'palm' of the hand – and strengthening the core identity of the school right at the primary frontage.



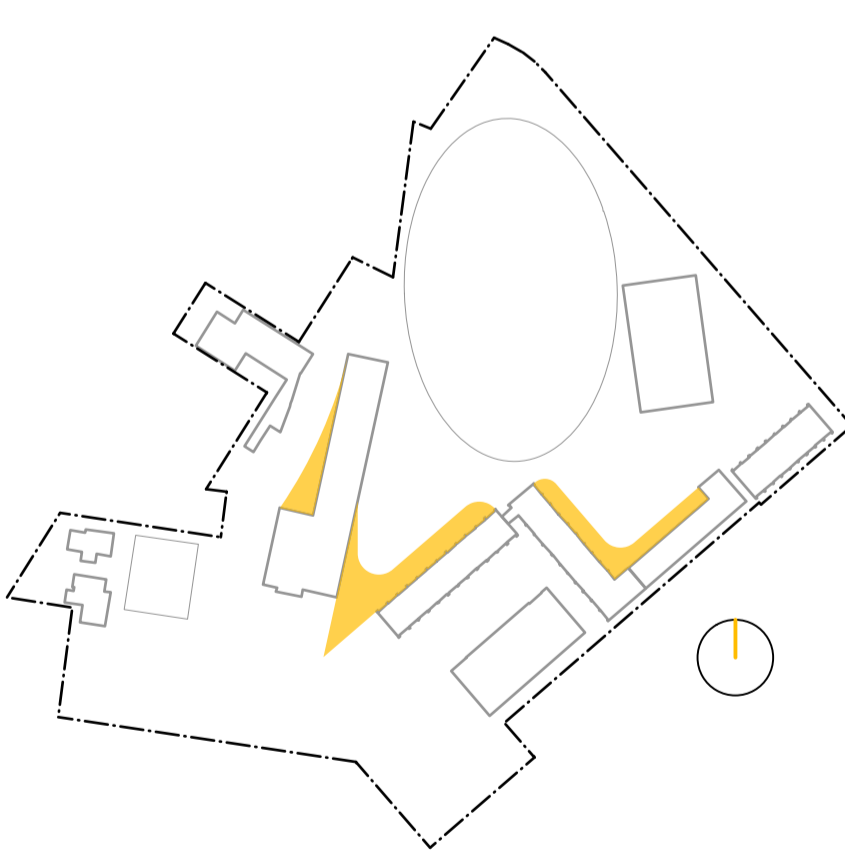
VIEW TO GREEN CAMPUS

The masterplan strengthens connection to the oval – the school's prized green space. The central spine opens views to the oval, its mature tree edging, and the green plateau beyond, from the primary campus entrance on South Creek Road.

The masterplan also opens views from the Junior and Senior school fingers to the Main Hall on the edge of the oval, establishing a positive connection to this, the most substantial old building on the site. The Main Hall can be opened more to the heart of the school and made to feel more welcoming.

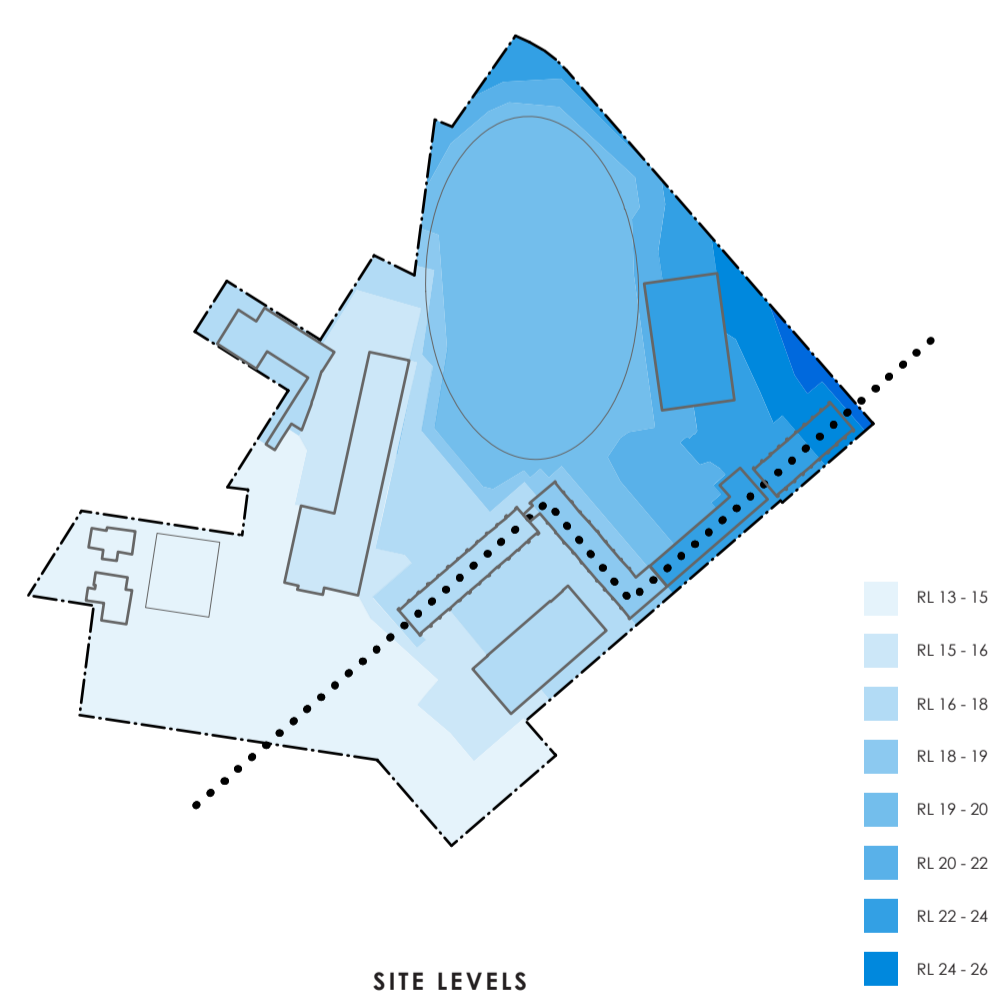


SOUTH WING WEST WING REX MORGAN WING NORTH WING



SUNNY SPACES

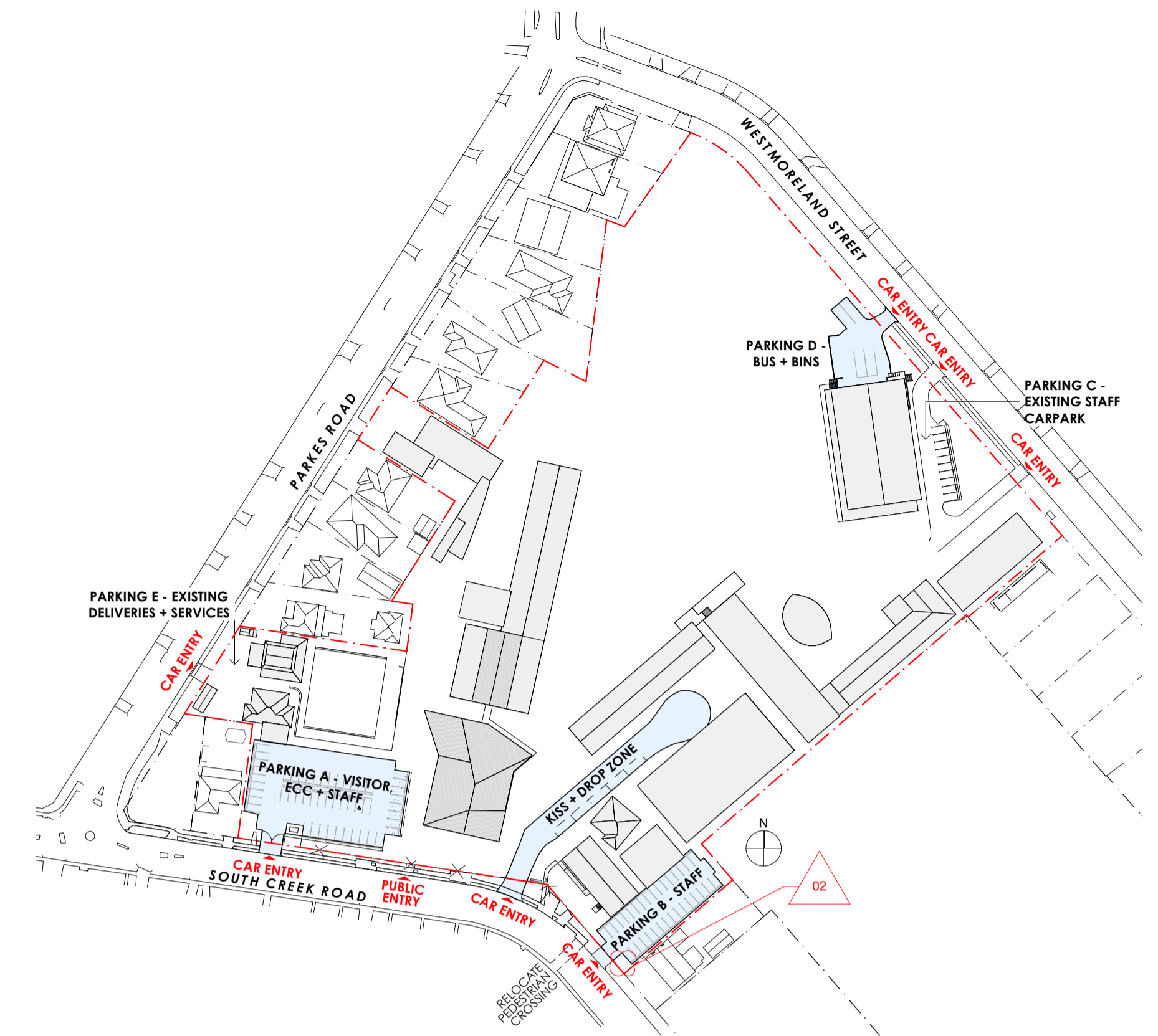
The masterplan recognises the value of north-facing sunny spaces – drawing people to them in winter and readily shaded through passive design in summer. Sydney's temperate climate is well-suited to all weather learning. Strategically placed all-weather spaces for large groups have potential for multiple and frequent use.



SITE LEVELS

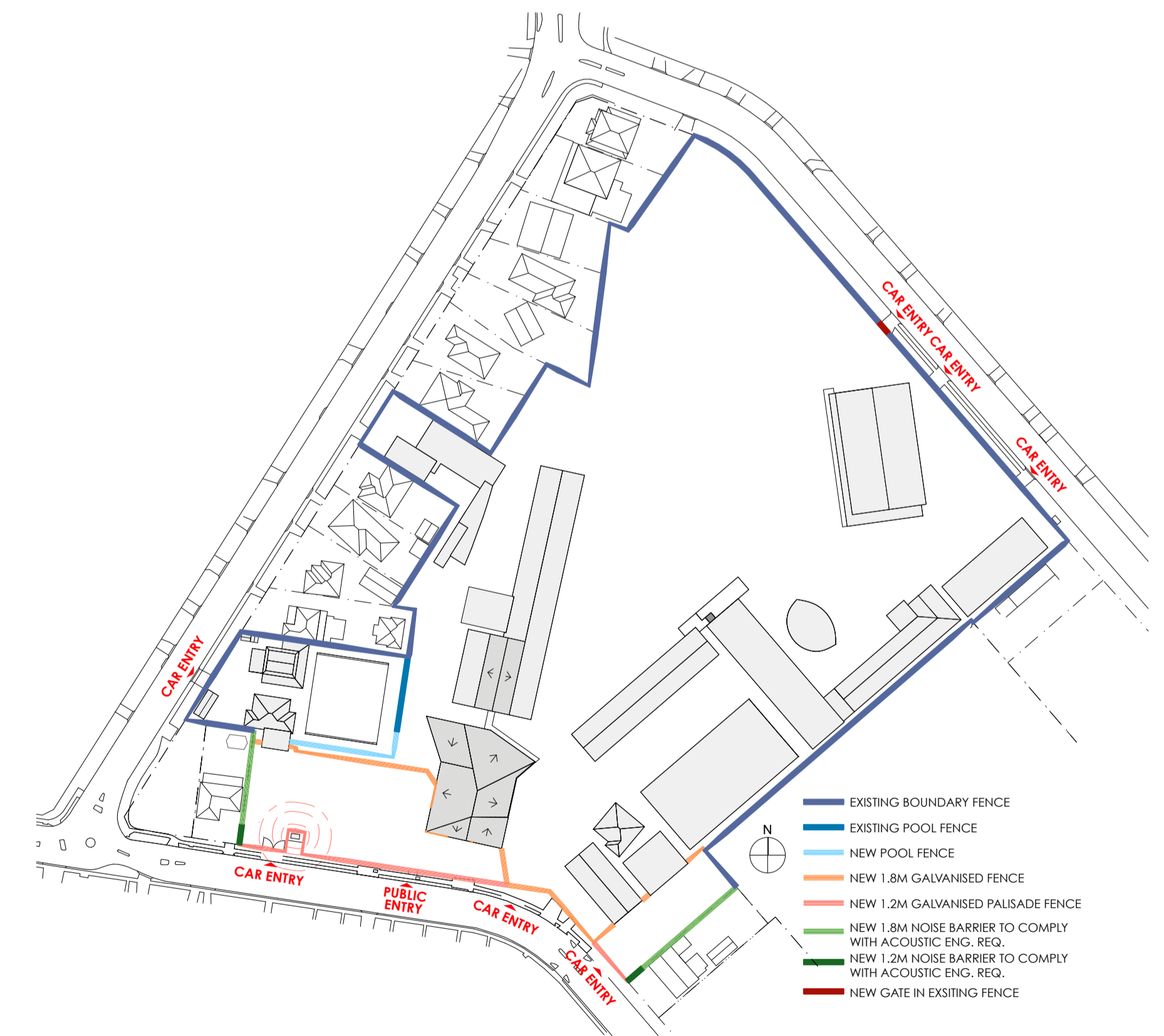
The site falls almost 1.6m from Westmoreland Avenue to South Creek Road. The difficulty of slope is compounded by significant differences in building floor levels, presenting challenges in connecting buildings and establishing universal access across the campus. The masterplan finds opportunities for cross-campus pedestrian movement along contour lines, and strategic locations for stairs and lifts.

ARRIVAL + PARKING + SECURITY



10 TRAFFIC DIAGRAM
1:1500

REFER TO TRAFFIC ENGINEER FOR DETAILED TRAFFIC PROPOSAL AND STUDY



11 FENCE DIAGRAM
1:1500

REFER TO LANDSCAPE ARCHITECT FOR FENCING DETAIL; REFER TO ACOUSTIC ENGINEER FOR ACOUSTIC FENCING REQUIREMENTS

LEGEND	
AD	ALUMINIUM DOOR
AW	ALUMINIUM WINDOW
BG	ROCK GUTTER
BR	BRICK
BSUS	STEEL BALUSTRADE
BW	BLOCKWORK
EXFL	EXISTING FLOORING
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DN	DOWNPIPE
EXT	EXISTING FLOORING
FGA	FIBRE CEMENT FLOORING
FG	FIBRE GLASS
FR	FRODOOR
FW	FLOOR WASTE
FBG	GLAZED FACE BRICK
FBGS	GLAZED FACE BRICK SCREEN
JG	JOINERY GATE
LD-1	EXTERNAL LOUVRES - RETRACTABLE
LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
ENT	ENTRY MAT
MC	METAL CLADDING
MR	METAL ROOFING
PM	PERFORATED METAL
RF	RUBBER FLOORING
RWO	RAINWATER OUTLET
SC	STEEL COLUMN
SK	SKYLIGHT
TD	TIMBER DOOR JOINERY
TW	TIMBER WINDOW JOINERY

LEGEND	
[Grey Box]	EXISTING ELEMENTS TO BE RETAINED
[Red Box]	EXISTING ELEMENTS TO BE DEMOLISHED

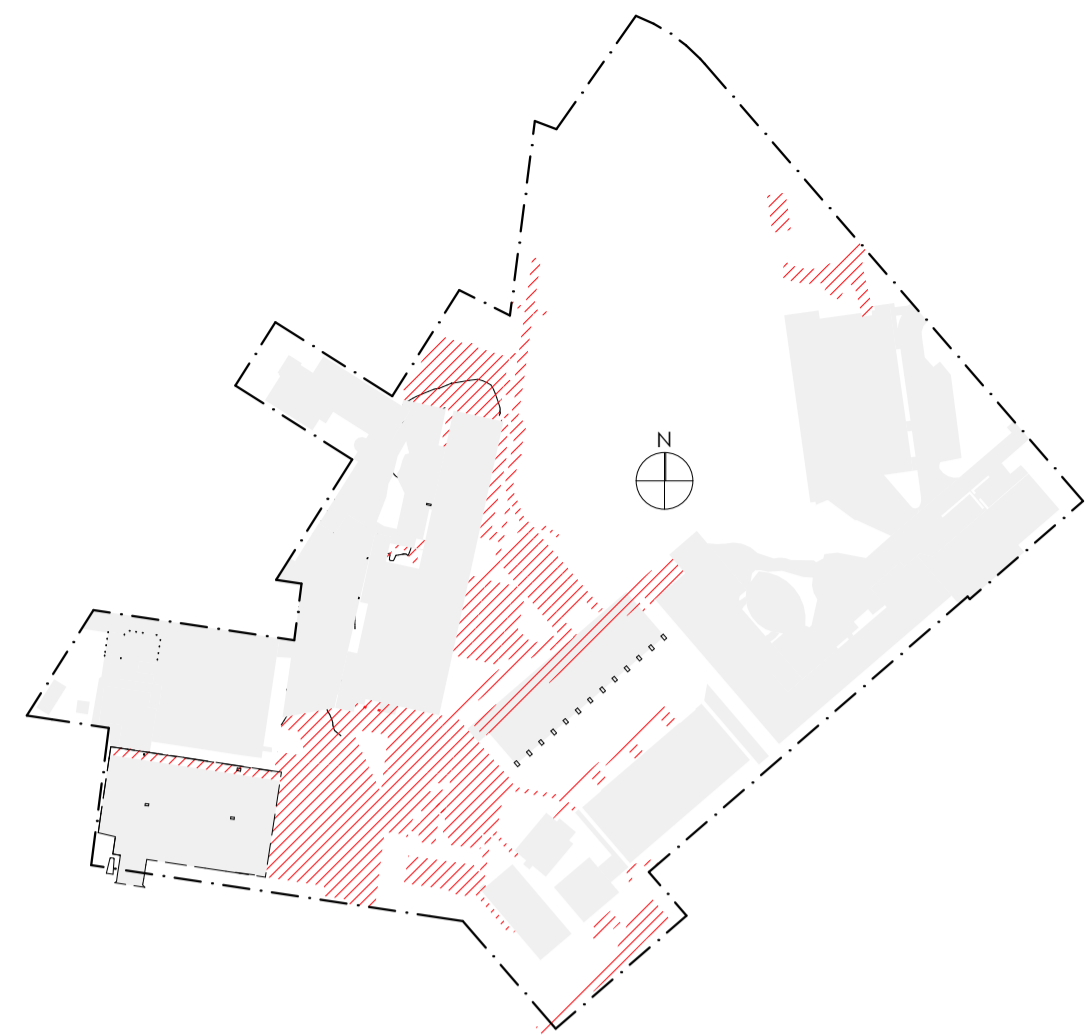
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01	27/10/19	DA Issue
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NO	REV	TITLE	PHASE	SCALE	DATE
DA	02 03	SITE ANALYSIS	DA	1:1, 1:1500 @A1	11/5/20

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IMPERVIOUS AREA STUDY



2 Impervious Surfaces - Demo
1:2,000



3 Impervious Surfaces - Proposed
1:2,000

Impervious Surfaces - Existing		Impervious Surfaces - Demo		Impervious Surfaces - New	
Element ID	Area	Element ID	Area	Element ID	Area
BITUMEN	1,205.19	BITUMEN	177.25	BITUMEN	102.94
BITUMEN	1,992.79	CONCRETE	5.97	BITUMEN	263.41
CONCRETE	10.64	CONCRETE	14.21	BITUMEN	332.93
CONCRETE	33.16	CONCRETE	19.34	CONCRETE	6.03
CONCRETE	50.34	CONCRETE	29.98	CONCRETE	18.11
CONCRETE	82.02	CONCRETE	50.27	CONCRETE	19.42
CONCRETE	714.63	CONCRETE	134.24	CONCRETE	29.48
CONCRETE	1,074.54	CONCRETE	189.98	CONCRETE	94.18
CONCRETE	1,262.79	CONCRETE	365.57	CONCRETE	106.34
CONCRETE	1,277.65	CONCRETE	414.41	CONCRETE	205.63
CONCRETE	2,010.54	CONCRETE	698.30	CONCRETE	241.52
CONCRETE - BLDG	146.49	CONCRETE	714.63	CONCRETE	330.57
CONCRETE - BLDG	149.46	CONCRETE	1,019.57	CONCRETE	662.51
CONCRETE - BLDG	163.63	CONCRETE	1,019.57	CONCRETE	1,024.27
CONCRETE - BLDG	180.65	CONCRETE	2,010.54	CONCRETE - BLDG	760.54
CONCRETE - BLDG	240.79	CONCRETE	2,010.54	PERBLECRETE	536.58
CONCRETE - BLDG	511.03	CONCRETE - BLDG	163.22	PERBLECRETE	730.74
CONCRETE - BLDG	674.39	CONCRETE - BLDG	187.00	SYNTHETIC SURFACE	404.72
CONCRETE - BLDG	817.30	CONCRETE - BLDG	190.62		
CONCRETE - BLDG	818.40				
CONCRETE - BLDG	1,068.76				
CONCRETE - BLDG	1,598.29				
CONCRETE - BLDG	1,992.79				
	18,098.27 m²		9,415.21 m²		5,869.92 m²

CONCLUSION
ABOVE FINDING IS THAT THE PROPOSAL INCLUDES LESS IMPERVIOUS SURFACES THAN EXISTING, ALLOWING FOR GREATER RAINFALL ABSORPTION ON-SITE.

existing
18,096.83 m²

proposed
14,553.19 m² (less 3,543.64 m²)

LEGEND	
AD	ALUMINIUM DOOR
AW	ALUMINIUM WINDOW
BG	ROCK GUTTER
BR	BRICK
BS	STEEL BALUSTRADE
BW	BLOCKWORK
CE	EXISTING FLOORING
CC	CONCRETE
CP	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
EXT	EXISTING
FC-1	FIBRE CEMENT FLOORING
FG	FIBRE GLASS
FR	FLOOR WASTE
FBG	GLAZED FACE BRICK
FGS	GLAZED FACE BRICK SCREEN
JO	JOINERY UNIT
LD-1	EXTERNAL LOUVRES - RETRACTABLE
LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
MA	METAL CLADDING
MC	METAL CLADDING
MR	METAL ROOFING
MS	METAL ROOFING
RF	RUBBER FLOORING
RWD	RAINWATER OUTLET
SC	STEEL COLUMN
SG	SITING
TD	TIMBER DOOR JOINERY
TW	TIMBER WINDOW JOINERY

LEGEND	
—	EXISTING ELEMENTS TO BE RETAINED
- - -	EXISTING ELEMENTS TO BE DEMOLISHED

VISUAL IMPACT ON WIDER CONTEXT



1 ROOF MATERIALITY SURVEY
1:1,000

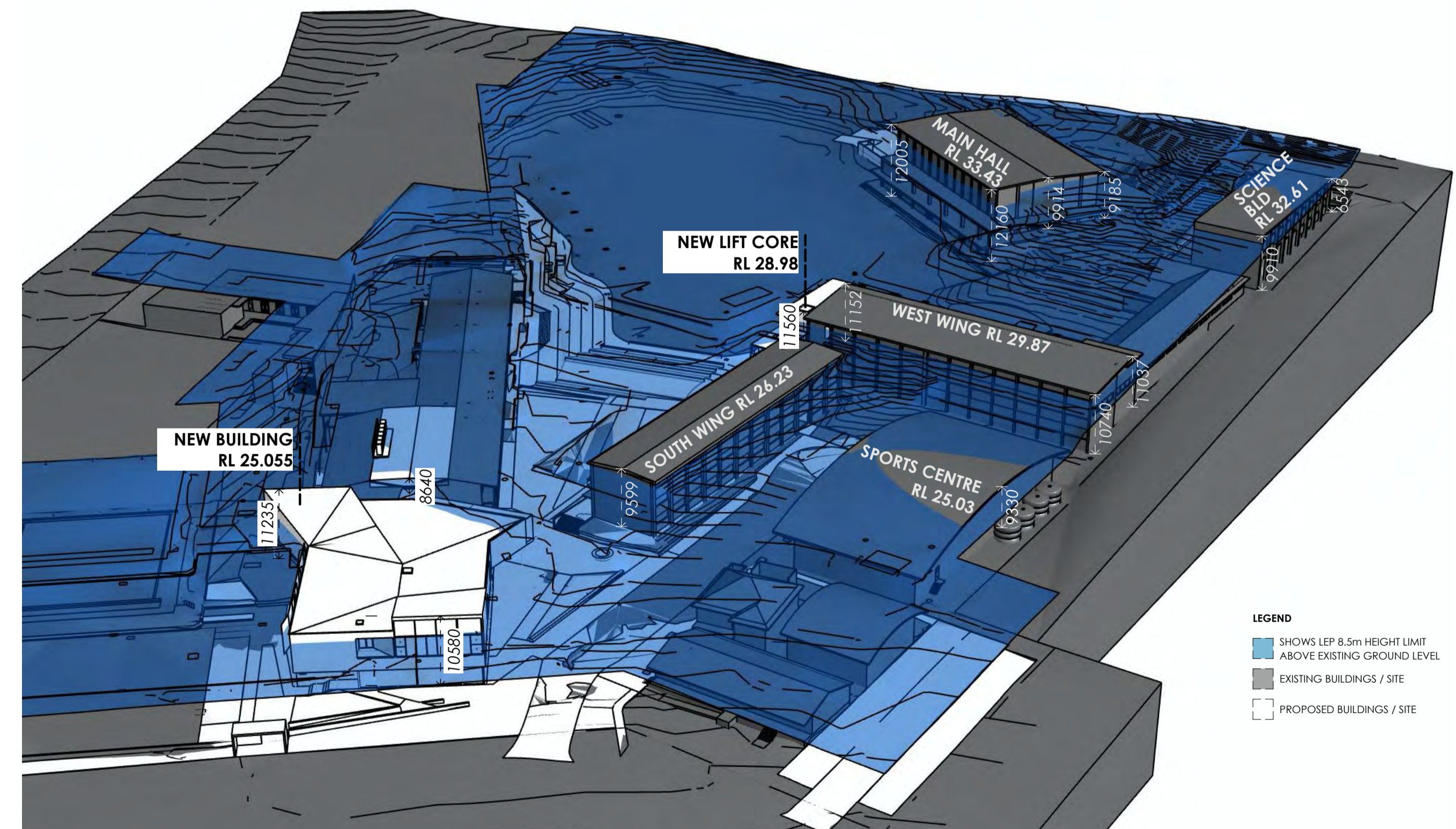
DIAGRAM ABOVE INDICATES THE EXISTING ROOF FORMS WHICH ARE WHITE / ZINCALUME WITHIN THE IMMEDIATE CONTEXT DEMONSTRATING THE PRECEDENT FOR THE ANTI-HEAT-ABSORBING ROOF MATERIALITY

60 INDICATES STREET NUMBERS, REFER TO IMAGES TO THE RIGHT FOR VIEWS TOWARDS NEW BUILDINGS FROM APPROXIMATE TOP HABITABLE STOREY OF EACH DWELLING



3D VIEWS FROM APPROXIMATE EYE LEVEL FROM TOP FLOOR OF EACH DWELLING

HEIGHT ABOVE EXISTING GROUND



4 8.5m HEIGHT PLANE AXONOMETRIC DIAGRAM
1:200

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

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NO	REV	TITLE	PHASE	SCALE	DATE
DA 03	01	SITE ANALYSIS	DA	1:1000, 1:2000, 1:200 @A1	11/5/20

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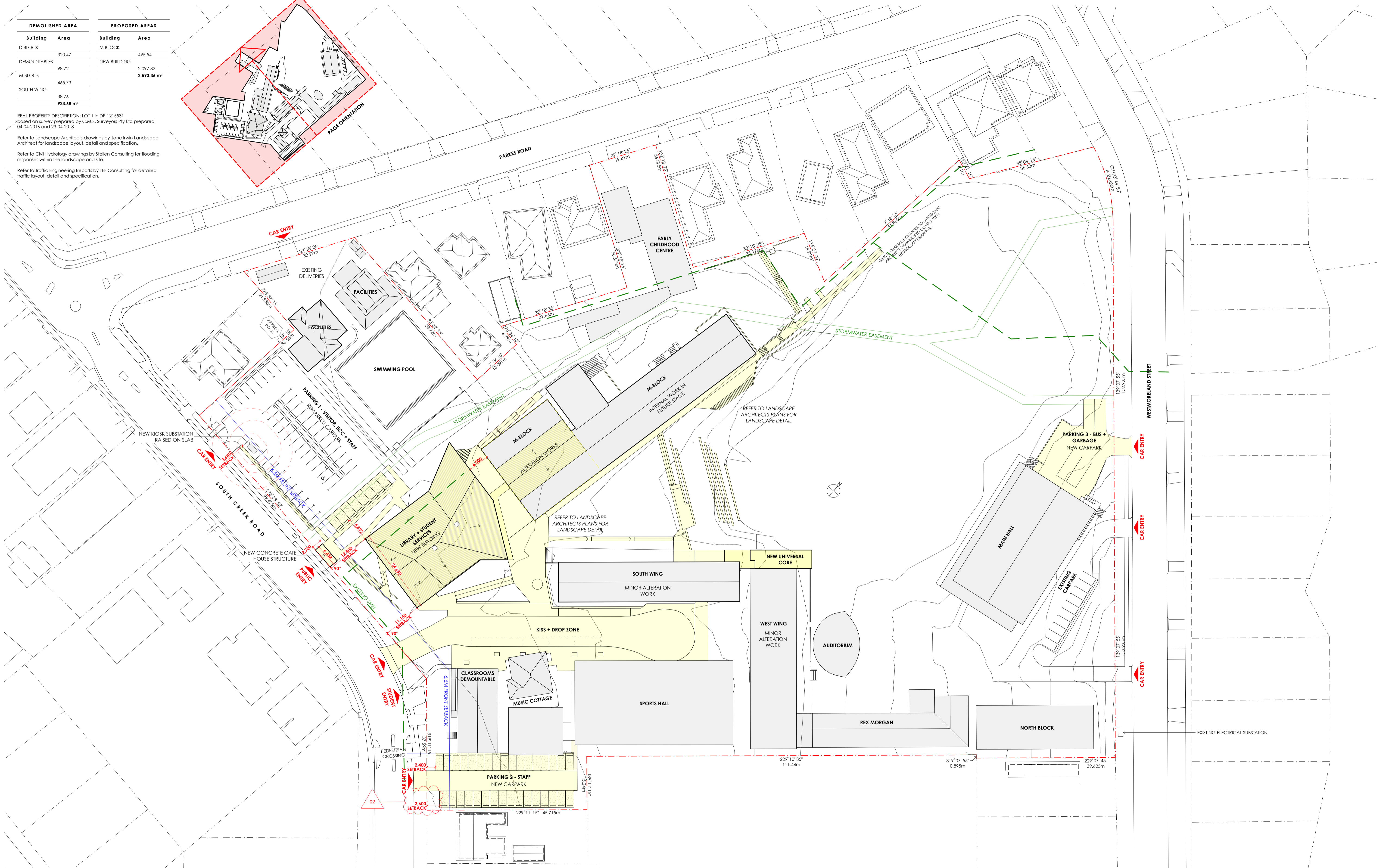
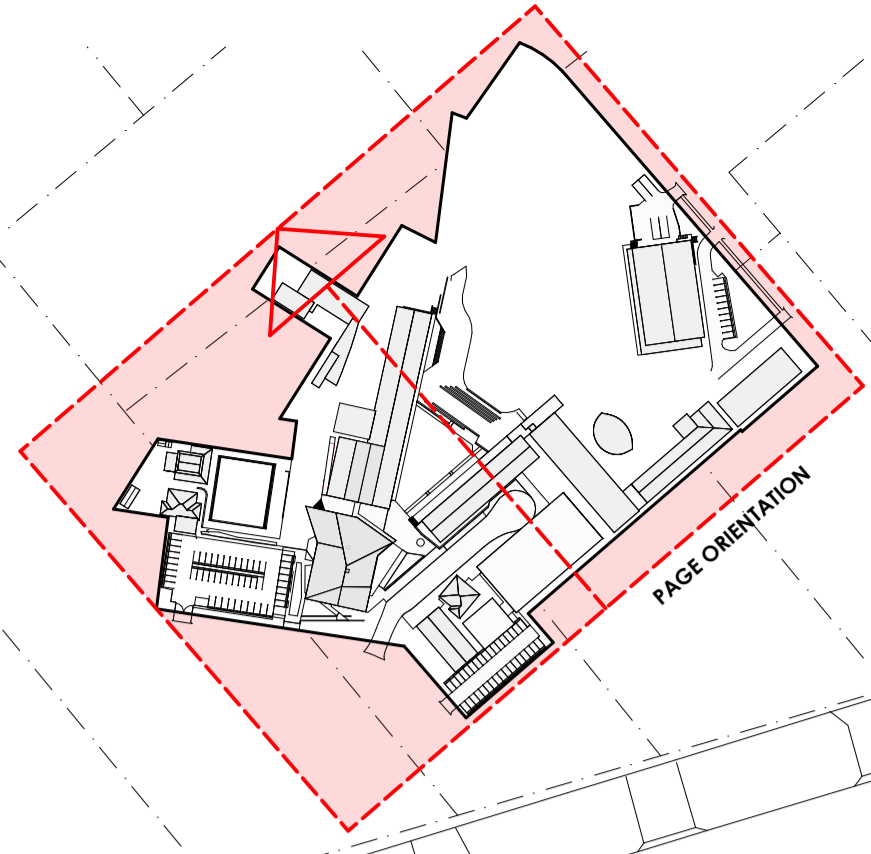
DEMOLISHED AREA		PROPOSED AREAS	
Building	Area	Building	Area
D BLOCK	320.47	M BLOCK	495.54
DEMOUNTABLES	98.72	NEW BUILDING	2,097.82
M BLOCK	465.73		2,593.36 m²
SOUTH WING	38.76		
	923.68 m²		

REAL PROPERTY DESCRIPTION: LOT 1 in DP 1215531
 Based on a survey prepared by C.M.S. Surveyors Pty Ltd prepared
 04-04-2016 and 23-04-2018

Refer to Landscape Architects drawings by Jane Irwin Landscape
 Architect for landscape layout, detail and specification.

