



ICONHOMES.COM.AU

Lot 9 Karinya Estate, Warriewood

Lot Number: 9

DP Number: UNREG



ccurate

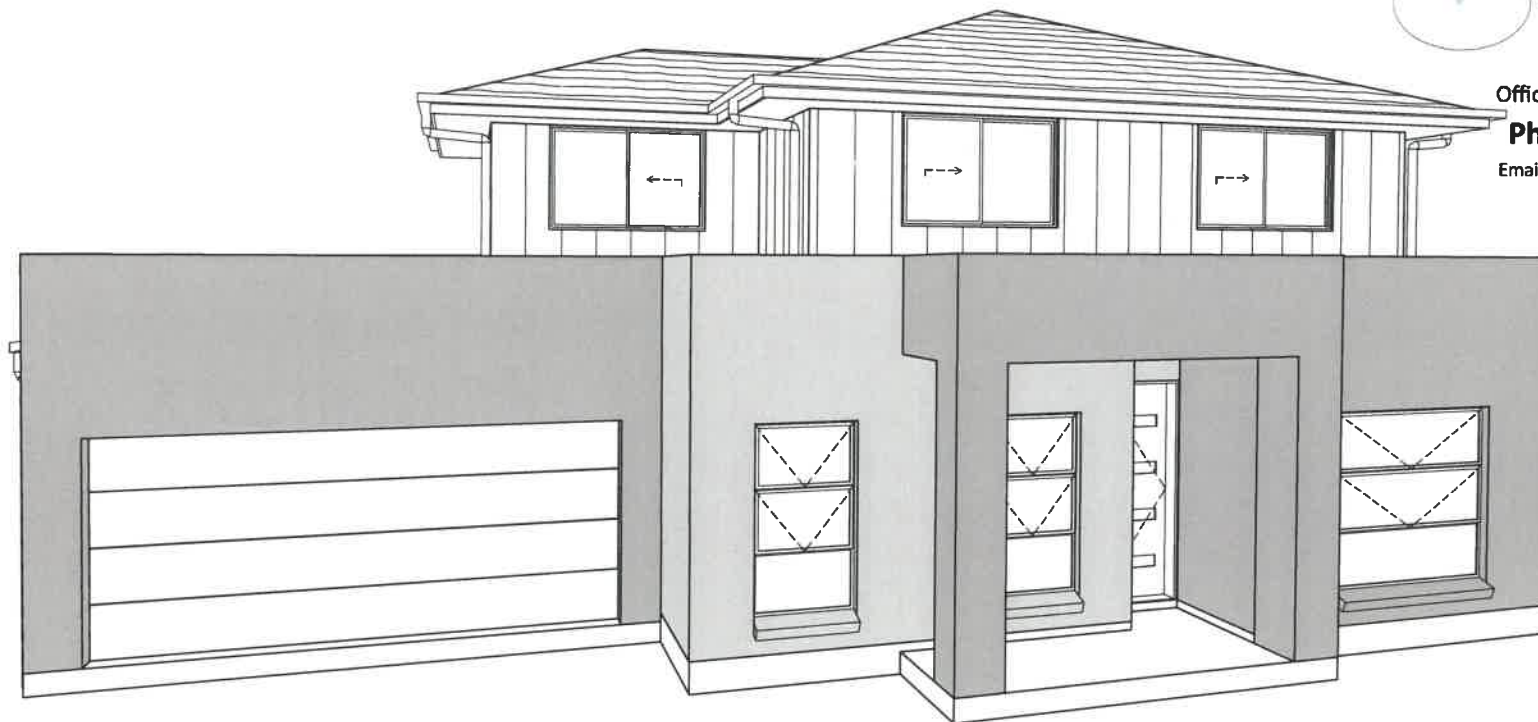
design and drafting

Office: 1a/10 Exchange Parade
Narellan NSW 2567

Phone : **0246472552**

Fax : 0246472553
Email: info@accuratedesign.com.au

Icon Job #:
J/0339



Drawing:
Perspective Views

Scale:
NTS

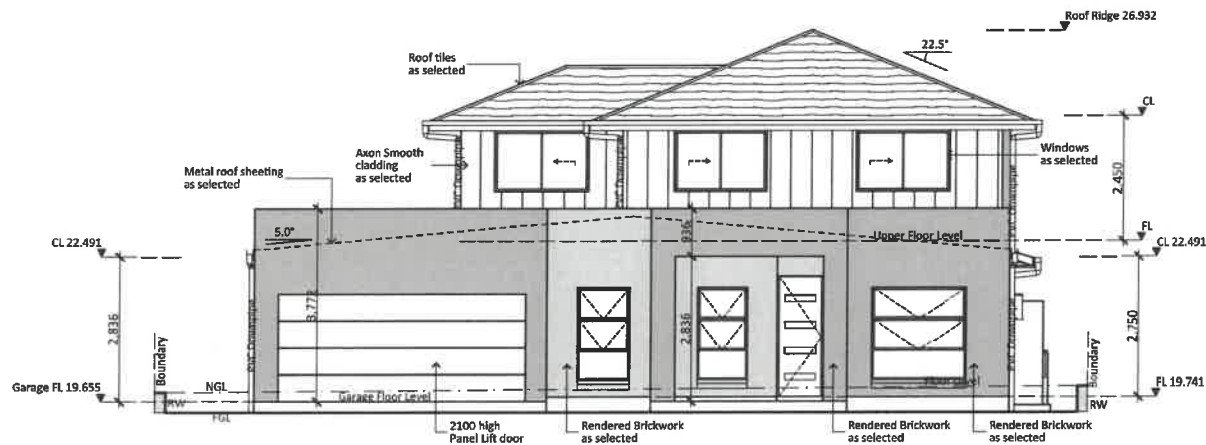
Date:
05-12-18

