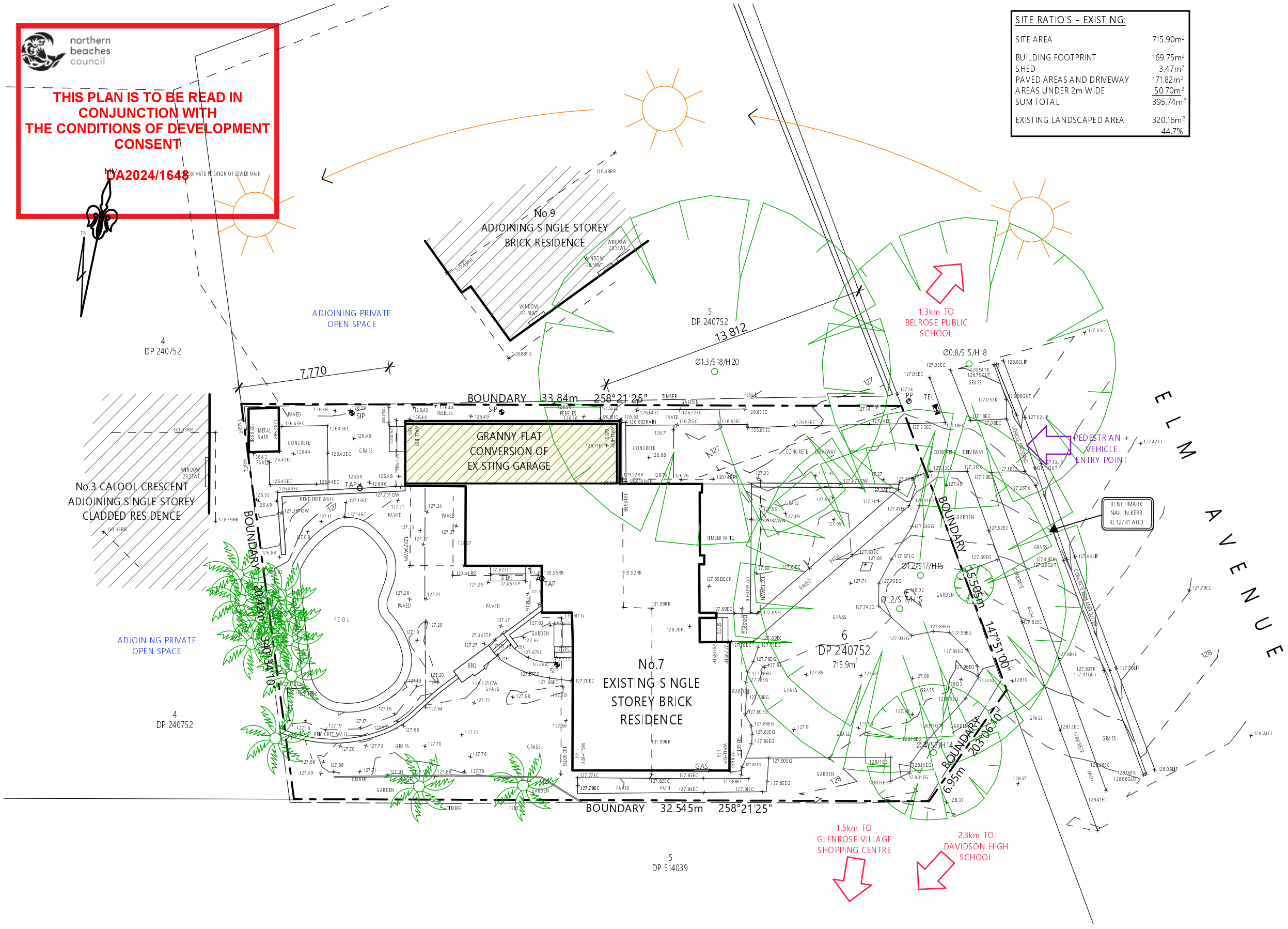




THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1648

SITE RATIOS - EXISTING:	
SITE AREA	715.90m ²
BUILDING FOOTPRINT	169.75m ²
SHED	3.47m ²
PAVED AREAS AND DRIVEWAY	171.82m ²
AREAS UNDER 2m WIDE	50.70m ²
SUM TOTAL	395.74m ²
EXISTING LANDSCAPED AREA	320.16m ²
	44.7%



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BASIC INFORMATION REQUIREMENTS:

WATER COMMITMENTS:
 Fixtures: All new Shower heads, toilets and taps shall have a minimum 4 Star rating.
 Landscaping: There must be 18.76m² of indigenous or low water use species planted on the site.
 Alternative Water: A 2000L rainwater tank must be installed to collect runoff from at least 37m² of roof area. The tank must be connected to one outdoor tap.