Refer to Civil Hydrology drawings by Stelen Consulting for flooding
 responses within the landscape and site.

Refer to Traffic Engineering Reports by TEF Consulting for detailed
 traffic layout, detail and specification.



1 Site Plan (Roof)
 1:500

LEGEND	
AD	ALUMINUM DOOR
AW	ALUMINUM WINDOW
RG	ROCK GUTTER
BR	BRICK
BAUS	STEEL BALUSTRADE
BW	BLOCKWORK
EXFL	EXISTING FLOORING
CONC	CONCRETE
CRT	CARPET
CT	CERAMIC TILE
DN	DOWNPIPE
EXT	EXISTING
FG-1	FIBRE CEMENT FLOORING
FG	FIBRE GLASS
FR	FLOOR
FW	FLOOR WASTE
FBG	GLAZED FACE BRICK
FGS	GLAZED FACE BRICK SCREEN
JO	JOINTERY LINE
LO-1	EXTERNAL LOUVRES - RETRACTABLE
LO-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
ENT	ENTRY MAT
MC	METAL CLADDING
MR	METAL ROOFING
PM	PERFORATED METAL
RF	RUBBER FLOORING
RWO	RAINWATER OUTLET
SC	STEEL COLUMN
SL	SKYLIGHT
TD	TIMBER DOOR JOINERY
TW	TIMBER WINDOW JOINERY

LEGEND	
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- - -	EXISTING ELEMENTS TO BE DEMOLISHED
■	PROPOSED NEW WORKS

ISSUE	DATE	REVISION
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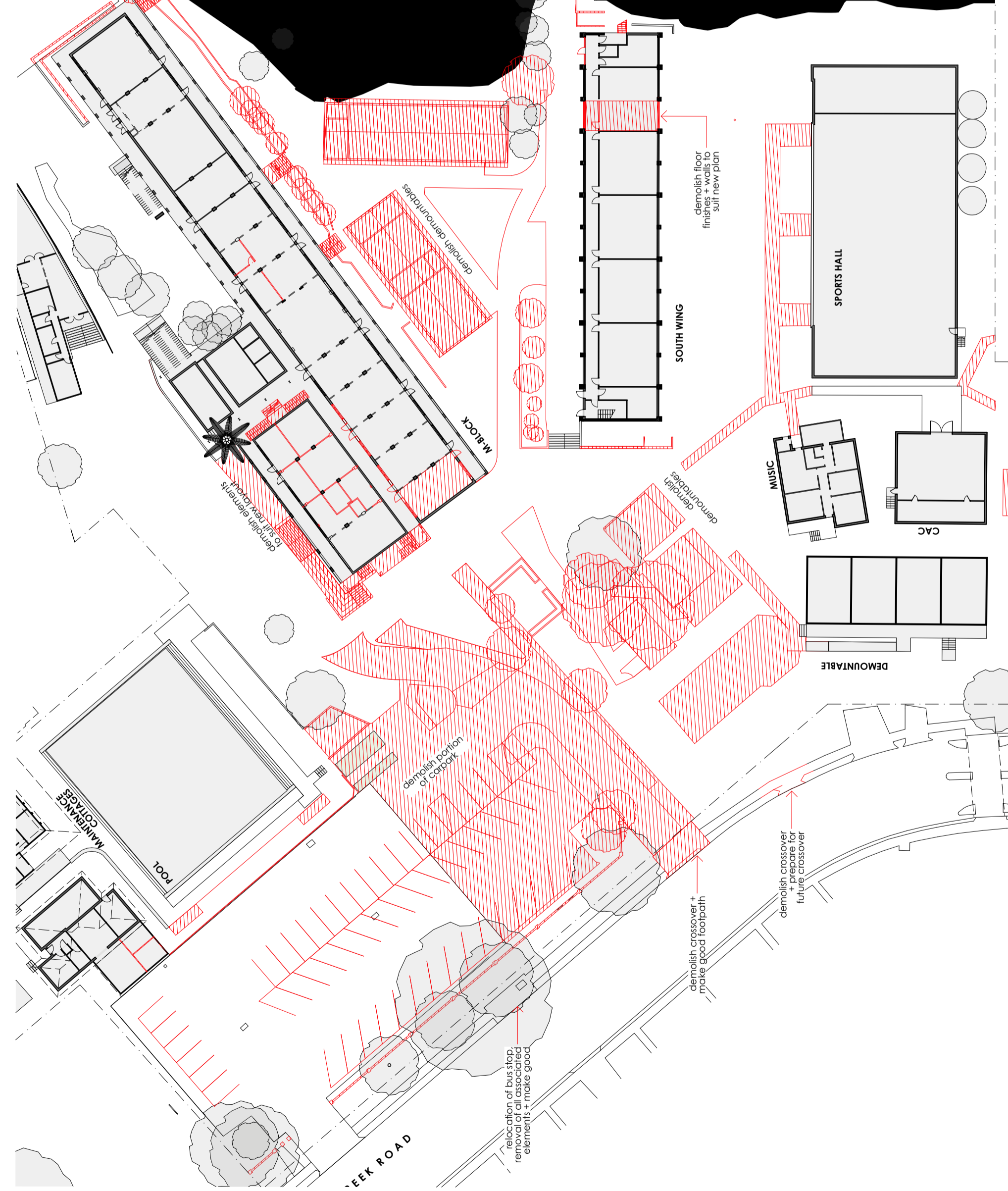
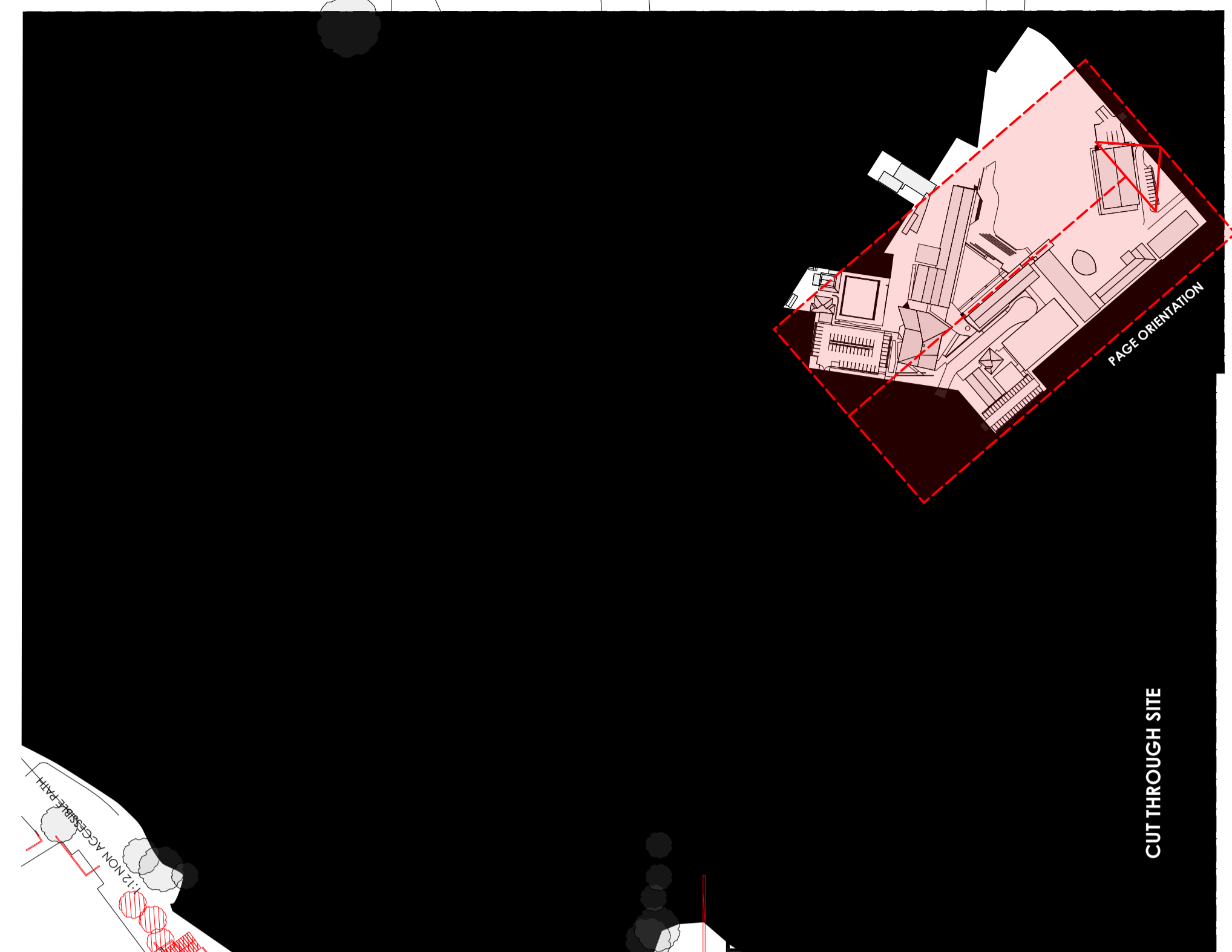
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DA 04	03	SITE PLAN	DA	1:500 @A1	11/5/20

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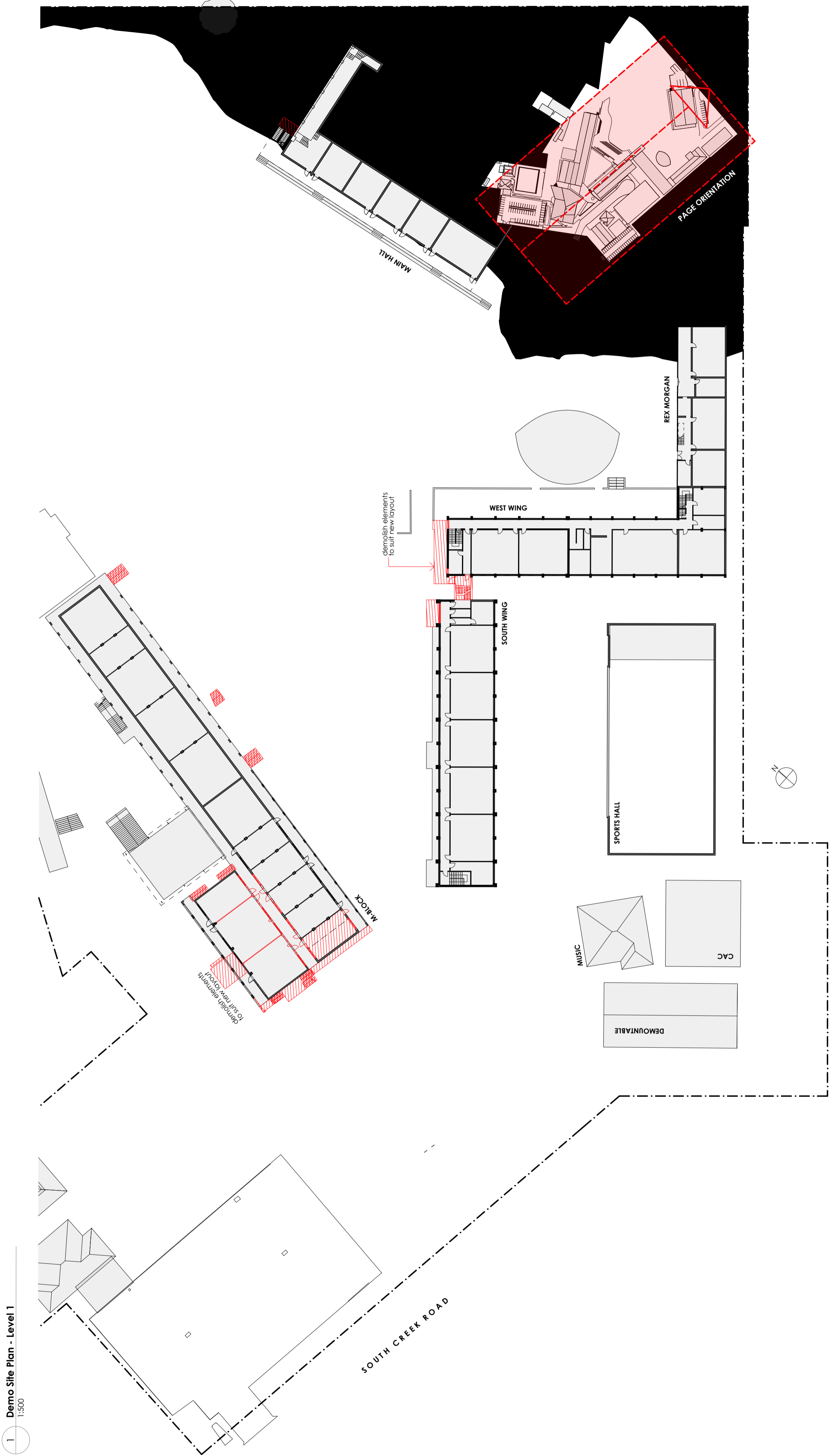


LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
RG	ROCK GUTTER	JG	JOINERY UNIT
BR	BRICK	LD-1	EXTERNAL LOUVRES - RETRACTABLE
BSL	STEEL BALUSTRADE	LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BWL	BLOCKWORK	MA	ENTRY MAT
EXFL	EXISTING FLOORING	MC	METAL CLADDING
CONC	CONCRETE	MR	METAL ROOFING
CT	CERAMIC TILE	MP	PERFORATED METAL
CTP	CARPET	RF	RUBBER FLOORING
DN	DOWNPIPE	RWC	RAINWATER OUTLET
EXT	EXISTING	SC	STEEL COLUMN
FCG-1	FIBRE CEMENT FLOORING	SK	SKYLIGHT
FG	FIBRE GLASS	TD	TIMBER DOOR JOINERY
FR	FROCK	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

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CAD File: 1801_PIT_STAGE 01



LEGEND

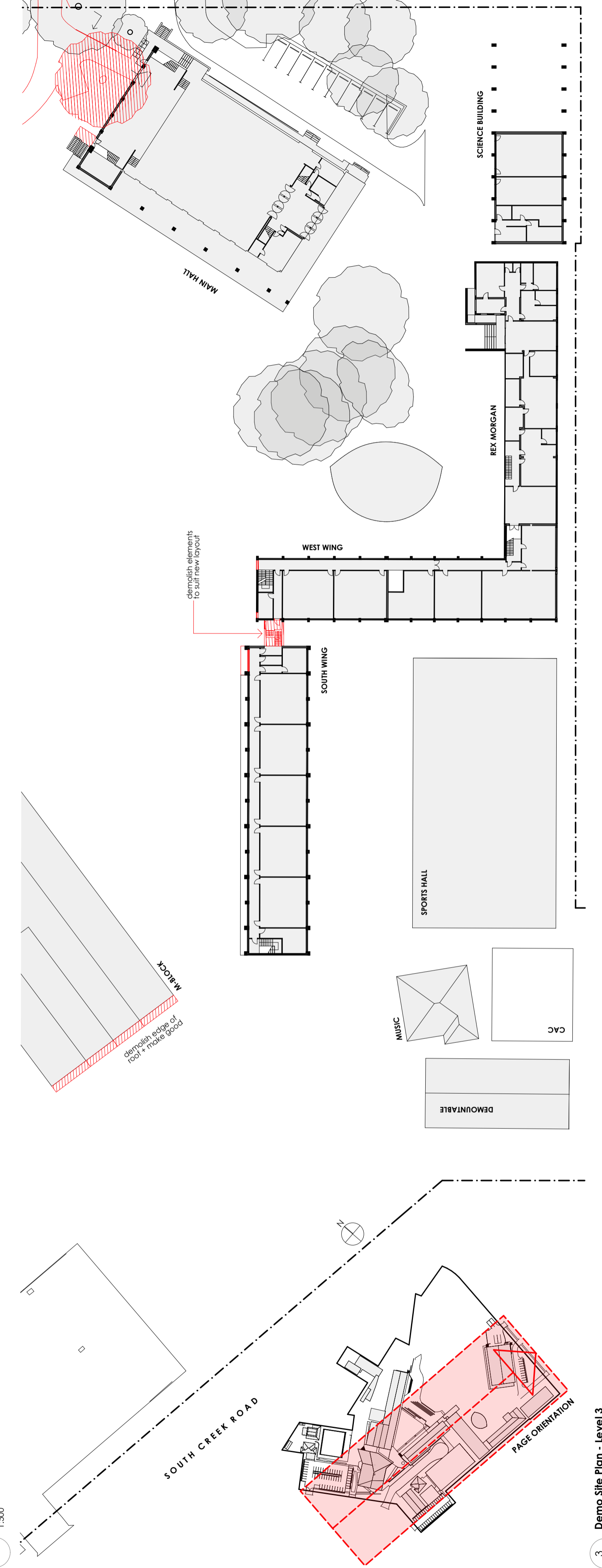
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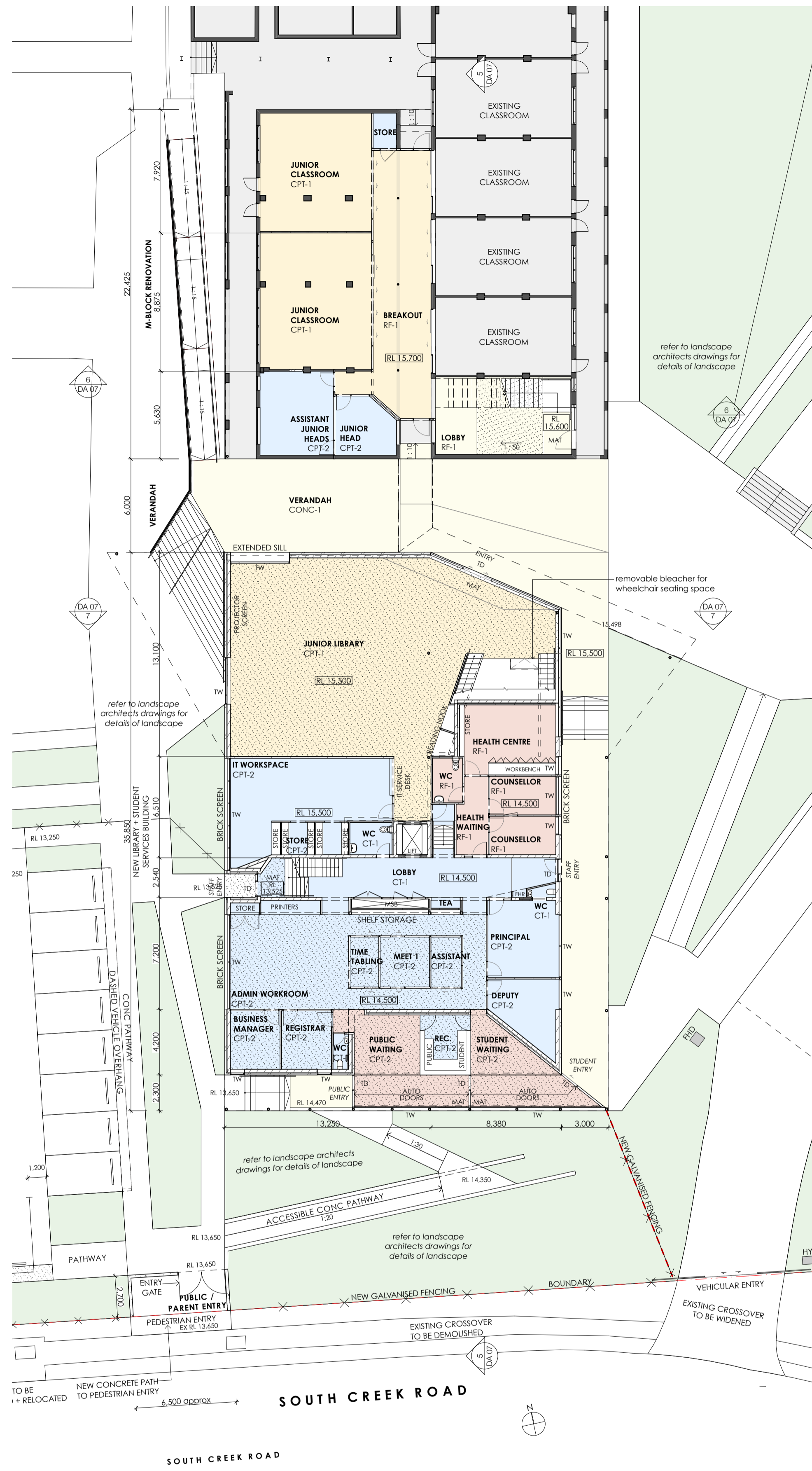
CAD File: 1801_PIT_STAGE 01

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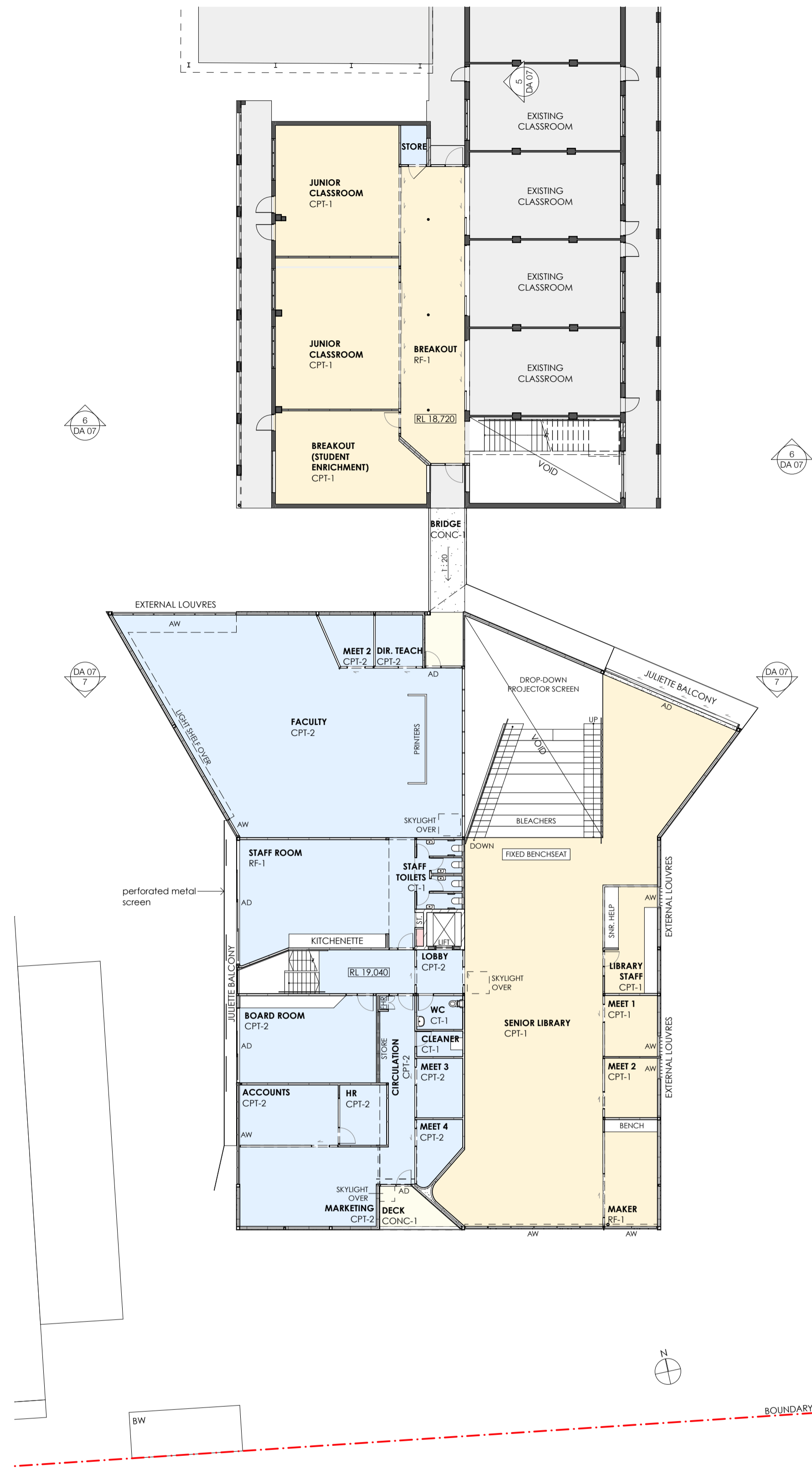
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 NOMINATED ARCHITECT: RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 05	01	DEMOLITION PLANS	DA	1:500, 1:200 @A1	11/5/20

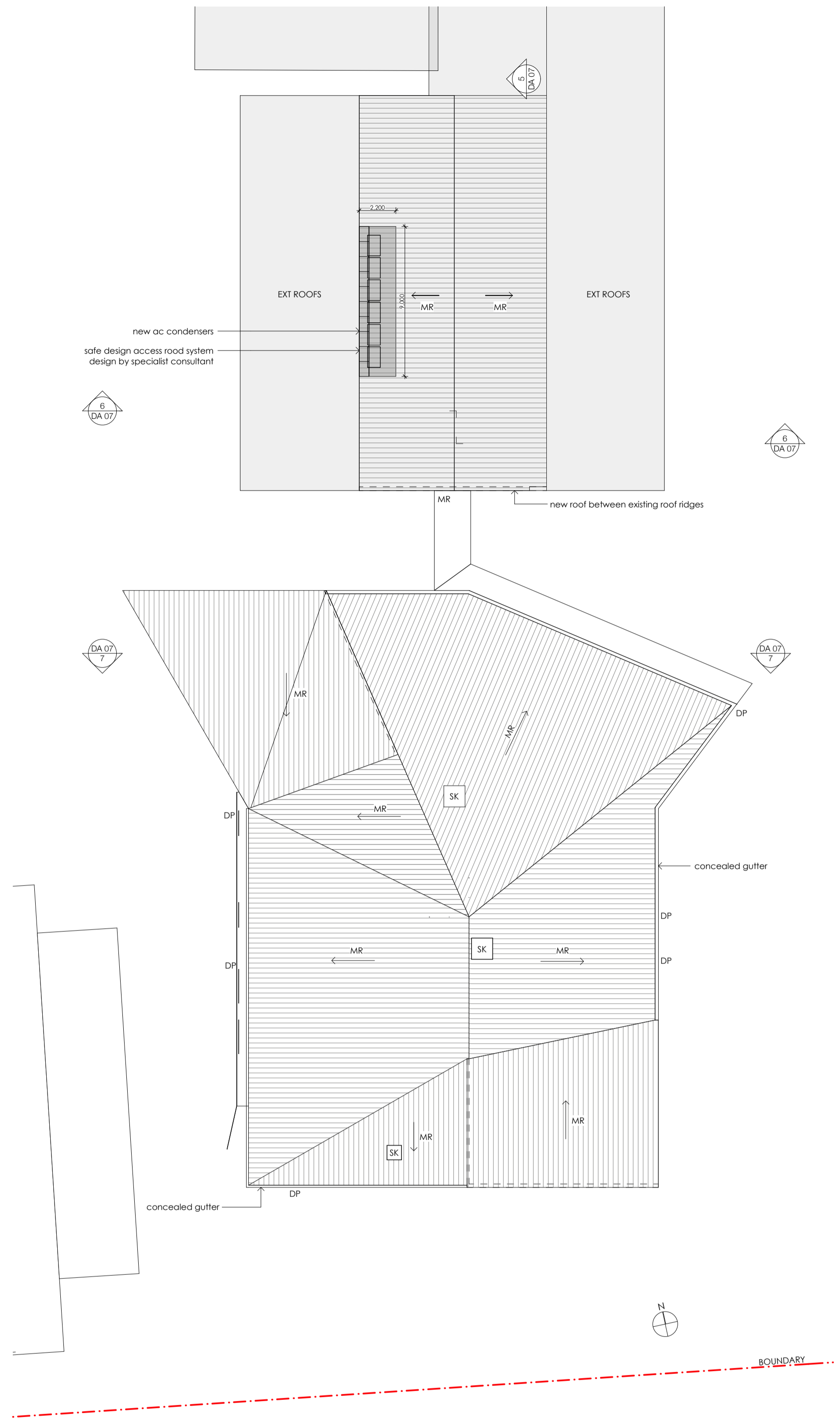
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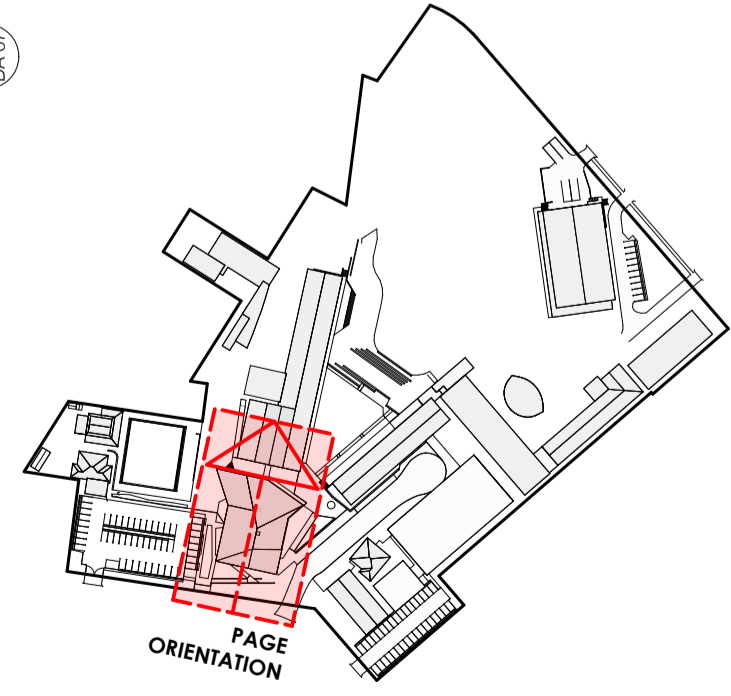
1 GA LEVEL 1
1:200



2 GA LEVEL 2
1:200



3 GA ROOF
1:200



LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
BG	ROCK GUTTER	JG	JOINERY GUTTER
BR	BRICK	LO-1	EXTERNAL LOUVRES - RETRACTABLE
BS	STEEL BALUSTRADE	LO-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW	BLOCKWORK	MA	ENTRY MAT
CF	CONCRETE	MC	METAL CLADDING
CH	CHIMNEY	MR	METAL ROOFING
CI	CERAMIC TILE	PA	PERFORATED METAL
CP	CONCRETE PAVING	RF	RUBBER FLOORING
CS	CONCRETE SLAB	RWO	RANKWEAR OUTLET
CT	CERAMIC TILE	SC	STEEL COLUMN
DF	DOWNPIPE	SK	SKYLIGHT
EXT	EXISTING	TD	TIMBER DOOR JOINERY
FC-1	FIBRE CEMENT FLOORING	FR	FRODOOR
FG	FIBRE GLASS	TW	TIMBER WINDOW JOINERY
FR	FRODOOR		
FW	FLOOR WASTE		