Drawing No:
17235-5

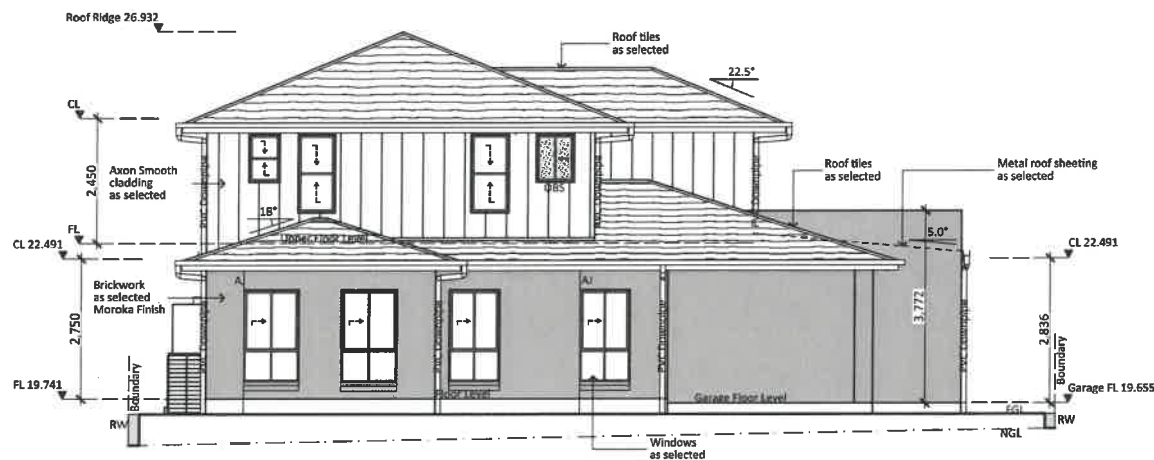
Sheet:
2/14

Issue:
F

c - abeaut designs t/a Accurate Design and Drafting 2018



Front Elevation
1:100



Rear Elevation
1:100

Legend:
ACU - Air Conditioning Unit
AJ - Articulation Joint
CL - Ceiling Level
FGL - Finish Ground Line
FL - Floor Level
HWS - Hot Water System
NGL - Natural Ground Line
OBS - Obscure
RW - Retaining Wall