ENERGY COMMITMENTS:
 Hot Water System: Any new Hot water system shall be a gas instantaneous system in accordance with the Basic certificate.
 Cooling System: The living room and bedroom must not have any cooling system.
 Heating System: A 3 star energy rated non-ducted gas heater must be installed in the living area. A 4 star energy rated non-ducted gas heater must be installed in the bedroom.

THERMAL PERFORMANCE REQUIREMENTS:
 External walls: The external walls shall be brick veneer or timber clad and shall meet R3.0 (including construction).
 Floors: The floor shall be a concrete slab on ground.
 Ceiling: The new flat ceiling / flat roof shall meet minimum R4.0 and be fully insulated.
 Roof: The roof shall have a foil/sarking and be medium colour solar absorptance 0.415-0.70.
 Ceiling Fans: A ceiling fan is to be provided in the living room and the bedroom.
 Lighting: A minimum of 80% of all new or altered light fixtures are to be fluorescent compact fluorescent or LED lamps. A window must be installed in the kitchen.
 Ventilation: No mechanical ventilation to be installed in the bathroom or kitchen.

ENERGY COMMITMENTS:
 Alternative Energy: A photovoltaic system is to be installed in accordance with the Basic certificate.

WINDOWS & GLAZED DOORS:
 All window/door numbers shown on the window/door schedule correspond to matching window/door numbers shown in the Basic certificate.
 Sizes: The total area of glazing for each window/door shall be no greater than that shown on the Basic certificate.
 Shading devices: Shading devices shall be installed in accordance with the Basic certificate.
 Frames and glazing: Frame and glazing types shall meet the requirements of the Basic certificate.



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Client
 MS. RIGNEY-HAIN
 Project Name
 PROPOSED GRANNY FLAT
 7 ELM AVENUE
 LOT 6, DP 240752
 BELROSE NSW 2085



SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085
 ABN 22 630 690 834
 PH. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title: SITE PLAN	
Scale: 1:200 @ A3	Date: NOVEMBER 2024
Status: DA submission	Checked By: JAH
Project No: 2419	Drawing No.: DA01
Plot Date:	27/11/2024