LEGEND

—	EXISTING ELEMENTS TO BE RETAINED
- - -	EXISTING ELEMENTS TO BE DEMOLISHED
—	ADMINISTRATION/STAFF
—	STUDENT LEARNING
—	STUDENT SERVICES
—	EXTERNAL + CIRCULATION

ISSUE DATE REVISION

01	31/10/19	DA Issue
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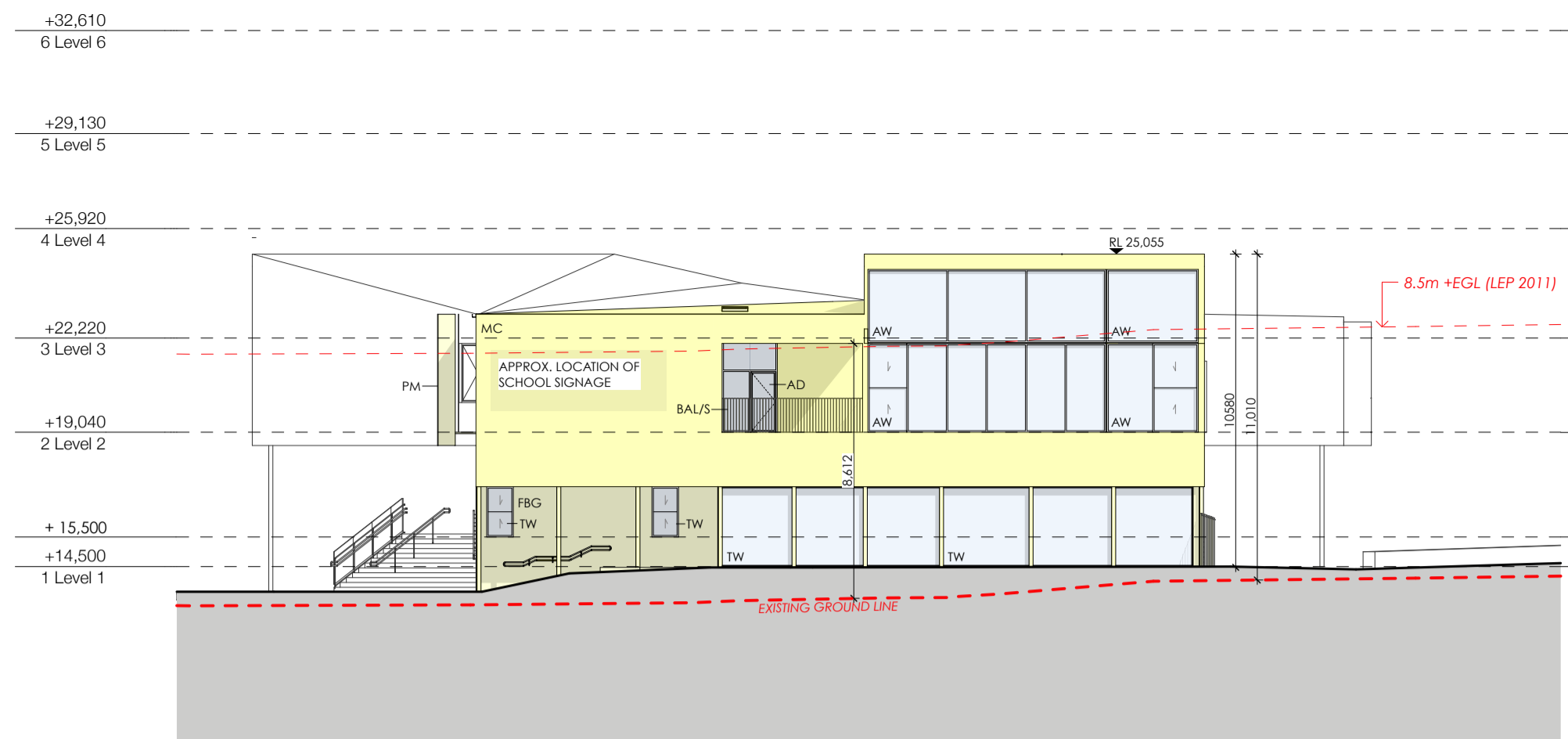
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70 South Creek Rd, Collaroy NSW 2097

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L1 9 ROSLYN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT: RACHEL NEESON No. 6692

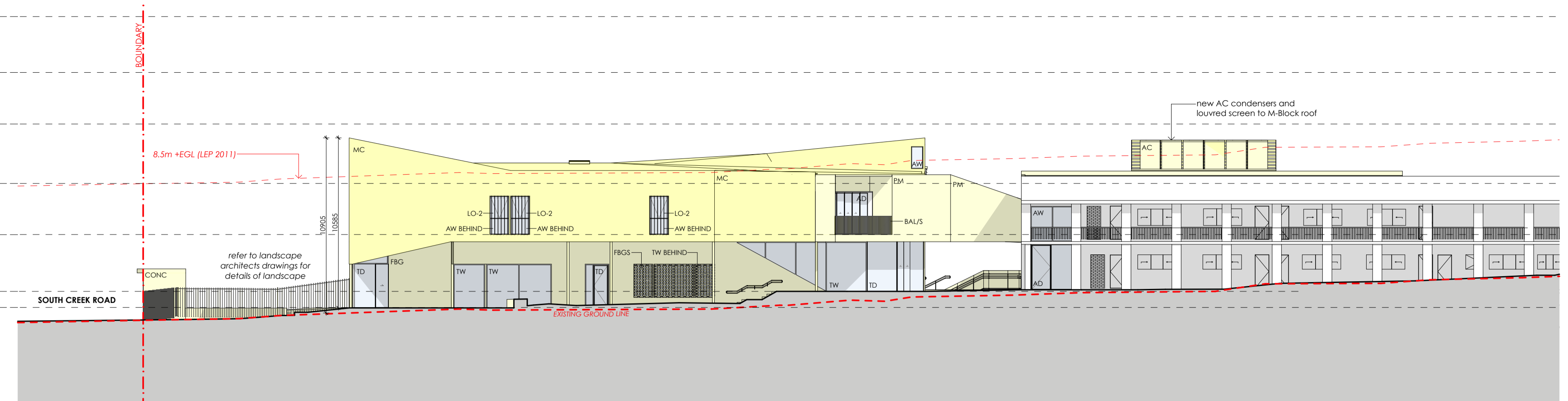
FOR The Pittwater House Schools

NO	REV	TITLE	PHASE	SCALE	DATE
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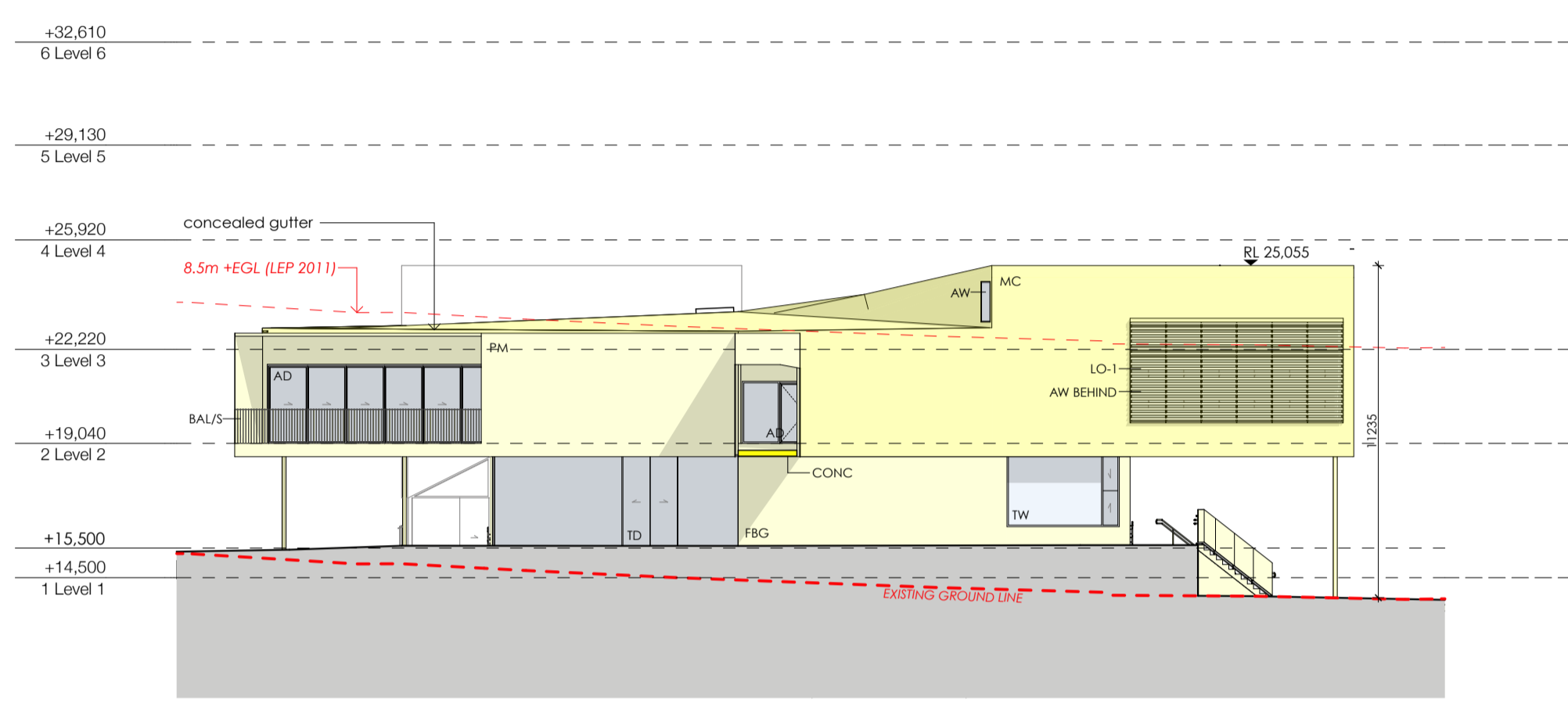
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2 SOUTH ELEVATION
1:200

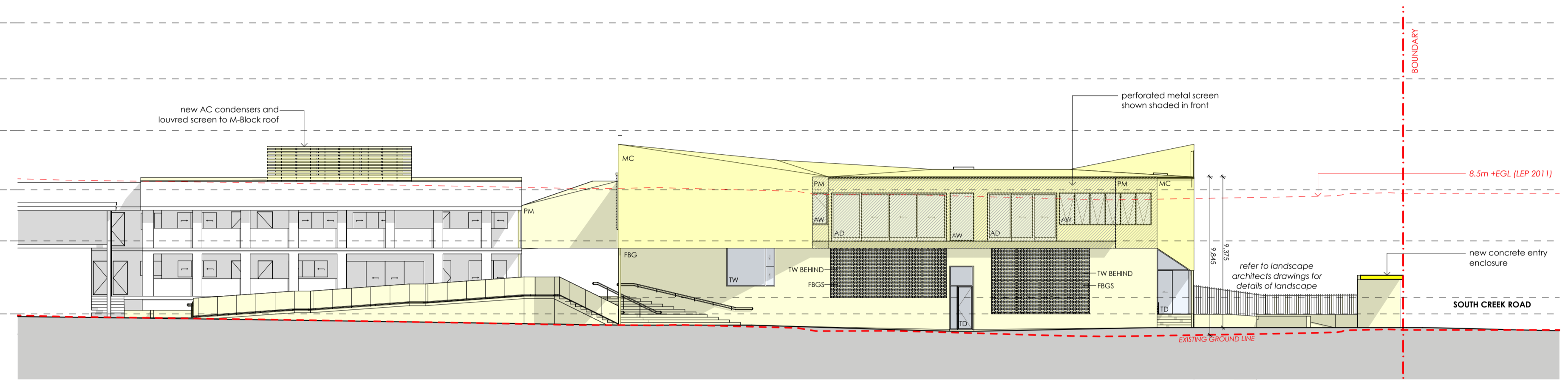


3 EAST ELEVATION
1:200

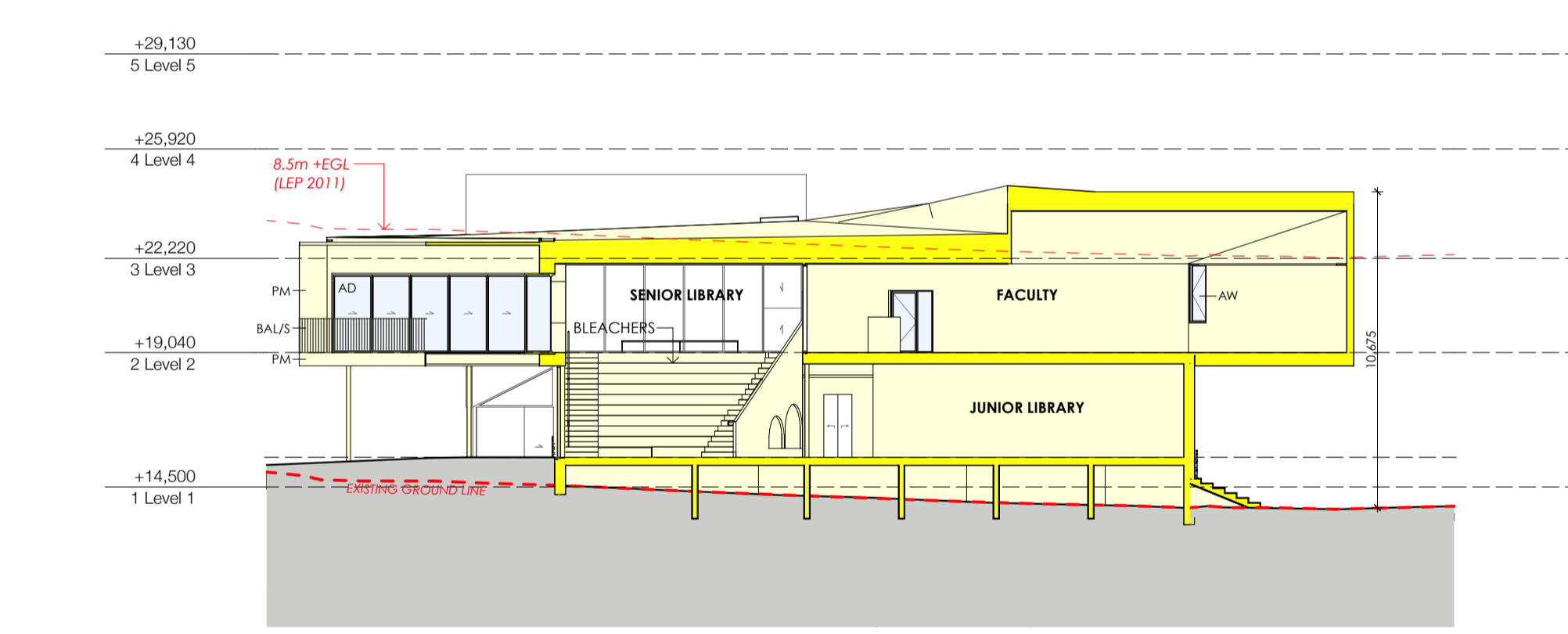


1 NORTH ELEVATION
1:200

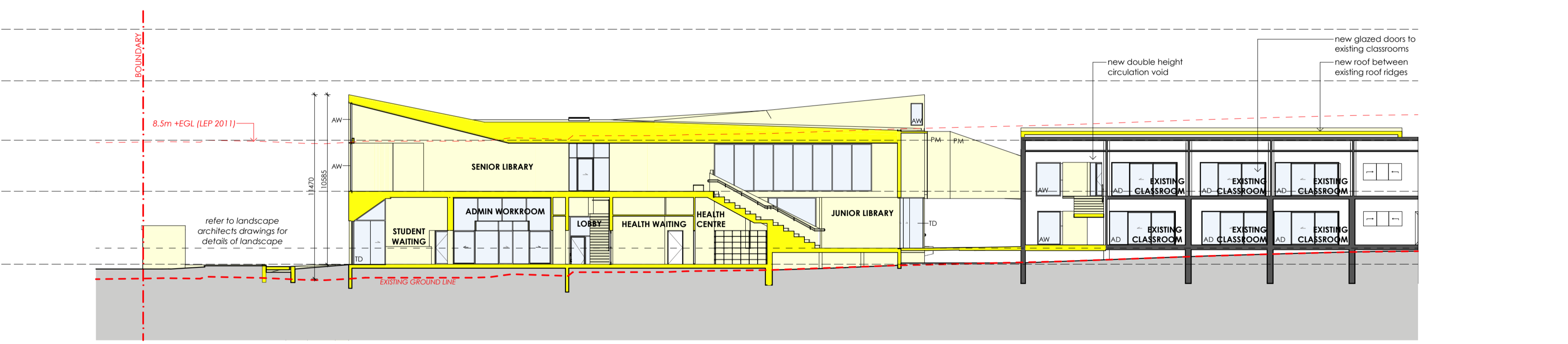
NOTE: VIEW CUTS SECTION THROUGH THE NEW WALKWAY CONNECTION FROM M-BLOCK TO NEW LIBRARY AND STUDENT SERVICES BUILDING



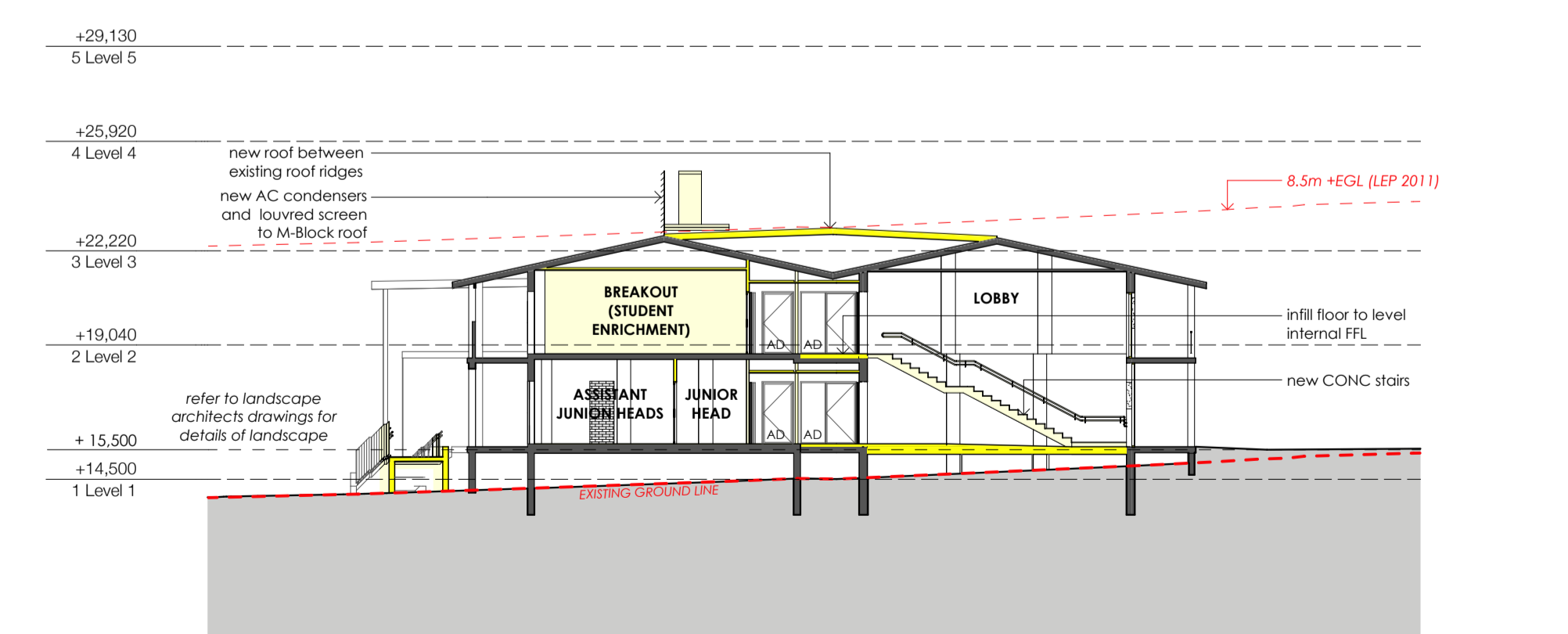
4 WEST ELEVATION
1:200



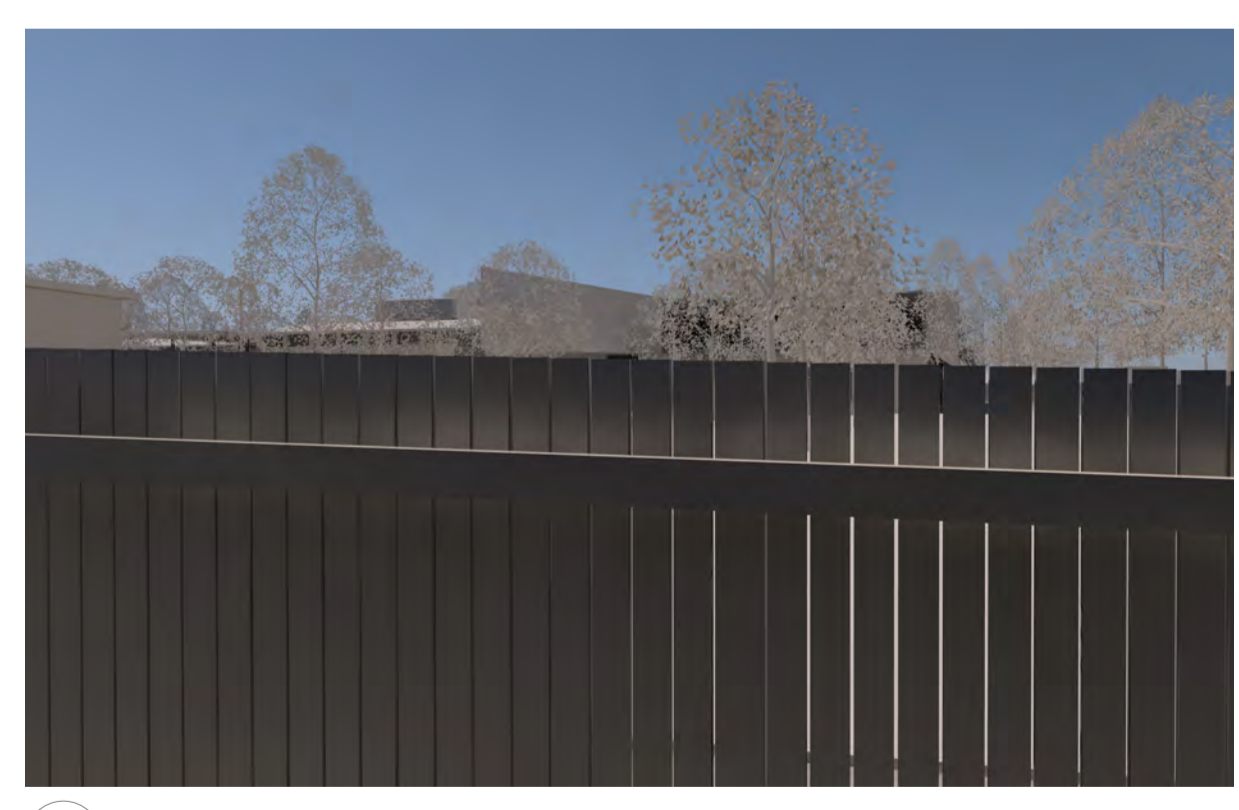
7 SECTION 1
1:200



5 SECTION 2
1:200



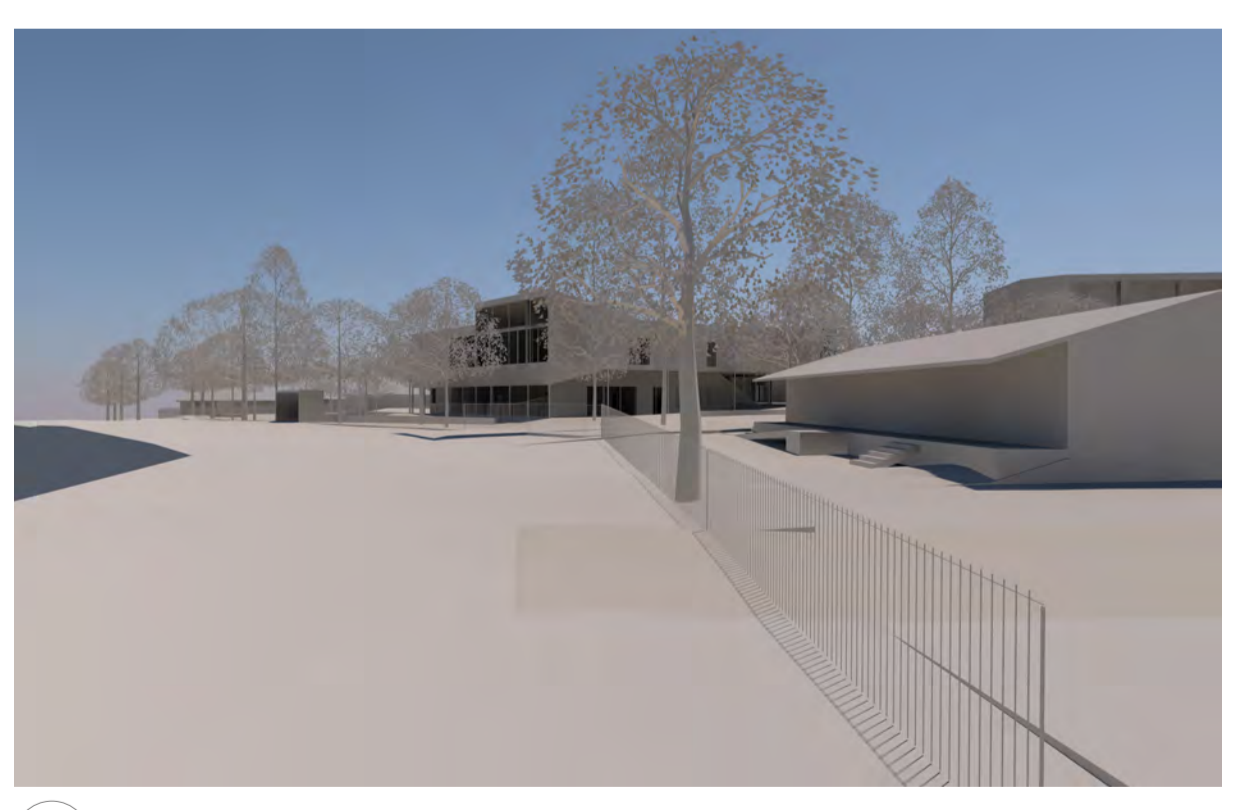
6 SECTION 3
1:200



10 VIEW FROM 74 SOUTH CREEK RD NEIGHBOUR VIEW FROM WINDOW - WEST
NOTE: WINDOW IDENTIFIED THROUGH SURVEY PREPARED BY C.M.S. SURVEYOR. EYE HEIGHT ASSUMED APPROX. 600mm ABOVE WINDOW SILL. REFER ACOUSTIC ENGINEER FOR FENCE SPECIFICATION



8 SOUTH CREEK RD - STREET VIEW - WEST



9 SOUTH CREEK RD - STREET VIEW - EAST

LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FBGS	GLAZED FACE BRICK SCREEN
BG	ROCK GUTTER	JG	JOINERY UNIT
BR	BRICK	LO-1	EXTERNAL LOUVRES - RETRACTABLE
BALUS	STEEL BALUSTRADE	LO-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW	BLOCKWORK	MAT	ENTRY MAT
EXFL	EXISTING FLOORING	MC	METAL CLADDING
CONC	CONCRETE	MR	METAL ROOFING
CPT	CARPET	PM	PERFORATED METAL
CT	CERAMIC TILE	RF	RUBBER FLOORING
DN	DOWNPIPE	RWO	RAINWATER OUTLET
EXT	EXISTING	SC	STEEL COLUMN
FG-1	FIBRE CEMENT FLOORING	SK	SKYLIGHT
FG	FIBRE GLASS	TD	TIMBER DOOR JOINERY
FR	FIBROSE	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

LEGEND

—	EXISTING ELEMENTS TO BE RETAINED
- - -	EXISTING ELEMENTS TO BE DEMOLISHED
■	PROPOSED NEW WORKS

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

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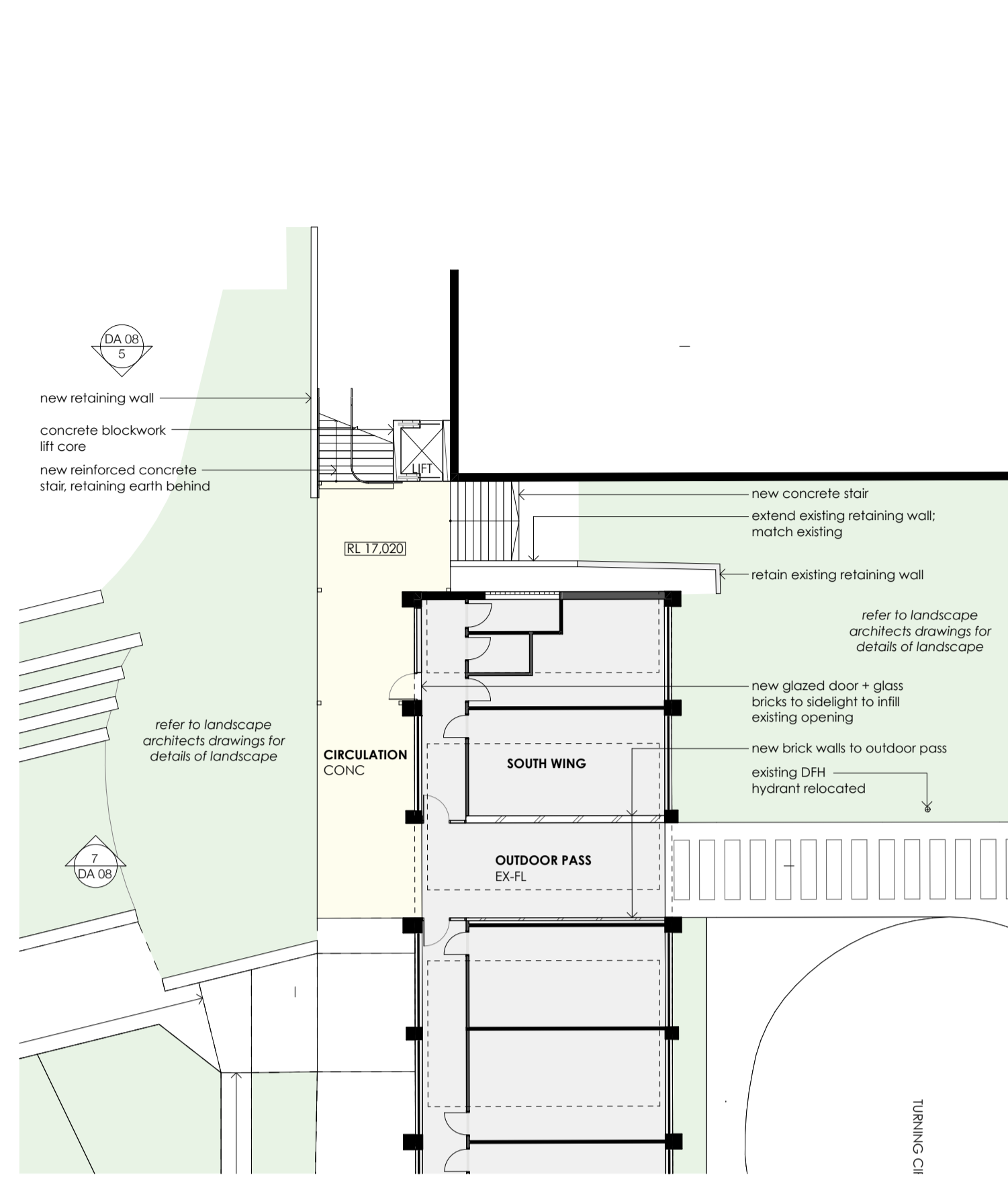
FOR The Pittwater House Schools

