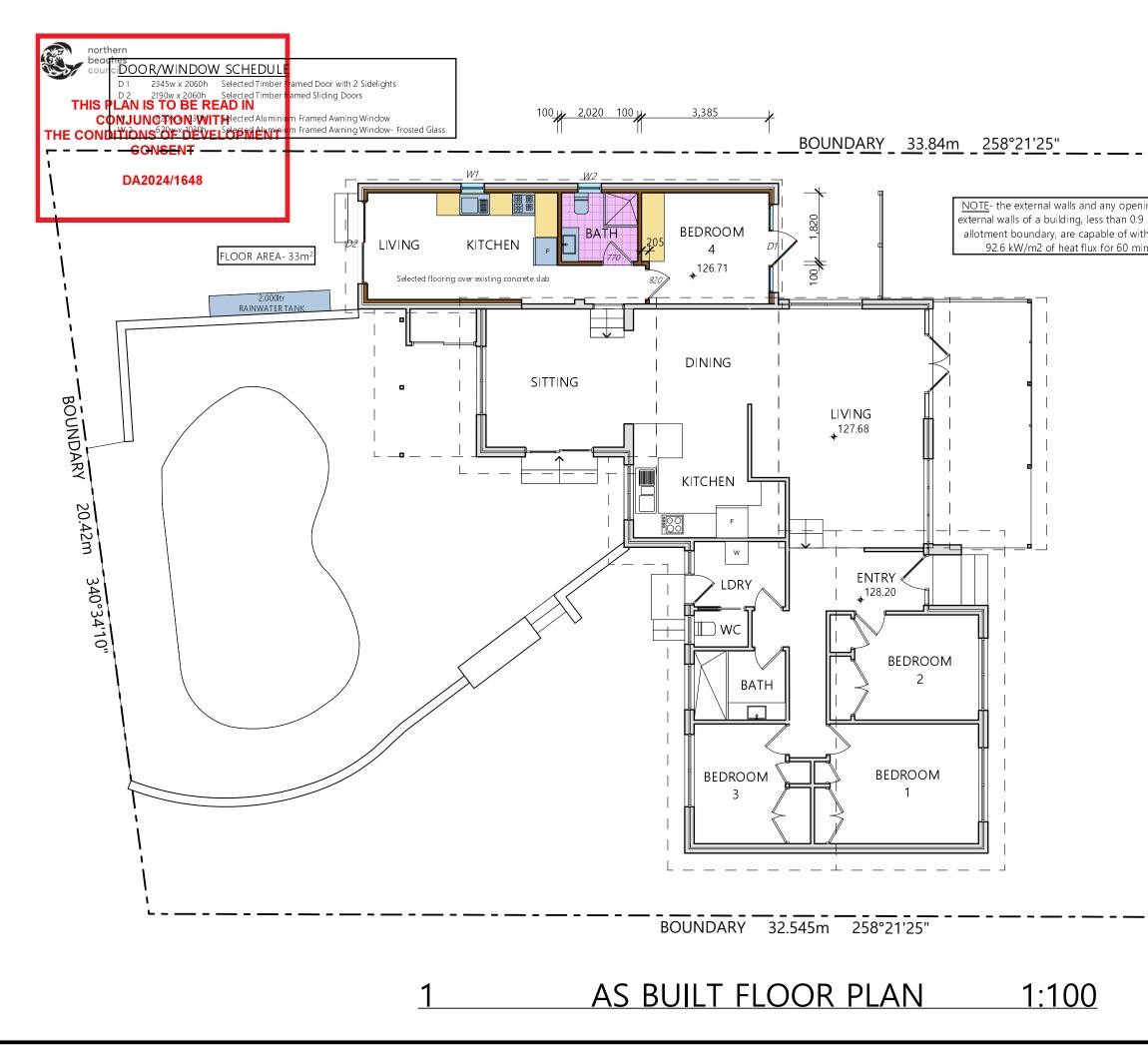


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All work is to comply with the Building Code of Australia, the equirements of the local council, the requirements of the legally constituted Authorities for services and the relevant tandards by the Standards Association of Australia. The Builder is to give all notices, obtain all permits and pay all Finished ground levels on the plan are subject to site con ditions. Do not scale from drawings. Use figured dimensions only and eport any discrepancies to the designer prior to ommencement All figured dimensions to be checked on site. BASIX INFORMATION REQUIREMENTS WATER COMMITMENTS: All new Shower heads, toilets and taps shall have a minimum Fixtures: 4 Star rating Landscaping: There must be 18 76m² of indig encus or low water use species planted on the site Alternative Water: A 2000th rainwate tank must be installed to collect runoff from at least 37m² of roof area. The tank must be connected to on outdoor tap. NERGY COMMITMENTS: Hot Water System: Any new Hot water system shall be a gas instantaneous system in accord ance with the Basix certricate. Cooling System: The living room and bedroom must not have any cooling system Heating System: A 3 star energy rated non-ducted g as heater must be installed in the living area. A 4 star energy rated non-ducted g as heater must be installed in the bed room. ORMANCE REQUIREMENTS The external walls shall be brick veneer or timber cladded and External walls: shall meet R3.0 (including construction) The floor shall be a concrete slab on ground The new flat ceiling/flat.roof shall meet minimum R4(up) and be Ceiling s: fully insulated. The roof'shall have a foil/sarking and be medium colour (solar absorption 0.475>0.70) A ceiling fan is to be provided in the living room and the bedroo Ceiling Fans A minimum of 80% of all new or aftered