1 SITE PLAN 1:200
& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

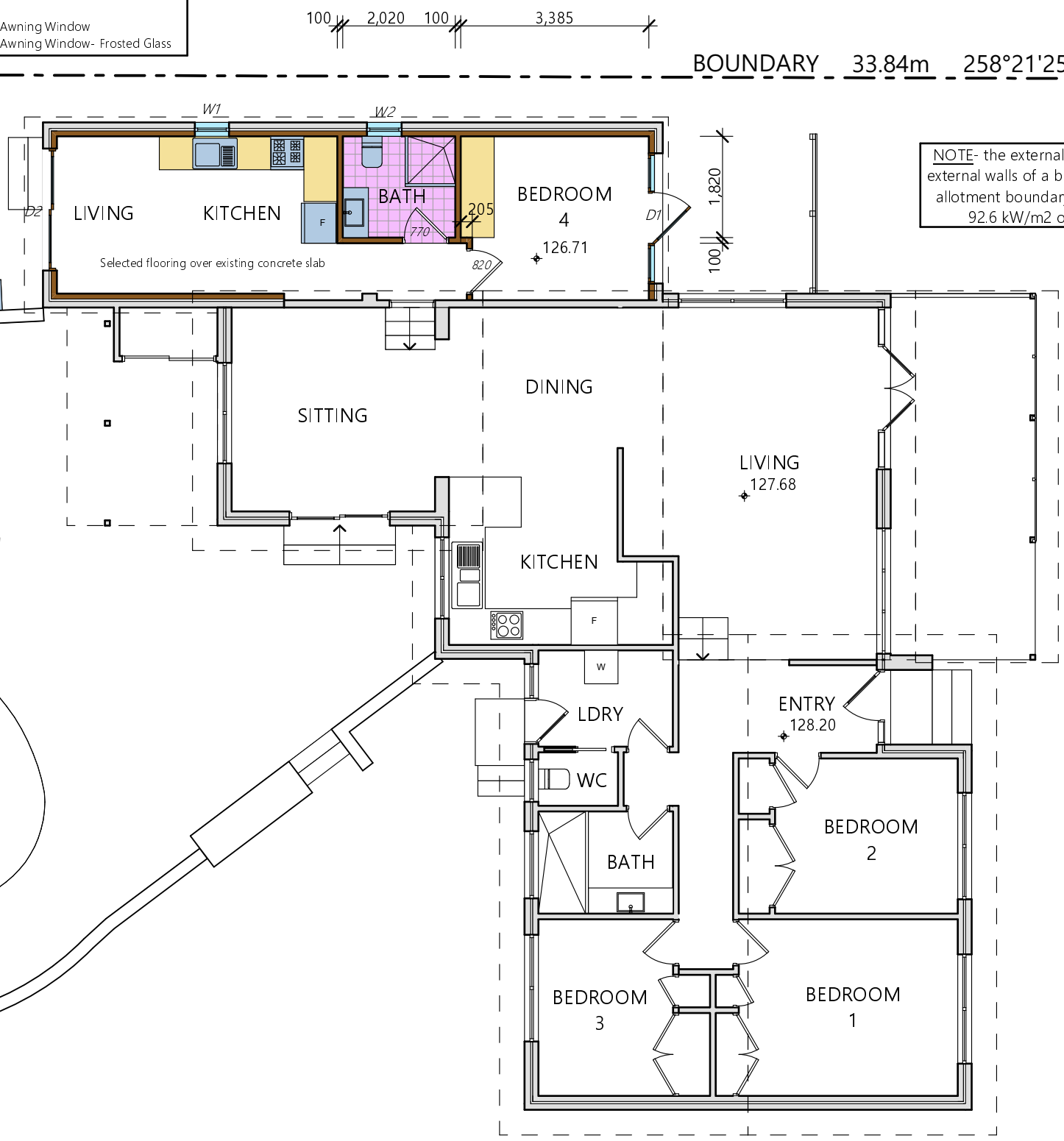


DOOR/WINDOW SCHEDULE		
D 1	2345w x 2060h	Selected Timber Framed Door with 2 Sidelights
D 2	2190w x 2060h	Selected Timber framed Sliding Doors
W 1	2010w x 1330h	Selected Aluminium Framed Awning Window
W 2	620w x 1030h	Selected Aluminium Framed Awning Window - Frosted Glass

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FLOOR AREA- 33m²

2,000ltr RAINWATER TANK



NOTE- the external walls and any openings in the external walls of a building, less than 0.9 m from an allotment boundary, are capable of withstanding 92.6 kW/m2 of heat flux for 60 minutes

BOUNDARY 20.42m 340°34'10"

100 2,020 100 3,385

BOUNDARY 33.84m 258°21'25"

BOUNDARY 32.545m 258°21'25"

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BASIX INFORMATION REQUIREMENTS:
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WINDOWS & GLAZED DOORS:
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 ABN 22 630 690 834
 PH. 0410 410 064 EMAIL:jule@jahdesigns.com.au

Drawing Title: FLOOR PLAN	
Scale: 1:100 @ A3	Date: NOVEMBER 2024
Status: DA submission	Checked By: JAH
Project No: 2419	Drawing No: DA02
Plot Date: 27/11/2024	

