



NatHERS Thermal Comfort and BASIX Assessment

Proposed Dwelling at Lot 45, 58 Oliver Street, Freshwater NSW 2096

Project Client: Allcastle Homes For: Mr. & Mrs. Johnston

Job No.	Revision	Notes	Date
7630	A	NatHERS Thermal Comfort & BASIX Assessment – NCC 2022	19/01/2025

Thermal Comfort Specifications

Glazing: Doors/windows	<p>Manufacturer: Stegbar</p> <p>The following glazing may be substituted with other glazed windows or doors with a U-value that is equal to or lower than the value stated, and an SHGC +/-5% or the value stated. Given values are AFRC, total window system values (glass and frame).</p> <p>Cedar framed single clear glazing: Family doors out to Alfresco and sidelight windows, Meals doors out to Alfresco, Kitchen fixed window, Laundry (door and window), Front Entry door and sidelight windows, WC and Bath:</p> <p>Awning window: STG-017-001 U-Value: 4.8 SHGC: 0.60 Double Hung: STG-019-001 U-Value: 4.8 SHGC: 0.63 Fixed window: STG-083-001 U-Value: 5.2 SHGC: 0.73 Hinged Door: STG-037-304 U-Value: 4.2 SHGC: 0.55</p> <p>Cedar framed single energy tech glazing to Powder: Sliding window: STG-023-302 U-Value: 3.3 SHGC: 0.49</p> <p>Cedar framed double glazing: to Lounge, Family and Meals awning windows, Entry awning window, Upper Living, all Bedrooms, Stair and Ensuite: Fixed window: STG-118-001 U-Value: 2.9 SHGC: 0.63 Awning window: STG-016-001 U-Value: 2.7 SHGC: 0.48 Double Hung: STG-018-001 U-Value: 2.9 SHGC: 0.56</p>
Roof	Tiled roof with sarking Colour: Medium (0.475<SA<0.7)
Ceiling	Plasterboard ceiling with R5.0 insulation (insulation only value) where roof above Ground Floor: R1.9 insulation (insulation only value) to ceiling joists (between levels)
Ceiling penetrations	Sealed LED downlights to Ground Floor, modelled; One per 5m ² Sealed exhaust fans to Bath, Ensuite, Powder and WC
Ceiling fans	One ceiling fan required: to Meals
External Walls	Brick veneer walls with R2.7 insulation (insulation only value) Default Medium colour modelled (0.475<SA<0.7)
Internal walls	Plasterboard on studs R2.0 insulation (insulation only value) to the internal walls of the Laundry, Bath and WC (not required between Bath and WC)
Floors	Waffle pod concrete slab Timber framed to first floor (between levels) Floor coverings: Tiles to wet areas, timber elsewhere
External Shading	Covered Porch and Alfresco, and eaves as per stamped plans

BASIX Water Commitments

Fixtures	Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 6 stars in each bathroom
Alternative Water	Install rainwater tank with minimum 1,000L capacity, connected to – At least one outdoor tap, laundry and toilets Rainwater harvest collected from a min. 140m ² roof area

BASIX Energy Commitments

Hot water System	Electric heat pump: minimum performance of 21-25 STC's
Cooling system	1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Heating system	1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Ventilation	Kitchen: Individual fan, externally ducted to roof or façade, manual on/off switch Bathrooms: Individual fan, externally ducted to roof or façade, manual on/off switch Laundry: Natural ventilation
Other	Electric cooktop & electric oven Outdoor clothes drying line Alternative Energy: Minimum 2.0kW of Solar/Photo Voltaics

Nationwide House Energy Rating Scheme[®]

NatHERS[®] Certificate No. 0011665841

Generated on 19 Jan 2025 using BERS Pro v5.2.4 (3.23)

Property

Address 58 Oliver Street,
Freshwater, NSW, 2096

Lot/DP Lot 45 DP 7310

NCC class* 1a

Floor/all Floors G of 2 floors

Type New Home

Plans

Main plan 7630

Prepared by Allcastle Homes

Construction and environment

Assessed floor area [m2]*	Exposure type
Conditioned* 184.8	Suburban
Unconditioned* 16.5	NatHERS climate zone
Total 201.4	56 Mascot (Sydney Airport)
Garage 0.0	



Accredited assessor

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Assessor Accrediting Organisation
HERA

Declaration of interest Declaration completed: no conflicts

NCC Requirements

NCC provisions Volume Two

Strate/Territory variation Yes

National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at www.abcb.gov.au.

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

Thermal performance Star rating



**NATIONWIDE
HOUSE**
ENERGY RATING SCHEME[®]

29.5 MJ/m²

Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's rating see:
www.nathers.gov.au

Thermal performance [MJ/m²]

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled Load limits	16.3 N/A	13.1 N/A
Features determining load limits		
Floor Type (lowest conditioned area)		CSOG
NCC climate zone 1 or 2		No
Outdoor living area		No
Outdoor living area ceiling fan		No

Whole of Home performance rating

No Whole of Home performance rating generated for this certificate.

Verification

To verify this certificate, scan the QR code or visit hstar.com.au/QR/Generate?p=KnSiEEgYN. When using either link, ensure you are visiting hstar.com.au



About the ratings

Thermal performance rating

NatHERS thermal software models the expected heating and cooling energy loads using information about the design, construction, climate and common patterns of household use. The thermal performance rating (shown as a star rating on this Certificate) does not take into account appliances, apart from the airflow impacts from ceiling fans.

Whole of Home performance rating

NatHERS Whole of Home software uses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, pool/spa pump and onsite renewable energy generation and storage) and models the expected energy value* of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.

Heating & Cooling Load Limits

Additional information

In some locations under the NCC NatHERS pathway, separate heating and cooling load limits may apply. Minimum required star ratings in northern parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area ceiling fan. Refer to the *ABCB Standard 2022: NatHERS heating and cooling load limits* for details or contact the relevant local building regulating authority, noting that State and Territory variations may also apply.

Setting Options:

Floor Type:

- CSOG – Concrete Slab on Ground
- SF – Suspended Floor (or a mixture of CSOG and SF)
- NA – Not Applicable

NCC Climate Zone 1 or 2:

- Yes
- No
- NA – Not Applicable

Outdoor Living Area:

- Yes
- No
- NA – Not Applicable

Outdoor Living Area Ceiling Fan:

- Yes
- No
- NA – Not Applicable

Predicted onsite renewable energy impact

No Whole of Home performance assessment conducted for this certificate.

Predicted Whole of Home annual impact by appliance

Energy use

No Whole of Home performance assessment conducted for this certificate

Greenhouse gas emissions

No Whole of Home performance assessment conducted for this certificate

Cost

No Whole of Home performance assessment conducted for this certificate



Certificate check

The checklist covers important items impacting the dwelling's ratings. It is recommended that the accuracy of the whole certificate is checked.

Note: The boxes indicate when and by whom each item should be checked. It is not mandatory to complete this checklist.

	Approval Stage		Construction Stage		Occupancy/Other
	Assessor checked	Consent Authority/ Surveyor checked	Builder checked	Consent Authority Surveyor checked	
Genuine certificate check					
Does this Certificate match the one available at the web address or QR code verification link on the front page?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the NatHERS certificate number on the NatHERS-stamped plans match the number on this Certificate?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Thermal performance check					
Windows and glazed doors					
Does the window size, opening type and location shown on the NatHERS-stamped plans or as installed match what is shown in 'Window and glazed door schedule' and 'Roof window schedule' tables on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the installed windows meet the substitution tolerances (AFRC* based SHGC* and U-values*) as shown in the 'Window and glazed door type and performance' and 'Roof window type and performance' tables on this Certificate?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
External walls					
Does the external wall bulk insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the External wall type table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the external wall shade (colour) match what is shown in the 'External wall type' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor					
Does the floor insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Floor type' table on this certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ceiling penetrations*					
Does the 'quantity' and 'type' of ceiling penetrations* (e.g. downlights, exhaust fans, etc) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling penetrations' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ceiling					
Does the ceiling insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling type' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof					
Does the external roof shade (colour) on the NatHERS stamped plans or as installed match what is shown in the 'Roof type' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Apartment entrance doors (NCC Class 2 assessments only)					
Does the 'External Door Schedule' show apartment entrance doors? Please note that an "external door" between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Exposure*					
Has the appropriate exposure type (terrain) (shown on page 1) been applied? For example, it is unlikely that a ground-floor apartment is "exposed" or a top floor high-rise apartment is "protected".	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Heating and cooling load limits*					
Do the load limits settings (shown on page 1) match what is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

* Refer to glossary.



Certificate check

Continued

	Approval Stage		Construction Stage		Occupancy/Other
	Assessor checked	Consent Authority/ Surveyor checked	Builder checked	Consent Authority Surveyor checked	

Additional NCC requirements for thermal performance (not included in the NatHERS assessment)

Thermal bridging

Does the dwelling meet the NCC requirement for thermal bridging?

Insulation installation method

Has the insulation been installed according to the NCC requirements?

Building sealing

Does the dwelling meet the NCC requirements for Building Sealing?

Whole of Home performance check (not applicable if a Whole of Home performance assessment is not conducted)

Appliances

Does the cooling appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the Appliance schedule on this Certificate?

Does the heating appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or installed, match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

Does the hot water system type and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

Does the pool pump efficiency/performance shown on the NatHERS-stamped plans or as installed match the minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

Does the onsite renewable energy system type, orientation and system size or generation capacity shown on the NatHERS stamped plans or installed match the 'Onsite Renewable Energy schedule' on this Certificate?

Additional NCC Requirements for Services (not included in the NatHERS assessment)

Does the lighting meet the artificial lighting requirements specified in the NCC?

Does the hot water system meet the additional requirements specified in the NCC?

Provisional values* check

Have provisional values* been used in the assessment and, if so, are they noted in 'Additional notes' table below?

Other NCC requirements

Note: This Certificate only covers the energy efficiency requirements in the NCC. Additional requirements that must also be satisfied include, but are not limited to: condensation, structural and fire safety requirements and any state or territory variations to the NCC energy efficiency requirements.

Additional notes

* Refer to glossary.

Room schedule

Room	Zone Type	Area [m ²]
Lounge	Living	19.2
Powder	Unconditioned	4.03
Laundry	Unconditioned	4.92
Kitch/Fam/Meals	Kitchen/Living	49.86
WIP	Daytime	3.65
Entry/Stairs	Daytime	26.64
Bed 4	Bedroom	10.62
Bed 3	Bedroom	10.63
Bed 2	Bedroom	11.06
WIR 1	Nighttime	2.11
WIR 2	Nighttime	2.31
Ensuite	Nighttime	6.99
Bed 1	Nighttime	17.14
Bath	Unconditioned	5.91
WC	Unconditioned	1.66
Upper Living	Living	12.05
Hall/Stairs FF	Daytime	18.17

Window and glazed door type and performance

Default windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Custom windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
STG-018-001	Timber Double Hung Window DG 3Clr/6/3Clr	2.9	0.56	0.53	0.59
STG-118-001	Timber Fixed Window DG 4Clr/10Ar/4Clr	2.9	0.63	0.60	0.66
STG-016-001	Timber Awning Window DG 3Clr/6/3Clr	2.7	0.48	0.46	0.50
STG-023-305	Timber Sliding Window SG 5ET	3.3	0.48	0.46	0.50

* Refer to glossary.



Custom windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
STG-037-304	Timber French Door SG 4Clr	4.2	0.55	0.53	0.58
STG-017-001	Timber Awning Window SG 3Clr	4.8	0.60	0.57	0.63
STG-083-001	Timber Fixed Window SG 3Clr	5.2	0.73	0.70	0.77

Window and glazed door schedule

Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*
Lounge	STG-018-001-001	W10	2000	778	Double Hung	45	NE	No
Lounge	STG-118-001-003	W11	2000	1400	Fixed	00	E	No
Lounge	STG-018-001-001	W9	2000	778	Double Hung	45	SE	No
Lounge	STG-016-001-001	W12	1800	1400	Awning	60	S	No
Lounge	STG-016-001-001	W13	1800	1400	Awning	60	S	No
Powder	STG-023-305-001	W37	429	1110	Sliding	45	S	No
Laundry	STG-037-304-001	W2	2120	820	Casement	90	N	No
Laundry	STG-017-001-001	W22	944	550	Awning	90	N	No
Kitch/Fam/Meals	STG-037-304-001	W3	2111	820	Casement	90	W	No
Kitch/Fam/Meals	STG-037-304-001	W4	2111	820	Casement	90	W	No
Kitch/Fam/Meals	STG-083-001-001	W18	2111	430	Fixed	00	W	No
Kitch/Fam/Meals	STG-083-001-001	W19	2111	430	Fixed	00	W	No
Kitch/Fam/Meals	STG-037-304-001	W5	2111	620	Casement	90	S	No
Kitch/Fam/Meals	STG-037-304-001	W6	2111	620	Casement	90	S	No
Kitch/Fam/Meals	STG-016-001-001	W17	1800	2200	Awning	60	W	No
Kitch/Fam/Meals	STG-016-001-001	W20	1800	1400	Awning	60	N	No
Kitch/Fam/Meals	STG-083-001-001	W21	700	1930	Fixed	00	N	No
Kitch/Fam/Meals	STG-016-001-001	W14	1800	1400	Awning	60	S	No
Kitch/Fam/Meals	STG-016-001-001	W15	1800	1400	Awning	60	S	No
Entry/Stairs	STG-016-001-001	W23	1800	700	Awning	60	N	No
Entry/Stairs	STG-037-304-001	W1	2340	1020	Casement	90	E	No
Entry/Stairs	STG-083-001-001	W7	2400	480	Fixed	00	E	No

* Refer to glossary.



Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*
Entry/Stairs	STG-083-001-001	W8	2400	480	Fixed	00	E	No
Bed 4	STG-018-001-001	W34	1000	1500	Double Hung	10	E	No
Bed 4	STG-016-001-001	W33	1200	1400	Awning	10	S	No
Bed 3	STG-016-001-001	W32	1200	1400	Awning	10	S	No
Bed 2	STG-016-001-001	W31	1200	1400	Awning	10	S	No
Ensuite	STG-016-001-001	W27	1000	1400	Awning	90	N	No
Bed 1	STG-016-001-001	W28	700	1400	Awning	10	W	No
Bed 1	STG-016-001-001	W29	700	1400	Awning	10	W	No
Bed 1	STG-016-001-001	n/a	1200	1400	Awning	10	S	No
Bath	STG-017-001-001	W36	1000	1400	Awning	90	N	No
WC	STG-017-001-001	W25	1000	700	Awning	90	N	No
Upper Living	STG-018-001-001	W35	1000	1500	Double Hung	10	E	No
Hall/Stairs FF	STG-016-001-001	W24	1200	2100	Awning	90	N	No

Roof window* type and performance value

Default roof windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Custom roof windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Roof window* schedule

Location	Window ID	Window no.	Opening %	Height [mm]	Width [mm]	Orientation	Outdoor shade	Indoor shade
No Data Available								

Skylight* type and performance

Skylight ID	Skylight description	Skylight shaft reflectance
No Data Available		



Skylight* schedule

Location	Skylight ID	Skylight No.	Skylight shaft length [mm]	Area [m ²]	Orientation	Outdoor shade	Diffuser
No Data Available							

External door schedule

Location	Height [mm]	Width [mm]	Opening %	Orientation
No Data Available				

External wall type

Wall ID	Wall type	Solar absorptance	Wall shade [colour]	Bulk insulation [R-value]	Reflective wall wrap*
EW-1	Timber Stud Frame Brick Veneer	0.50		Bulk Insulation R2.7	No

External wall schedule

Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]
Lounge	EW-1	2740	595	E	2750	No
Lounge	EW-1	2740	820	NE	3957	No
Lounge	EW-1	2740	1550	E	250	No
Lounge	EW-1	2740	791	SE	564	No
Lounge	EW-1	2740	200	E	900	No
Lounge	EW-1	2740	5495	S	50	No
Powder	EW-1	2740	1590	S	50	No
Laundry	EW-1	2740	2390	N	50	No
Kitch/Fam/Meals	EW-1	2740	3400	W	4150	No
Kitch/Fam/Meals	EW-1	2740	2000	S	4150	No
Kitch/Fam/Meals	EW-1	2740	3550	W	700	No
Kitch/Fam/Meals	EW-1	2740	6595	N	50	No
Kitch/Fam/Meals	EW-1	2740	6995	S	50	No
WIP	EW-1	2740	1840	N	50	No
Entry/Stairs	EW-1	2740	6295	N	50	No
Entry/Stairs	EW-1	2740	3650	E	1700	No
Entry/Stairs	EW-1	2740	1050	S	3350	No

* Refer to glossary.

Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]
Bed 4	EW-1	2440	3295	E	750	No
Bed 4	EW-1	2440	2945	S	700	No
Bed 3	EW-1	2440	3640	S	700	No
Bed 2	EW-1	2440	4240	S	700	No
WIR 2	EW-1	2440	1140	N	700	No
Ensuite	EW-1	2440	3245	N	700	No
Ensuite	EW-1	2440	2195	W	700	No
Bed 1	EW-1	2440	4745	W	700	No
Bed 1	EW-1	2440	3245	S	700	No
Bath	EW-1	2440	2840	N	700	No
WC	EW-1	2440	1590	N	700	No
Upper Living	EW-1	2440	3345	N	700	No
Upper Living	EW-1	2440	3650	E	700	No
Upper Living	EW-1	2440	1050	S	4000	No
Hall/Stairs FF	EW-1	2440	2940	N	700	No

Internal wall type

Wall ID	Wall type	Area [m ²]	Bulk insulation
IW-001	Timber Stud Frame, Direct Fix Plasterboard	137.66	No insulation
IW-002	Timber Stud Frame, Direct Fix Plasterboard	34.20	Bulk Insulation, No Air Gap R2

Floor type

Location	Construction	Area [m ²]	Sub-floor ventilation	Added insulation [R-value]	Covering
Lounge	Waffle pod slab 225 mm 100mm	19.20	None	Waffle Pod 225mm	Cork Tiles or Parquetry 8mm
Powder	Waffle pod slab 225 mm 100mm	4.03	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Laundry	Waffle pod slab 225 mm 100mm	4.92	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Kitch/Fam/Meals	Waffle pod slab 225 mm 100mm	49.86	None	Waffle Pod 225mm	Cork Tiles or Parquetry 8mm
WIP	Waffle pod slab 225 mm 100mm	3.65	None	Waffle Pod 225mm	Cork Tiles or Parquetry 8mm



Location	Construction	Area [m ²]	Sub-floor ventilation	Added insulation [R-value]	Covering
Entry/Stairs	Waffle pod slab 225 mm 100mm	26.64	None	Waffle Pod 225mm	Cork Tiles or Parquetry 8mm
Bed 4 / Lounge	Timber Framed Timber Above Plasterboard 19mm	10.62		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
Bed 3 / Lounge	Timber Framed Timber Above Plasterboard 19mm	7.00		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
Bed 3 / Powder	Timber Framed Timber Above Plasterboard 19mm	2.61		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
Bed 3 / Entry/Stairs	Timber Framed Timber Above Plasterboard 19mm	0.41		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
Bed 2 / Powder	Timber Framed Timber Above Plasterboard 19mm	1.00		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
Bed 2 / Kitch/Fam/Meals	Timber Framed Timber Above Plasterboard 19mm	9.40		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
WIR 1 / Kitch/Fam/Meals	Timber Framed Timber Above Plasterboard 19mm	2.11		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
WIR 2 / Kitch/Fam/Meals	Timber Framed Timber Above Plasterboard 19mm	2.31		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
Ensuite / Kitch/Fam/Meals	Timber Framed Timber Above Plasterboard 19mm	6.98		Bulk Insulation R1.9	Ceramic Tiles 8mm
Bed 1 / Kitch/Fam/Meals	Timber Framed Timber Above Plasterboard 19mm	17.15		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
Bath / Laundry	Timber Framed Timber Above Plasterboard 19mm	1.40		Bulk Insulation R1.9	Ceramic Tiles 8mm
Bath / Kitch/Fam/Meals	Timber Framed Timber Above Plasterboard 19mm	0.60		Bulk Insulation R1.9	Ceramic Tiles 8mm
Bath / WIP	Timber Framed Timber Above Plasterboard 19mm	3.19		Bulk Insulation R1.9	Ceramic Tiles 8mm
WC / Laundry	Timber Framed Timber Above Plasterboard 19mm	1.66		Bulk Insulation R1.9	Ceramic Tiles 8mm
Upper Living / Entry/Stairs	Timber Framed Timber Above Plasterboard 19mm	12.05		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm



Location	Construction	Area [m ²]	Sub-floor ventilation	Added insulation [R-value]	Covering
Hall/Stairs FF / Laundry	Timber Framed Timber Above Plasterboard 19mm	0.00		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
Hall/Stairs FF / Kitch/Fam/Meals	Timber Framed Timber Above Plasterboard 19mm	0.00		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm
Hall/Stairs FF / Entry/Stairs	Timber Framed Timber Above Plasterboard 19mm	7.55		Bulk Insulation R1.9	Cork Tiles or Parquetry 8mm

Ceiling type

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap* [yes/no]
Lounge	Plasterboard on Timber	Bulk Insulation R5	
Lounge	Timber Framed Timber Above Plasterboard	Bulk Insulation R1.9	
Powder	Timber Framed Timber Above Plasterboard	Bulk Insulation R1.9	
Laundry	Timber Framed Timber Above Plasterboard	Bulk Insulation R1.9	
Kitch/Fam/Meals	Plasterboard on Timber	Bulk Insulation R5	
Kitch/Fam/Meals	Timber Framed Timber Above Plasterboard	Bulk Insulation R1.9	
WIP	Timber Framed Timber Above Plasterboard	Bulk Insulation R1.9	
Entry/Stairs	Timber Framed Timber Above Plasterboard	Bulk Insulation R1.9	
Bed 4	Plasterboard on Timber	Bulk Insulation R5	
Bed 3	Plasterboard on Timber	Bulk Insulation R5	
Bed 2	Plasterboard on Timber	Bulk Insulation R5	
WIR 1	Plasterboard on Timber	Bulk Insulation R5	
WIR 2	Plasterboard on Timber	Bulk Insulation R5	
Ensuite	Plasterboard on Timber	Bulk Insulation R5	
Bed 1	Plasterboard on Timber	Bulk Insulation R5	
Bath	Plasterboard on Timber	Bulk Insulation R5	
WC	Plasterboard on Timber	Bulk Insulation R5	
Upper Living	Plasterboard on Timber	Bulk Insulation R5	
Hall/Stairs FF	Plasterboard on Timber	Bulk Insulation R5	

Ceiling penetrations*

Location	Quantity	Type	Diameter [mm]	Sealed/unsealed
Lounge	4	Downlights - LED	100	Sealed
Powder	1	Downlights - LED	100	Sealed
Powder	1	Exhaust Fans	300	Sealed
Laundry	1	Downlights - LED	100	Sealed
Kitch/Fam/Meals	10	Downlights - LED	100	Sealed
Kitch/Fam/Meals	1	Exhaust Fans	300	Sealed
WIP	1	Downlights - LED	100	Sealed
Entry/Stairs	6	Downlights - LED	100	Sealed
Ensuite	1	Exhaust Fans	300	Sealed
Bath	1	Exhaust Fans	300	Sealed
WC	1	Exhaust Fans	300	Sealed

Ceiling fans

Location	Quantity	Diameter [mm]
Kitch/Fam/Meals	1	1200

Roof type

Construction	Added insulation [R-value]	Solar absorptance	Roof shade [colour]
Roof Tiles Timber Frame	Foil, No Gap, Reflective Side Down, Anti-glare Up	0.50	Medium

Thermal bridging schedule for steel frame elements

Building element	Steel section dimensions [height x width, mm]	Frame spacing [mm]	Steel thickness [BMT,mm]	Thermal break [R-value]
No Data Available				

Appliance schedule

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

Note: A flat assumption of 5W/m² is used for lighting, therefore lighting is not included in the appliance schedule.



Cooling system

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available				

Heating system

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available				

Hot water system

Appliance/ system type	Fuel type	Hot Water CER Zone	Minimum efficiency /STC	Zone 3 STC	Zone 3 Substitution tolerance ranges		Assessed daily load [litres]
					lower limit	upper limit	
No Data Available							

Pool/spa equipment

Appliance/ system type	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available			

Onsite Renewable Energy Schedule

System Type	Orientation	System Size Or Generation Capacity
No Data Available		

Battery Schedule

System Type	Size [Battery Storage Capacity]
No Data Available	



Explanatory notes

About this report

NatHERS ratings are a reliable guide for comparing different dwelling designs and to demonstrate that designs meet the energy efficiency requirements in the National Construction Code.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the heating and cooling energy loads and energy value* of the whole home. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy generation and storage to estimate the home's energy value*.

The actual energy loads, cost and greenhouse gas emissions of a home may vary from that predicted. This is because the assumptions will not always match the actual occupant usage patterns. For example, the number of occupants and how people use their appliances will vary.

Energy efficient homes use less energy, are warmer on cool days, cooler on hot days and cost less to run.

Accredited assessors

For quality assured NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and

are not quality assured.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in the certificate is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy load, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor using the NatHERS accredited software tool are presented in this report and further details or data files may be obtained from the assessor.

Glossary

AFRC	Australian Fenestration Rating Council
Annual energy load	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
Assessed floor area	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
Ceiling penetrations	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, range hoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
COP	Coefficient of performance
Conditioned	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
Custom windows	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
Default windows	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
EER	Energy Efficiency Ratio, measure of how much cooling can be achieved by an air conditioner for a single kWh of electricity input
Energy use	This is your homes rating without solar or batteries.
Energy value	The net cost to society including, but not limited to, costs to the building user, the environment and energy networks (as defined in the ABCB Housing Provisions Standard).
Entrance door	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
Exposure	see exposure categories below.
Exposure category – exposed	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
Exposure category – open	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
Exposure category – protected	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
Exposure category – suburban	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
Horizontal shading feature	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
National Construction Code (NCC) Class	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at www.abcb.gov.au .
Net zero home	a home that achieves a net zero energy value*.
Opening percentage	the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
Provisional value	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at www.nathers.gov.au
Recommended capacity	this is the capacity or size of equipment that is recommended by NatHERS to achieve the desired comfort conditions in the zone or zones serviced. This is a recommendation and the final selection sizing should be confirmed by a suitably qualified person.
Reflective wrap (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
Roof window	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
Shading features	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
Skylight (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
Solar heat gain coefficient (SHGC)	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
STCs	Small-scale Technology Certificates, certificates created by the REC registry for renewable energy technologies that may be bought and sold as part of the Small-scale Renewable Energy Scheme operated by the Clean Energy Regulator (CER)
Thermal breaks	are materials with an R-value greater than or equal to 0.2 that must separate the metal frame from the cladding. This includes, but is not limited to, materials such as timber battens greater than or equal to 20mm thick or continuous thermal breaks such as polystyrene insulation sheeting or plastic strips
U-value	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
Unconditioned	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions.
Vertical shading features	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).
Window shading device	device fixed to windows that provides shading e.g. window awnings or screens but excludes horizontal* or vertical shading features* (eg eaves and balconies)

* Refer to glossary.