light light interes are to be fluorescent compact fluorescent or LED lamps. A window must be installed in the kitchen. ia htina No mechanical ventilation to be installed in the bathroom or entilation/ kitcher ENERGY COMMITMENTS: Alternative Energy: A photoxolatic system is to be installed in accordance with the BASIX certificate WINDOWS & GLAZED DOORS: All window/door numbers shown on the window/door schedule correspond to matching window/door numbers shown in the Basix certificate. Stes: The total area of glazing for each window door shall be no greater than that shown on the Basix certificate Shading devices: Shading devices shall be installed in accordance with the Basix certificate uie basix ceroricate rames and glazing frame and glazing types shall meet the requirements of the Basix certificate Project No COPYRIGHT This plan is the exclusive property of JAH Design Services and must not be used, reproduced or copied without written MS. RIGNEY-HAIN piect Name PROPOSED GRANNY FLAT 7 ELM AVENUE LOT 6 , DP 240752 BELROSE NSW 2085 DESIGN SERVICES SUITE 106, 13B NA RABANG WAY, BELROSE NSW 2085 ABN 22 630 690 834 PH. 0410 410 064 EMAIL julie@jah.designs.com.au SITE PLAN 1:200 @ A3 NOVEMBER 2024 necked By DA submission JAH ject No awing No 2419 **DA01** 27/11/202 ot Date

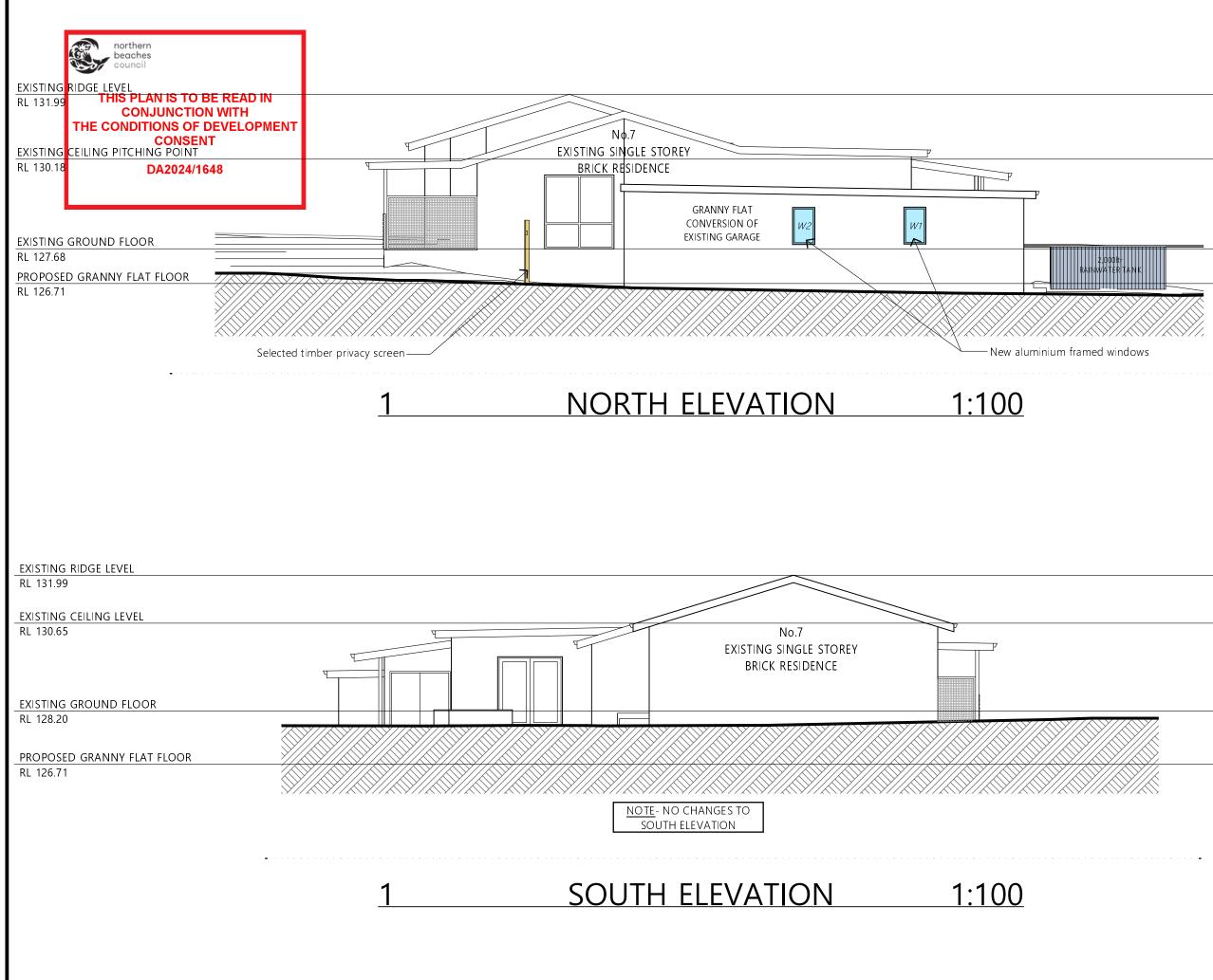


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	WATER COMMITM	IENTS:	QUIREMENTS:
ings in the	Fixtures:	4 Star rating	toilets and taps shall have a minimum
m from an hstanding	Landscaping: Alternative Water:	planted on the site A 2000ltr rainwtare tan	of indigenous or low water use species k must be installed to collect runoff from ea. The tank must be connected to one
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	Hot Water System	Any new Hotwater sys system in accordance v	tem shall be a gas instantaneous vith the Basix certificate.