1 AS BUILT FLOOR PLAN 1:100



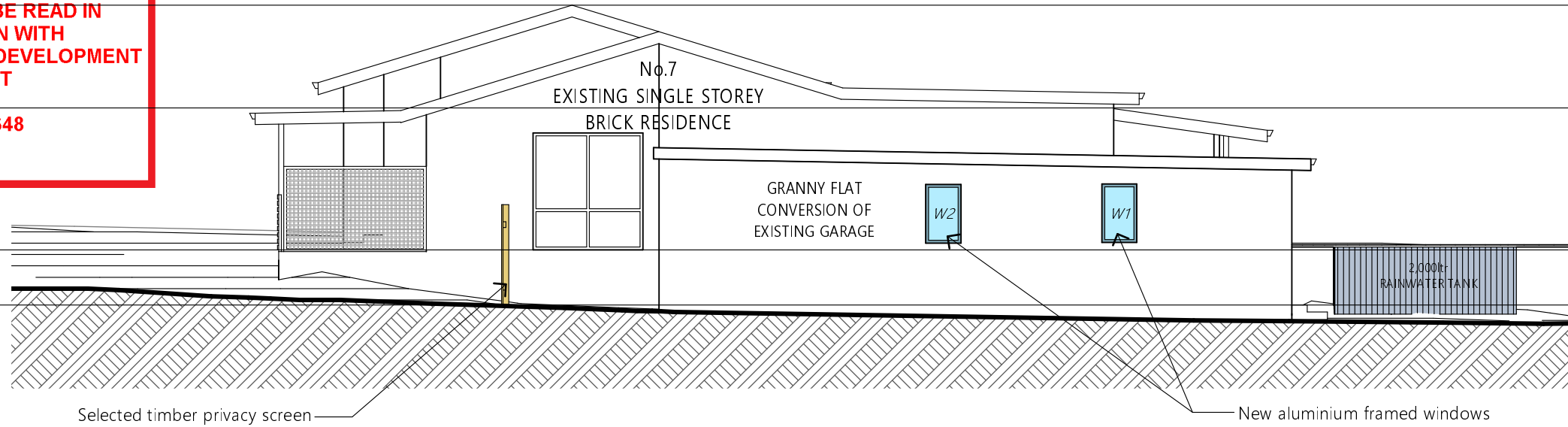
EXISTING RIDGE LEVEL
RL 131.99

EXISTING CEILING PITCHING POINT
RL 130.18

EXISTING GROUND FLOOR
RL 127.68

PROPOSED GRANNY FLAT FLOOR
RL 126.71

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2024/1648



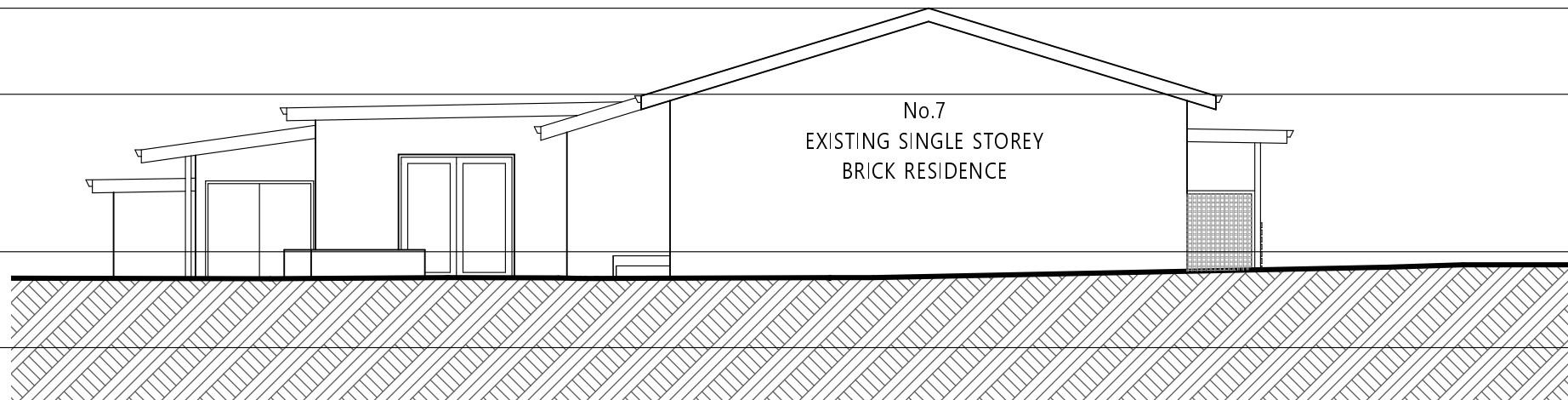
1 NORTH ELEVATION 1:100

EXISTING RIDGE LEVEL
RL 131.99

EXISTING CEILING LEVEL
RL 130.65

EXISTING GROUND FLOOR
RL 128.20

PROPOSED GRANNY FLAT FLOOR
RL 126.71



NOTE- NO CHANGES TO SOUTH ELEVATION

1 SOUTH ELEVATION 1:100

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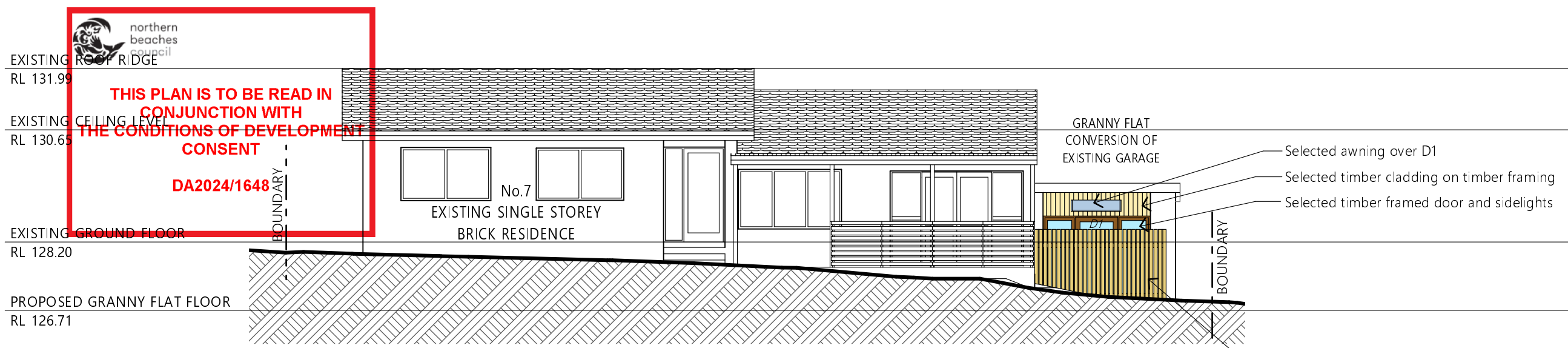
SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085