Notes:
1. Levels shown are approx and should be verified on site
2. Figured dimensions are to be taken in preference to scaling
3. All measurements are in mm unless otherwise stated
4. Window sizes are nominal only. Final window sizes by builder
5. Dimensions are to be verified on site by builder before commencement of work
6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
7. Final AJ's to engineers specifications
8. Floor Level + or - 200mm
9. 20mm Tolerance has been allowed for on the low part of the slab

Client Approval:

Date:

Client:



Icon Job #:
J/0339

Job:

Proposed Residence

LOT: 9 DP: UNREG
Lot 9 Karinya Estate,
Warriewood

Drawing:

Front & Rear Elevations

Scale:

1:100

Date:

05-12-18

Drawing No:

17235-5

Sheet:

5/14

Issue:

F

House Design: Custom

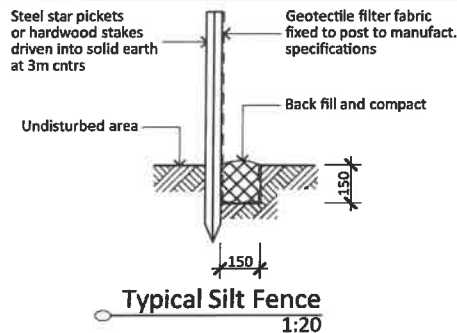


Office: 1a/10 Exchange Parade
Narellan NSW 2567

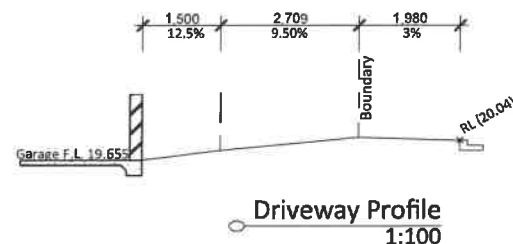
Phone : 0246472552

Fax : 0246472553

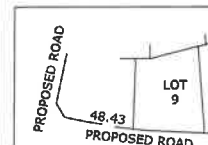
Email: info@accuratedesign.com.au



Soil Erosion and Sediment Control Fence
1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabilized, i.e. paved, landscaped or turfed.
2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.



LOCATION PLAN



LEGEND

	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS

EB - ELECTRICAL BOX
EM - ELECTRICAL METER
GM - GAS METER
H - HYDRANT
R - HYDRANT RECYCLED
KO - KERB OUTLET
LP - LIGHT POLE
LH - LAMP HOLE
MH - MAN HOLE
PP - POWER POLE
SH - SHRUB
SMH - SEWER MAN HOLE
SIO - SEWER INSPECTION OPENING
SV - STOP VALVE
SR - STOP VALVE RECYCLED
SVP - SEWER VENT PIPE
SWP - STORM WATER PIT
T - TREE
TP - TELECOMMUNICATIONS PIT
VER - VERANDAH
WT - WATER TAG
WM - WATER METER
WMR - WATER METER RECYCLED
WC, GC, EC, TC - SERVICE CONDUIT
W/C - WATER CLOSET