NO	REV	TITLE	PHASE	SCALE	DATE
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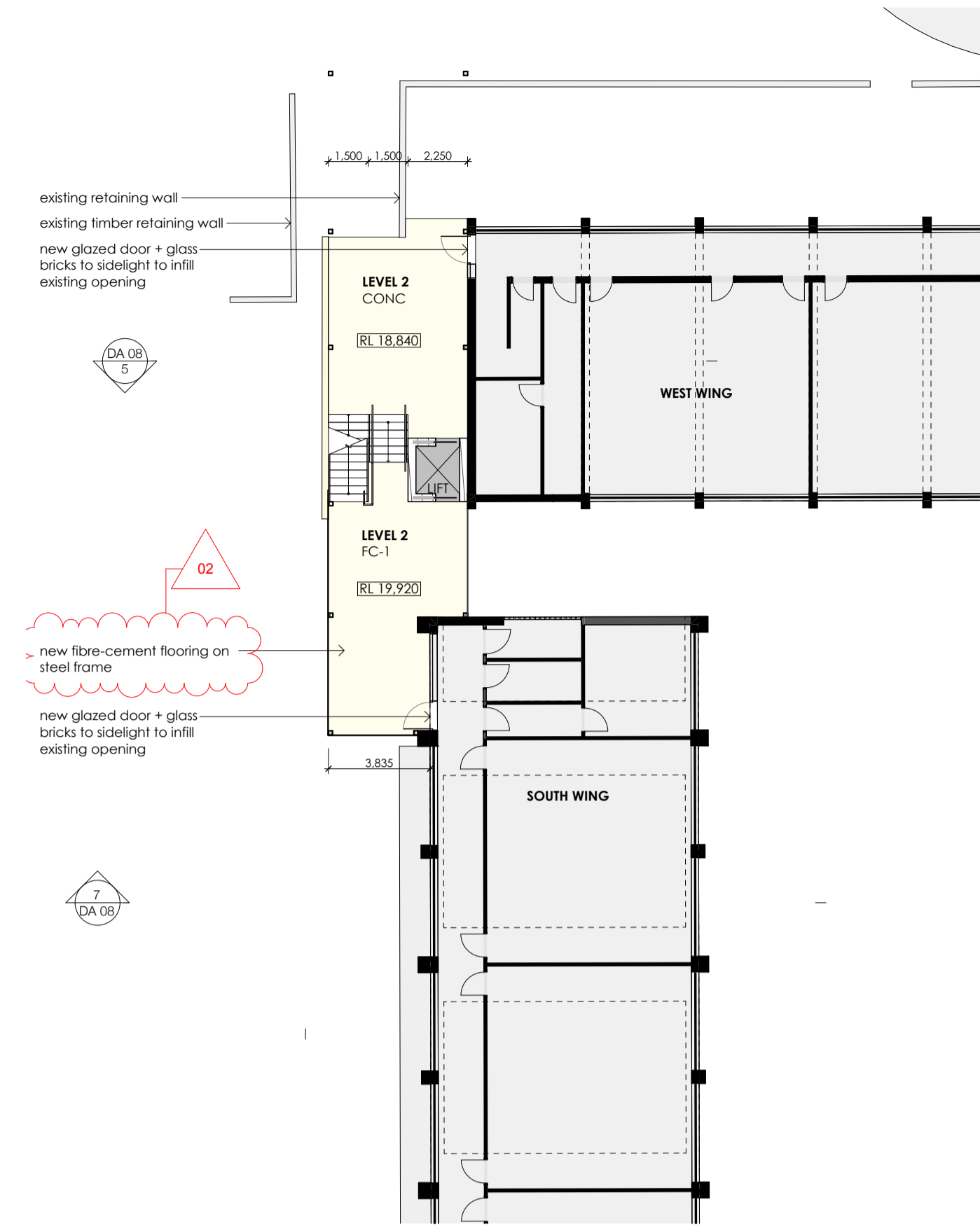
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NOTE: TREES REMOVED AND LANDSCAPE SIMPLIFIED FOR CLARITY. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LAYOUT, SPECIFICATION AND DETAIL

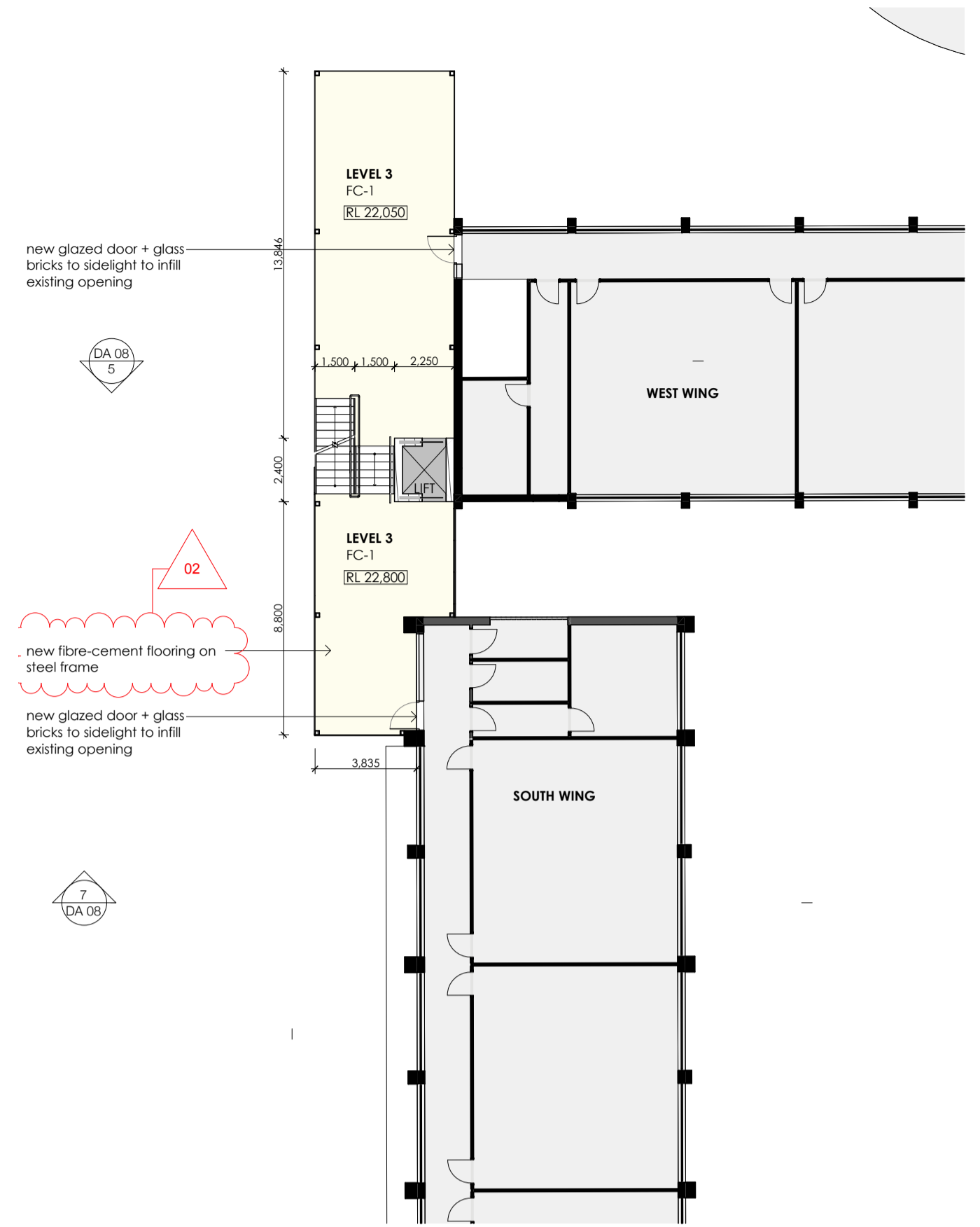
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L1 9 ROSLIN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT: RACHEL NEESON No. 6692



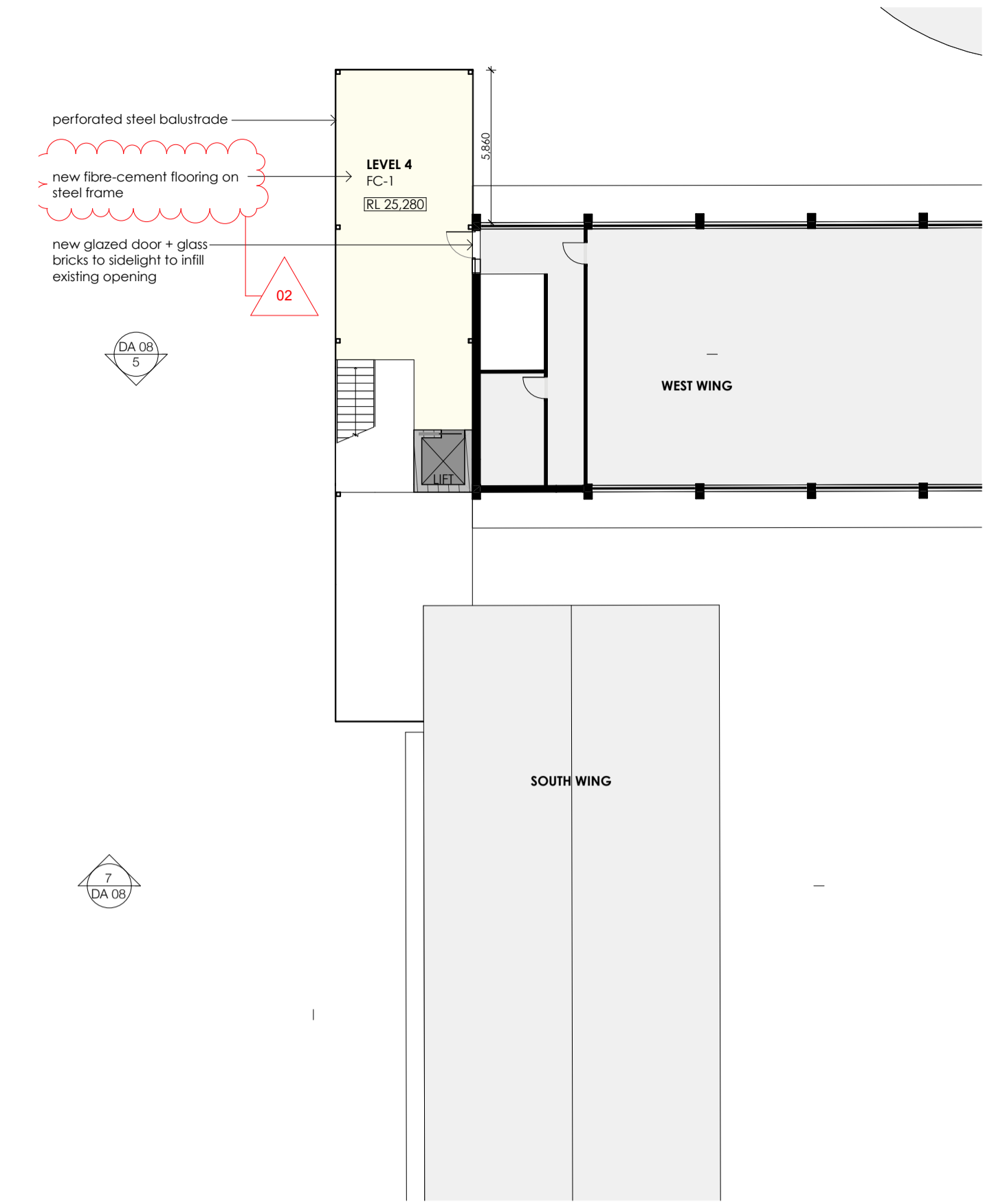
1 GA LEVEL 1
1:200



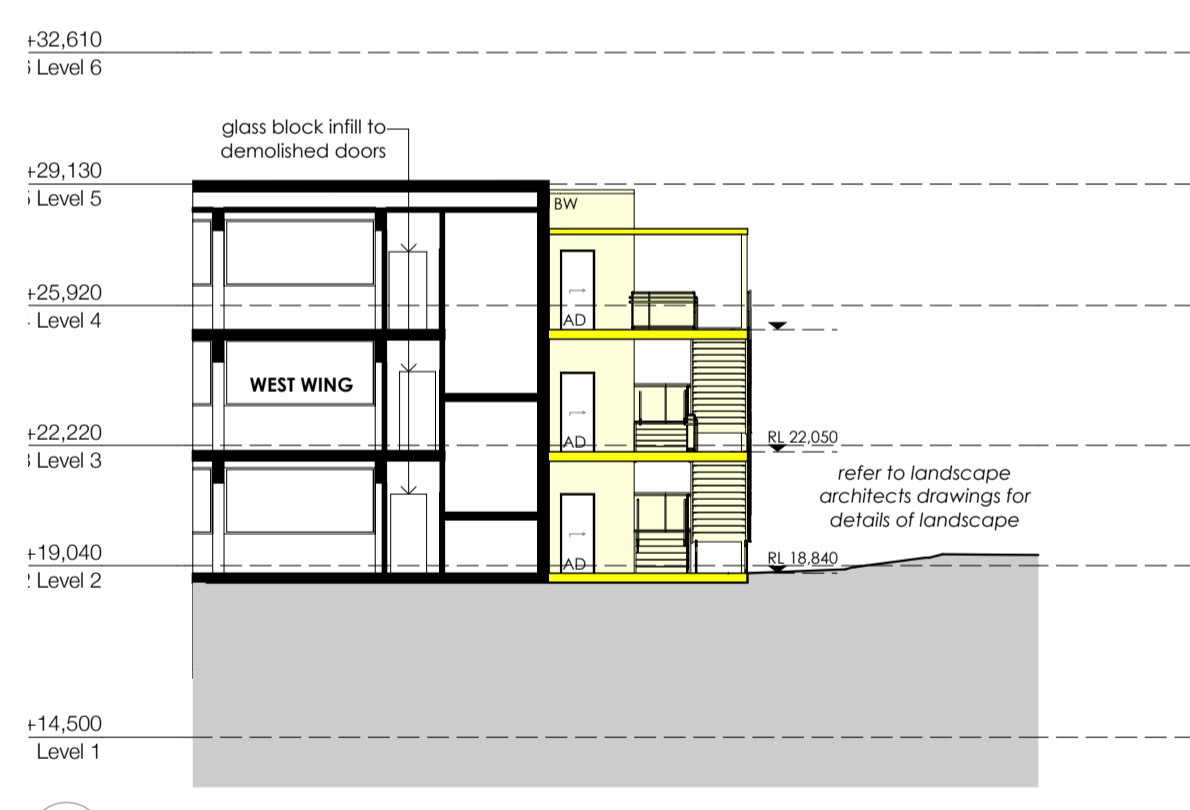
2 GA LEVEL 2
1:200



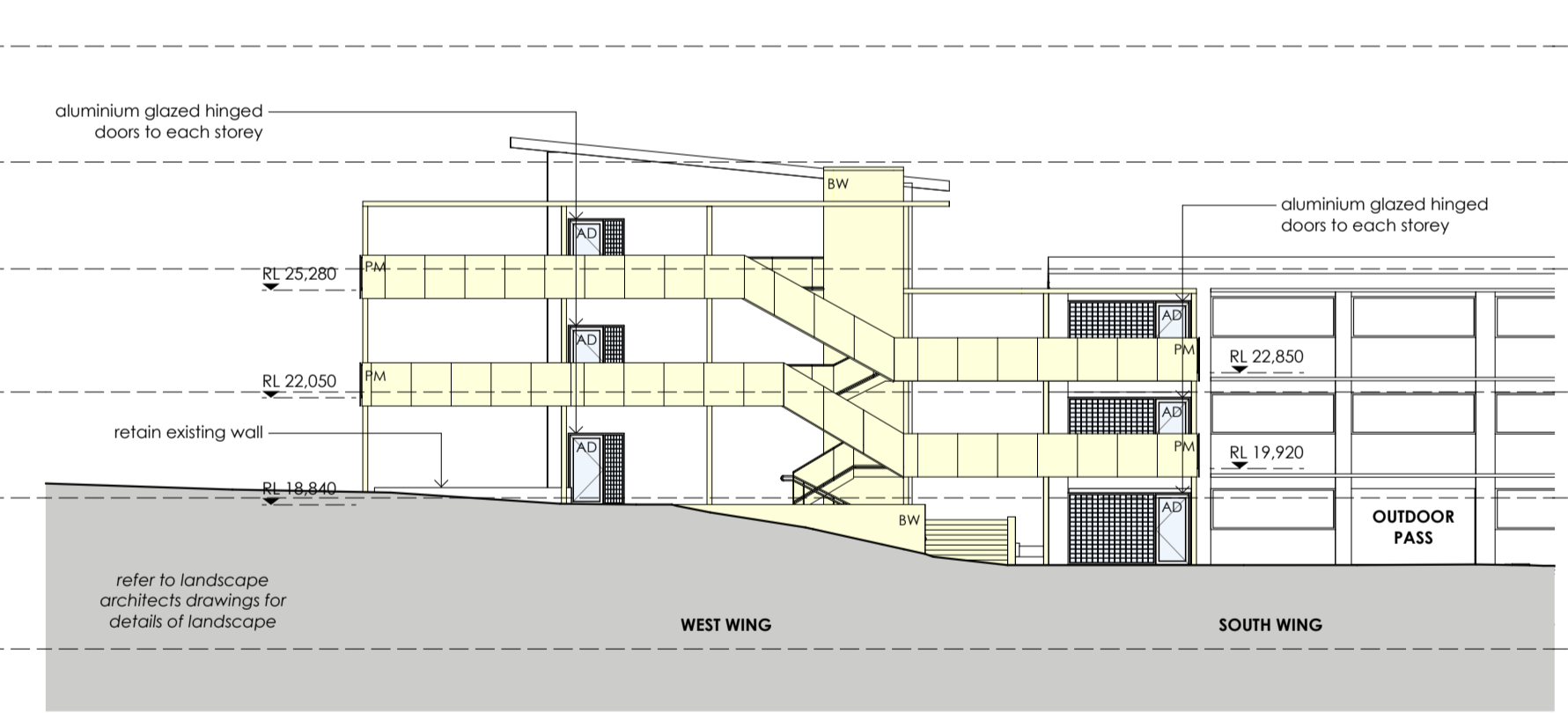
3 GA LEVEL 3
1:200



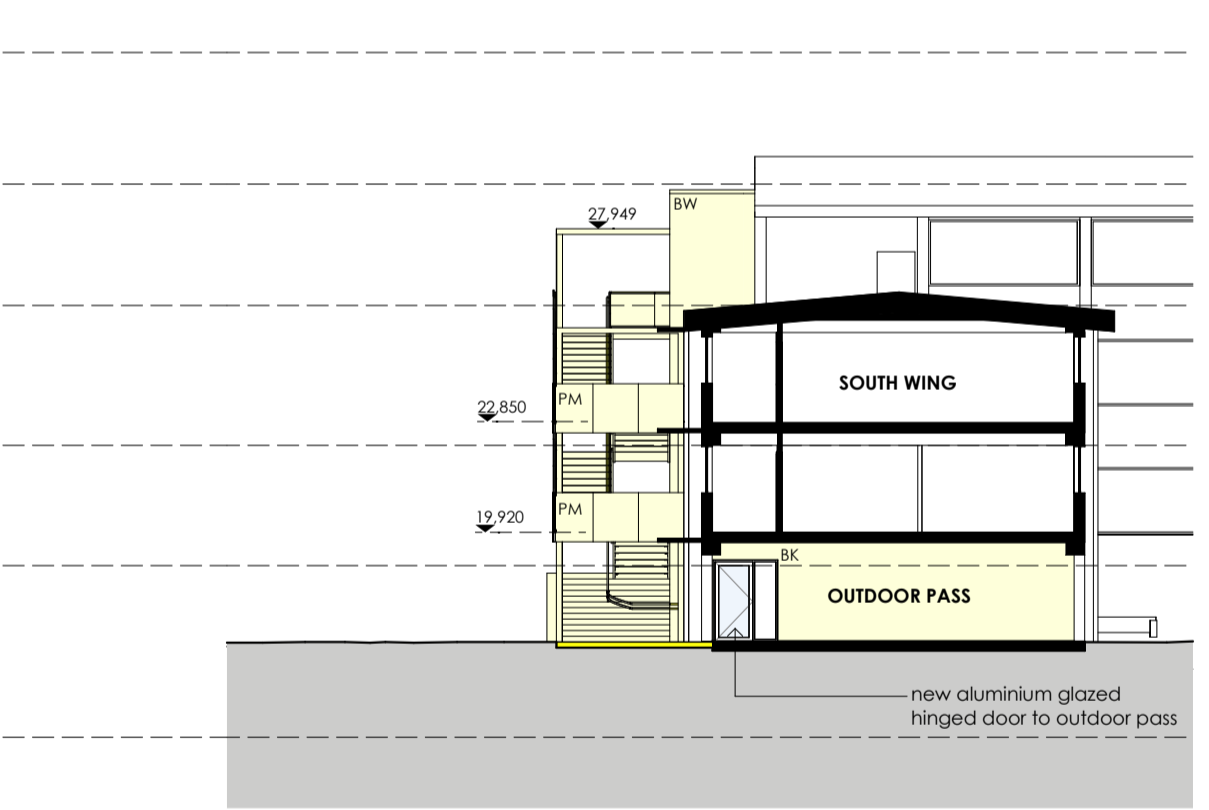
4 GA LEVEL 4
1:200



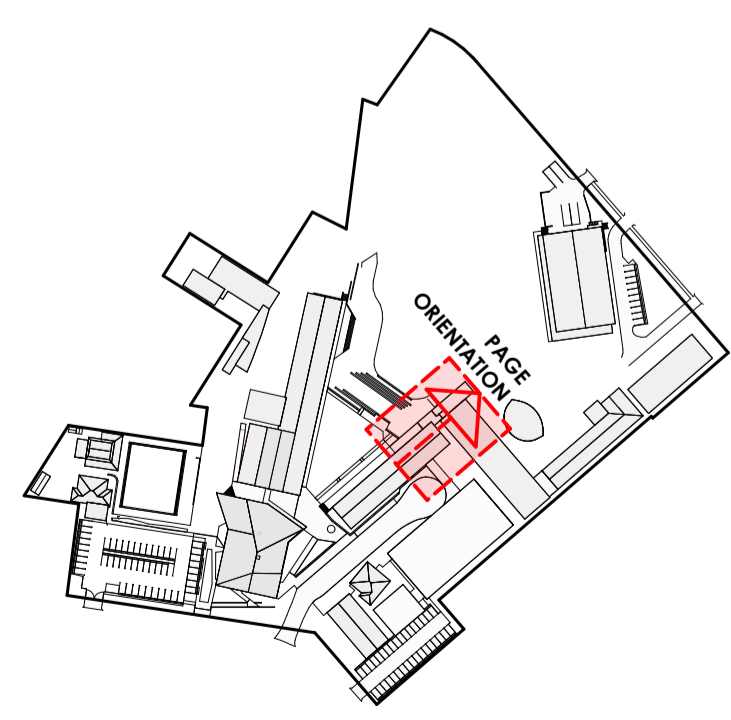
5 WEST WING SECTION
1:200



6 ELEVATION
1:200



7 SOUTH WING SECTION
1:200



LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
BS	ROCK SITTER	JG	JOINERY UNIT
BR	BRICK	LD-1	EXTERNAL LOUVRES - RETRACTABLE
BSL	STEEL BALUSTRADE	LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW	BLOCKWORK	MA	ENTRY MAT
EX-FL	EXISTING FLOORING	MC	METAL CLADDING
CONC	CONCRETE	MR	METAL ROOFING
CPT	CARPET	PM	PERFORATED METAL
CT	CERAMIC TILE	RF	RUBBER FLOORING
DP	DOWNSPIPE	RWD	RAINWATER OUTLET
EXT	EXISTING	SC	STEEL COLUMN
FC-1	FIBRE CEMENT FLOORING	SK	SIDLIGHT
FG	FRIED GLASS	TD	TIMBER DOOR JOINERY
FR	FRISSOR	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

LEGEND

—	EXISTING ELEMENTS TO BE RETAINED
- - -	EXISTING ELEMENTS TO BE DEMOLISHED
—	PROPOSED NEW WORKS
—	ADMINISTRATION/STAFF
—	STUDENT LEARNING
—	STUDENT SERVICES
—	EXTERNAL + CIRCULATION

ISSUE	DATE	REVISION
01	31/10/19	DA Issue
02	5/2/20	DA Revision

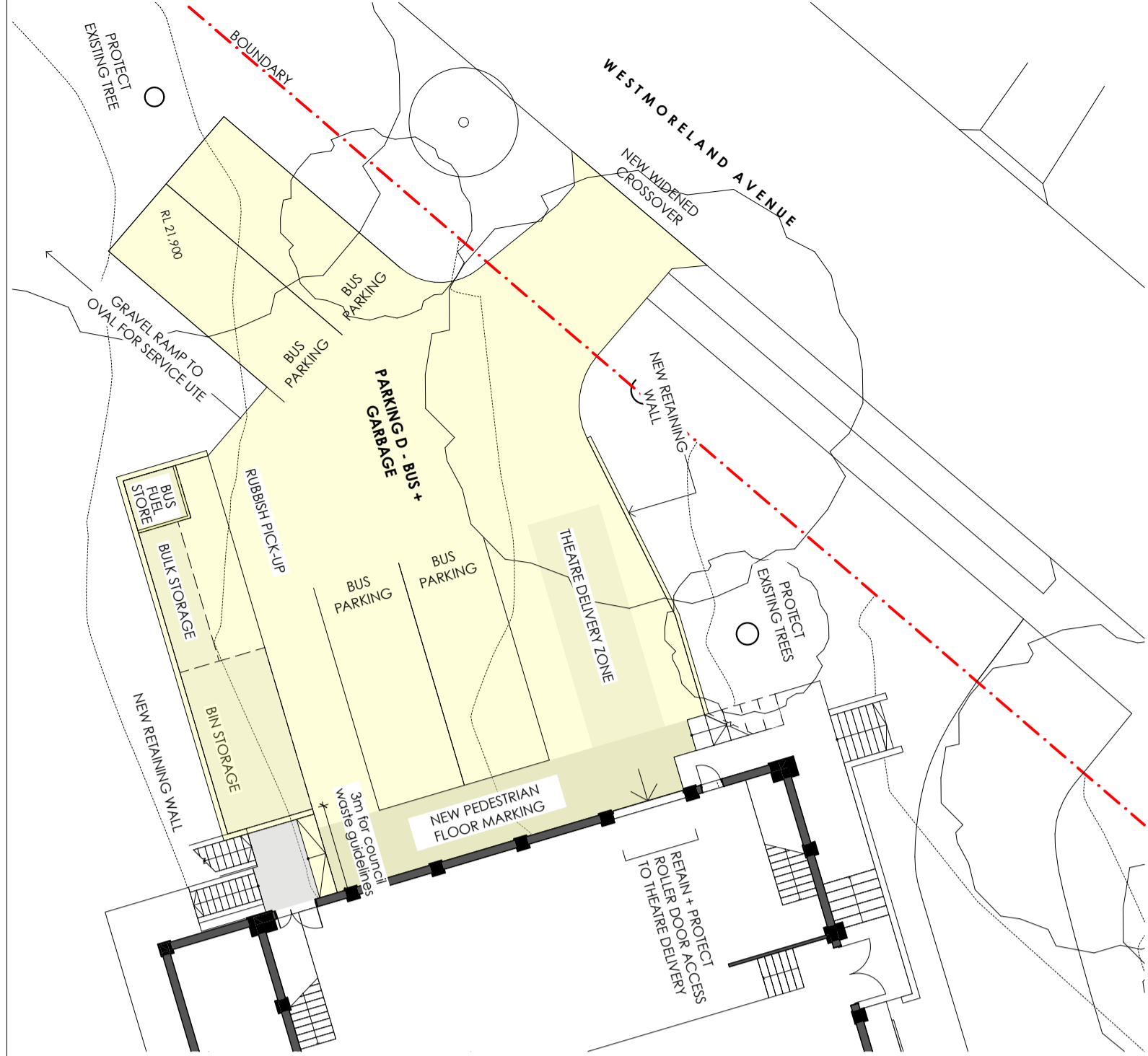
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NOMINATED ARCHITECT: RACHEL NEESON No. 6692

FOR The Pittwater House Schools		PHASE	SCALE	DATE
NO	REV	TITLE		
DA 08	02	SOUTH + WEST WING UNIVERSAL CORE PLANS	DA	11/5/20
			1:200 @A1	

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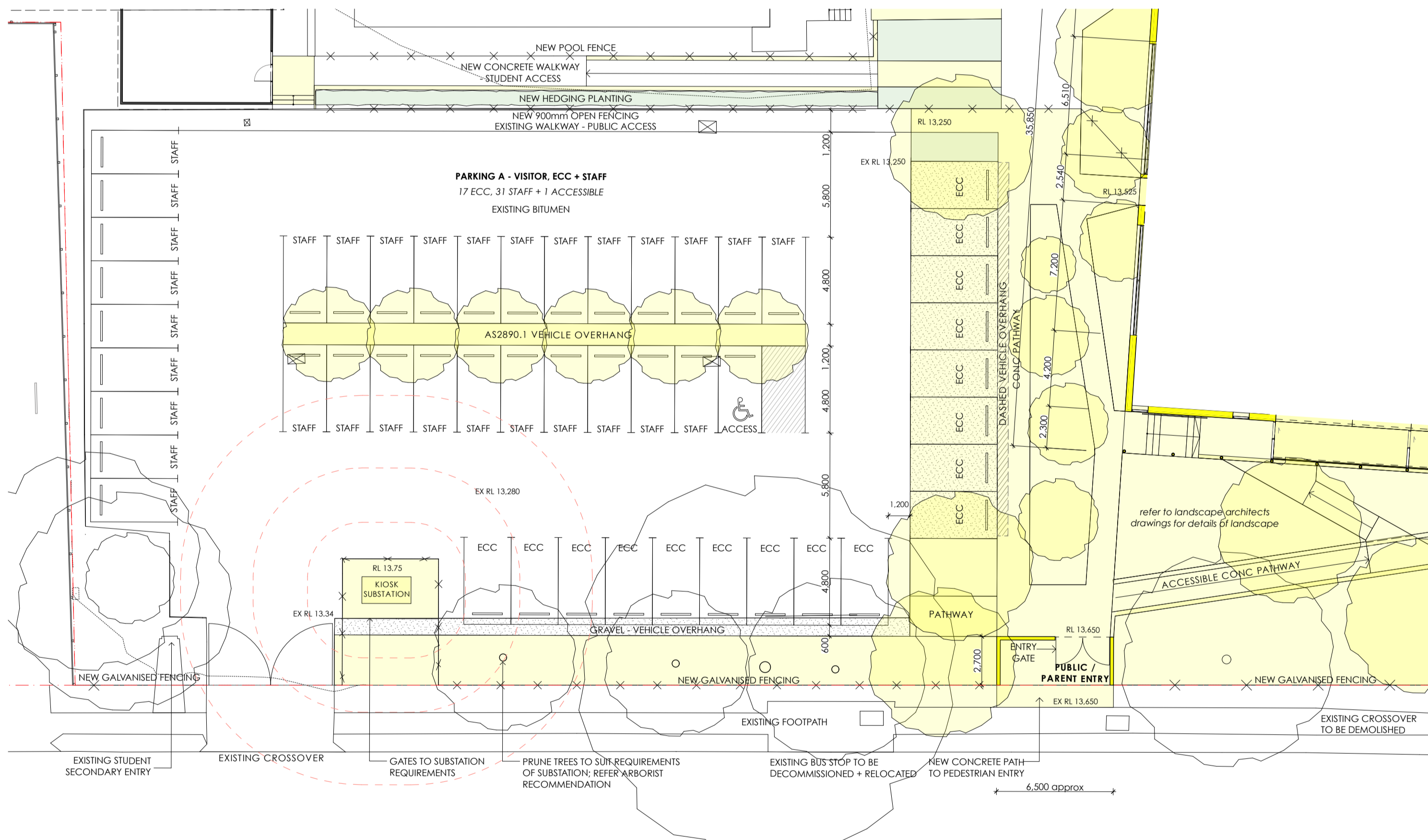


CARPARKING SUMMARY EXISTING			
Vehicle	Area	Stage	No.
BUS PARKING	PARKING B	To Be Demolished	4
			4
ECC	PARKING A	To Be Demolished	14
			14
STAFF	PARKING A	To Be Demolished	35
	PARKING C	Existing	10
	PARKING E	Existing	8
			53
			71