ABN 22 630 690 834
PH. 0410 410 064 EMAIL:jule@jahdesigns.com.au

Drawing Title:

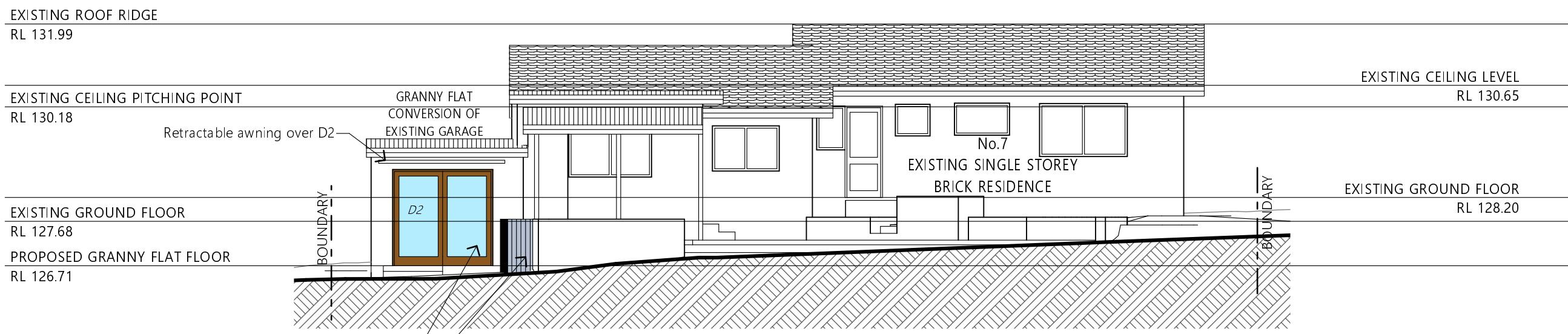
NORTH & SOUTH ELEVATION

Scale:	1:100@ A3	Date:	NOVEMBER 2024
Status:	DA submission	Checked By:	JAH
Project No:	2419	Drawing No.:	DA03

Plot Date: 27/11/2024



1 EAST ELEVATION 1:100



1 WEST ELEVATION 1:100

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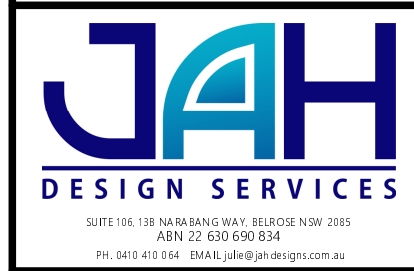
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Drawing Title:
EAST & WEST ELEVATION

Scale: 1:100@ A3	Date: NOVEMBER 2024
Status: DA submission	Checked By: JAH
Project No: 2419	Drawing No.: DA04
Plot Date: 27/11/2024	