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1780331S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 20 January 2025

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	58 Oliver Street, FRESHWATER	
Street address	58 OLIVER Street FRESHWATER 2096	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP7310	
Lot no.	45	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	4	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 88	Target 72
Materials	✔ -21	Target n/a

Certificate Prepared by
Name / Company Name: Green Future Group Pty Ltd
ABN (if applicable): 55656040078

Description of project

Project address	
Project name	58 Oliver Street, FRESHWATER
Street address	58 OLIVER Street FRESHWATER 2096
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan DP7310
Lot no.	45
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	4
Site details	
Site area (m ²)	399
Roof area (m ²)	165
Conditioned floor area (m ²)	185.0
Unconditioned floor area (m ²)	17.0
Total area of garden and lawn (m ²)	158
Roof area of the existing dwelling (m ²)	0

Assessor details and thermal loads		
Assessor number	HERA10134	
Certificate number	0011665841	
Climate zone	56	
Area adjusted cooling load (MJ/m ² .year)	13	
Area adjusted heating load (MJ/m ² .year)	16	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 88	Target 72
Materials	✔ -21	Target n/a

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 140 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> • all toilets in the development • the cold water tap that supplies each clothes washer in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		✓ ✓ ✓	✓ ✓ ✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m ²	Insulation
floor - concrete slab on ground, waffle pod slab.	110	none
floor - above habitable rooms or mezzanine, particle board; frame: timber - H2 treated softwood..	92	rockwool batts, roll or pump-in
external wall: brick veneer; frame: timber - H2 treated softwood.	all external walls	rockwool batts, roll or pump-in
internal wall: plasterboard; frame: timber - H2 treated softwood.	35	rockwool batts, roll or pump-in
internal wall: plasterboard; frame: timber - H2 treated softwood.	113	none
ceiling and roof - flat ceiling / pitched roof, framed - concrete tiles , timber - H2 treated softwood.	165	ceiling: rockwool batts, roll or pump-in; roof: foil/sarking.

Thermal Performance and Materials commitmentsShow on
DA plansShow on CC/CDC
plans & specsCertifier
check**Glazing**

The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.

**Frames****Maximum area - m2**

aluminium

0

timber

58

uPVC

0

steel

0

composite

0

Glazing**Maximum area - m2**

single

25

double

33

triple

0

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 21 to 25 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✓	✓
Ventilation			
<p>The applicant must install the following exhaust systems in the development:</p> <p>At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p> <p>Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p> <p>Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p>		<p>✓</p> <p>✓</p> <p>✓</p>	<p>✓</p> <p>✓</p> <p>✓</p>
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of: <ul style="list-style-type: none"> • photovoltaic collectors with the capacity to generate at least 2 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing north 	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a  in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

ALL STEEL TO BE MEASURED (HEIGHT) & FLOORING TO BE CHECKED OVER IF REQUIRED

IF REQUIRED, BEAMS TO BE PACKED WITH **NON-COMPRESSIBLE MATERIAL** TO ENSURE FLOORS AND FRAMES ARE LEVEL

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

ALL DOWNPIPES TO BE PVC, CIRCULAR & SET 240MM FROM OUTSIDE OF EDGE TO CENTRELINE OF D.P. UNLESS OTHERWISE INDICATED

6-STAR RATED WATER EFFICIENCY TO TAPS FOR BASINS AND BATHS
4-STAR TO KITCHEN TAPS
4-STAR TO W.C. CISTERNS
4-STAR SHOWER HEAD FLOW >6 BUT <= 7.5L/min

1-PHASE A/C
MIN. 3.0 / 3.5 E.E.R.

OUTLET & DUCT POSITIONS ARE APPROX. ONLY AND MAY BE MOVED ON SITE, & SQUARE OR RECTANGULAR VENTS MAY BE USED TO SUIT CONST. REQUIREMENTS.

CEDAR TIMBER DOOR & WINDOWS TO ENTIRE HOUSE

ALL WINDOWS DROP 3 BRICK COURSE (EXCEPT FRONT, P.WDR, ENS & MEAL REAR WINDOW)

SHOWER ROSES TO BE 1850 OFF FLOOR PRIOR TO TILING FOR STANDARD ADJUSTABLE ROSE (IF FIXED SHOWER ROSE IS SELECTED, MOUNT AT 2000 HIGH)

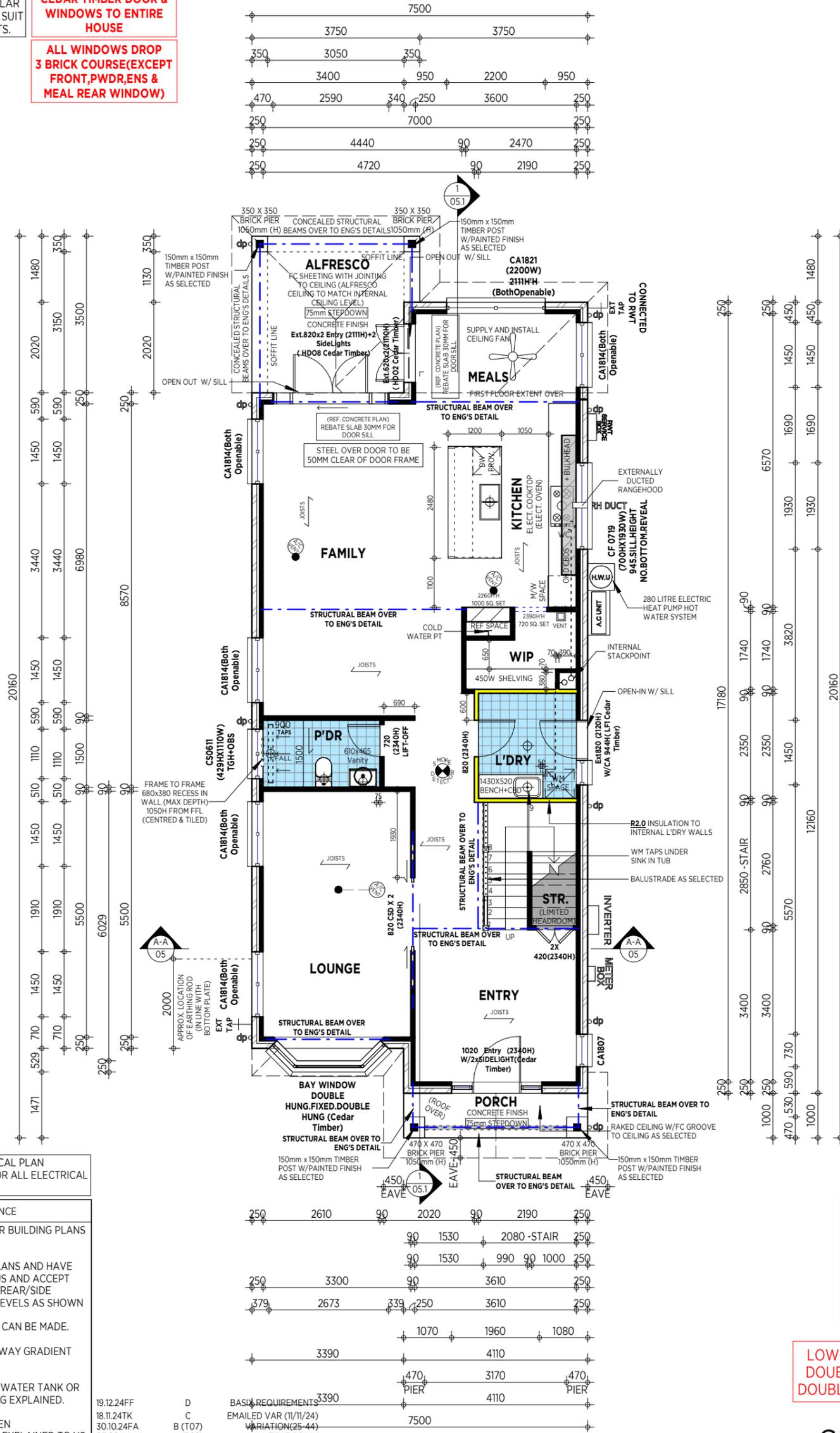
NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH.
* LOCATION OF ANY OTHER CONTROL JOINT IN PLASTERBOARD AS PER MANUFACT. INSTALLATION GUIDE **

NOTE: PLUMBER TO KEEP VANITY DRAINAGE POINT MAX. 100MM FROM BOTTOM PLATE

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

TIMBER FRAME CONSTRUCTION



NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.
I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

19.12.24FF	D	BASIX REQUIREMENTS
18.11.24TK	C	EMAILED VAR (11/11/24)
30.10.24FA	B (T07)	VARIATION (25-44)
03.09.24	A (T06)	FIRST DRAW

DATE ISSUE REVISION

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.
- ABN 12057 761 378

ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT. NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.

PROPOSED RESIDENCE		BANNABY AVOCA	
FOR: Mr. & Mrs. JOHNSTON		DATE: 03.09.2024	SCALE: 1:100
AT: LOT 45 (#58) OLIVER ST., FRESHWATER		DRAWN: DI	CHECKED
OWNER		SHEET NO: 02	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

Certificate No. 0011665841

Scan QR code or follow website link for rating details.

Assessor name: Danielle Grumont
Accreditation No. HERA10134
Property Address: 58 Oliver Street, Freshwater NSW 2096

hstar.com.au/QR/Generate?pk=KnsiEEgYn

**LOW-E GLAZING TO SLIDING WINDOW (P'DR)
DOUBLE GLAZING TO ALL AWNING WINDOWS
DOUBLE GLAZING TO BAY WINDOW TO LOUNGE**

GROUND FLOOR PLAN

Allcastle Homes

Make it Home

allcastlehomes.com.au

NOTE: WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.

R DENOTES RESTRICTION ON THE WINDOW

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

ALL STEEL TO BE MEASURED (HEIGHT) & FLOORING TO BE CHECKED OVER IF REQUIRED

1-PHASE A/C
MIN. 3.0 / 3.5 E.E.R.
OUTLET & DUCT POSITIONS ARE APPROX. ONLY AND MAY BE MOVED ON SITE, & SQUARE OR RECTANGULAR VENTS MAY BE USED TO SUIT CONST. REQUIREMENTS.

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

TIMBER FRAME CONSTRUCTION

CEDAR TIMBER DOOR & WINDOWS TO ENTIRE HOUSE

ALL WINDOWS DROP 3 BRICK COURSE (EXCEPT FRONT, PWDR, ENS & MEAL REAR WINDOW)

SHOWER ROSES TO BE 1850 OFF FLOOR PRIOR TO TILING FOR STANDARD ADJUSTABLE ROSE (IF FIXED SHOWER ROSE IS SELECTED, MOUNT AT 2000 HIGH)