- WARNING - UNREGISTERED PLAN

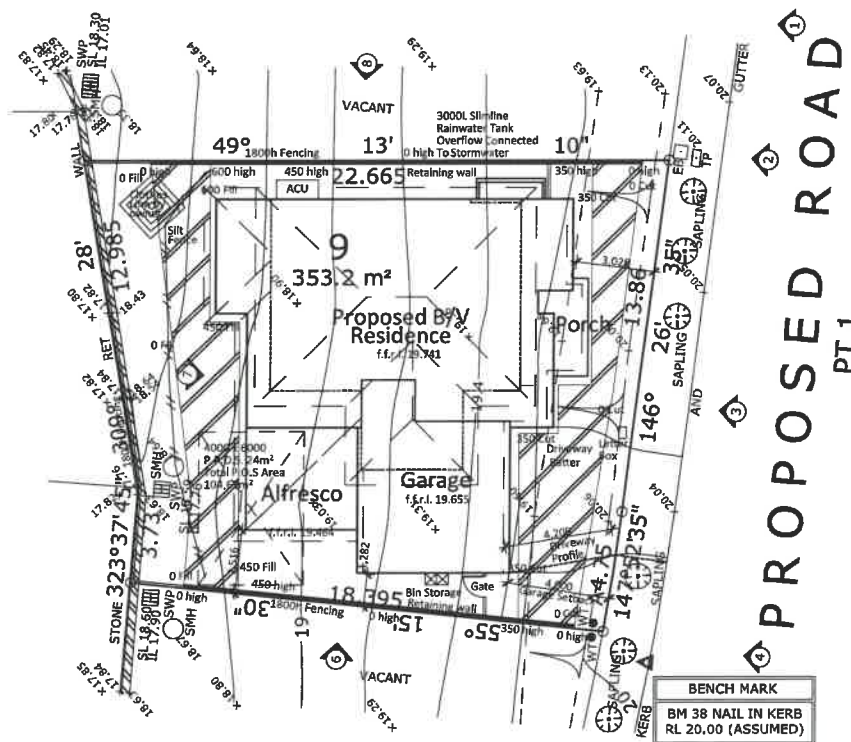
- 1) THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN.
- 2) ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE.
- 3) THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION
- 4) NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN.

DISCLAIMER

DONOVAN ASSOCIATES CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWSOEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN.
COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE

NOTE

THIS SURVEY IS FOR CONTOUR PURPOSES ONLY SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY.



PLAN DETERMINED BY REGISTERED DEPOSITED PLAN

- Notes:**
1. Levels shown are approx and should be verified on site
 2. Figured dimensions are to be taken in preference to scaling
 3. All measurements are in mm unless otherwise stated
 4. Window sizes are nominal only. Final window sizes by builder.
 5. Dimensions are to be verified on site by builder before commencement of work.
 6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
 7. Final AJ's to engineers specifications
 8. Floor Level + or - 200mm
 9. 20mm Tolerance has been allowed for on the low part of the slab

Client Approval: _____ Date: _____

Client: **ICON** Icon Job #: **J/0339**

Job: **Proposed Residence**

LOT: 9 DP: UNREG
Lot 9 Karinya Estate,
Warriewood

Drawing:
Site Plan

Scale: **1:200** Date: **05-12-18**

Drawing No: **17235-5** Sheet: **8/14** Issue: **F**

House Design: Custom

accurate
design and drafting

Office: 1a/10 Exchange Parade
Narellan NSW 2567
Phone : 0246472552
Fax : 0246472553
Email: info@accuratedesign.com.au

© abeaut designs t/a Accurate Design and Drafting 2018

- Notes:
1. Levels shown are approx and should be verified on site
 2. Figured dimensions are to be taken in preference to scaling
 3. All measurements are in mm unless otherwise stated
 4. Window sizes are nominal only. Final window sizes by builder
 5. Dimensions are to be verified on site by builder before commencement of work
 6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
 7. Final AJ's to engineers specifications
 8. Floor Level + or - 200mm
 9. 20mm Tolerance has been allowed for on the low part of the slab