	Cooling System: Heating System:	A 3 star energy rated n	droom must not have any cooling system on-ducted gas heater must be ea. A 4 star energy rated non-ducted gas d in the bedroom.
	THERMAL PERFOR External walls:	MANCE REQUIREMENTS The external walls shall	: be brick veneer or timber cladded and
	Floors:	shall meet R3.0 (includi The floor shall be a cor The pow flat colling flat	orete slab on ground
	Ceiling s: Roof:	fully insulated.	roof shall meet minimum R4(up) and be il/sarking and be medium colour
	Ceiling Fans: Lighting:	(solar absorption 0.475 A ceiling fan is to be p A minimum of 80% of a	
	Ventilation:	must be installed in the	
	ENERGY COMMITI Alternative Energy		is to be installed in accordance with the
	matching window/	umbers shown on the wi door numbers shown in	
	Sizes: Shading devices:	greater than that show	g for each window,/door shall be no n on the Basix certificate ie installed in accordance with
	-	the Basix certricate	is shall meet the requirements
			Project North
	must not be	e exclusive propert	y of JAH Design Services and r copied without written
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	MS. RIGI	NEY-HAIN	
	Project Name PROPOSE	d granny f	LAT
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			SERVICES WAY, BELROSE NSW 2085
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	Drawing Title: FLOOR	PLAN	
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	Status: DA	submission	Checked By: JAH
	Project No:	2410	Drawing No.:

2419

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The roof shall have a foil/sarking and be medium colour
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A ceiling fan is to be provided in the living room and the bedroo Roof Ceiling Fans: A minimum of 80% of all new or altered lightfitures are to be fluorescent compactfluorescentor LED lamps. A window must be installed in the kitchen. .iq