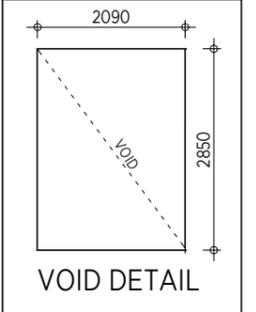
PROVIDE 300mm FLOOR JOISTS

NOTE: PLUMBER TO KEEP VANITY DRAINAGE POINT MAX. 100MM FROM BOTTOM PLATE

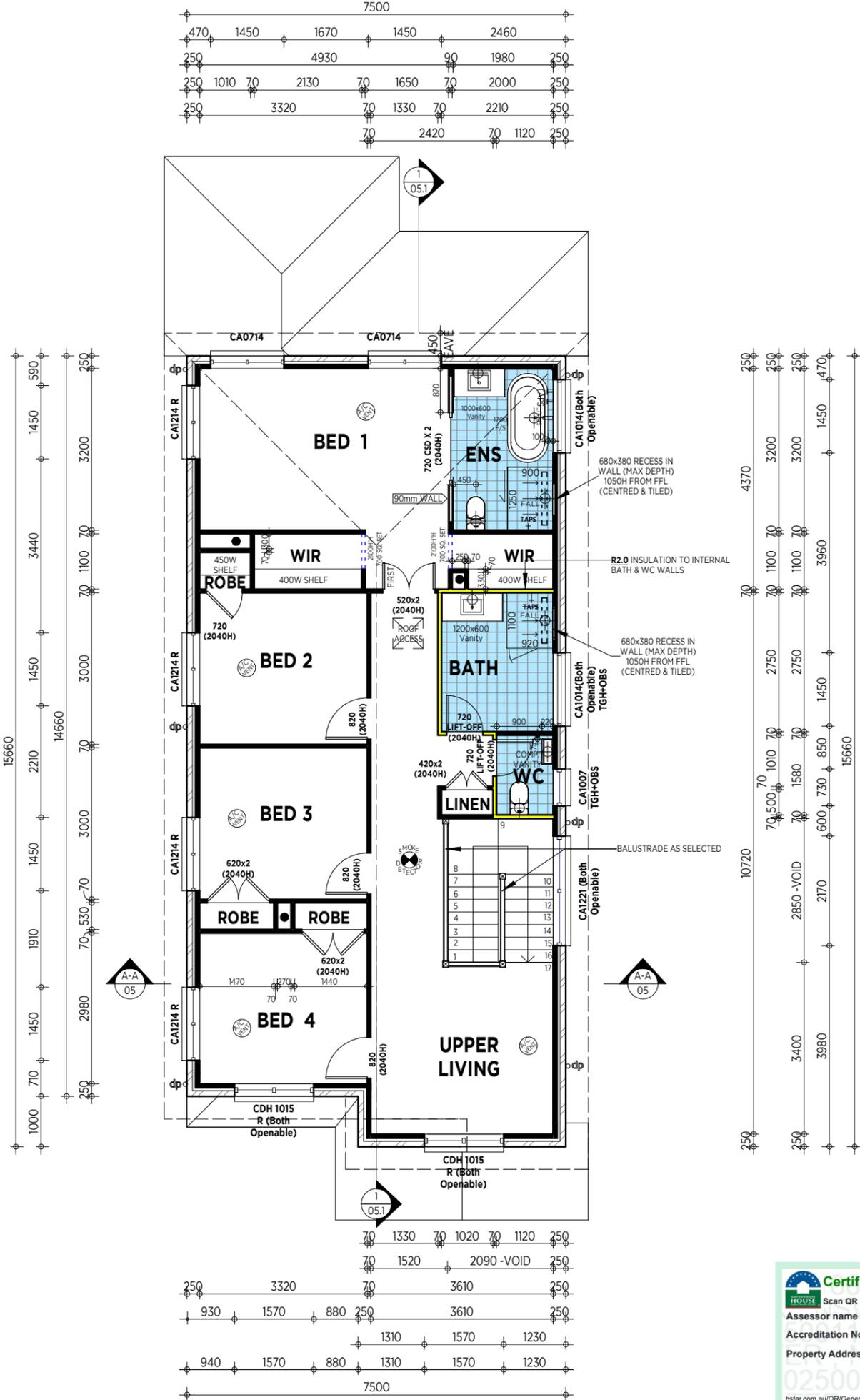
6-STAR RATED WATER EFFICIENCY TO TAPS FOR BASINS AND BATHS
4-STAR TO KITCHEN TAPS
4-STAR TO W.C. CISTERNS
4-STAR SHOWER HEAD FLOW >4.5 BUT <=6.0L/min

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

ALL DOWNPIPES TO BE PVC, CIRCULAR & SET 240MM FROM OUTSIDE OF EDGE TO CENTRELINE OF D.P. UNLESS OTHERWISE INDICATED



NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH. * LOCATION OF ANY OTHER CONTROL JOINT IN PLASTERBOARD AS PER MANUFACT. INSTALLATION GUIDE **



NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

OWNER(S) ACCEPTANCE
I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.
I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.
I/WE ACCEPT NO CHANGES CAN BE MADE.
I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.
I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.
I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

DATE	ISSUE	REVISION
19.12.24FF	D	BASIX REQUIREMENTS
18.11.24TK	C	EMAILED VAR (11/11/24)
30.10.24FA	B (T07)	VARIATION(25-44)
03.09.24	A (T06)	FIRST DRAW

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS - NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD. - ABN 12057 761 378

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PROPOSED RESIDENCE		BANNABY AVOCA	
		CUSTOM FAÇADE	
FOR:	DATE:	SCALE:	
Mr. & Mrs. JOHNSTON	03.09.2024	1:100	
	DRAWN:	CHECKED:	
	DI		
AT:	SHEET NO:	JOB NO:	
LOT 45 (#58) OLIVER ST., FRESHWATER	03	7630	

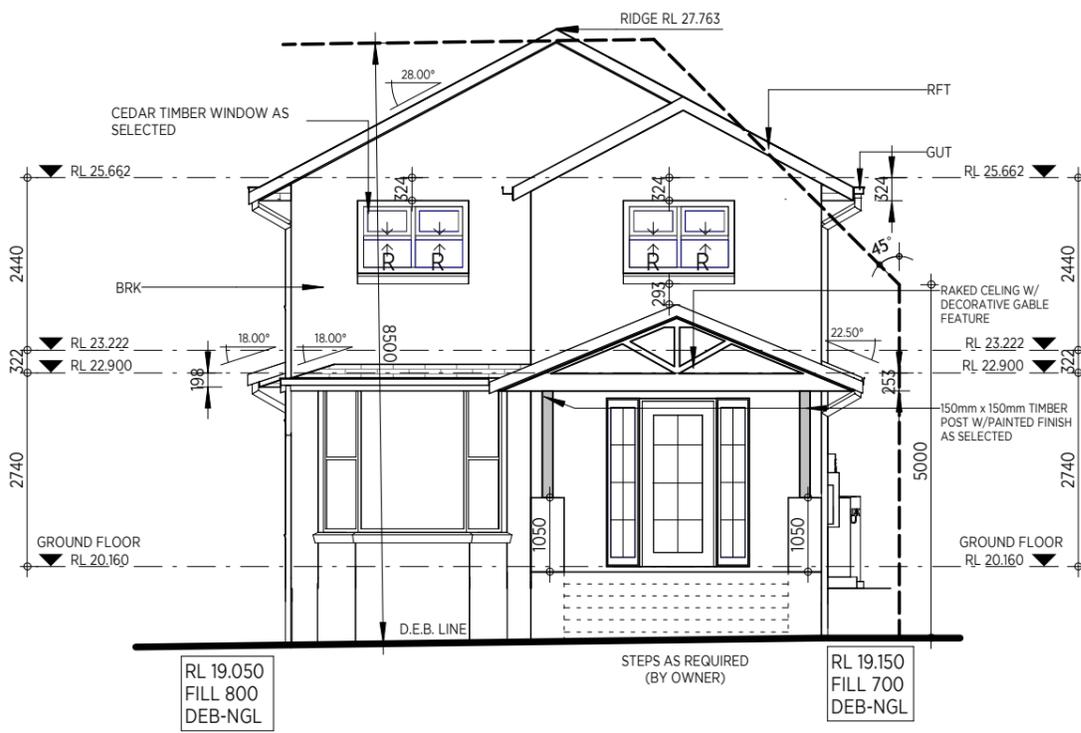
SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

Certificate No. 0011665841
Scan QR code or follow website link for rating details.
Assessor name: Danielle Grumont
Accreditation No.: HERA10134
Property Address: 58 Oliver Street, Freshwater NSW, 2096
0250011665841
hstar.com.au/QR/Generate?p=KnSIEEgYv

**LOW-E GLAZING TO SLIDING WINDOW (P'DR)
DOUBLE GLAZING TO ALL AWNING WINDOWS
DOUBLE GLAZING TO BAY WINDOW TO LOUNGE**

FIRST FLOOR PLAN

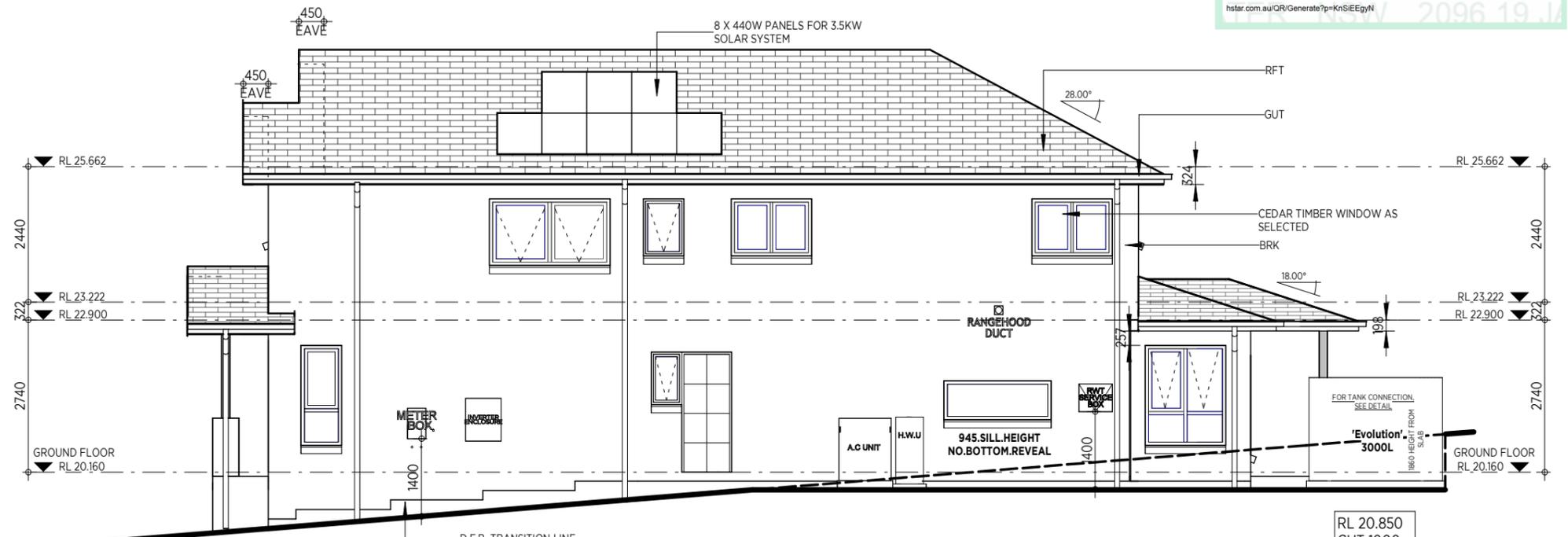
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allcastlehomes.com.au



EASTERN ELEVATION

CEDAR TIMBER DOOR & WINDOWS TO ENTIRE HOUSE
ALL WINDOWS DROP 3 BRICK COURSE (EXCEPT FRONT, PWD, ENS & MEAL REAR WINDOW)

Certificate No. 0011665841
 Scan QR code or follow website link for rating details.
 Assessor name: Danielle Grumont
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 Property Address: 58 Oliver Street, Freshwater NSW, 2096



NORTHERN ELEVATION

RL 20.850
CUT 1000
RETAINING
BY OWNER

- FOR FC CLADDING;**
1. PROVIDE 105mm REVEALS TO THE WINDOWS
 2. CLADDING TO BE FITTED INTO WINDOW FRAMES
 3. PROVIDE 110mm PLASTIC ALCOR TO PERIMETER OF WINDOWS
 4. PROVIDE SARKING WRAP TO FRAME OF CLADD ED AREAS
 5. PROVIDE 67mm x 18mm TIMBER ALONG FLASHINGS
 6. PROVIDE 13mm x 18mm TIMBER TO PERIMETER OF WINDOWS (FOR DURASHEET ONLY)

PROVIDE 300mm FLOOR JOISTS
 EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

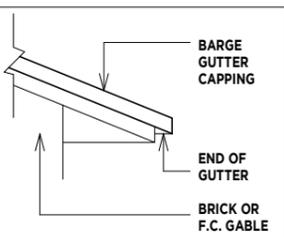
TIMBER FRAME CONSTRUCTION

NOTE: WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.

R DENOTES RESTRICTION ON THE WINDOW

Key Value	Keynote Text
BRK	BRICKWORK AS SELECTED
GUT	GUTTER + FASCIA AS SELECTED
RFT	ROOF TILES AS SELECTED

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL



TYPICAL DETAIL OF GABLE GUTTER END CAPPING

NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

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OWNER _____ OWNER _____ DATE _____

DATE	ISSUE	REVISION
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30.10.24FA	B (T07)	VARIATION(25-44)
03.09.24	A (T06)	FIRST DRAW



WESTERN ELEVATION

RL 20.850
CUT 1000
RETAINING
BY OWNER

RL 20.700
CUT 850
RETAINING
WALL
BY OWNER

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
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PROPOSED RESIDENCE	BANNABY AVOCA	
	CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1:100
	DRAWN: DI	CHECKED
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 04	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
 FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145
 PHONE: (02) 9672 7055
 FAX: (02) 9672 7033
 ABN: 12057761378 BLDG.LIC.39371

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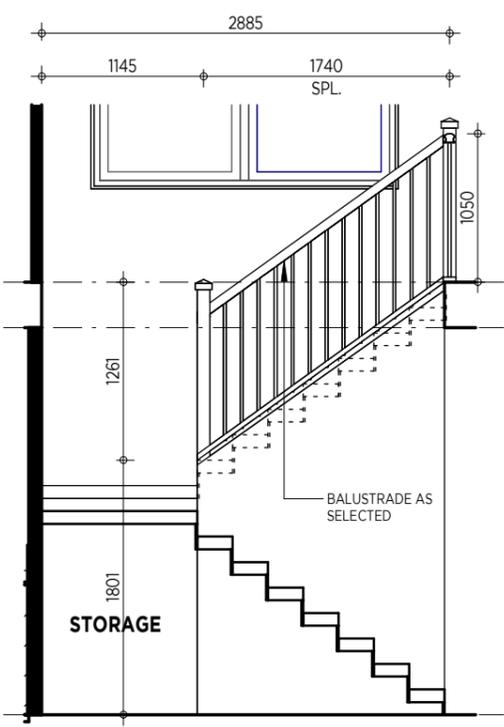
ELEVATIONS