NOTE
PLEASE REFER TO TRAFFIC ENGINEER REPORT FOR DETAILS
OF TRAFFIC + PARKING PROPOSAL

CARPARKING SUMMARY PROPOSED			
Vehicle	Area	Stage	No.
ACCESS	PARKING A	New	1
			1
BUS PARKING	PARKING D	New	4
			4
ECC	PARKING A	New	17
			17
KISS + DROP	KISS + DROP	New	5
			5
STAFF	PARKING A	New	31
	PARKING B	New	21
	PARKING C	Existing	10
	PARKING E	Existing	8
			70
STAFF SMALL	PARKING B	New	12
			12
			109

1 PARKING D - BUS + GARBAGE
1:200



2 PARKING A, B + KISS & DROP ZONE
1:200

LEGEND	
AD	ALUMINUM DOOR
AW	ALUMINUM WINDOW
BS	BRICK
BSL	STEEL BALUSTRADE
BWL	BLOCKWORK
EXFL	EXISTING FLOORING
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
EXT	EXISTING
FC-1	FIBRE CEMENT FLOORING
FG	FRIED GLASS
FR	FRODO
FW	FLOOR WASTE
FBG	GLAZED FACE BRICK
HGS	HONEY COMB
LD-1	EXTERNAL LOUVRES - RETRACTABLE
LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
ENT	ENTRY MAT
MC	METAL CLADDING
MR	METAL ROOFING
PER	PERFORATED METAL
RF	RUBBER FLOORING
RWD	RANKWATER OUTLET
SC	STEEL COLUMN
SK	SKYLIGHT
TD	TIMBER DOOR JOINERY
TW	TIMBER WINDOW JOINERY

LEGEND	
[Grey Box]	EXISTING ELEMENTS TO BE RETAINED
[Red Dashed Box]	EXISTING ELEMENTS TO BE DEMOLISHED
[Yellow Box]	PROPOSED NEW WORKS

ISSUE	DATE	REVISION
01	31/10/19	DA Issue
02	11/5/20	DA Revision

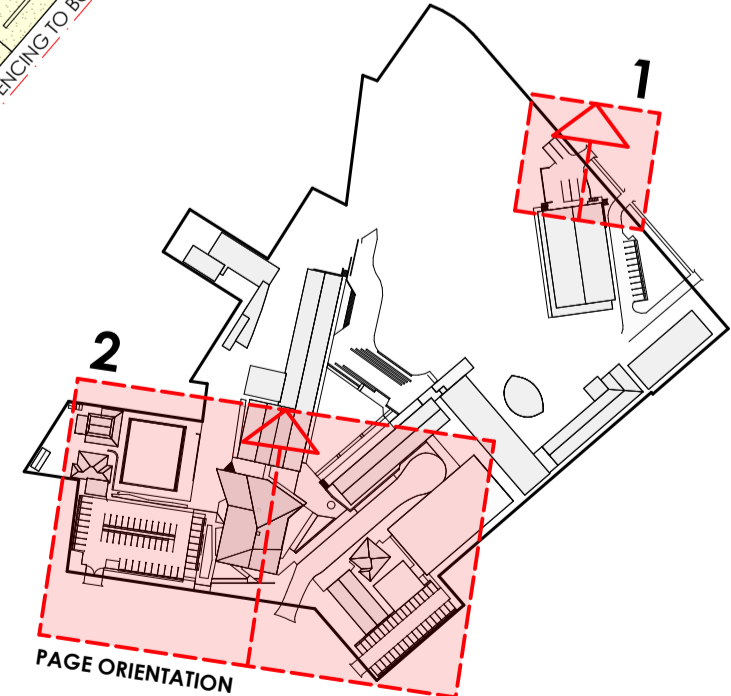
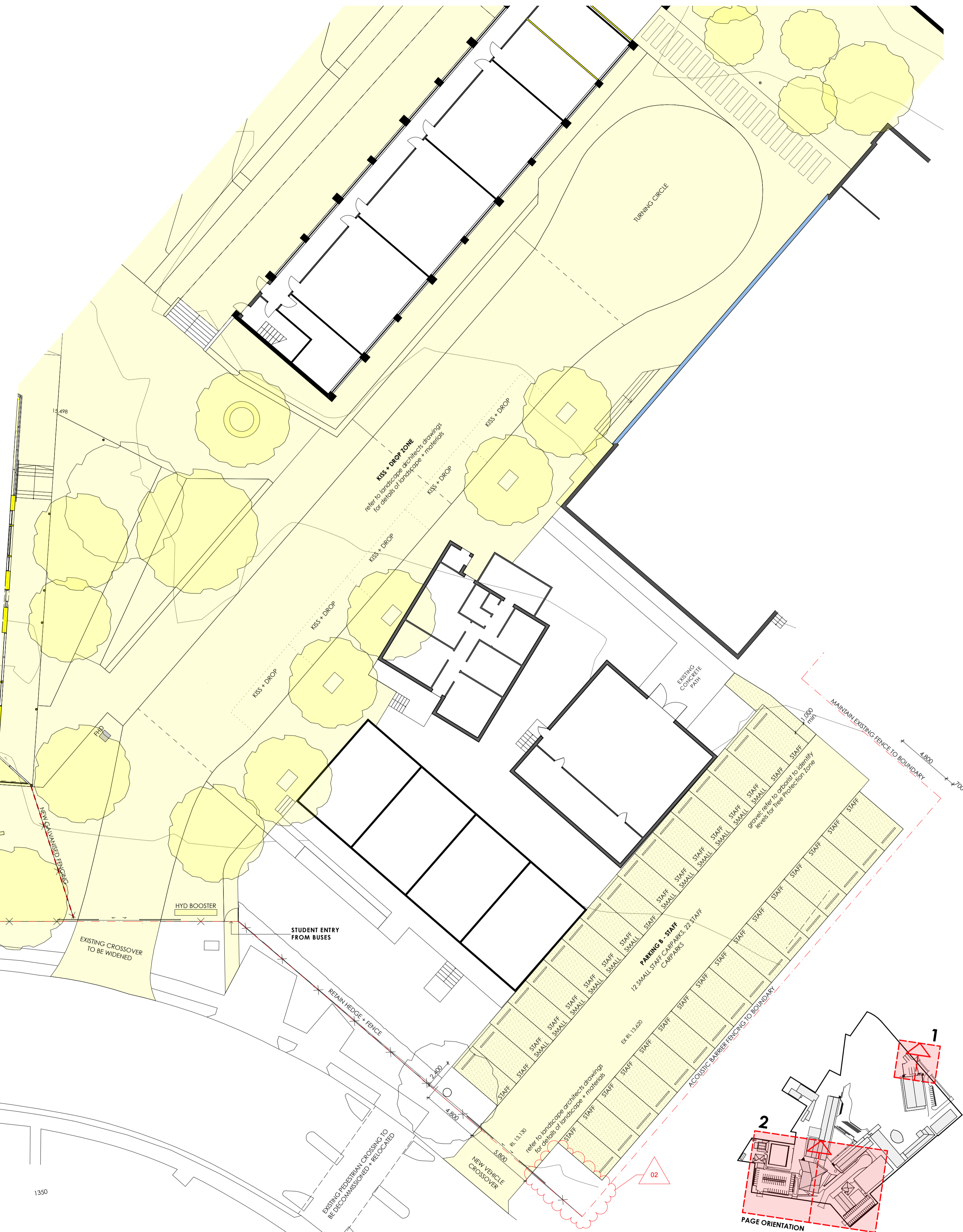
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NOMINATED ARCHITECT: RACHEL NEESON No. 6692

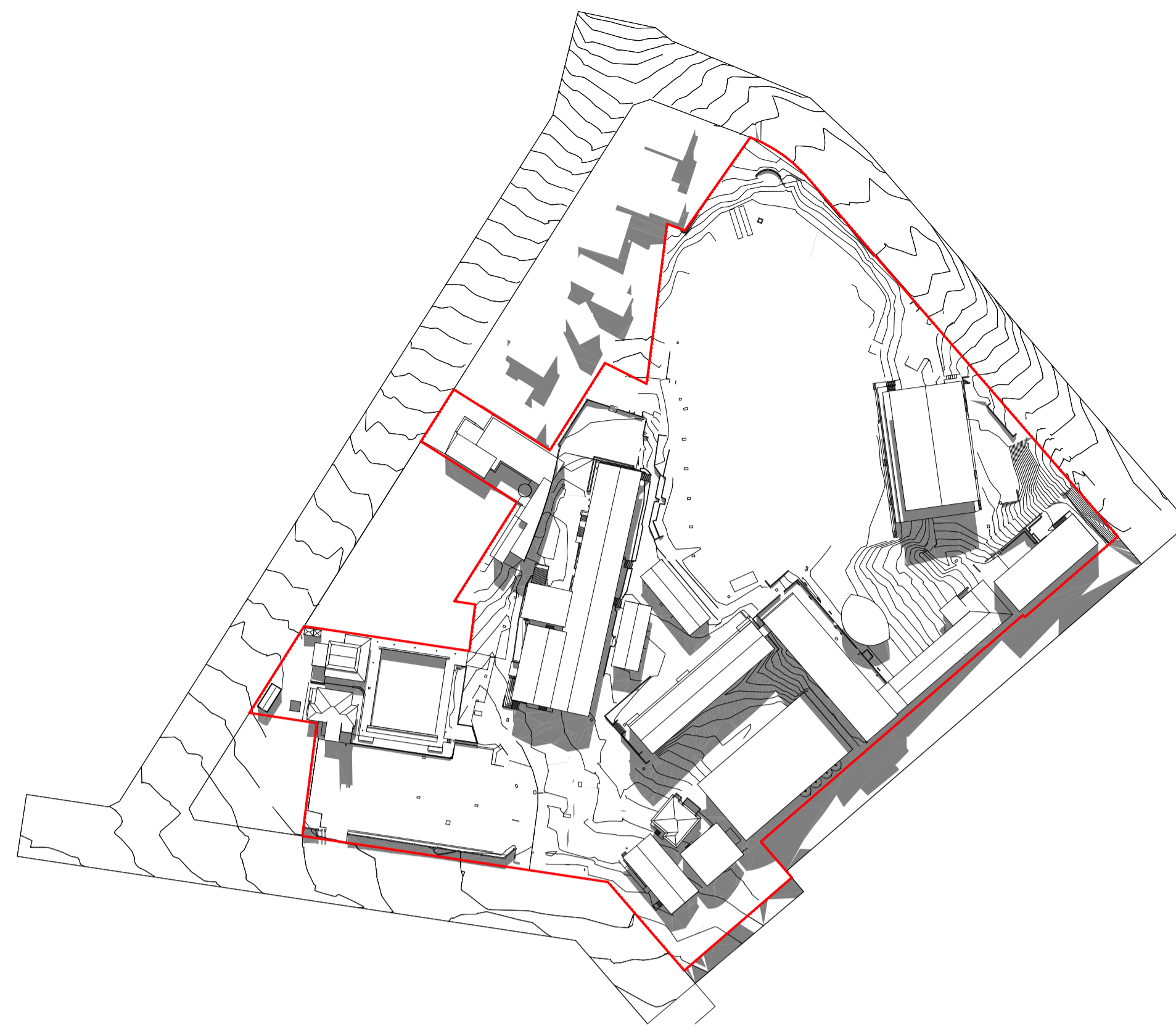
NO	REV	TITLE	PHASE	SCALE	DATE
DA 09	03	TRAFFIC	DA	1:200 @A1	11/5/20

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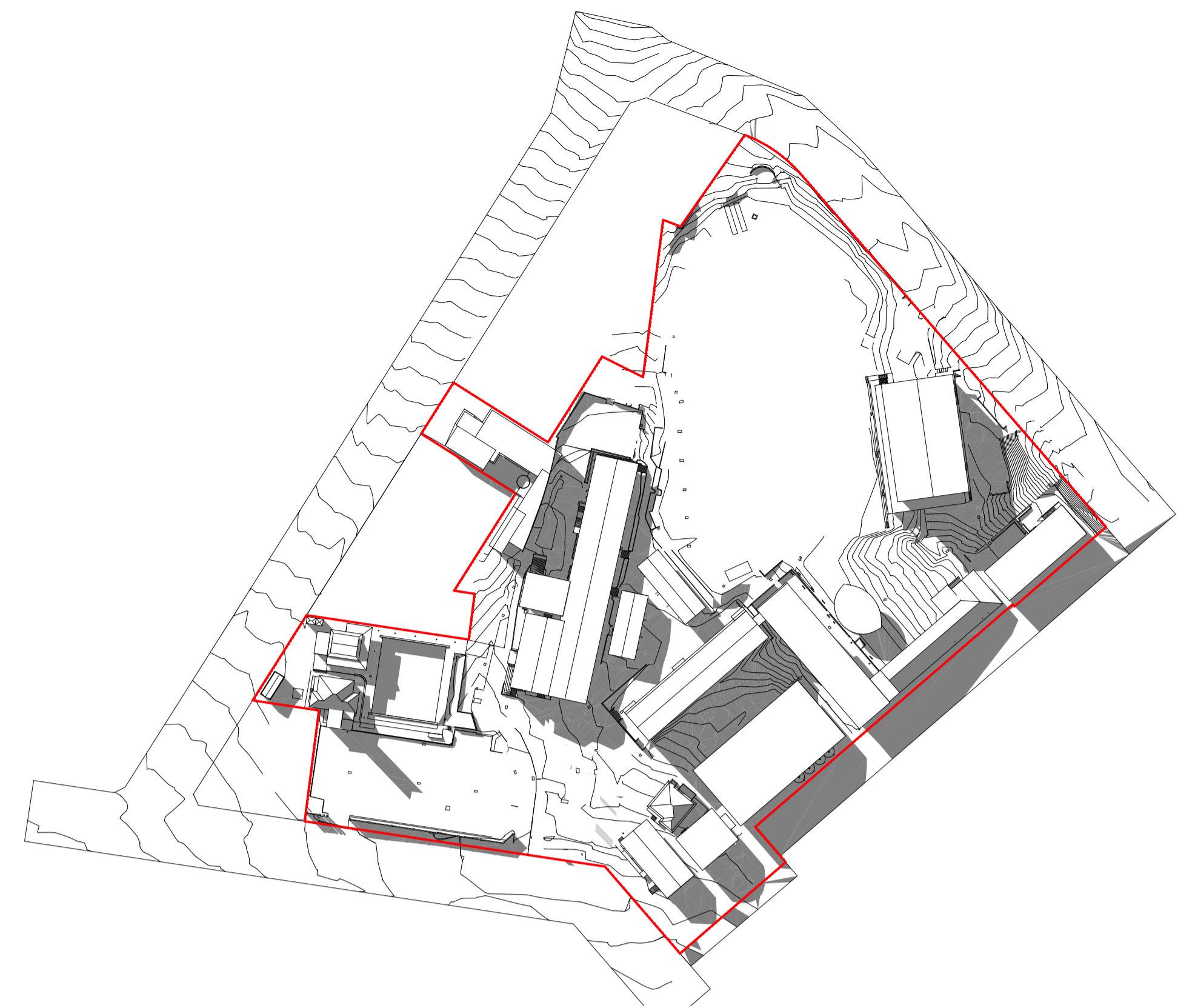




1 EXISTING - JUNE 21 - 9AM
1:1500



3 EXISTING - JUNE 21 - 12PM
1:1500



5 EXISTING - JUNE 21 - 03PM
1:1500



2 PROPOSED - JUNE 21 - 9AM
1:1500



4 PROPOSED - JUNE 21 - 12PM
1:1500



6 PROPOSED - JUNE 21 - 3PM
1:1500

LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
BG	ROCK GUTTER	JG	JOINERY JOINT
BR	BRICK	LD-1	EXTERNAL LOUVRES - RETRACTABLE
BALUS	STEEL BALUSTRADE	LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW	BLOCKWORK	MA	METAL CLADDING
EXFL	EXISTING FLOORING	MC	METAL ROOFING
CONC	CONCRETE	MR	METAL ROOFING
CT	CERAMIC TILE	PA	PERFORATED METAL
CTP	CARPET	RF	RUBBER FLOORING
DR	DRAINPIPE	RWD	RAINWATER OUTLET
EXT	EXISTING	SC	STEEL COLUMN
FG-1	FIBRE CEMENT FLOORING	SK	SKYLIGHT
FG	FIBRE GLASS	TD	TIMBER DOOR JOINERY
FR	FLOOR	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

LEGEND

	EXISTING ELEMENTS TO BE RETAINED
	EXISTING ELEMENTS TO BE DEMOLISHED

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

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NOMINATED ARCHITECT - RACHEL NEESON No. 6692

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DA 10	01	SHADOW DIAGRAMS	DA	1:1500 @A1	11/5/20

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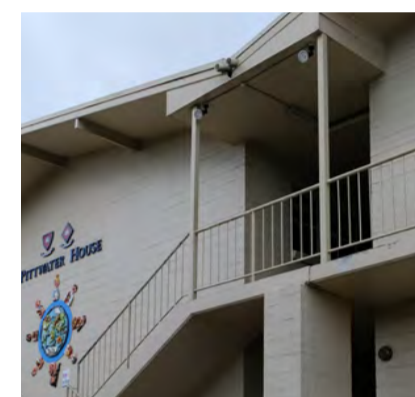


EXISTING

M-BLOCK



Painted brick walls
Surfmist corrugated metal roof

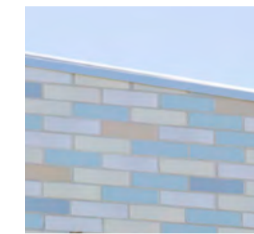


PROPOSED

LIBRARY + STUDENT SERVICES BUILDING

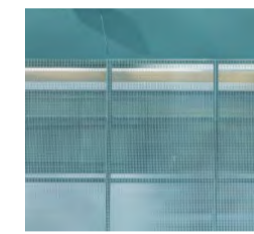


MR
MC
Metal Deck Roofing / Claddin White



FBG
Face Glazed Brick

FBGS
Face Glazed Brick Screen

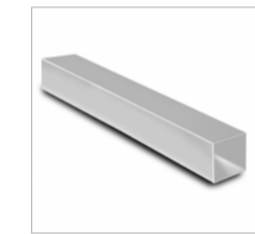


PM
Perforated Metal Screen
Powdercoat/ Paint finis



TD
TW
Timber Doors & Windows
Accoya, clear finis

Glazing
Clear



AD
AW
Aluminium Doors & Windows
Clear finished, anodise

Glazing
Clear



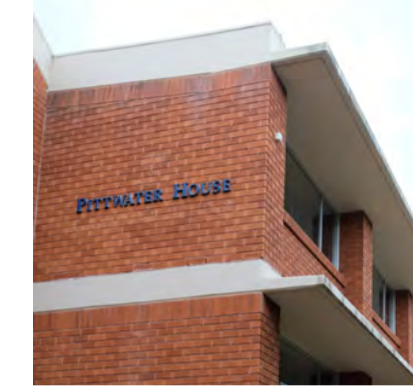
LO-1
External Louvres - Adjustable
Powdercoat White



LO-2
External Louvres - Fixed
Powdercoat White

EXISTING

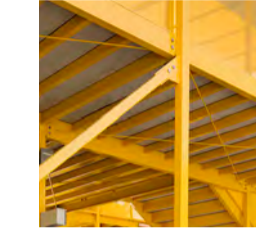
SOUTH + WEST WING



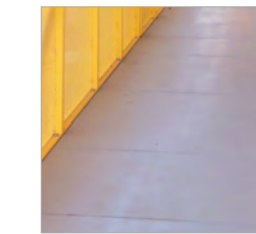
Face brick walls
Painted concrete

PROPOSED

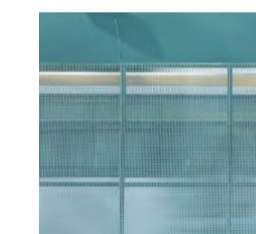
SOUTH + WEST WING UNIVERSAL CORE



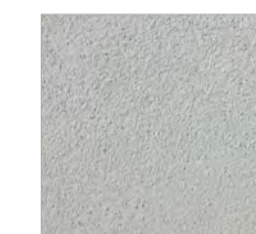
Exposed Steel Frame Structure
Powdercoat/ Paint finis



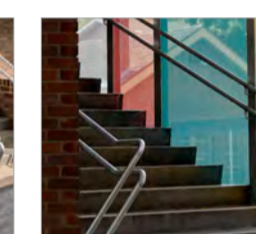
FC-1
Fibre Cement Flooring



PM
Perforated Metal Screen Balustrade
Powdercoat/ Paint finis



BW
Blockwork
Render + Paint Finish



Concrete stairs

NOTE:
REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE MATERIALS AND FINISHES

LEGEND

AD ALUMINIUM DOOR	FBG GLAZED FACE BRICK
AW ALUMINIUM WINDOW	FBGS GLAZED FACE BRICK SCREEN
BG ROOF GUTTER	JB JOINERY GHE
BR BRICK	LO-1 EXTERNAL LOUVRES - RETRACTABLE
BS STEEL BALUSTRADE	LO-2 EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW BLOCKWORK	MA ENTRY MAT
EXFL EXISTING FLOORING	MC METAL CLADDING
CONC CONCRETE	MR METAL ROOFING
CT CARPET	PM PERFORATED METAL
CT CERAMIC TILE	RF RUBBER FLOORING
DN DOWNPIPE	RWO RAINWATER OUTLET
EXT EXISTING	SC STEEL COLUMN
FG-1 FIBRE CEMENT FLOORING	SK SKYLIGHT
FG FRIED GLASS	TD TIMBER DOOR JOINERY
FR FRISSOR	TW TIMBER WINDOW JOINERY
FW FLOOR WASTE	

LEGEND

EXISTING ELEMENTS TO BE RETAINED
EXISTING ELEMENTS TO BE DEMOLISHED

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

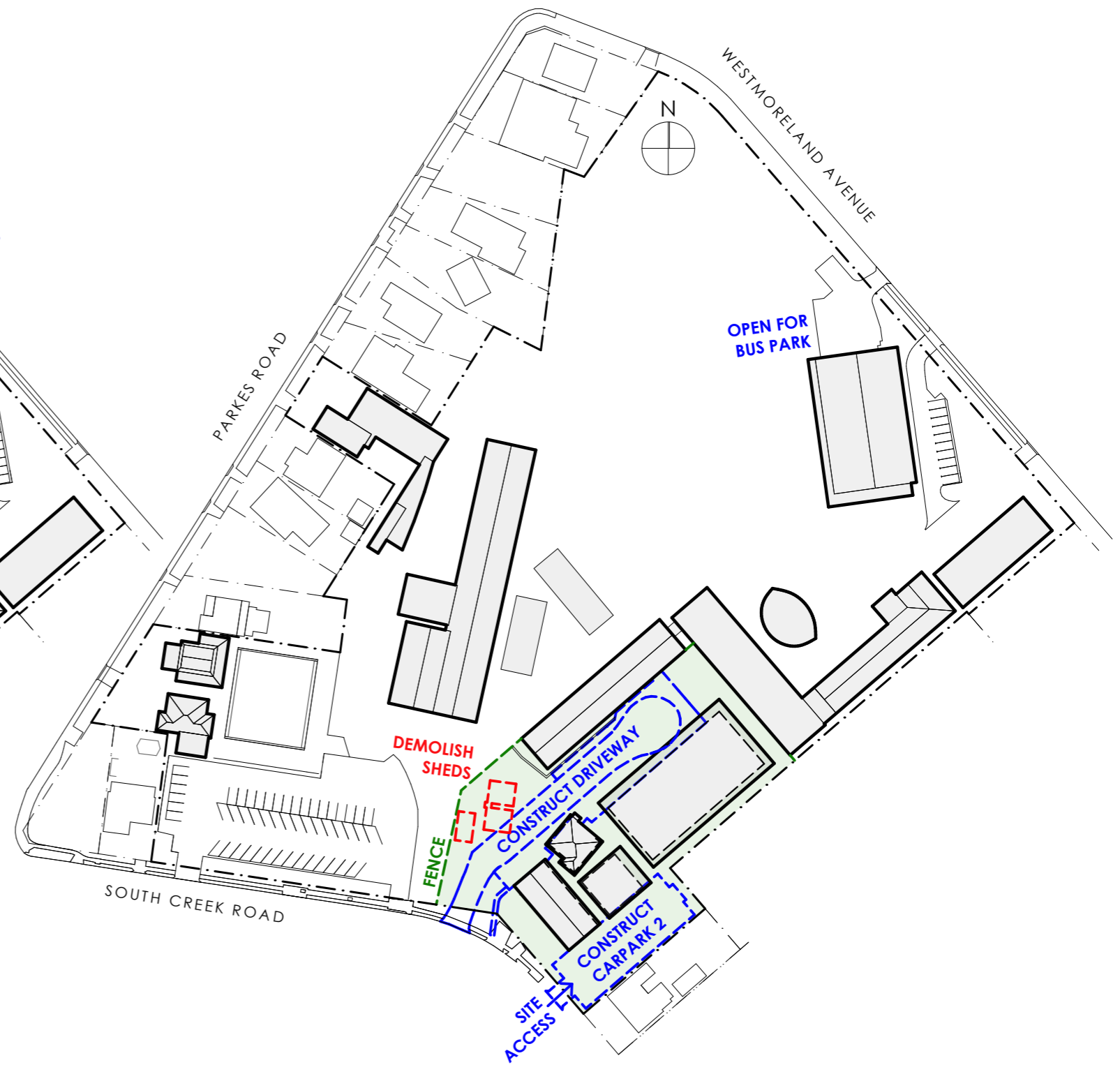
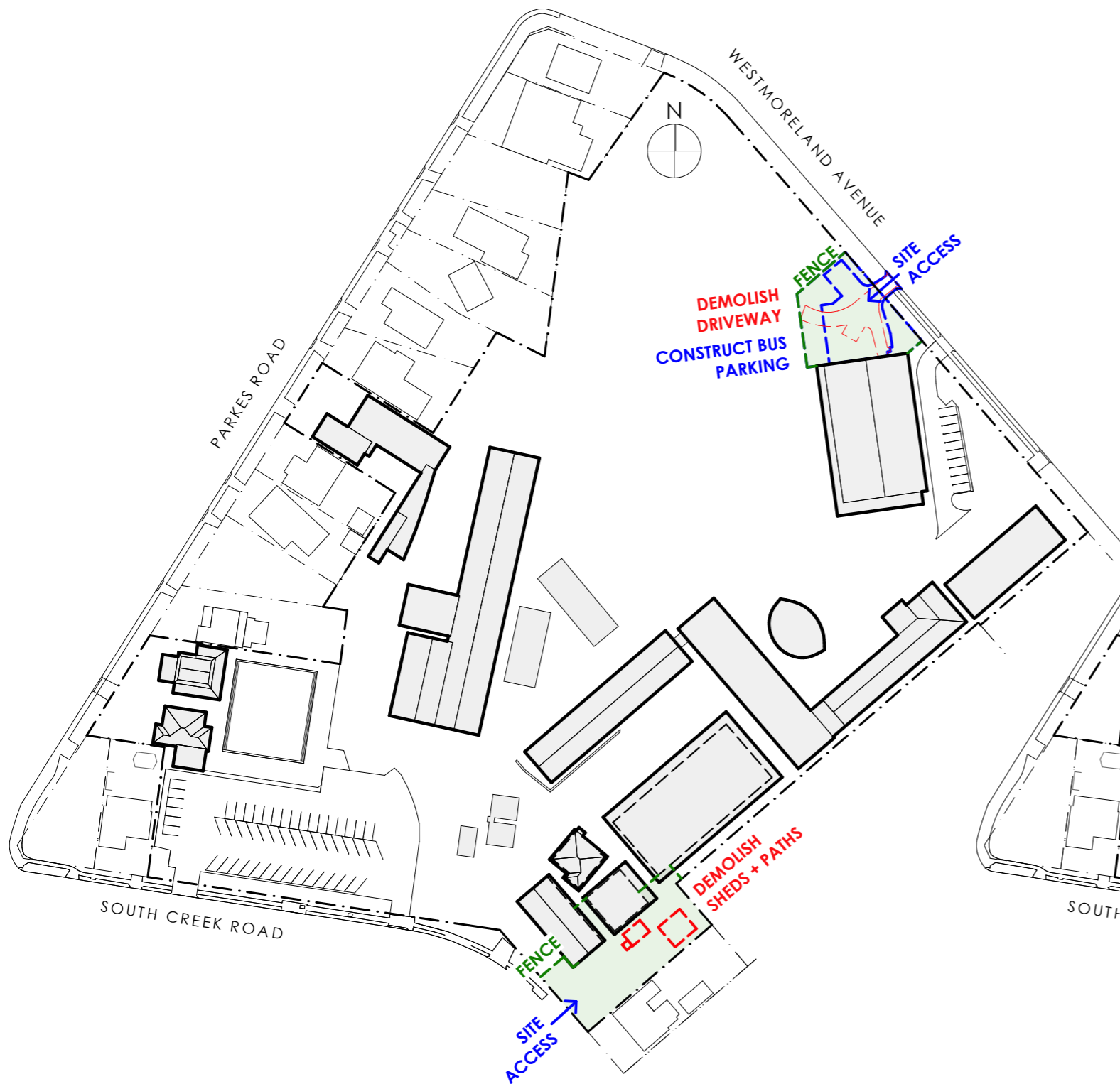
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NEESON MURCUTT ARCHITECTS PTY LTD
L1 9 ROSLIN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT : RACHEL NEESON No. 6692

FOR The Pittwater House Schools				
NO	REV	TITLE	PHASE	SCALE
DA 11	01	SCHEDULE OF COLOURS AND MATERIALS	DA	@A1
				11/5/20

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1 Construction Methodology Plan 1
1:1500

2 Construction Methodology Plan 2
1:1500

- COMPLY WITH RELEVANT AUTHORITIES REQUIREMENTS
- COMPLY WITH THE BUILDING CODE OF AUSTRALIA
- COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS
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- USE FIGURES DIMENSIONS ONLY
- DO NOT SCALE
- IF DISCREPANCY EXISTS NOTIFY ARCHITECT
- COS - CONFIRM ON SITE
- IF IN DOUBT ASK

LEGEND	
AD	ALUMINIUM DOOR
AW	ALUMINIUM WINDOW
BG	BOX GUTTER
BK	BRICK
BT	STEEL BALUSTRADE
BW	BLOCKWORK
EX-FL	EXISTING FLOORING
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
EXT	EXISTING
FG	FIXED GLASS
FR	FRIEDGE
FW	FLOOR WASTE
GBK	GLAZED BRICK
GBS	GLAZED BRICK SCREEN
JU	JOINERY UNIT
LO	EXTERNAL LOUVRES - RETRACTABLE
MAT	ENTRY MAT
MC	METAL CLADDING
MR	METAL ROOFING
PM	PERFORATED METAL
RF	RUBBER FLOORING
RWO	RAINWATER OUTLET
SC	STEEL COLUMN
TD	TIMBER DOOR JOINERY
TW	TIMBER WINDOW JOINERY

LEGEND	
	EXISTING ELEMENTS TO BE RETAINED
	EXISTING ELEMENTS TO BE DEMOLISHED

CAD File: 1801_PITT_STAGE 01

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

DRAWN BY KH CHECKED BY KH
IF ISSUE IS INITIALED AS CHECKED DRAWING CAN BE CONSIDERED APPROVED UNDER NMA QUALITY MANAGEMENT SYSTEM

The Pittwater House Schools
70 South Creek Rd, Collaroy NSW 2097
FOR **The Pittwater House Schools**

NEESON MURCUTT ARCHITECTS PTY LTD
L2 9 ROSLYN ST. POTTS POINT 2011 T. 8297 3590 F. 8297 3510
NOMINATED ARCHITECT: RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 13.1	01	CONSTRUCTION METHODOLOGY	DA	1:1500 @A3	11/5/20

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SCHOOL HOLIDAY WORKS



1 Construction Methodology Plan 3
1:1500

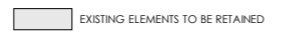

2 Construction Methodology Plan 4
1:1500

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LEGEND

AD ALUMINIUM DOOR	FG FIXED GLASS	RWO RAINWATER OUTLET
AW ALUMINIUM WINDOW	FR FRIDGE	SC STEEL COLUMN
BG BOX GUTTER	FW FLOOR WASTE	TD TIMBER DOOR JOINERY
BK BRICK	GBK GLAZED BRICK	TW TIMBER WINDOW JOINERY
BT STEEL BALLUSTRADE	GBS GLAZED BRICK SCREEN	
BW BLOCKWORK	JU JOINERY UNIT	
EX-FL EXISTING FLOORING	LO EXTERNAL LOUVRES - RETRACTABLE	
CONC CONCRETE	MAT ENTRY MAT	
CPT CARPET	MC METAL CLADDING	
CT CERAMIC TILE	MR METAL ROOFING	
DP DOWNPIPE	PM PERFORATED METAL	
EXT EXISTING	RF RUBBER FLOORING	