hting No mechanical ventilation to be installed in the bathroom or Ventilation kitchen ENERGY COMMITMENTS: Alternative Energy: A photovolatic system is to be installed in accordance with the BASIX certificate WINDOWS & GLAZED DOORS: Allwindow/door numbers shown on the window/door schedule correspond to matching window/door numbers shown in the Basix certifizate. Sizes: The total area of glazing for each window/door shall be no greater than that shown on the Basix certificate Shading devices: Shall be installed in accordance with the Basix certificate ule basix certricate Frames and glazing Frame and glazing types shall meet the requirements of the Basix certrificate COPYRIGHT This plan is the exclusive property of JAH Design Services and nust not be used, reproduced or copied without written ermission MS. RIGNEY-HAIN oiect Name PROPOSED GRANNY FLAT 7 ELM AVENUE LOT 6 , DP 240752 BELROSE NSW 2085 DESIGN SERVICES SUITE 106, 13B NA RABANG WAY, BELROSE NSW 2085 ABN 22 630 690 834 PH. 0410 410 064 EMAIL julie@jah designs.com.a NORTH & SOUTH ELEVATION NOVEMBER 2024 1:100@ A3 ecked Bv DA submission JAH

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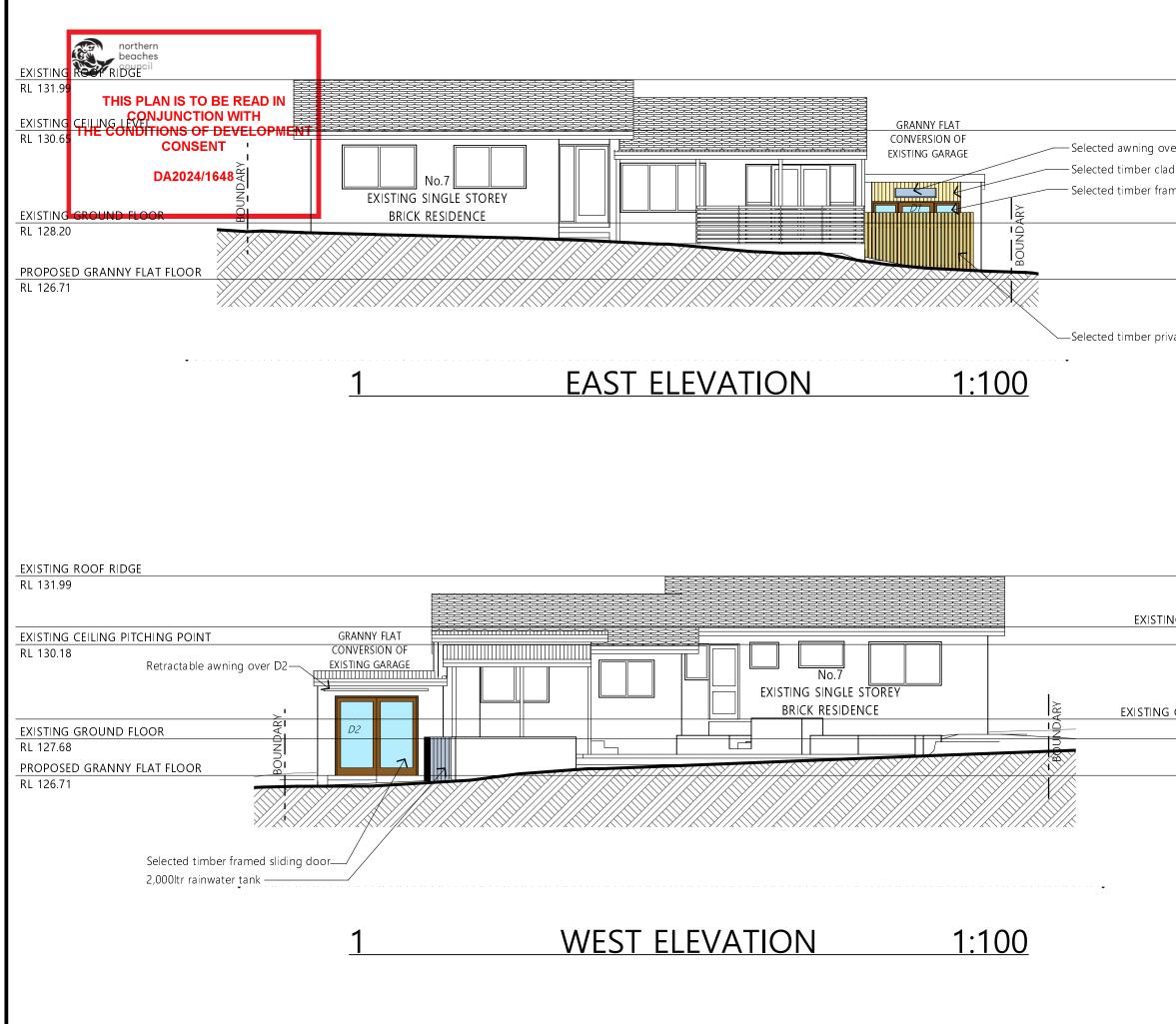
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	Alternative Water: A 200	l on the site Itrrainwtare tank must be installed to		
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	MS. RIGNEY	HAIN		
	Project Name			
GROUND FLOOR	PROPOSED GRANNY FLAT			
RL 128.20	7 ELM AVENU			
	LOT 6, DP 24			
	BELROSE N	SW 2085		
	DESIO	GN SERV	ICES	
		B NARABANG WAY, BELROSE N		
	PH. 0410	ABN 22 630 690 834 10 064 EMAILjulie@jahdesigns.	com.au	
	DrawingTitle: EAST & W	EST ELEVATION	J	
	Scale:	Date:	MBER 2024	
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	DA sub	mission	JAH	
	Project No:	Drawing No.:		
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	Plot Date:	-	27/11/2024	