CEDAR TIMBER DOOR & WINDOWS TO ENTIRE HOUSE

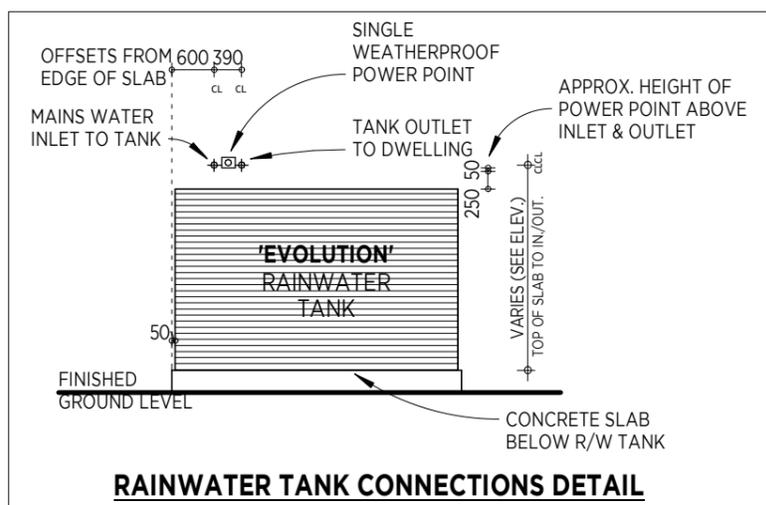
ALL WINDOWS DROP 3 BRICK COURSE (EXCEPT FRONT, PWDR, ENS & MEAL REAR WINDOW)



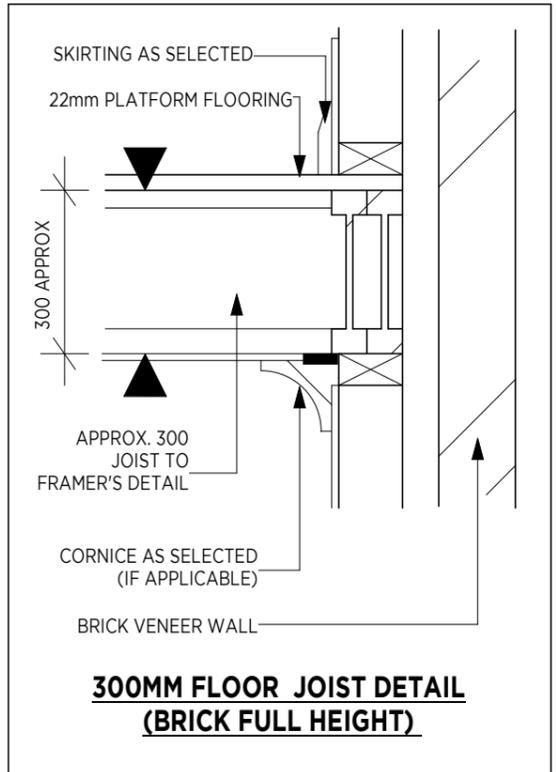
SOUTHERN ELEVATION



STAIR DETAIL



RAINWATER TANK CONNECTIONS DETAIL



300MM FLOOR JOIST DETAIL (BRICK FULL HEIGHT)

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/STORM MOULDS MAY BE REQUIRED

NOTE: REQUIRED ARTIFICIAL FLUORESCENT LIGHTING AS PER BASIX CERTIFICATE

HEAVY DUTY SARKING TO UNDERSIDE OF ROOFING

90MM CORNICE THROUGHOUT (SQUARE SET TO BATHROOMS)

PROVIDE 300mm FLOOR JOISTS

IF REQUIRED, BEAMS TO BE PACKED WITH **NON-COMPRESSIBLE MATERIAL** TO ENSURE FLOORS AND FRAMES ARE LEVEL

CONCRETE ROOF TILES (UNLESS NOTED OTHERWISE)

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

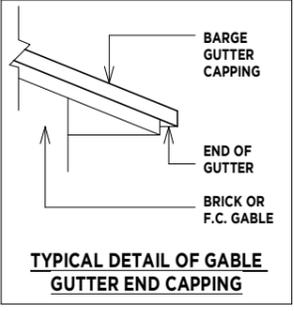
SELECTED WALL SARKING TO ALL EXTERNAL FRAMES

TERMITE-RESISTANT TREATED TIMBER FRAMES & TRUSSES

TIMBER FRAME CONSTRUCTION

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R DENOTES RESTRICTION ON THE WINDOW



TYPICAL DETAIL OF GABLE GUTTER END CAPPING

NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

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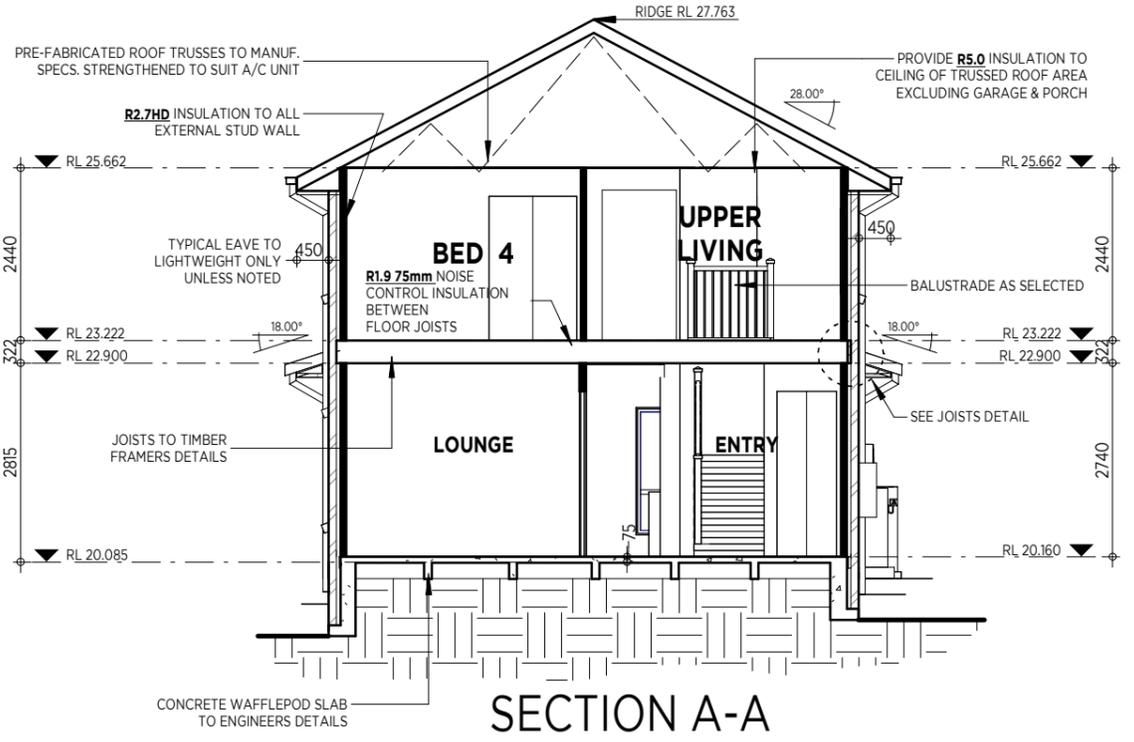
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Key Value	Keynote Text
BRK	BRICKWORK AS SELECTED
GUT	GUTTER + FASCIA AS SELECTED
RFT	ROOF TILES AS SELECTED



DATE	ISSUE	REVISION
19.12.24FF	D	BASIX REQUIREMENTS
18.11.24TK	C	EMAILED VAR (11/11/24)
30.10.24FA	B (T07)	VARIATION(25-44)
03.09.24	A (T06)	FIRST DRAW



SECTION A-A

ELEVATIONS/SECTION

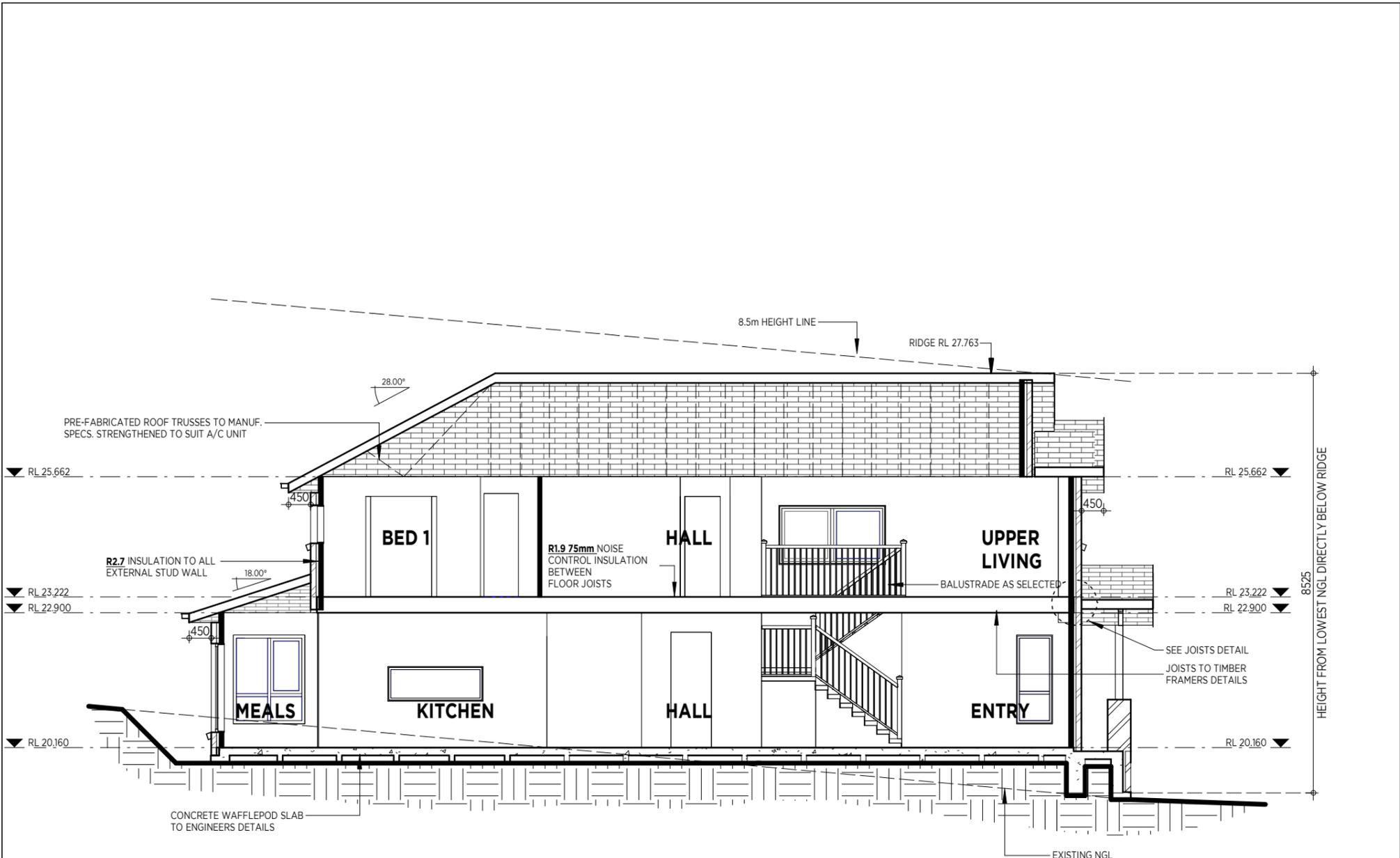
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PROPOSED RESIDENCE	BANNABY AVOCA	
	CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: As indicated
	DRAWN: DJ	CHECKED
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 05	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
 FAX: (02) 9629 5813
 HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145
 PHONE: (02) 9672 7055
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SECTION B-B

Thermal Comfort Specifications	
Glazing: Doors/windows	<p>Manufacturer: Stegbar</p> <p>The following glazing may be substituted with other glazed windows or doors with a U-value that is equal to or lower than the value stated, and an SHGC +/-5% or the value stated. Given values are AFRC, total window system values (glass and frame).</p> <p>Cedar framed single clear glazing: Family doors out to Alfresco and sidelight windows, Meals doors out to Alfresco, Kitchen fixed window, Laundry (door and window), Front Entry door and sidelight windows, WC and Bath:</p> <p>Awning window: STG-017-001 U-Value: 4.8 SHGC: 0.60 Double Hung: STG-019-001 U-Value: 4.8 SHGC: 0.63 Fixed window: STG-083-001 U-Value: 5.2 SHGC: 0.73 Hinged Door: STG-037-304 U-Value: 4.2 SHGC: 0.55</p> <p>Cedar framed single energy tech glazing to Powder:</p> <p>Sliding window: STG-023-302 U-Value: 3.3 SHGC: 0.49</p> <p>Cedar framed double glazing: to Lounge, Family and Meals awning windows, Entry awning window, Upper Living, all Bedrooms, Stair and Ensuite:</p> <p>Fixed window: STG-118-001 U-Value: 2.9 SHGC: 0.63 Awning window: STG-016-001 U-Value: 2.7 SHGC: 0.48 Double Hung: STG-018-001 U-Value: 2.9 SHGC: 0.56</p>
Roof	Tiled roof with sarking Colour: Medium (0.475<SA<0.7)
Ceiling	Plasterboard ceiling with R5.0 insulation (insulation only value) where roof above Ground Floor: R1.9 insulation (insulation only value) to ceiling joists (between levels)
Ceiling penetrations	Sealed LED downlights to Ground Floor, modelled; One per 5m ² Sealed exhaust fans to Bath, Ensuite, Powder and WC
Ceiling fans	One ceiling fan required: to Meals
External Walls	Brick veneer walls with R2.7 insulation (insulation only value) Default Medium colour modelled (0.475<SA<0.7)
Internal walls	Plasterboard on studs R2.0 insulation (insulation only value) to the internal walls of the Laundry, Bath and WC (not required between Bath and WC)
Floors	Waffle pod concrete slab Timber framed to first floor (between levels) Floor coverings: Tiles to wet areas, timber elsewhere
External Shading	Covered Porch and Alfresco, and eaves as per stamped plans
BASIX Water Commitments	
Fixtures	Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 6 stars in each bathroom
Alternative Water	Install rainwater tank with minimum 1,000L capacity, connected to - At least one outdoor tap, laundry and toilets Rainwater harvest collected from a min. 140m ² roof area
BASIX Energy Commitments	
Hot water System	Electric heat pump: minimum performance of 21-25 STC's
Cooling system	1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Heating system	1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Ventilation	Kitchen: Individual fan, externally ducted to roof or façade, manual on/off switch Bathrooms: Individual fan, externally ducted to roof or façade, manual on/off switch Laundry: Natural ventilation
Other	Electric cooktop & electric oven Outdoor clothes drying line Alternative Energy: Minimum 2.0kW of Solar/Photo Voltaics