LEGEND

 EXISTING ELEMENTS TO BE RETAINED
 EXISTING ELEMENTS TO BE DEMOLISHED

CAD File: 1801_PITT_STAGE 01

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

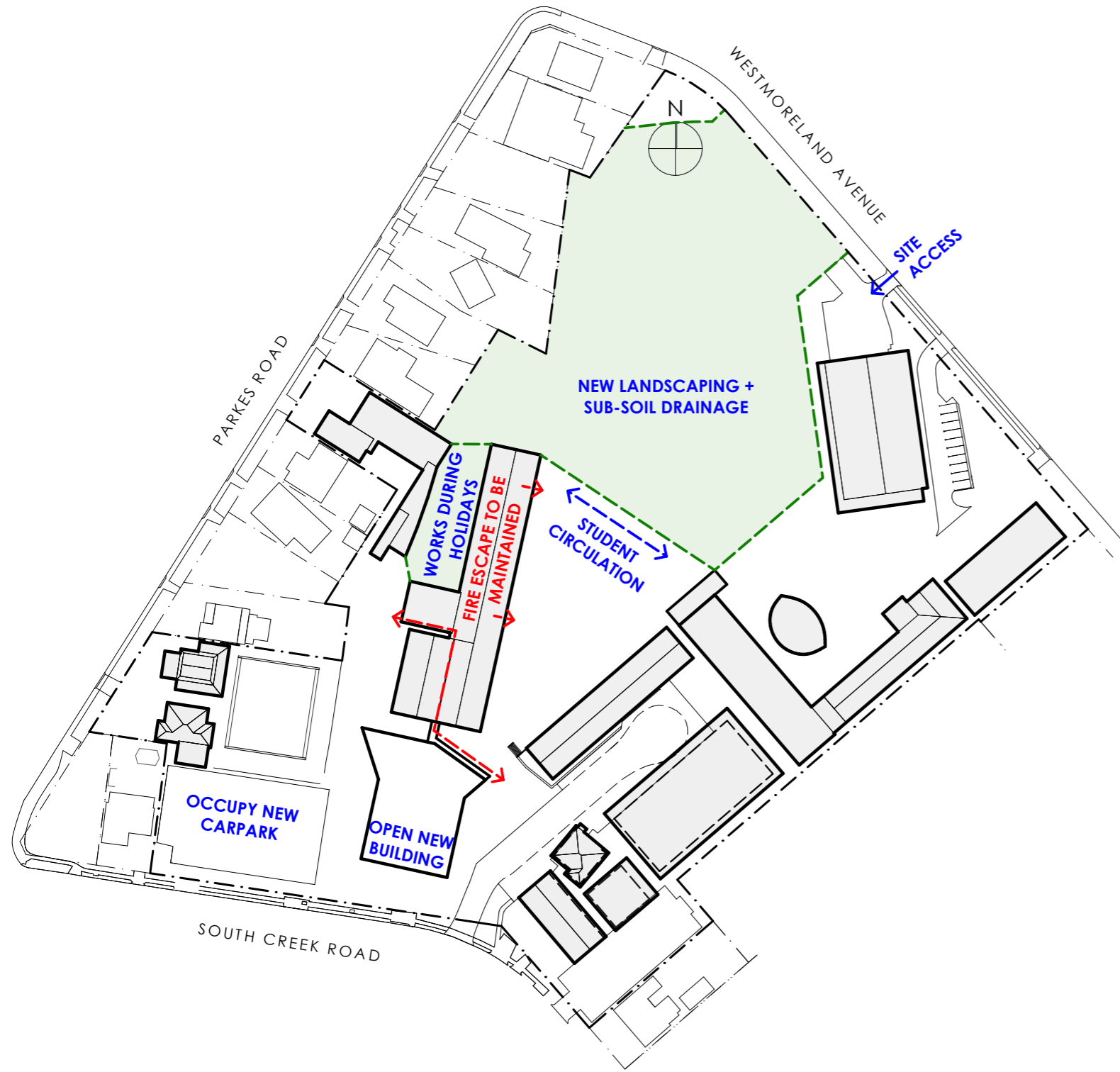
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DA 13.2	01	CONSTRUCTION METHODOLOGY	DA	1:1500 @A3	11/5/20

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1 Construction Methodology Plan 5
1:1500

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LEGEND

AD ALUMINIUM DOOR	FG FIXED GLASS	RWO RAINWATER OUTLET
AW ALUMINIUM WINDOW	FR FRIDGE	SC STEEL COLUMN
BG BOX GUTTER	FW FLOOR WASTE	TD TIMBER DOOR JOINERY
BK BRICK	GBK GLAZED BRICK	TW TIMBER WINDOW JOINERY
BT STEEL BALUSTRADE	GBS GLAZED BRICK SCREEN	
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EX-FL EXISTING FLOORING	LO EXTERNAL LOUVRES - RETRACTABLE	
CONC CONCRETE	MAT ENTRY MAT	
CPT CARPET	MC METAL CLADDING	
CT CERAMIC TILE	MR METAL ROOFING	
DP DOWNPIPE	PM PERFORATED METAL	
EXT EXISTING	RF RUBBER FLOORING	

LEGEND

EXISTING ELEMENTS TO BE RETAINED
EXISTING ELEMENTS TO BE DEMOLISHED

CAD File: 1801.PITT_STAGE 01

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

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DA 13.3	01	CONSTRUCTION METHODOLOGY	DA	1:1500 @A3	11/5/20

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Pittwater House SCHOOLS

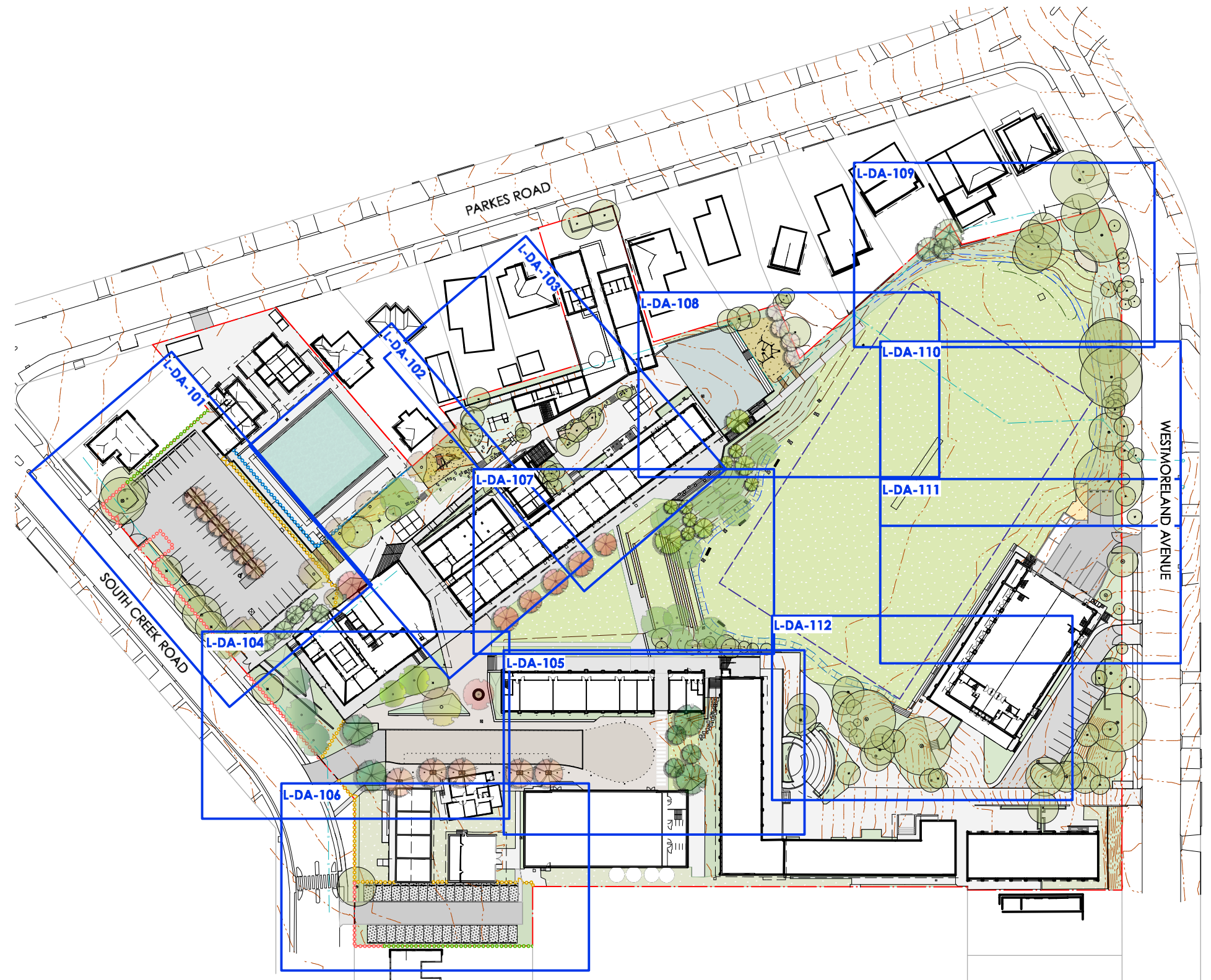
Development Application

LANDSCAPE

Prepared for Pittwater House by
Jane Irwin Landscape Architecture

DRAWING SHEETS:

L-DA-000	COVERSHEET
L-DA-001	LEGEND AND SCHEDULE
L-DA-002	LEGEND AND PLANT SCHEDULE
L-DA-003	LANDSCAPE MASTERPLAN
L-DA-011	PRECEDENT 01
L-DA-012	PRECEDENT 02
L-DA-013	PRECEDENT 03
L-DA-101	LANDSCAPE DETAIL PLAN 01
L-DA-102	LANDSCAPE DETAIL PLAN 02
L-DA-103	LANDSCAPE DETAIL PLAN 03
L-DA-104	LANDSCAPE DETAIL PLAN 04
L-DA-105	LANDSCAPE DETAIL PLAN 05
L-DA-106	LANDSCAPE DETAIL PLAN 06
L-DA-107	LANDSCAPE DETAIL PLAN 07
L-DA-108	LANDSCAPE DETAIL PLAN 08
L-DA-109	LANDSCAPE DETAIL PLAN 09
L-DA-110	LANDSCAPE DETAIL PLAN 10
L-DA-111	LANDSCAPE DETAIL PLAN 11
L-DA-112	LANDSCAPE DETAIL PLAN 12
L-DA-500	SECTION LOCATION PLAN
L-DA-501	LANDSCAPE SECTIONS 01
L-DA-502	LANDSCAPE SECTIONS / ELEVATION 02
L-DA-503	LANDSCAPE SECTIONS / ELEVATION 03
L-DA-504	LANDSCAPE SECTIONS 04
L-DA-505	LANDSCAPE SECTIONS 05
L-DA-506	LANDSCAPE SECTIONS 06
L-DA-507	LANDSCAPE SECTIONS 07



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CLIENT

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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE
Coversheet

Scale @ A3
1:1200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-000

Issue
A

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LEGEND

REFERENCE	CODE	DESCRIPTION
GENERAL		
		SITE BOUNDARY
		EXISTING CONTOUR 18.5
		PROPOSED CONTOUR 17.50
		EXISTING SPOT LEVEL + RL 14.40
		PROPOSED SPOT LEVEL + 14.40
		EXISTING TREES RETAINED (Refer arborist report)
		EXISTING TREES TO BE REMOVED (Refer arborist report)
		DEMOLISH SURFACE
		OVAL BOUNDARY
		EXISTING POOL FENCE
		SWALE
		BERM AROUND OVAL 500-800mm above existing ground level, refer Hydraulic Engineer's drawing
		EXISTING PAVED SURFACE to be retained
		EXISTING BITUMEN SURFACE to be retained
		EXISTING GRAVEL SURFACE to be retained
		EXISTING DECKING to be retained
		EXISTING PLANTED AREA to be retained
		EXISTING DRY CREEK to be retained
		EXISTING NATURE SURFACE to be retained

REFERENCE	CODE	DESCRIPTION
GENERAL		
		SUBSTATION Refer Electrical Engineer's drawings
		NEW FIRE HYDRANT BOOSTER L:3500 x W:500mm, Refer Hydraulic Engineer's drawing
		NEW DUAL HEAD FIRE HYDRANT 700x700mm, Refer Hydraulic Engineer's drawing
WALLS, FENCES AND EDGES		
	W1	WALL TYPE 1 - CONCRETE TERRACE/SEATING WALLS Precast concrete plain colour
	W2	WALL TYPE 2 - SANDSTONE RETAINING WALL Using sandstone "landscape logs", quality grade 1
	FT1	FENCE TYPE 1 - METAL PALISADE FENCE 1200mm high metal palisade pool fence to A.S 1926.1-2012
	FT2	FENCE TYPE 2 - GALVANISED FENCE 1800mm high galvanised school fence
	FT3	FENCE TYPE 3 - GALVANISED PALISADE FENCE 1200mm high galvanised palisade school fence
	FT4	FENCE TYPE 4 - PALING FENCE 1800mm high noise barrier to comply with acoustic req.
	SE	EDGE TYPE 1 - STEEL

REFERENCE	CODE	DESCRIPTION
CARPARK/SURFACE FINISHES		
	R1	CARPARK SURFACE - BITUMEN
PAVING/SURFACE FINISHES		
	P1	PAVING TYPE 1 - INSITU CONCRETE Broom finish, plain colour
	P2	PAVING TYPE 2 - INSITU CONCRETE FLUSH KERB/EDGE Broom finish, plain colour
	P3	PAVING TYPE 3 - POROUS PAVING (CARPARK) Grasscrete with gravel infill
	P4	PAVING TYPE 4 - CONCRETE UNIT PAVER Pebblecrete PPX540:35D - 400x600x60mm
	P5	PAVING TYPE 5 - CONCRETE UNIT PAVER (TRAFFICABLE) Pebblecrete PPX540:35D - 200x600x80mm

REFERENCE	CODE	DESCRIPTION
PAVING/SURFACE FINISHES		
	P6	PAVING TYPE 6 - GRAVEL Recycled crushed sandstone
	P7	PAVING TYPE 7 - MIXED USE COURT Synthetic surface with multiple lineworking for multi-funition play
	P8	PAVING TYPE 8 - SYNTHETIC GRASS "Astroturf" or similar, natural green colour
	P9	PAVING TYPE 9 - MULCH (PLAYGROUND) Cedar mulch to depths required for full zones
OTHER		
	TD	HARDWOOD TIMBER DECKING bridges
	TB	TIMBER BENCH SEAT
	WS	WHEEL STOPS
	BO	BOLLARD
	NP	NATURE PLAY ITEMS

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jila

CLIENT
Neeson Murcutt Architects PTY LTD

PROJECT TITLE
Pittwater House Schools - Stage 1
70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE
Legend and Schedule

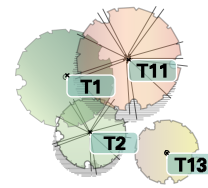
Scale @ A3
N/A
Job No 190601
Drawing Status Development Application
Drawing No L-DA-001
Issue A

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LEGEND

REFERENCE CODE DESCRIPTION

PLANTING



PROPOSED TREES - VARIOUS
Refer plant schedule



TURF



SCREENING - TALL SHRUBS AND SMALL TREES
Refer plant schedule



LOW TO MEDIUM NATIVE SHRUBS
Refer plant schedule



GROUNDCOVER AND GRASSY MIX - BANK
Refer plant schedule



ENTRY GARDEN
Refer plant schedule



SWALE / DRY CREEK BEDS
Refer plant schedule

PRELIMINARY PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT (m)	LOCALLY OCCURRING
	Trees			
T1	<i>Angophora costata</i>	Rough Barked Apple	20+	x
T2	<i>Callicoma serratifolia</i>	Black Wattle	7-10	x
T3	<i>Calodendrum capense</i>	Cape Chestnut	10	
T4	<i>Corymbia citriodora</i>	Lemon Scented Gum	20+	
T5	<i>Corymbia maculata</i>	Spotted Gum	20+	x
T6	<i>Eucalyptus haemastoma</i>	Scribbly Gum	15	
T7	<i>Eucalyptus punctata</i>	Grey Gum	20+	x
T8	<i>Lagerstroemia indica</i> (Indian Summer range)	Crepe Myrtle	8-9	
T9	<i>Magnolia grandiflora</i>	Bull Bay Magnolia	25	
T10	<i>Melaleuca ericifolia</i>	Swamp Paperbark	8	x
T11	<i>Nyssa sylvatica</i>	Tupelo	11	
T12	<i>Sapium sebiferum</i>	Chinese Tallowood	8	
T13	<i>Tristaniopsis laurina</i>	Water Gum	12	x
	GD1 Screening - tall shrubs and small trees			
	<i>Acacia terminalis</i>	Sunshine Wattle	5-6	x
	<i>Banksia robur</i>	Swamp Banksia	3	x
	<i>Bursaria spinosa</i>	Austral Blackthorn	5-10	x
	<i>Ceratopetalum gummiferum</i>	NSW Christmas Bush	3-5	x
	<i>Dodonaea viscosa subsp. cuneata</i>	Hop Bush	3	x
	<i>Persoonia levis</i>	Broad Leaved Geebung	4-5	x
	GD2 Low to medium native shrubs			
	<i>Banksia spinulosa</i>	Hairpin Banksia	1-3	x
	<i>Grevillea buxifolia</i>	Grey Spider Flower	1-2.5	x
	<i>Grevillea sericea</i>	Pink Spider Flower	1-2	x
	<i>Lomatia myricoides</i>	River Lomatia	2.5	x
	<i>Melaleuca thymifolia</i>	Thyme Honey Myrtle	1.2	x
	<i>Philothea myoporoides</i>	Long Leaf Waxflower	1.5-2	
	<i>Prostanthera denticulata</i>	Rough Mint Bush	1	x
	GD3 Groundcover and grassy mix - banks			
	<i>Banksia 'Pygmy Possum'</i>	Dwarf Banksia	0.3	
	<i>Dianella caerulea</i>	Blue Flax Lily	0.7	x
	<i>Eremophila 'Kalbarri Carpet'</i>	Prostrate Emu Bush	0.1-0.2	
	<i>Geranium solanderi</i>	Native Geranium	0.2	x
	<i>Goodenia heterophylla</i>	Variable Leaved Goodenia	0.4	x
	<i>Grevillea lanigera</i>	Woolly Grevillea	0.5-1	
	<i>Lomandra longifolia</i>	Mat Rush	0.5-0.8	x
	<i>Scaevola albida</i>	White Fan-flower	Prostrate	x
	<i>Scaevola ramosissima</i>	Purple Fan Flower	0.4	x
	<i>Thryptomene baeckeacea 'Prostrate'</i>	Ground Cover Thryptomene	Prostrate	
	GD4 Entry garden			
	<i>Anigozanthos spp.</i>	Kangaroo Paws mixed colour	0.6-1	
	<i>Lomandra multiflora</i>	Many Flowered Mat Rush	0.6-0.9	x
	<i>Lomandra confertifolia 'Wingarra'</i>	Mat Rush	0.3	
	<i>Xanthorrhoea arborea</i>	Broad Leaf Grass Tree	2	x
	GD5 Swale/dry creek bed			
	<i>Ficinia nodosa</i>	Knobby Club Rush	0.5-0.6	x
	<i>Gahnia aspera</i>	Rough Saw Sedge	0.6-0.8	x
	<i>Lepidosperma laterale</i>	Variable Sword Sedge	0.6-1.2	x

CALCULATION OF LANDSCAPE OPEN SPACE

CALCULATED AREA IN TOTAL (m2) : 16837.17m2

PAVED OPEN SPACE

IMPERVIOUS SURFACE: 4732.03 m2

PERVIOUS SURFACE: 709.59 m2

LANDSCAPE OPEN SPACE

SOFTSCAPE: 11395.55 m2

NOTE: Planted and grassed deep soil area, excludes swimming pool

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CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Legend and Plant Schedule

Scale @ A3
N/A

Job No 190601 Drawing Status Development Application

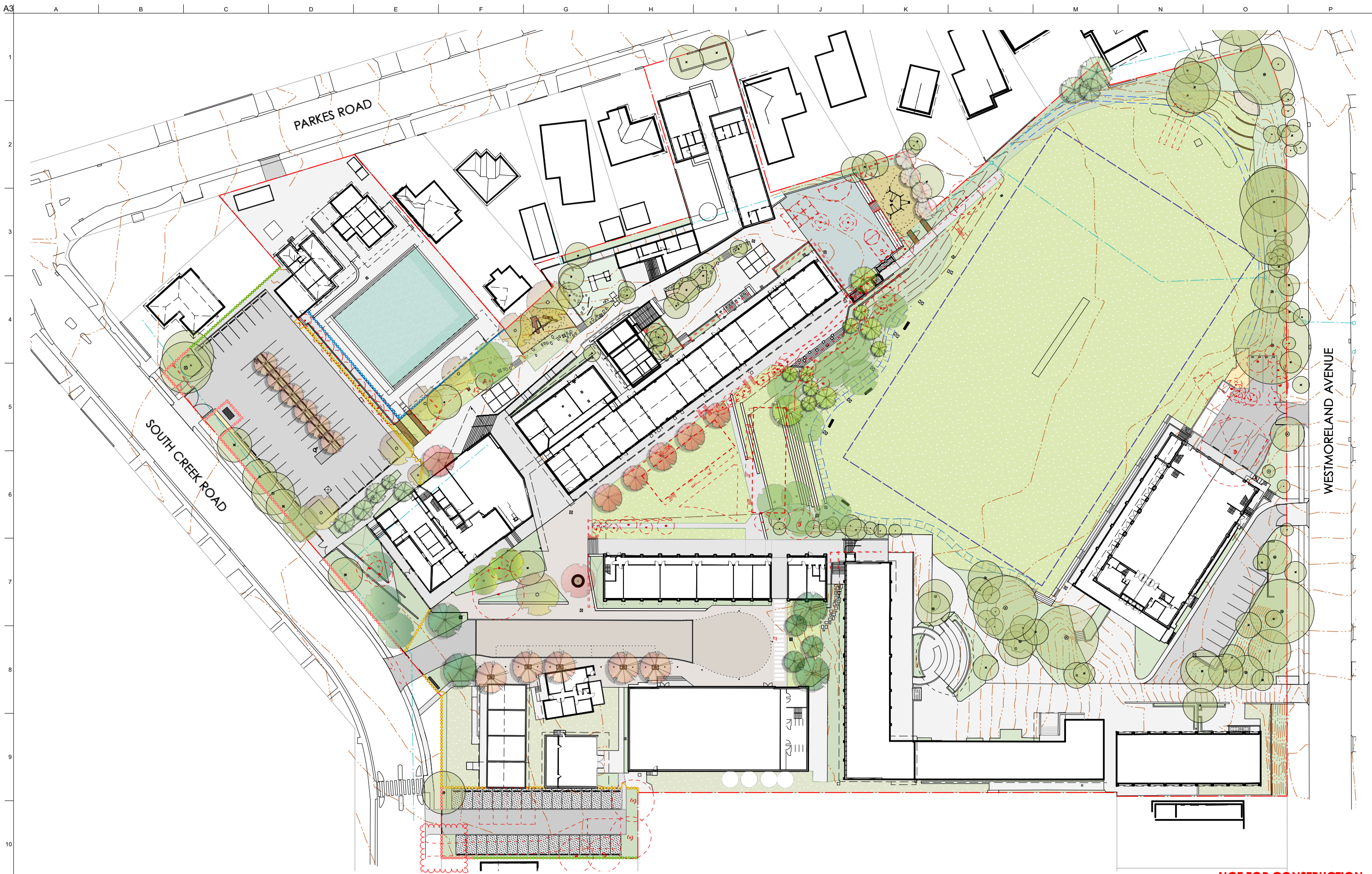
Drawing No L-DA-002 Issue A

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Drafted By: AH

Drafting Checked: JI

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Issue	Description	Date	By
B	REVISED ISSUED FOR DA	14/5/20	AH
A	ISSUED FOR DA	24/10/19	AH

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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Masterplan


Scale @ A3
 1:800

Job No
 190601

Drawing Status
 Development Application

Drawing No
 L-DA-003

Issue
 B



DROP OFF/PICK UP AREA



Share way to allow for use as paved open space outside of pickup and drop off hours.



Concrete cobble as robust and durable natural stone alternative

Flush kerbs and paved surface to prioritise pedestrian movement across the space

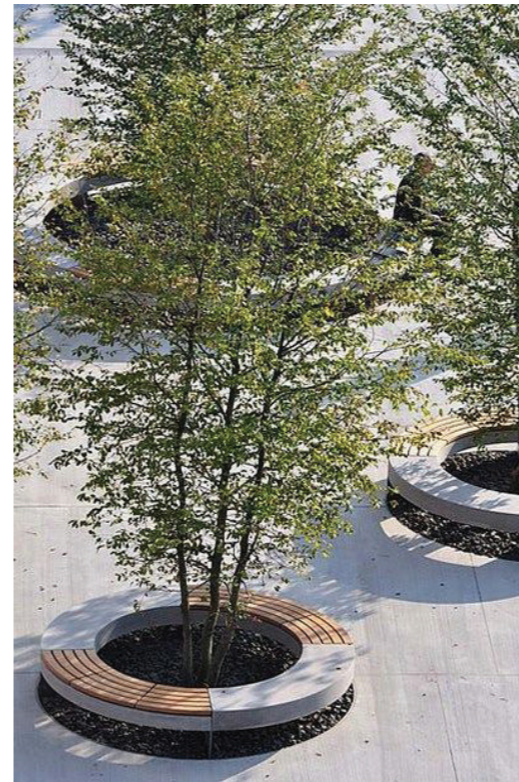
Mix of paving sizes and types

NEW CAR PARK



Permeable paving grasscrete for carpark

MEMORIAL TREE



Circular seating with tree as memorial

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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE
Precedent 01

Scale @ A3
N/A

Job No 190601	Drawing Status Development Application
------------------	---

Drawing No L-DA-011	Issue A
------------------------	------------

AMPHITHEATRE



Gentle grassed amphitheatre terraces

OVAL AND SWALE



Grass seating mound around school oval

Vegetated swale with some stones at the base to slow down the water

Reeds and grasses to fill out swale

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CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE	
Precedent 02	
Scale @ A3	
N/A	
Job No	Drawing Status
190601	Development Application
Drawing No	Issue
L-DA-012	A

MIXED USE COURT



Mixed use court allowing for multiple different uses

MIXED USE COURT



Taking advantage of level change and topography for casual and dynamic seating

NATURE PLAY



Extended ECC playground provide nature play equipment

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CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

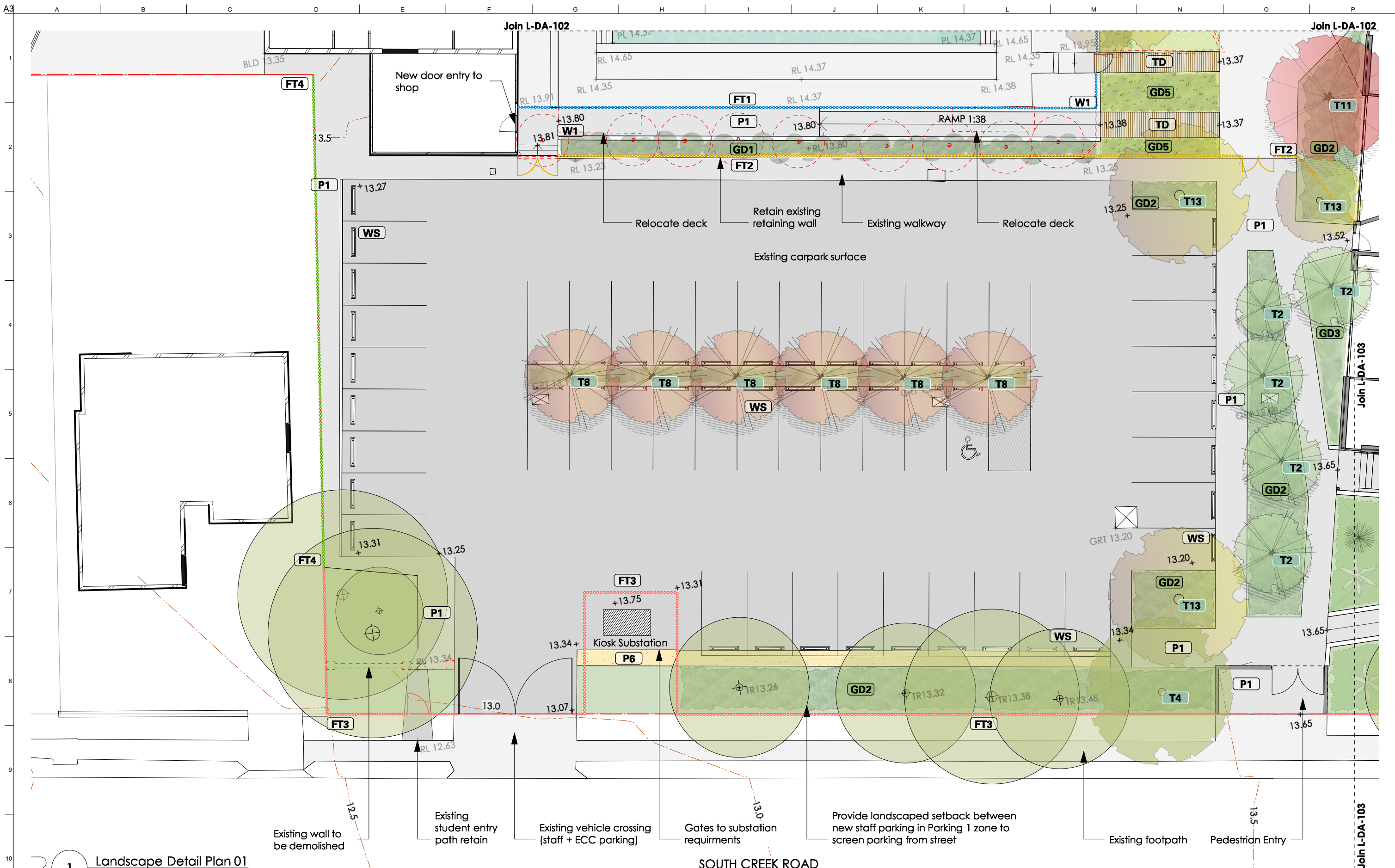
70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE
Precedent 03

Scale @ A3
N/A

Job No 190601	Drawing Status Development Application
------------------	---

Drawing No L-DA-013	Issue A
------------------------	------------



1 Landscape Detail Plan 01
Scale: 1:200

SOUTH CREEK ROAD

NOT FOR CONSTRUCTION

<p>Issue Description Date By</p> <p>A ISSUED FOR DA 24/10/19 AH</p>		<p>Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Don't scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing.</p>	<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture Studio 203, Level 2, 61 Marlborough Street Sunny Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> <p>jila</p>	<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>	<p>PROJECT TITLE</p> <p>Pittwater House Schools - Stage 1 70 South Creek Road, Collaroy NSW 2097</p>	<p>DRAWING TITLE</p> <p>Landscape Detail Plan 01</p> <p>Scale @ A3 1:200</p> <p>Job No 190601</p> <p>Drawing Status Development Application</p> <p>Drawing No L-DA-101</p> <p>Issue A</p>
---	--	--	---	--	--	---



2 Landscape Detail Plan 02
Scale: 1:200

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Join L-DA-102

Join L-DA-102

3

Landscape Detail Plan 03
Scale: 1:200

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CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 03

Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-103

Issue
A

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4 Landscape Detail Plan 04
Scale: 1:200

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5 LANDSCAPE DETAIL PLAN 05
Scale: 1:200

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Issue	Description	Date	By
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CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 05