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OWNER OWNER DATE



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		CUSTOM FAÇADE	
FOR:	DATE:	SCALE:	
Mr. & Mrs. JOHNSTON	03.09.2024	1:100	
	DRAWN:	CHECKED	
	DI		
AT:	SHEET NO:	JOB NO:	
LOT 45 (#58) OLIVER ST., FRESHWATER	05.1	7630	

SALES: PHONE: (02) 9629 4772
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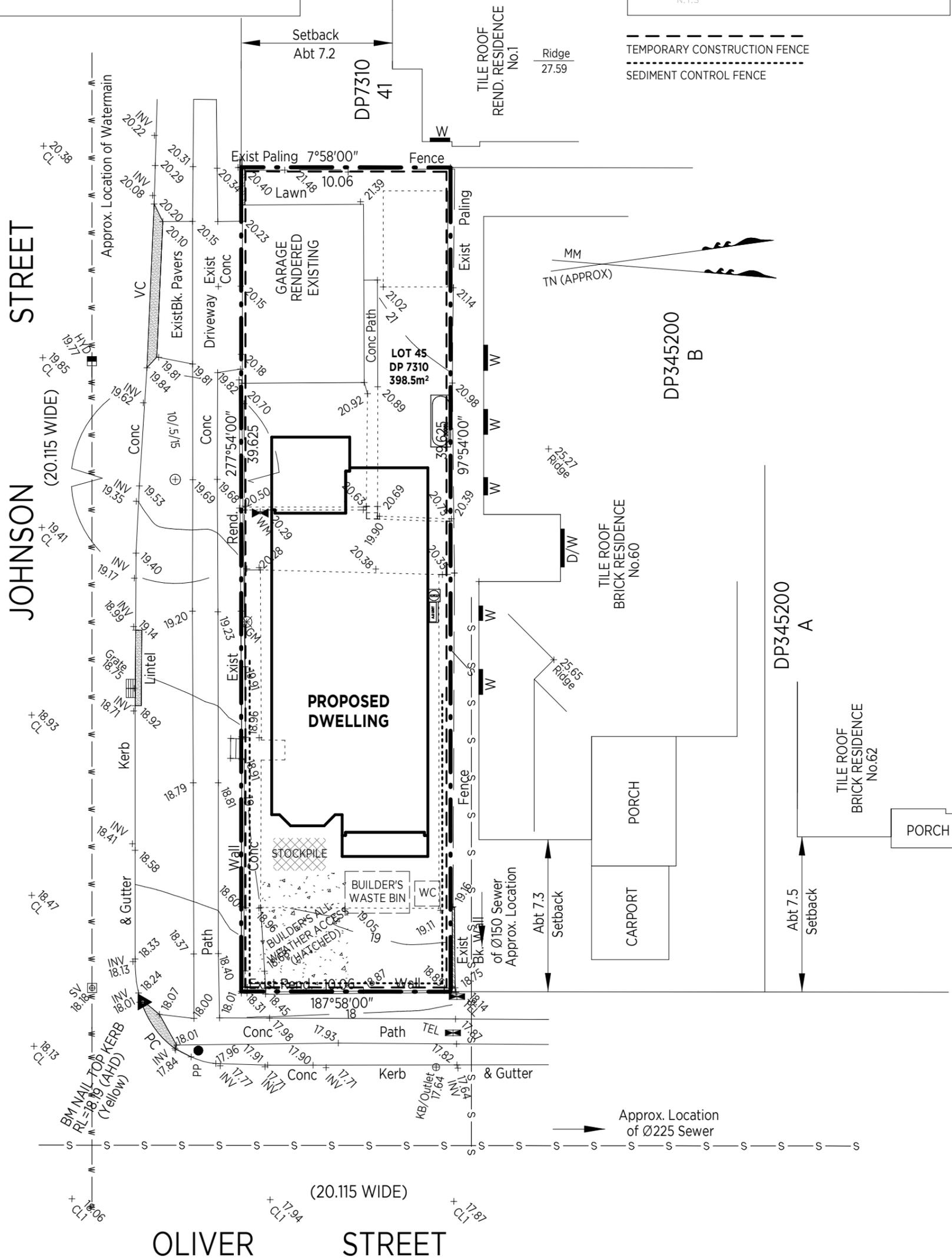
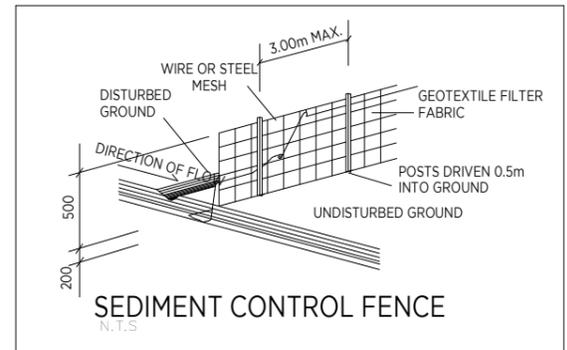
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allcastlehomes.com.au

SECTION

SEDIMENT NOTE:

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.



Certificate No. 0011665841
 Scan QR code or follow website link for rating details.
 Assessor name: Danielle Grumont
 Accreditation No. HERA10134
 Property Address: 58 Oliver Street, Freshwater NSW 2096
 hstar.com.au/QR/Generate/?q=K6SIEgYk

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PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1:200
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	DRAWN: DI	CHECKED
	SHEET NO: 10	JOB NO: 7630

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SALES: PHONE: (02) 9629 4772
 FAX: (02) 9629 5813
 HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145
 PHONE: (02) 9672 7055
 FAX: (02) 9672 7033
 ABN: 12057761378 BLDG.LIC.39371

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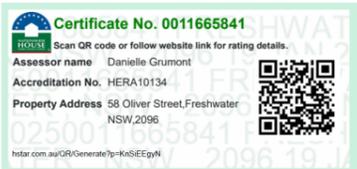
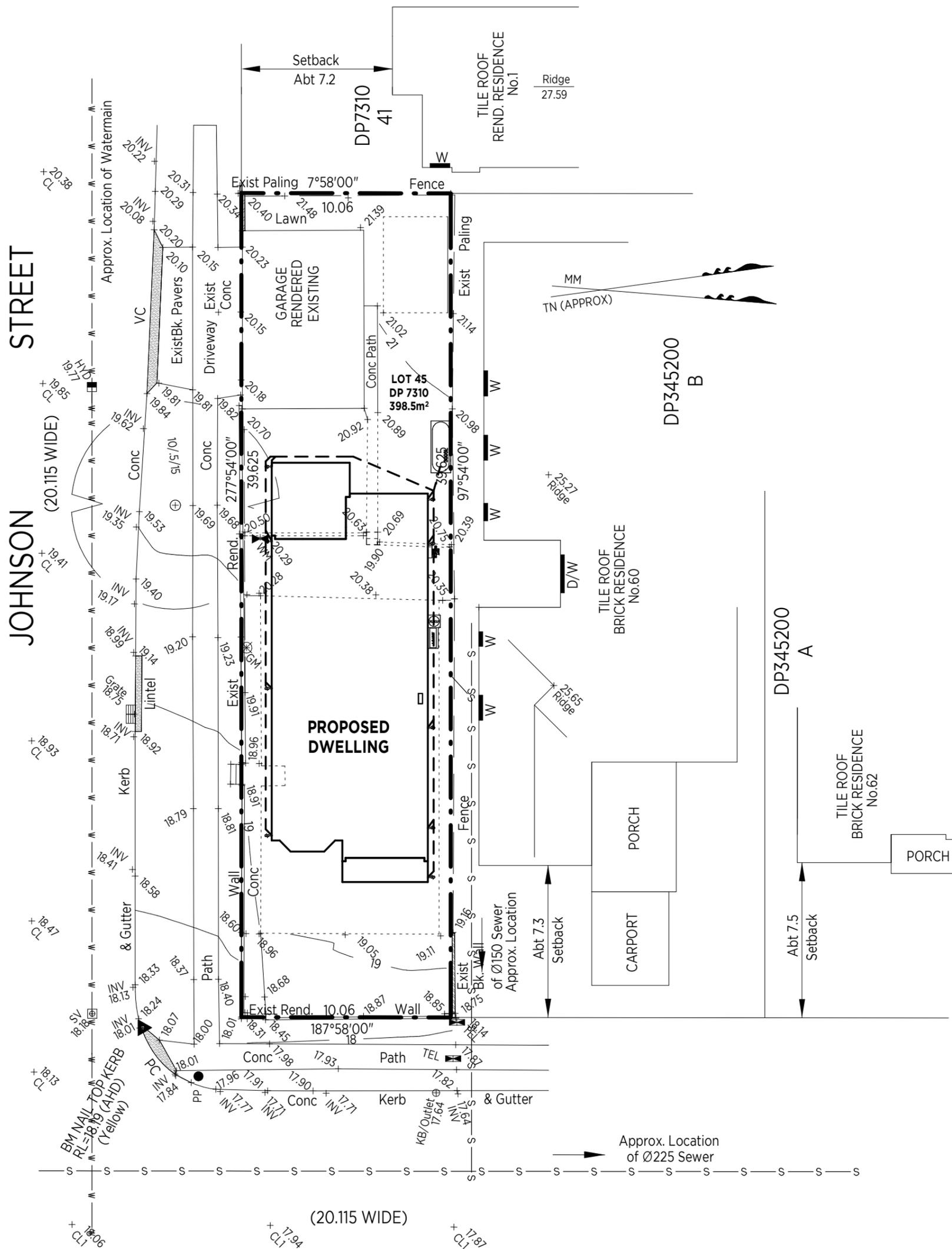
NOTE:
STORMWATER TO BE CONNECTED TO RAINWATER TANK. OVERFLOW TO BE DETERMINED BY HYDRAULICS ENGINEER.

RAINWATER DUAL PLUMBING CONNECTED AS PER BASIX CERTIFICATE

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH REQUIREMENTS SET OUT ON THE BASIX/NATHERS CERTIFICATE

ALL DOWNPIPES TO BE SET 240MM FROM OUTSIDE OF EDGE TO CENTRELINE OF D.P. UNLESS OTHERWISE INDICATED

RAINWATER TANK TO BE INSTALLED TO ALL REGULATORY REQUIREMENTS



OWNER(S) ACCEPTANCE

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DATE ISSUE REVISION

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I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1:200
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	DRAWN: DI	CHECKED
	SHEET NO: 11	JOB NO: 7630

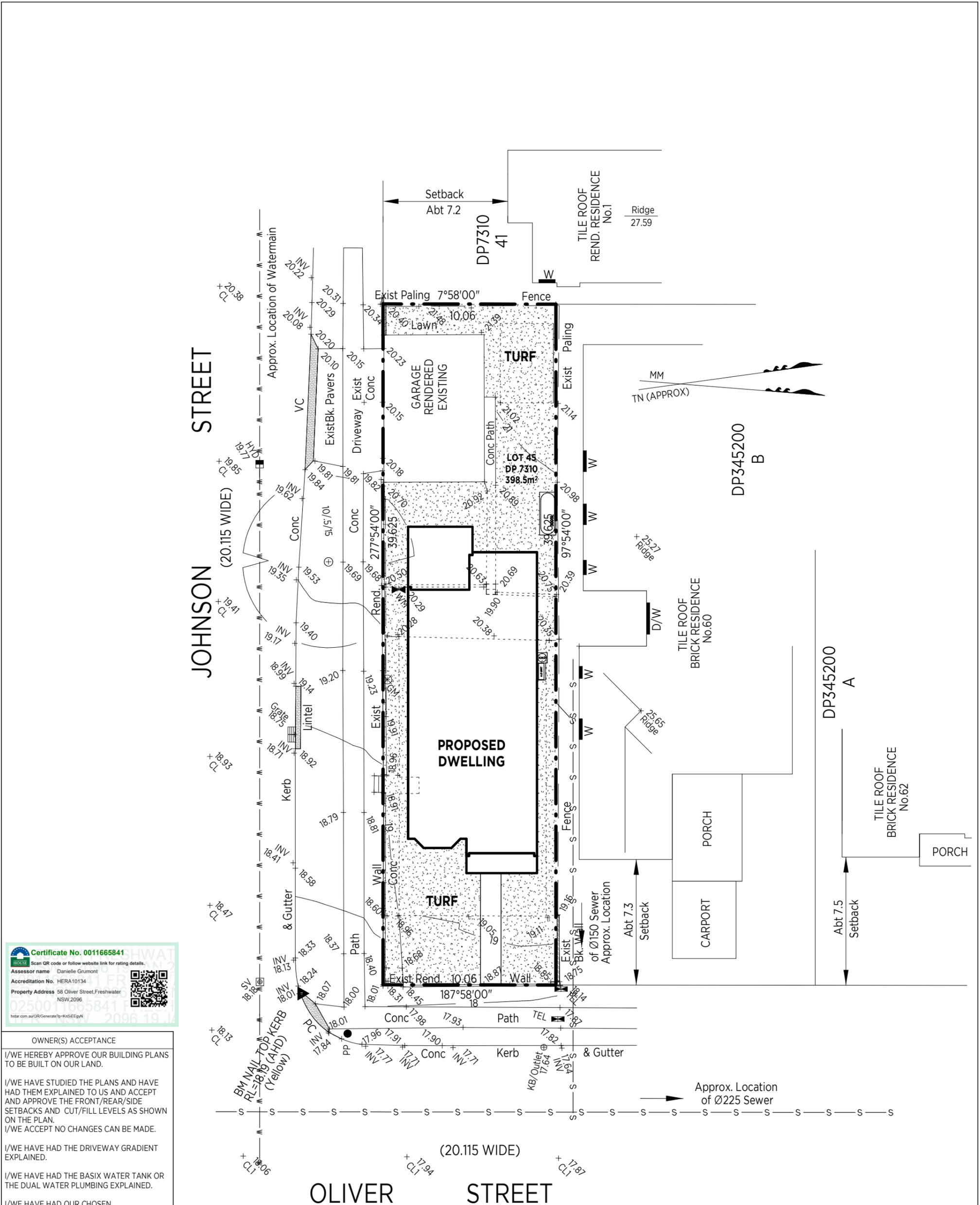
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CONCEPT DRAINAGE PLAN



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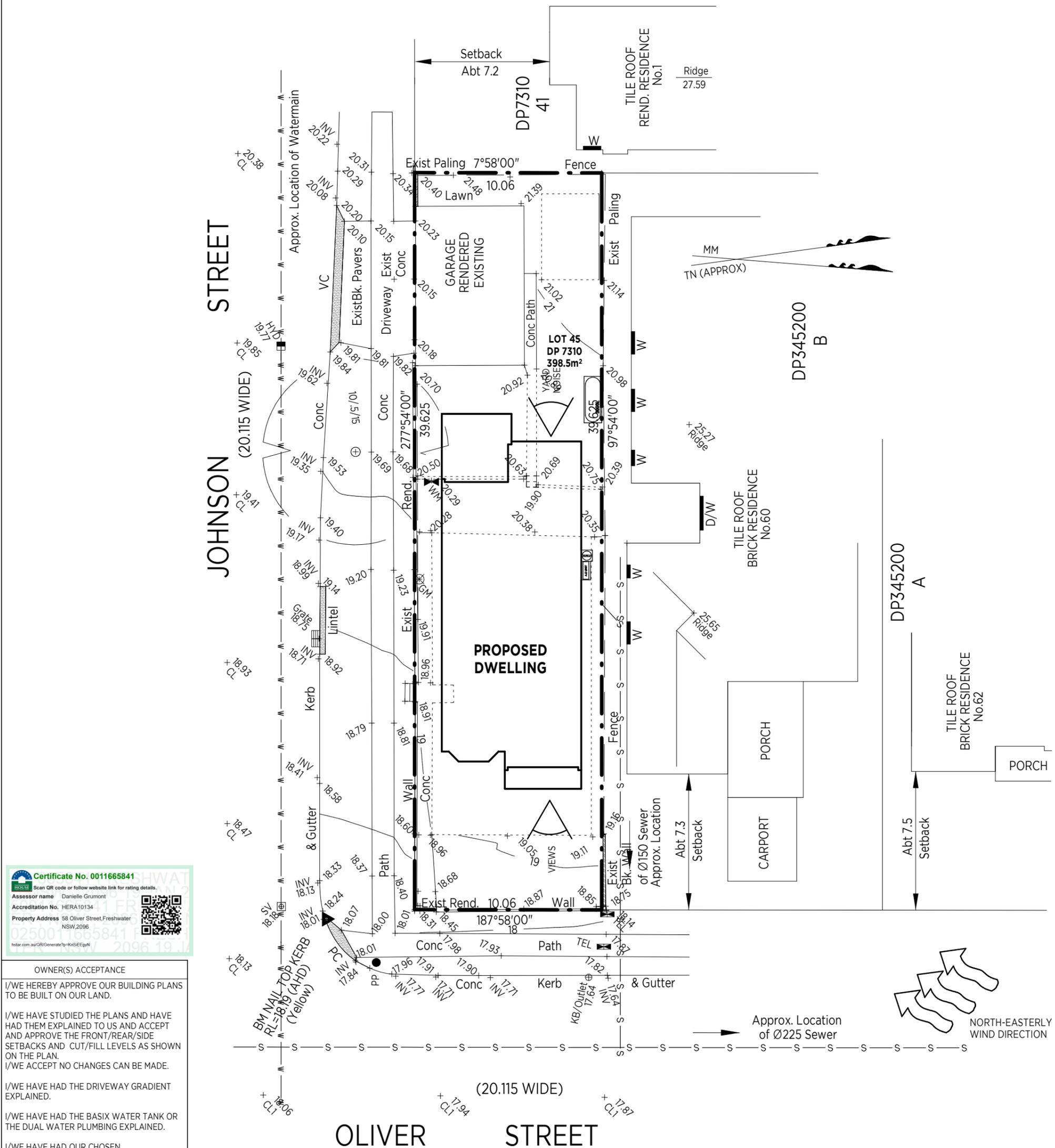
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OWNER _____ OWNER _____ DATE _____

PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1:200
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	DRAWN: DI	CHECKED
	SHEET NO: 12	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
 FAX: (02) 9629 5813
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 GIRRAWEE NSW 2145
 PHONE: (02) 9672 7055
 FAX: (02) 9672 7033
 ABN: 12057761378 BLDG.LIC.39371

CONCEPT LANDSCAPE PLAN



Certificate No. 0011665841
 Scan QR code or follow website link for rating details.
 Assessor name: Danielle Grumont
 Accreditation No. HERA10134
 Property Address: 58 Oliver Street, Freshwater NSW 2096
 hstar.com.au/QR/Generate?qr=KsSEgYn

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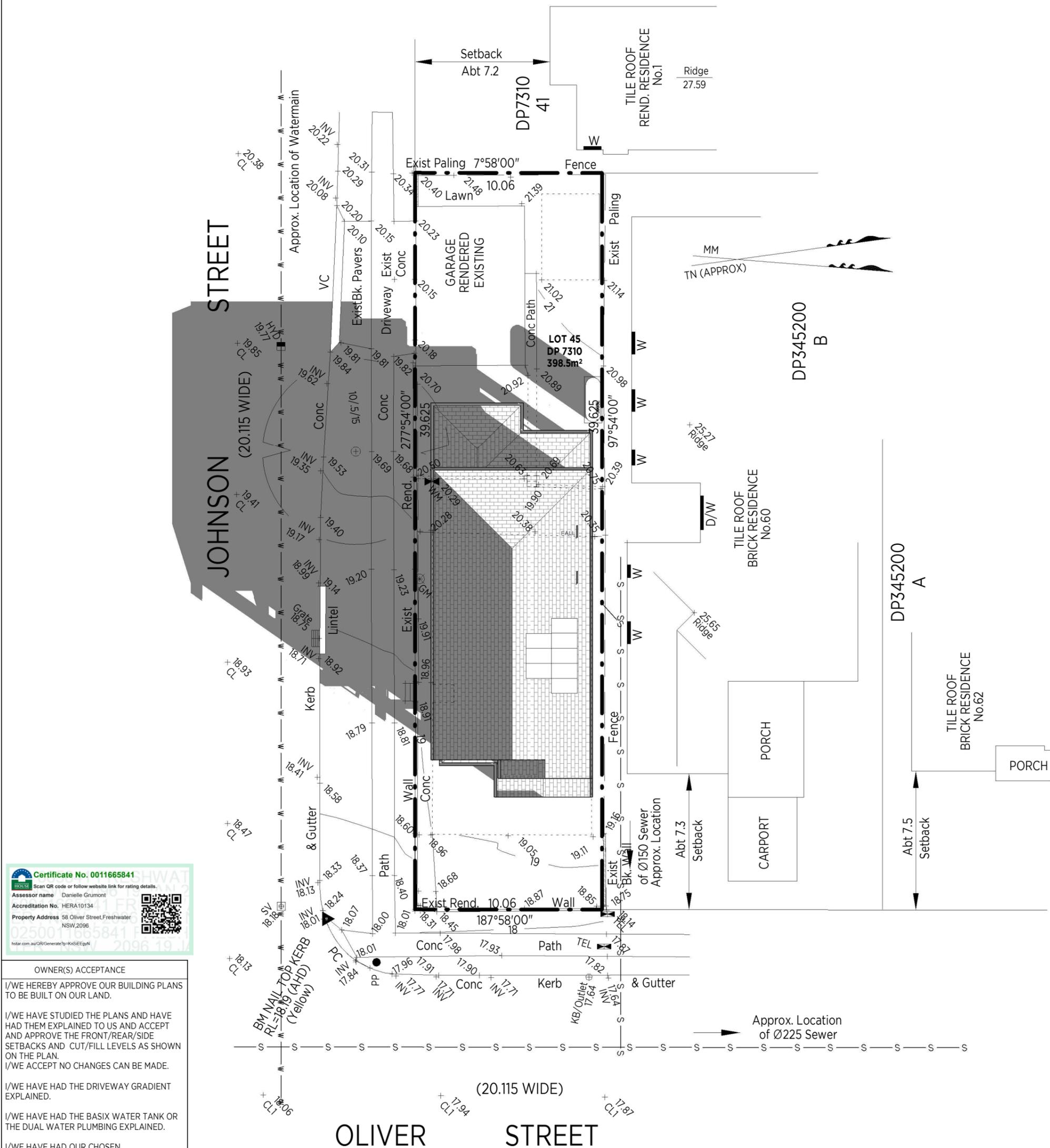
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FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1:200
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	DRAWN: DI	CHECKED
	SHEET NO: 20	JOB NO: 7630

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SITE ANALYSIS



Certificate No. 0011665841
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 Assessor name: Danielle Grumont
 Accreditation No. HERA10134
 Property Address: 58 Oliver Street, Freshwater NSW, 2096
 0250011665841
 hstar.com.au/QR/Generate?pk=KoSIEEgYN

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PROPOSED RESIDENCE
BANNABY AVOCA
 CUSTOM FAÇADE

FOR: Mr. & Mrs. JOHNSTON

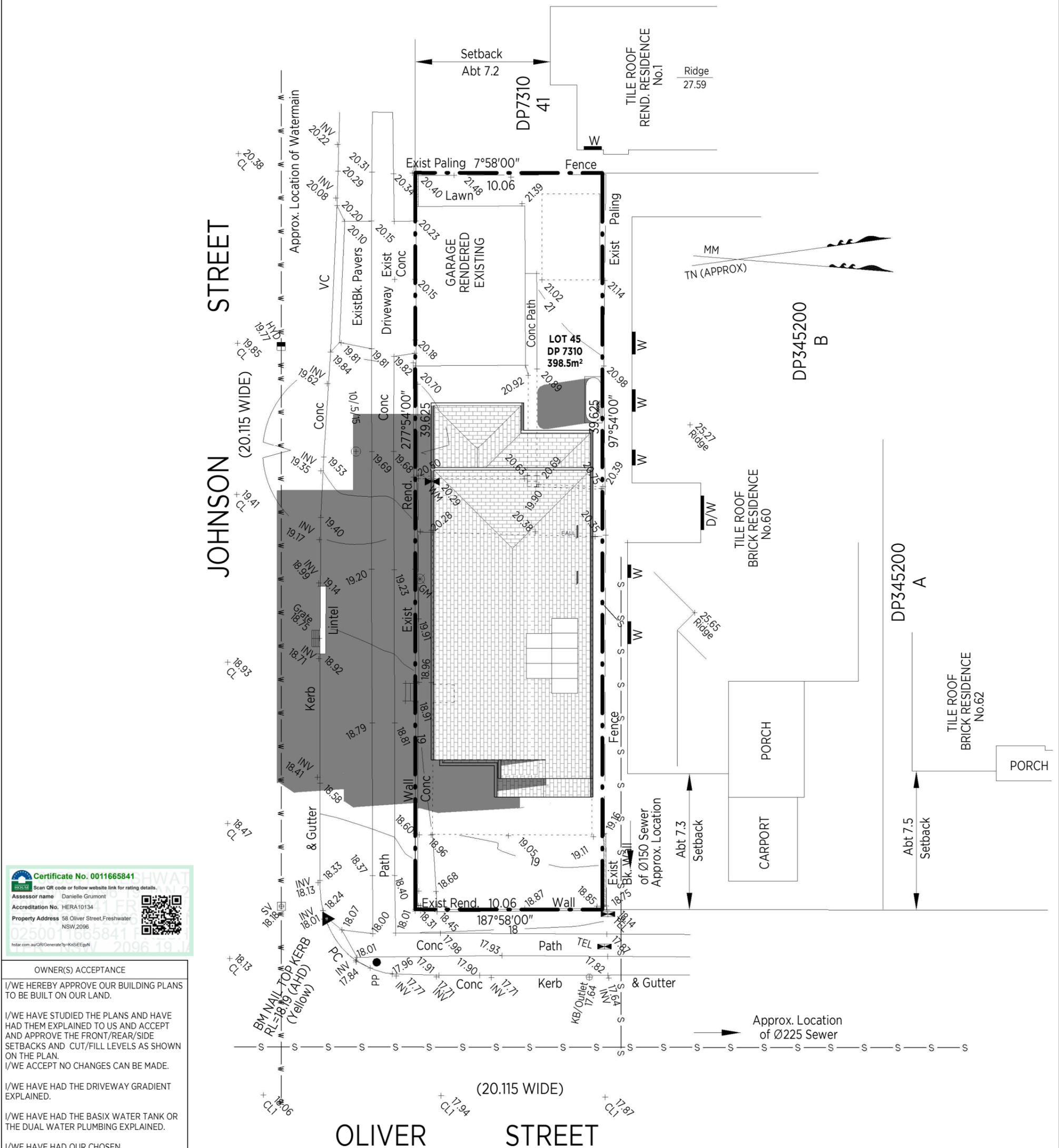
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OWNER _____ OWNER _____ DATE _____