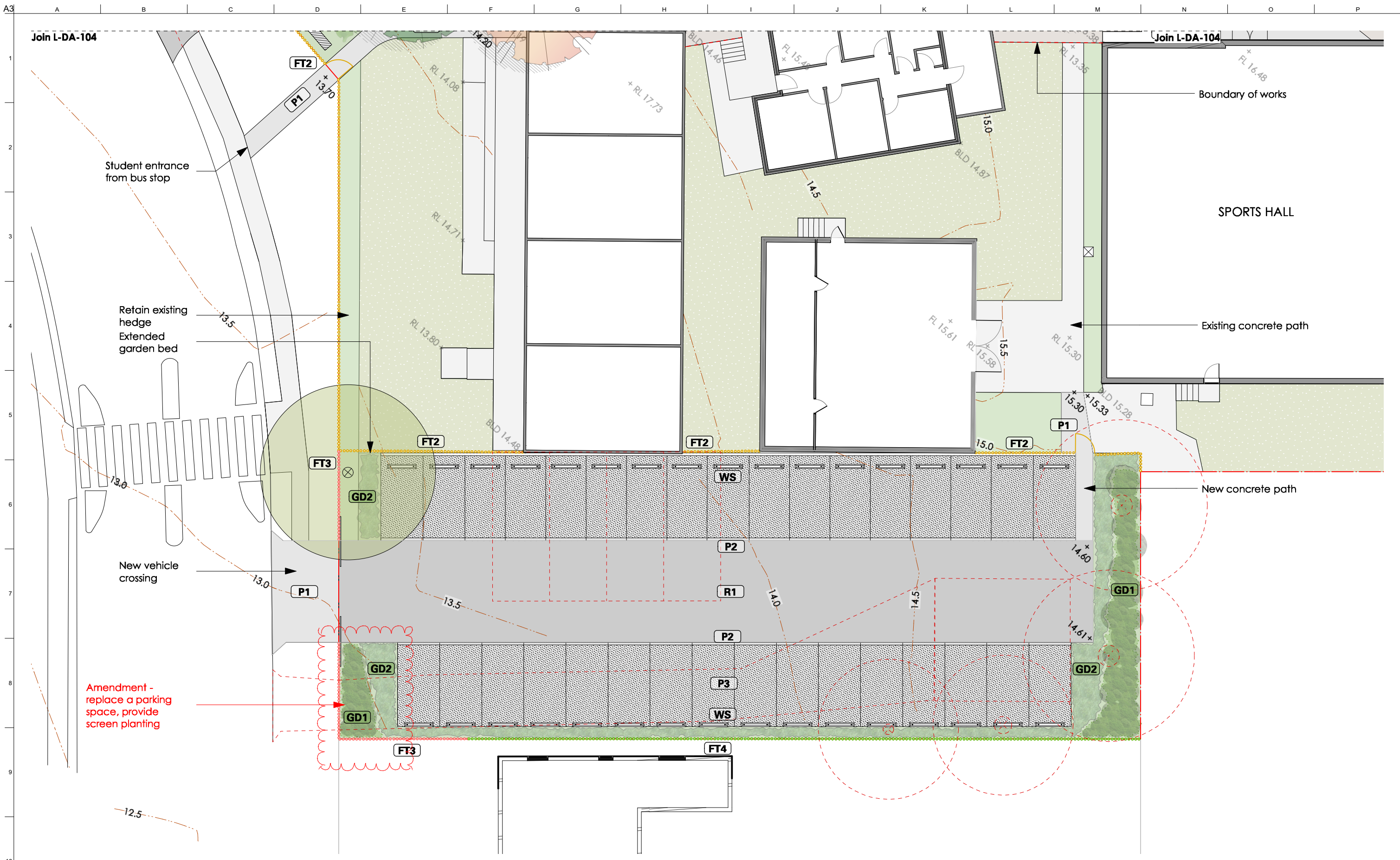
Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-105

Issue
A



6 Landscape Detail Plan 06
Scale: 1:200

NOT FOR CONSTRUCTION

Issue	Description	Date	By
B	REVISED ISSUED FOR DA	14/5/20	AH
A	ISSUED FOR DA	24/10/19	AH

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CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 06


Scale @ A3
1:200

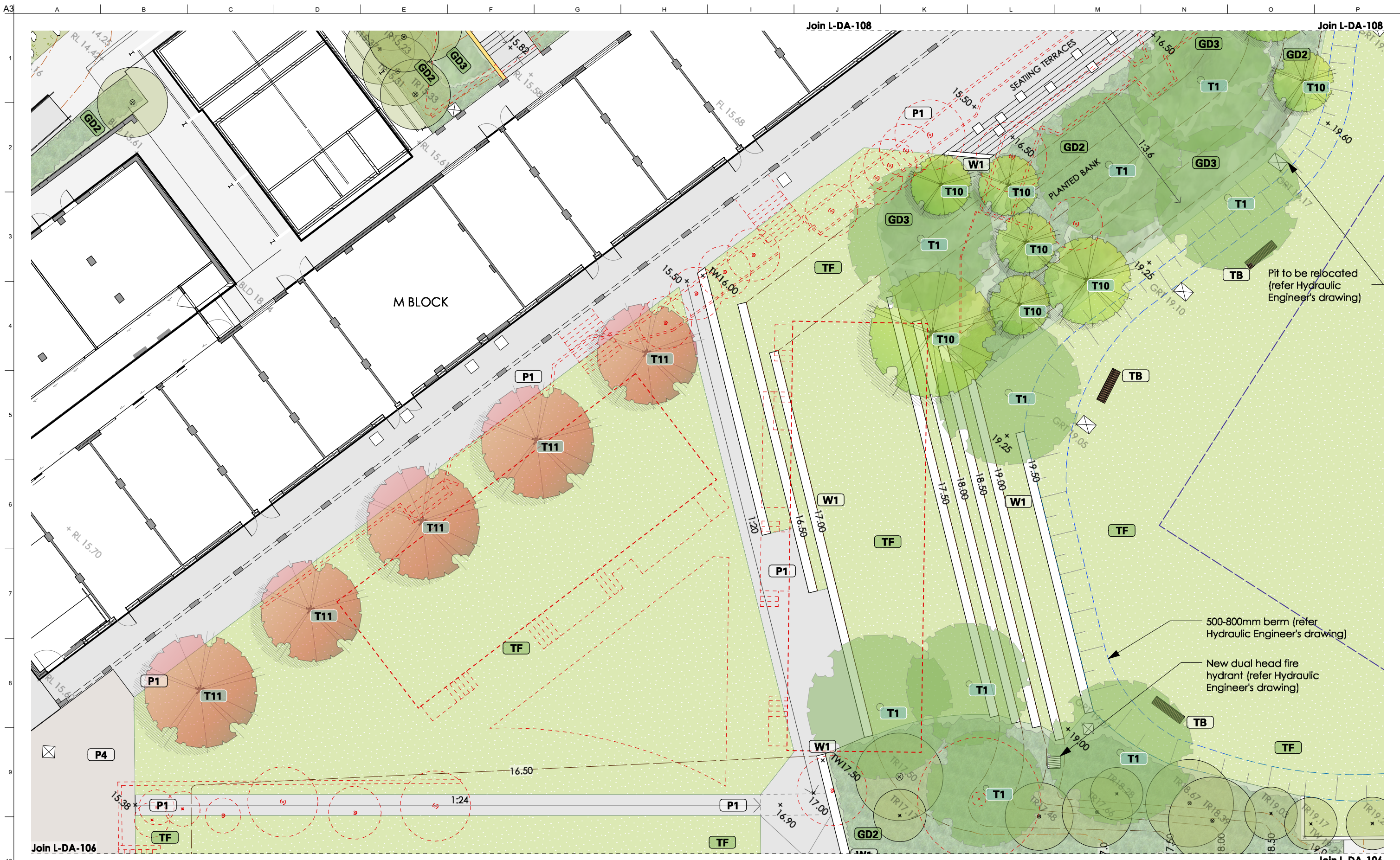
Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-106

Issue
B





7 LANDSCAPE DETAIL PLAN 07
Scale: 1:200

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<p>Issue</p>	<p>Description</p>	<p>Date</p>
<p>Drafted By: AH</p>		<p>Drafting Checked: JI</p>

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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 07

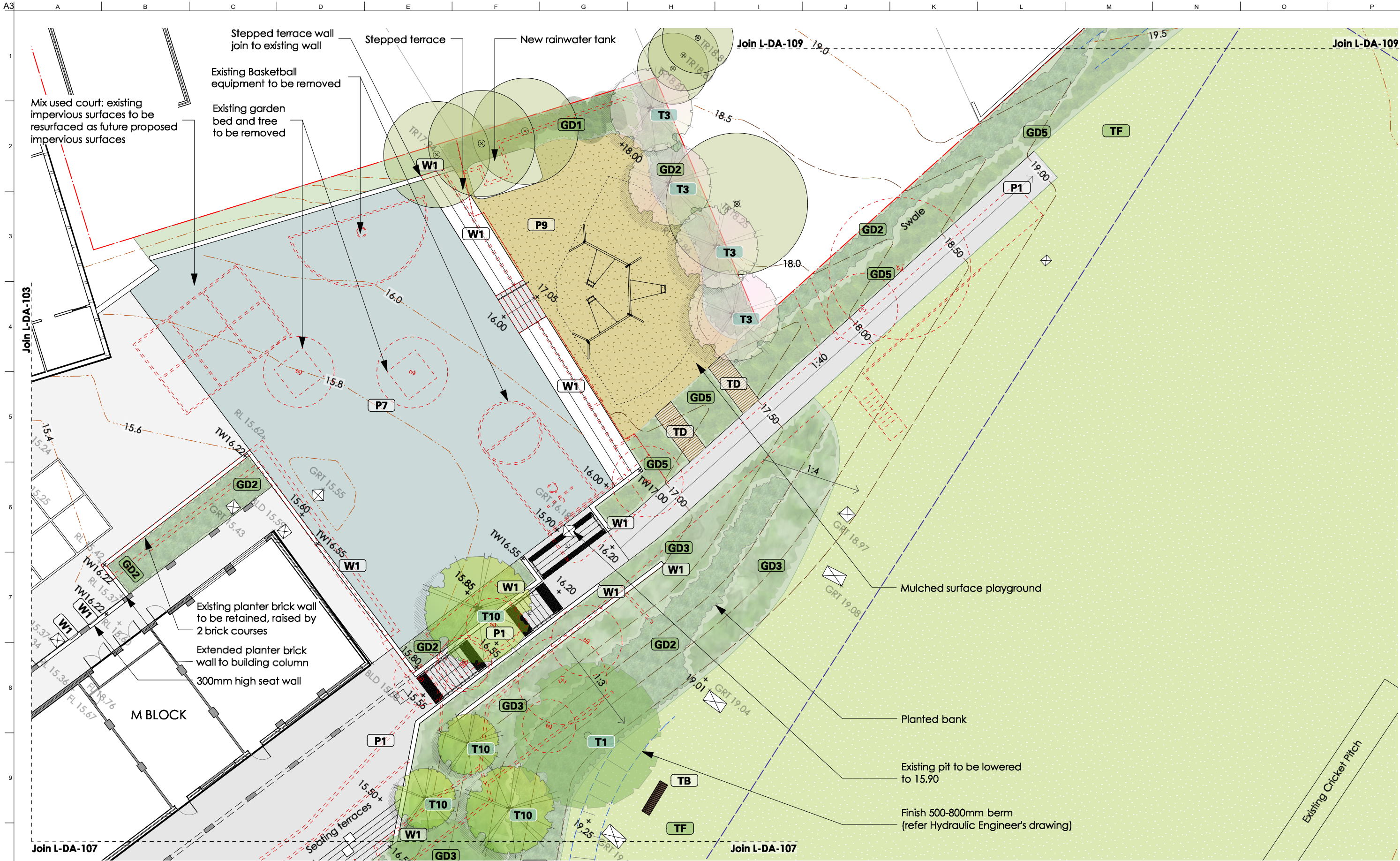
Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-107

Issue
A



8 LANDSCAPE DETAIL PLAN 08
Scale: 1:200

NOT FOR CONSTRUCTION

Issue	Description	Date	By
A	ISSUED FOR DA	28/10/19	AH

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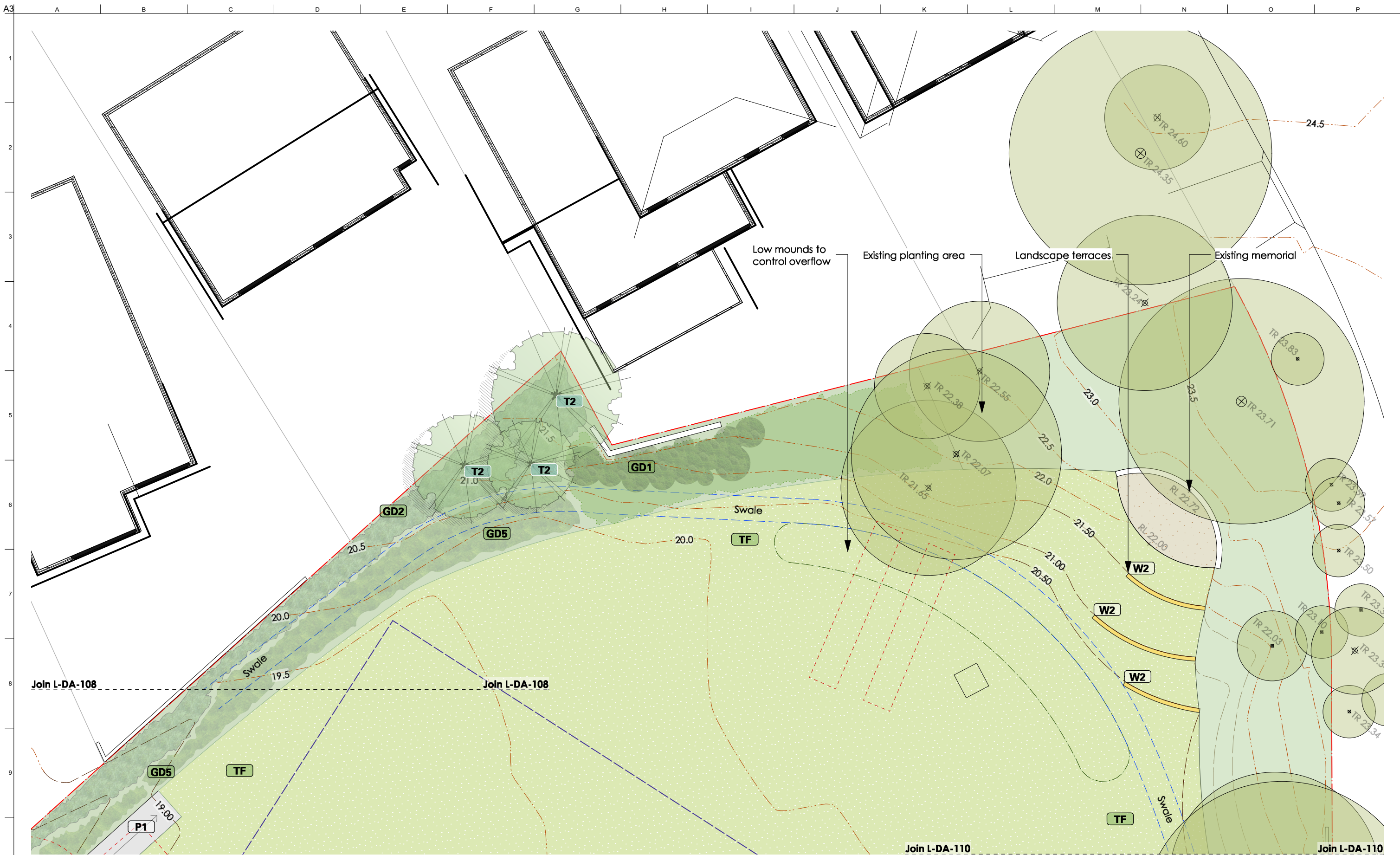


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PROJECT TITLE
Pittwater House Schools - Stage 1
70 South Creek Road, Collaroy NSW 2097



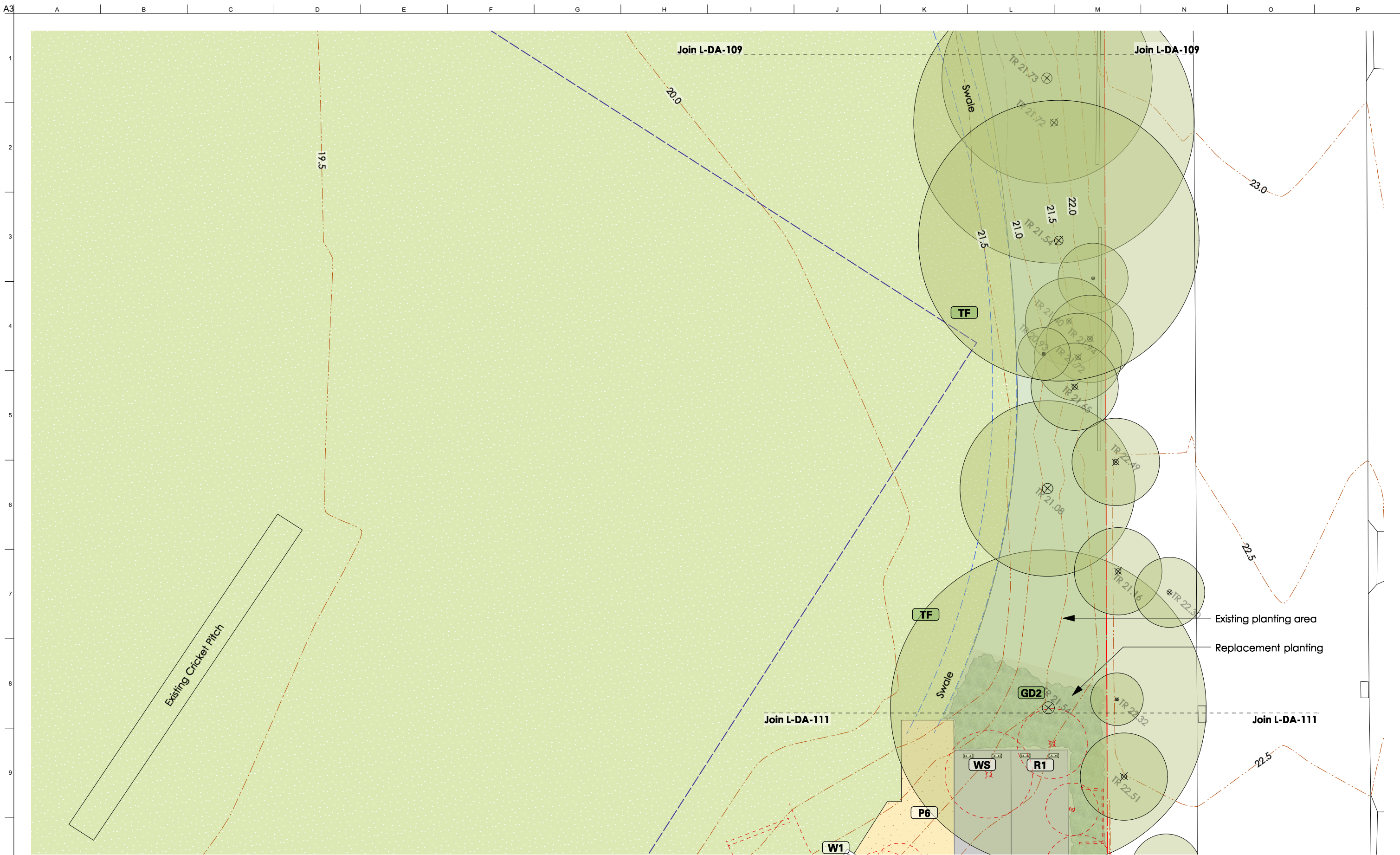
DRAWING TITLE Landscape Detail Plan 08	
Scale @ A3 1:200	
Job No 190601	Drawing Status Development Application
Drawing No L-DA-108	Issue A



9 LANDSCAPE DETAIL PLAN 09
Scale: 1:200

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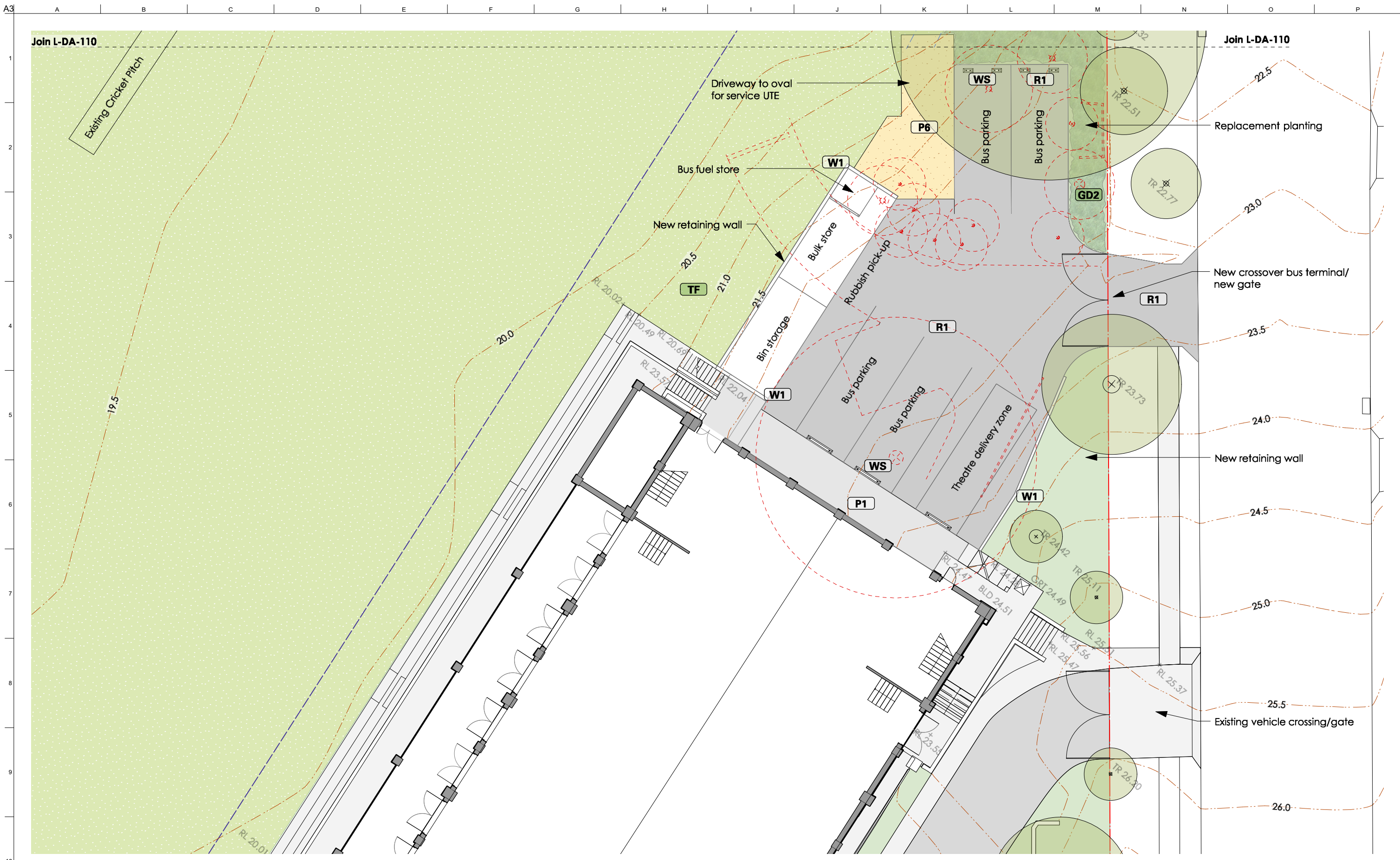


10 LANDSCAPE DETAIL PLAN 10
Scale: 1:200

Existing planting area
Replacement planting

NOT FOR CONSTRUCTION

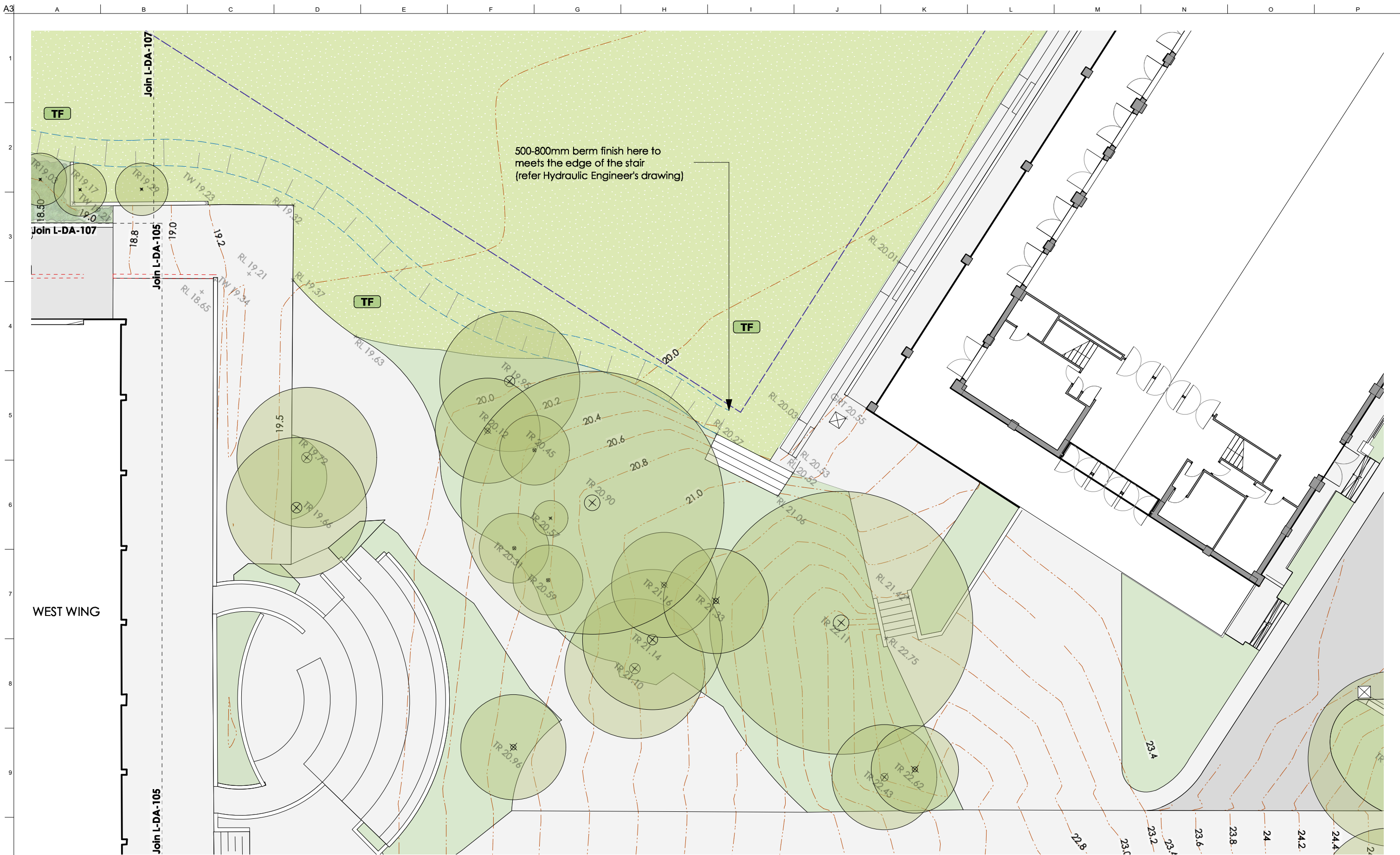
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11 LANDSCAPE DETAIL PLAN 11
Scale: 1:200

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12 LANDSCAPE DETAIL PLAN 12
Scale: 1:200

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Issue	Description	Date	By
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CLIENT

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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 12


Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-112

Issue
A





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Issue	Description	Date	By
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CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Section Location Plan

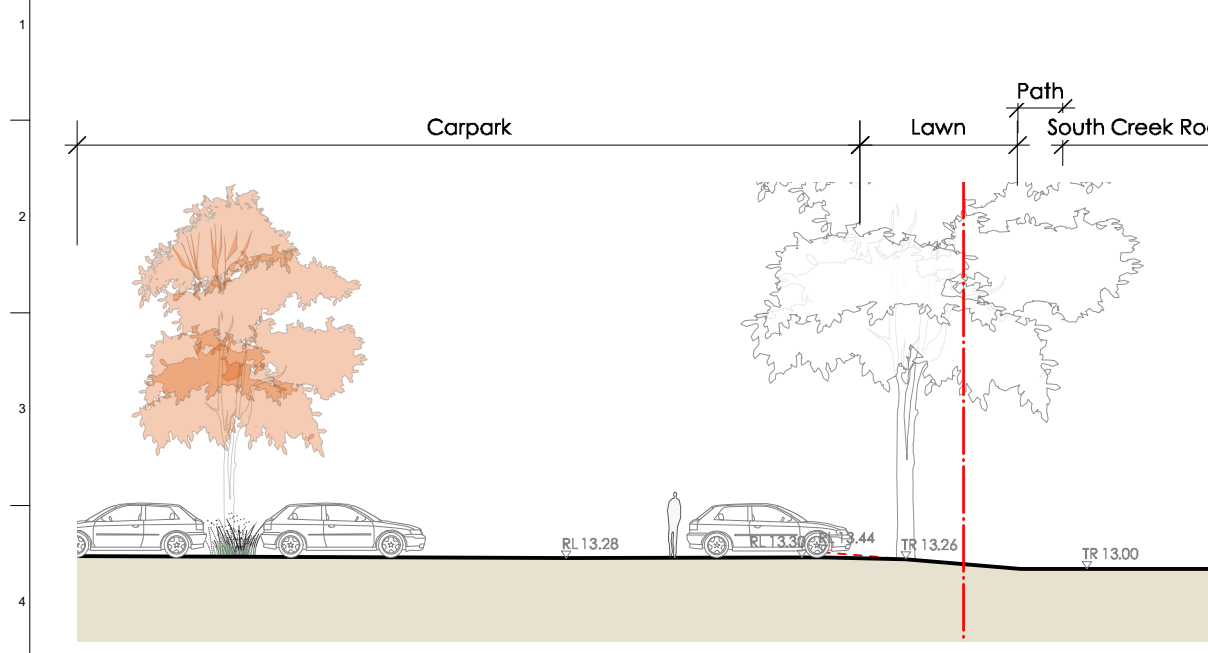
Scale @ A3
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Job No
 190601

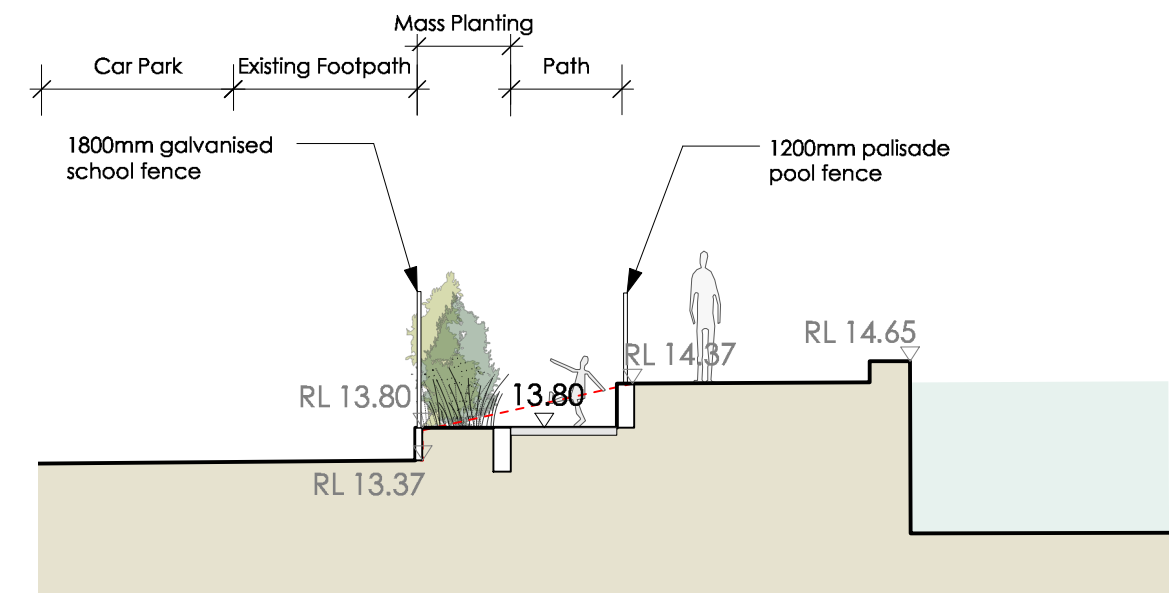
Drawing Status
 Development Application

Drawing No
 L-DA-500

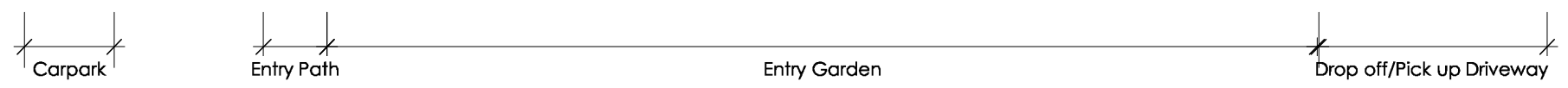
Issue
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1 ECC CARPARK & PUBLIC DOMAIN
Scale: 1:200