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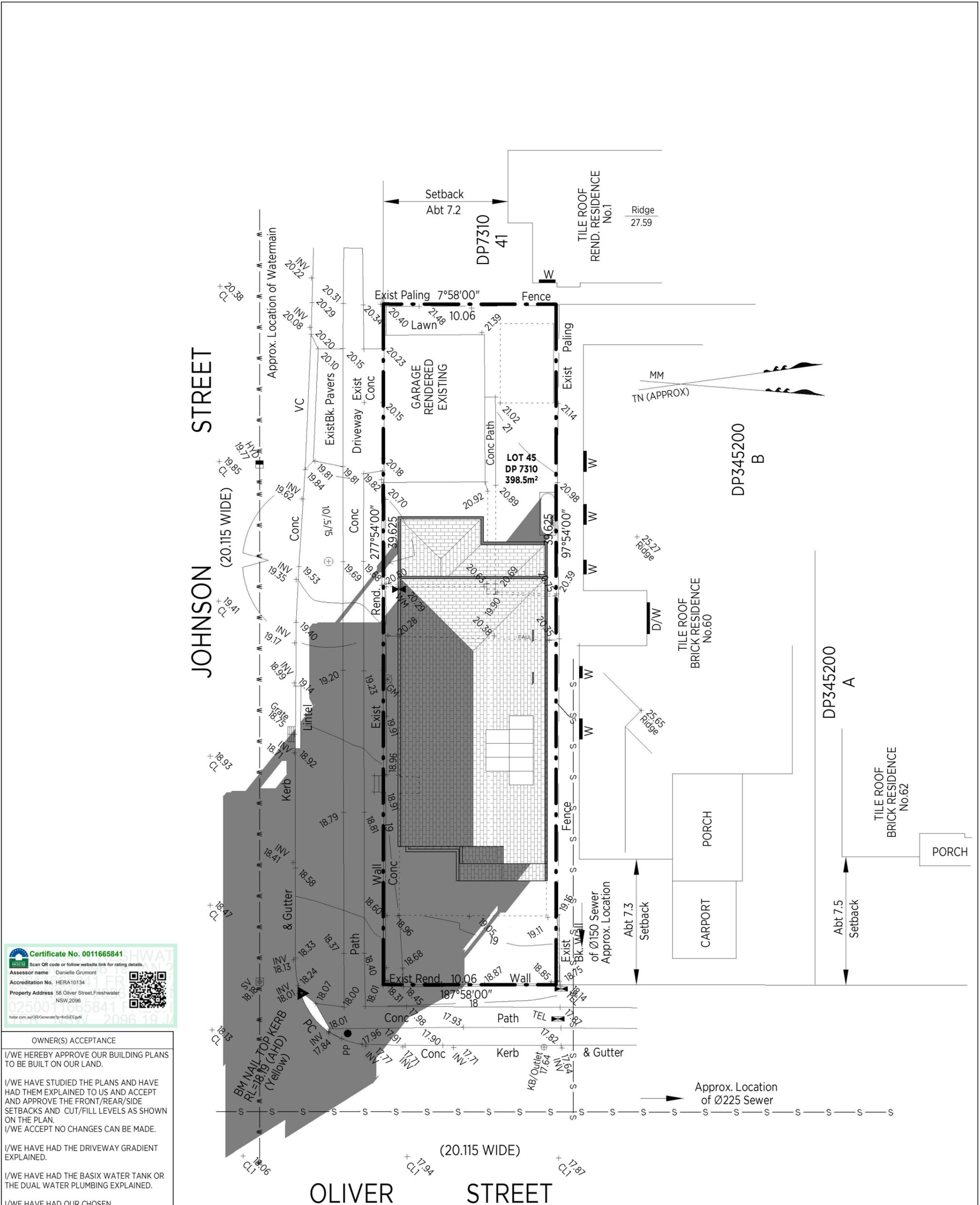
FOR: Mr. & Mrs. JOHNSTON
 DATE: 03.09.2024
 DRAWN: DI
 SHEET NO: 21.2

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OWNER _____ OWNER _____ DATE _____



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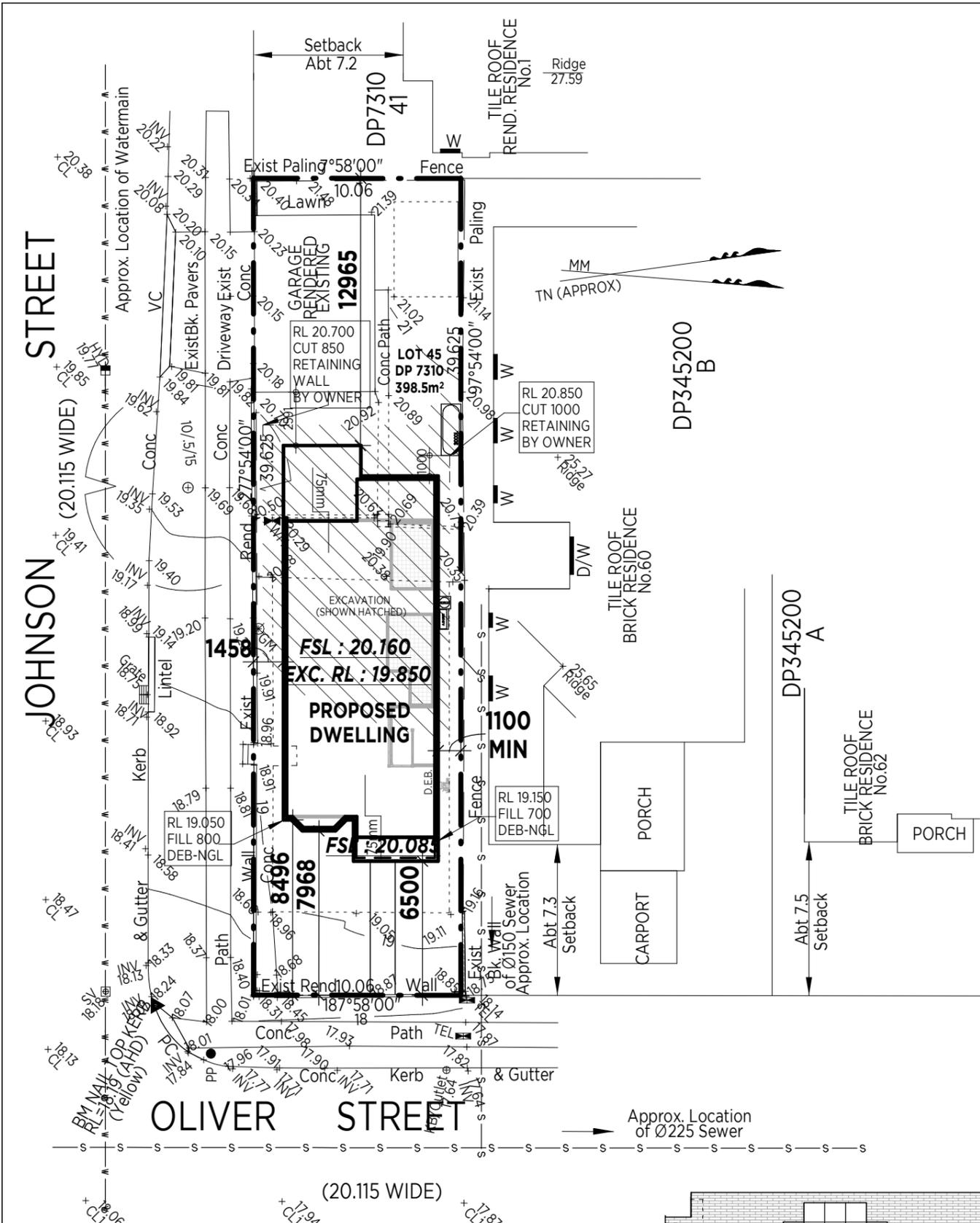
PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1:200
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	DRAWN: DI	CHECKED
	SHEET NO: 21.3	JOB NO: 7630

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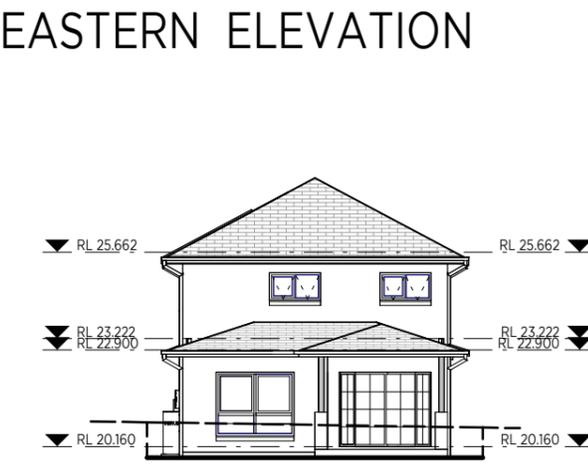
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3PM-JUNE 21-SHADOW



Thermal Comfort Specifications	
Glazing: Doors/windows	Manufacturer: Steglar The following glazing may be substituted with other glazed windows or doors with a U-value that is equal to or lower than the value stated, and an SHGC +/-5% or the value stated. Given values are AFRC, total window system values (glass and frame). Cedar framed single clear glazing: Family doors out to Alfresco and sidelight windows, Meals doors out to Alfresco, Kitchen fixed window, Laundry (door and window), Front Entry door and sidelight windows, WC and Bath: Aiming window: STG-017-001 U-Value: 4.8 SHGC: 0.60 Double Hung: STG-019-001 U-Value: 4.8 SHGC: 0.63 Fixed window: STG-083-001 U-Value: 5.2 SHGC: 0.73 Hinged Door: STG-037-304 U-Value: 4.2 SHGC: 0.55 Cedar framed single energy tech glazing to Powder: Sliding window: STG-023-302 U-Value: 3.3 SHGC: 0.49 Cedar framed double glazing: to Lounge, Family and Meals aiming windows, Entry aiming window, Upper Living, all Bedrooms, Stair and Ensuite: Fixed window: STG-118-001 U-Value: 2.9 SHGC: 0.63 Aiming window: STG-016-001 U-Value: 2.7 SHGC: 0.48 Double Hung: STG-018-001 U-Value: 2.9 SHGC: 0.56
Roof	Tiled roof with sarking Colour: Medium (0.475-SA-0.7)
Ceiling	Plasterboard ceiling with R5.0 insulation (insulation only value) where roof above Ground Floor: R1.9 insulation (insulation only value) to ceiling joists (between levels)
Ceiling penetrations	Sealed LED downlights to Ground Floor, modelled, One per 5m ² Sealed exhaust fans to Bath, Ensuite, Powder and WC
Ceiling fans	One ceiling fan required to Meals
External Walls	Brick veneer walls with R2.7 insulation (insulation only value) Default Medium colour modelled (0.475-SA-0.7)
Internal walls	Plasterboard on studs R2.0 insulation (insulation only value) to the internal walls of the Laundry, Bath and WC (not required between Bath and WC)
Floors	Waffle pool concrete slab Timber framed to first floor (between levels) Floor coverings: Tiles to wet areas, timber elsewhere
External Shading	Covered Porch and Alfresco, and eaves as per stamped plans
BASIX Water Commitments	
Fixtures	Install showerheads minimum rating of 4 stars (>=6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 6 stars in each bathroom
Alternative Water	Install rainwater tank with minimum 1,000L capacity, connected to - At least one outdoor tap, laundry and toilets Rainwater harvest collected from a min. 140m ² roof area
BASIX Energy Commitments	
Hot water System	Electric heat pump: minimum performance of 21-25 STC's
Cooling system	1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Heating system	1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Ventilation	Kitchen: Individual fan, externally ducted to roof or facade, manual on/off switch Bathrooms: Individual fan, externally ducted to roof or facade, manual on/off switch Laundry: Natural ventilation
Other	Electric cooktop & electric oven Outdoor clothes drying line Alternative Energy: Minimum 2.0kW of Solar/Photo Voltaics



SITE PLAN NOTIFICATION

NOTIFICATION PLAN

Certificate No. 0011665841

Scan QR code or follow website link for rating details.

Assessor name: Danielle Grumont
 Accreditation No. HERA10134
 Property Address: 58 Oliver Street, Freshwater NSW, 2098

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OWNER _____ OWNER _____ DATE _____

PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: As indicated
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	DRAWN: DI	CHECKED
	SHEET NO: 22	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
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