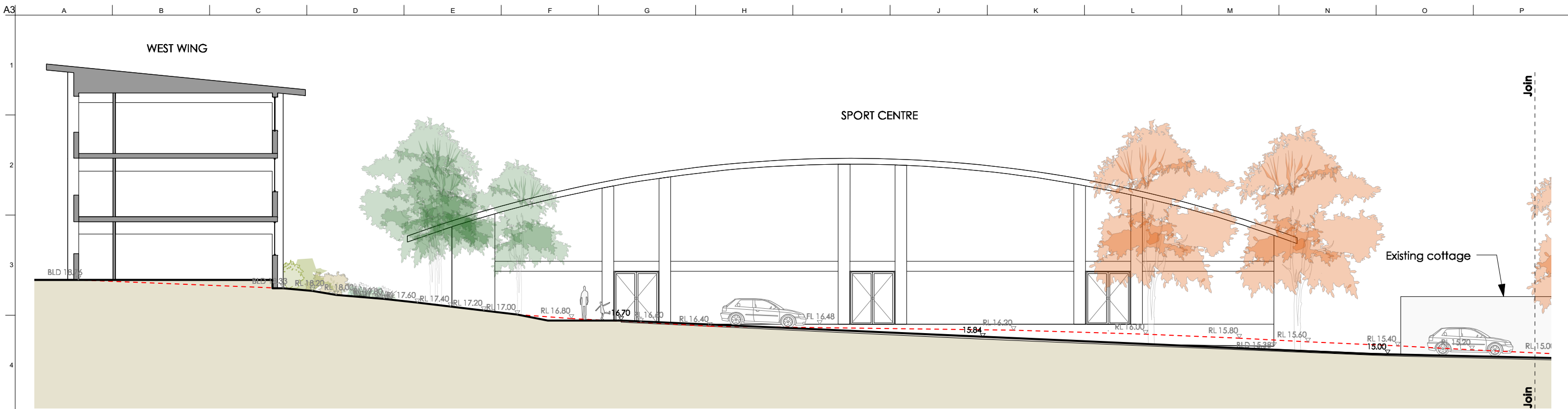
2 SWIMMING POOL FENCE
Scale: 1:100



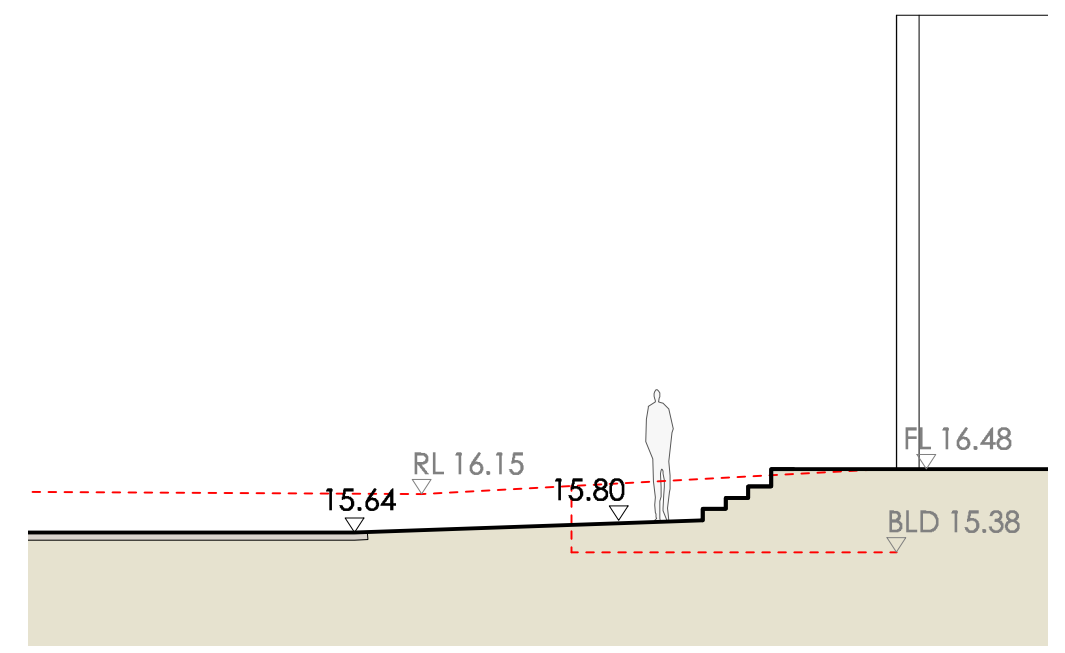
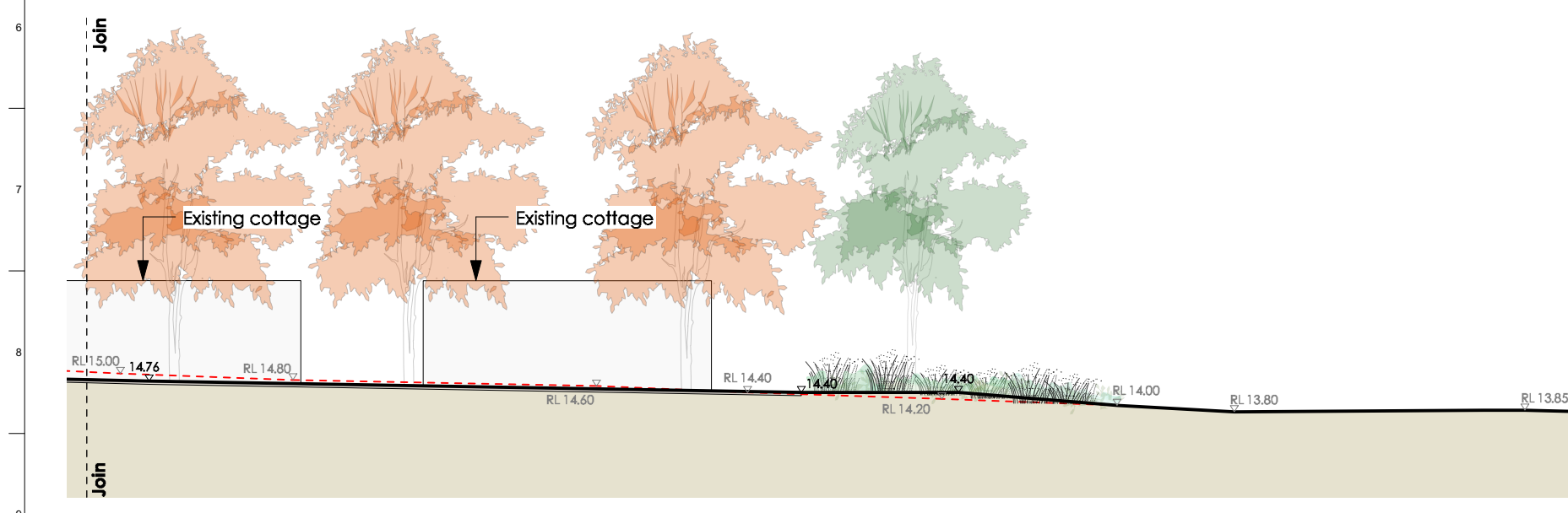
3 ENTRY GARDEN
Scale: 1:200

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Issue	Description	Date	By								



4 DROP OFF/PICK UP SECTION ELEVATION
Scale: 1:200



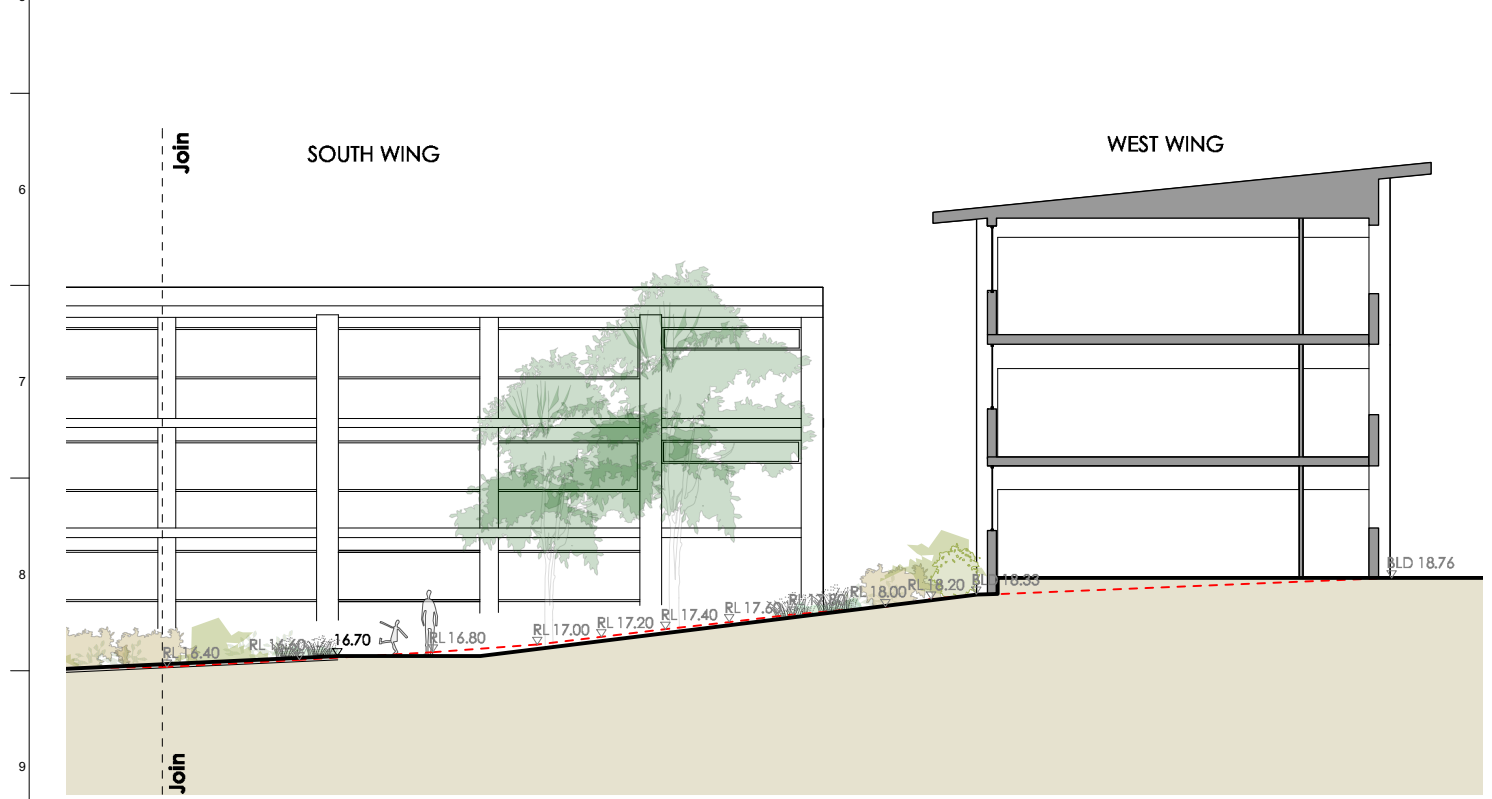
5 TERRACE - SPORT CENTRE ENTRY
Scale: 1:100

NOT FOR CONSTRUCTION

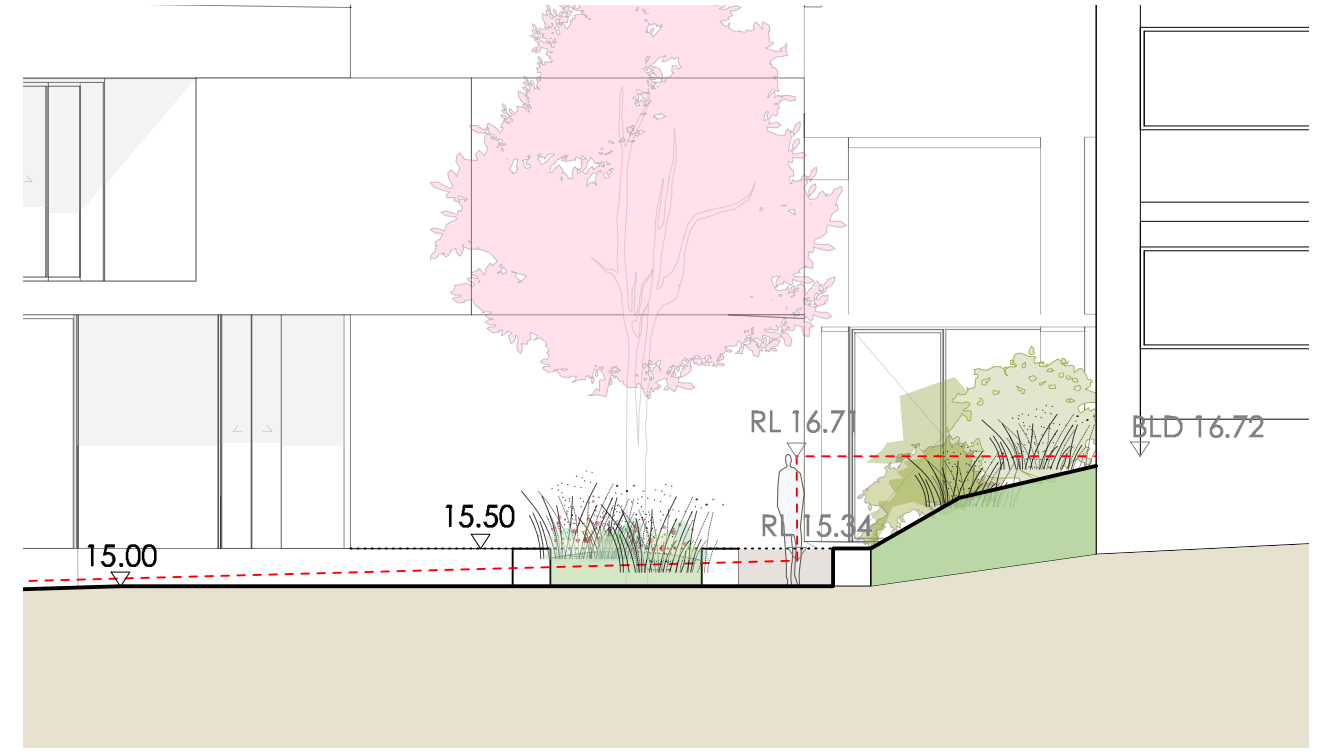
<ul style="list-style-type: none"> - Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing. 				<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture</p> <p>Studio 203, Level 2, 61 Marlborough Street Surry Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> 		<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>		<p>PROJECT TITLE</p> <p>Pittwater House Schools - Stage 1</p> <p>70 South Creek Road, Collaroy NSW 2097</p>		<p>DRAWING TITLE</p> <p>Landscape Section/Elevation 02</p> <p>Scale @ A3 Varies</p> <p>Job No 190601 Drawing Status Development Application</p> <p>Drawing No L-DA-502 Issue A</p>	
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Issue	Description	Date	By								



6 DROP OFF/PICK UP SECTION ELEVATION
Scale: 1:200



Drop off/pick up driveway Bypass Path
Turf and planting

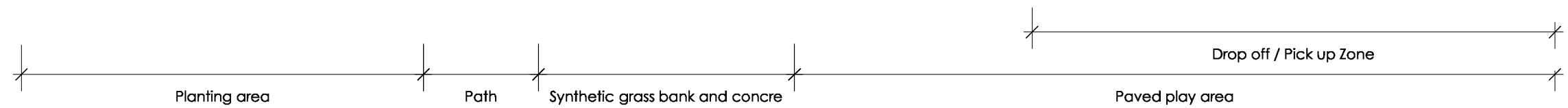
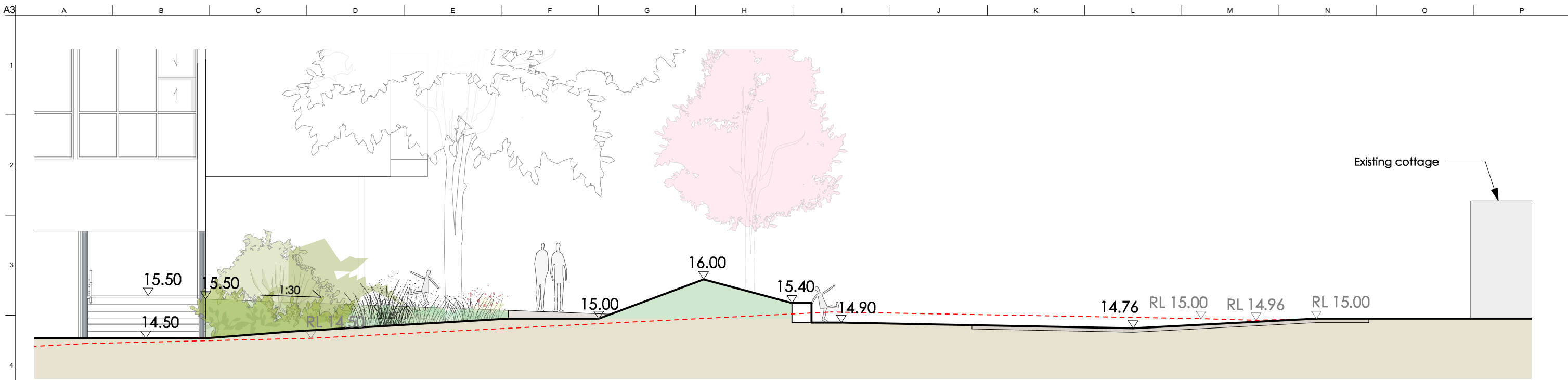


Path
Bench Seating
Path
New Planted bank

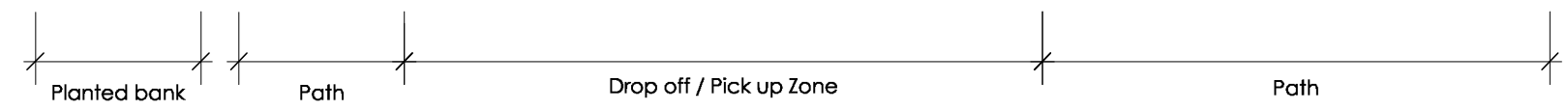
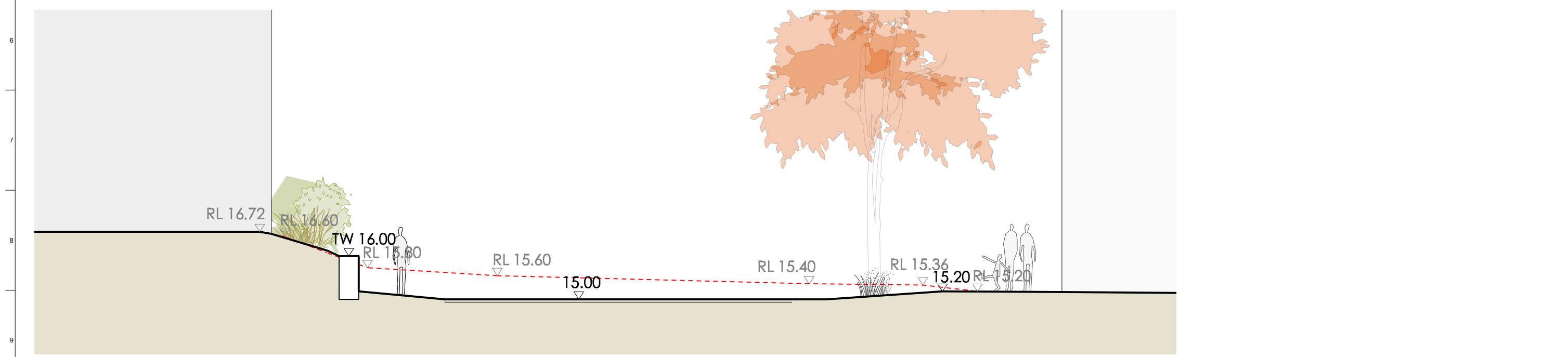
7 MEMORIAL TREE
Scale: 1:100

NOT FOR CONSTRUCTION

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Issue	Description	Date	By								



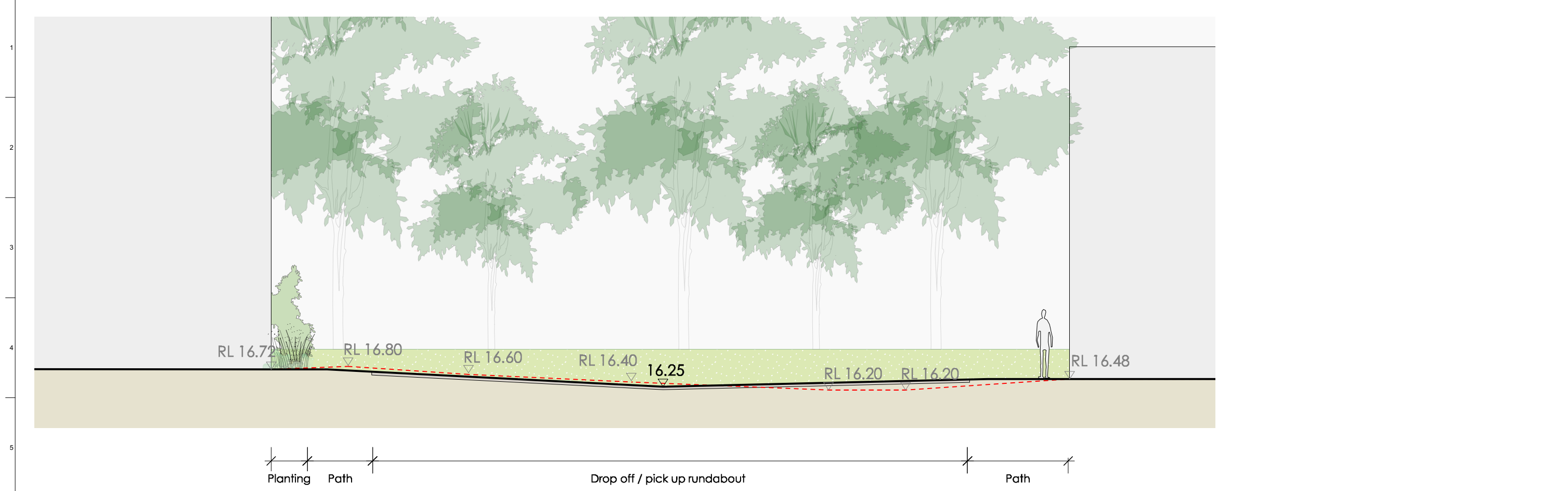
8 DROP OFF/PICK UP SECTION
Scale: 1:100



9 DROP OFF/PICK UP SECTION
Scale: 1:100

NOT FOR CONSTRUCTION

<ul style="list-style-type: none"> - Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing. 				<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture</p> <p>Studio 203, Level 2, 61 Marlborough Street Surry Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> 		<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>		<p>PROJECT TITLE</p> <p>Pittwater House Schools - Stage 1</p> <p>70 South Creek Road, Collaroy NSW 2097</p>		<p>DRAWING TITLE</p> <p>Landscape Sections 04</p> <p>Scale @ A3 1:100</p> <p>Job No 190601</p> <p>Drawing Status Development Application</p> <p>Drawing No L-DA-504</p> <p>Issue A</p>	
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Issue	Description	Date	By								




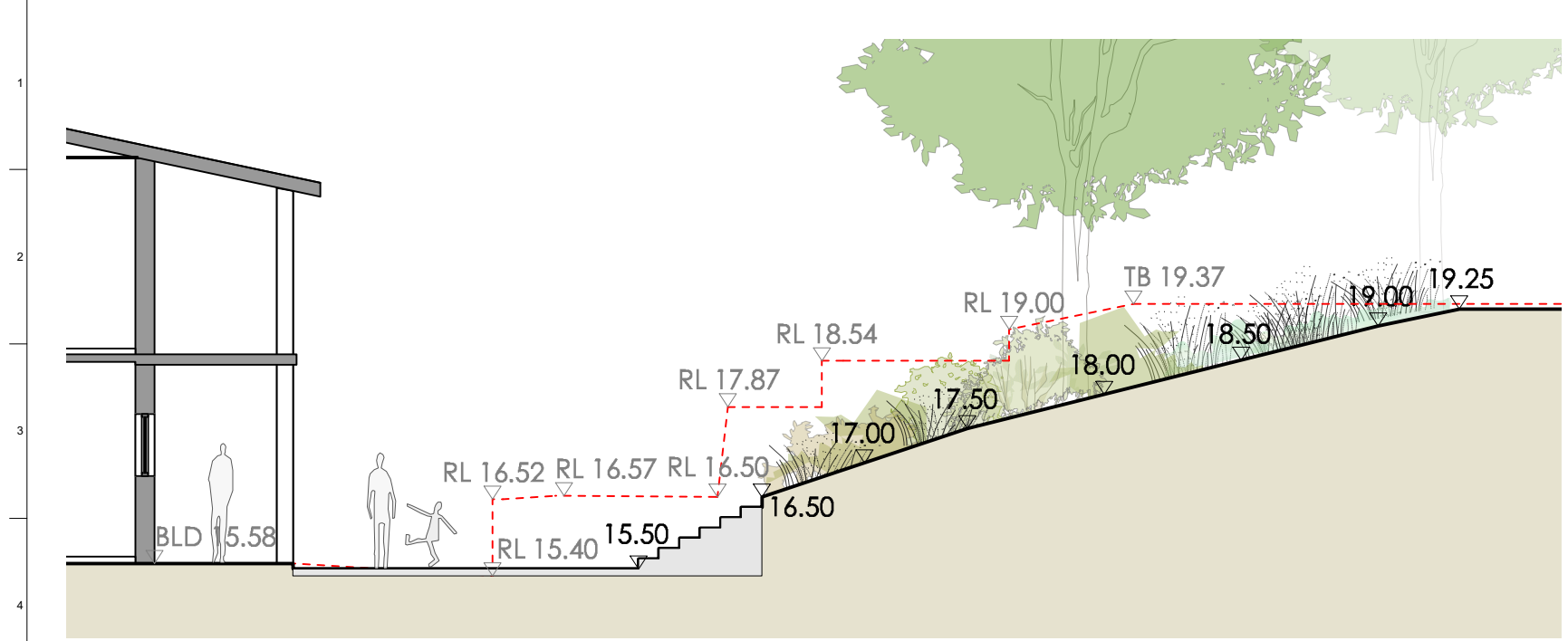
10 DROP OFF/PICK UP SECTION
Scale: 1:100



11 AMPHITHEATRE LANDSCAPE SECTION
Scale: 1:200

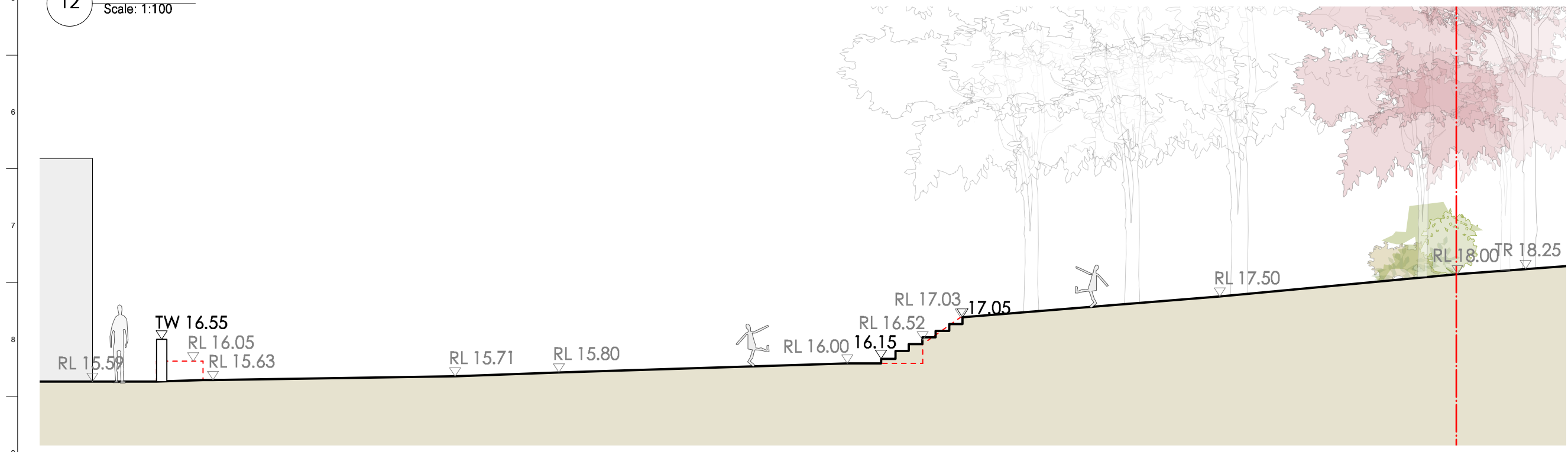
NOT FOR CONSTRUCTION

<ul style="list-style-type: none"> - Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing. 				<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture</p> <p>Studio 203, Level 2, 61 Marlborough Street Surry Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> 		<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>		<p>PROJECT TITLE</p> <p>Pittwater House Schools - Stage 1</p> <p>70 South Creek Road, Collaroy NSW 2097</p>		<p>DRAWING TITLE</p> <p>Landscape Sections 05</p> <p>Scale @ A3 Varies</p> <p>Job No 190601 Drawing Status Development Application</p> <p>Drawing No L-DA-505 Issue A</p>	
A	ISSUED FOR DA	24/10/19	AH	Copyright in all documents and drawings prepared by JILA and in any work executed from those documents and drawings shall remain the property of JILA or on creation vest in JILA.							
Issue	Description	Date	By								



Seating Terraces Planted Bank

12 KINDY AREA
Scale: 1:100

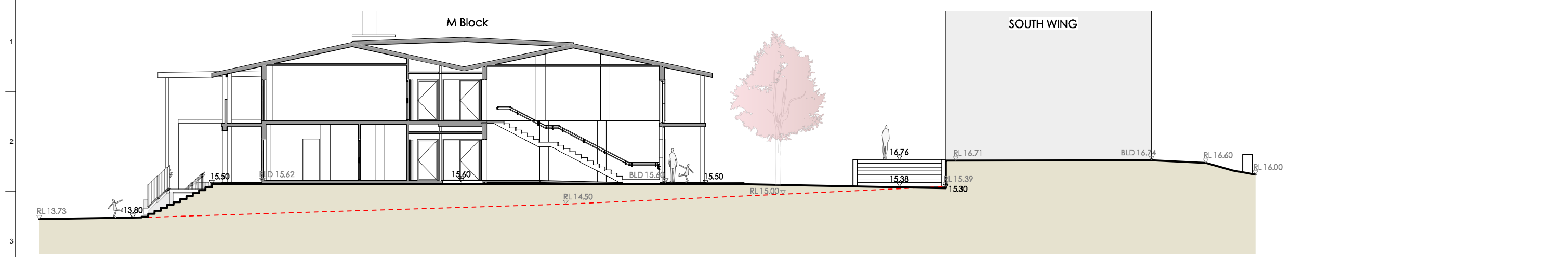


1500 Mixed Use Court Stepped Terrace Mulched Surface Playground Resident Area

13 MIXED USED COURT & PLAYGROUND
Scale: 1:100

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<p>ISSUED FOR DA</p>				<p>24/10/19 AH</p>				<p>Job No 190601</p>			
<p>Issue Description</p>				<p>Date By</p>				<p>Drawing No L-DA-506</p>			
								<p>Drawing Status Development Application</p>			
								<p>Issue A</p>			



Dry Creek Playground Amphitheatre Path

14 NEW BUILDING & M BLOCK PASS
Scale: 1:200



Oval Low Mound Swale Existing Trees Planting Area Resident Area

15 NORTHERN OVAL - SWALE & LOW MOUND
Scale: 1:100

NOT FOR CONSTRUCTION

<ul style="list-style-type: none"> - Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing. 				<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture Studio 203, Level 2, 61 Marlborough Street Surry Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> 		<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>		<p>PROJECT TITLE</p> <p>Pittwater House Schools 70 South Creek Road, Collaroy NSW 2097</p>		<p>DRAWING TITLE</p> <p>Landscape Sections 07</p> <p>Scale @ A3 Varies</p> <p>Job No 190601 Drawing Status Development Application</p> <p>Drawing No L-DA-507 Issue A</p>	
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Issue	Description	Date	By								