Client Approval: _____ Date: _____

Client:  **Icon Job #:**
J/0339

Job:
Proposed Residence

LOT: 9 DP: UNREG
**Lot 9 Karinya Estate,
Warriewood**

Drawing:
**Shadow Diagrams 21st
June**

Scale: **1:250** Date: **05-12-18**

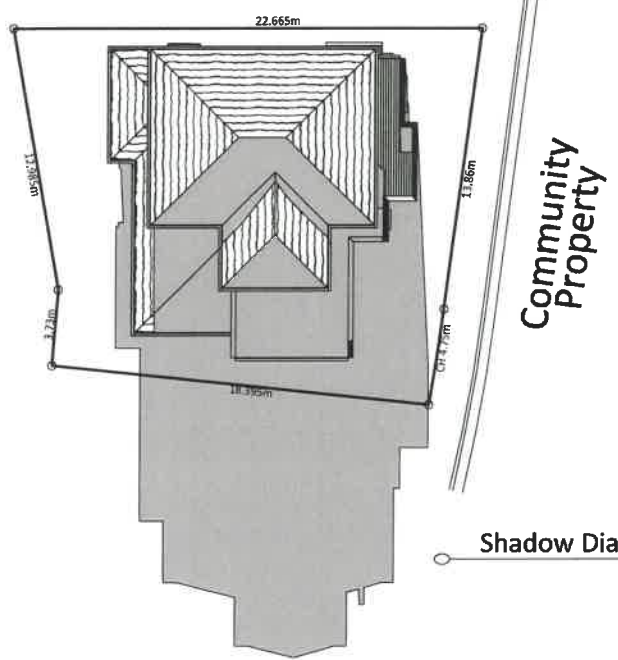
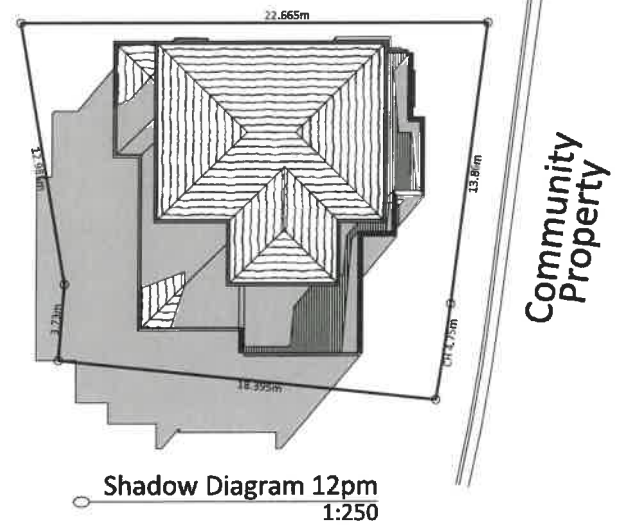
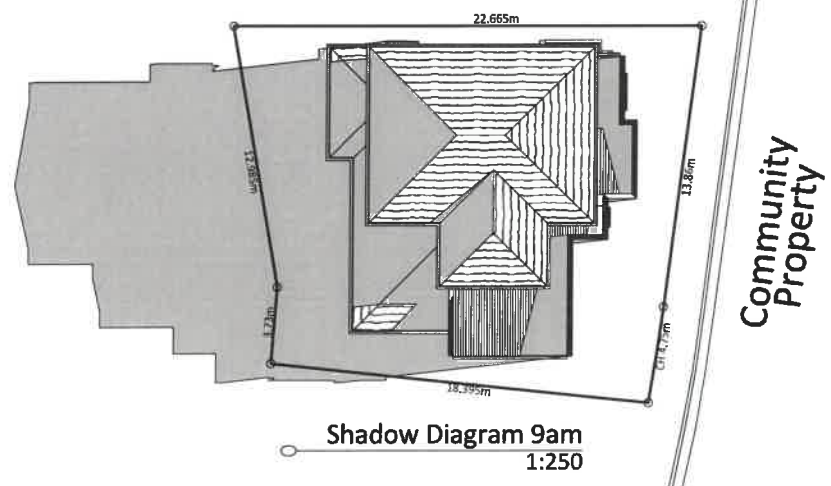
Drawing No: **17235-5** Sheet: **12/14** Issue: **F**

House Design: Custom



accurate
design and drafting

Office: 1a/10 Exchange Parade
Narellan NSW 2567
Phone : 0246472552
Fax : 0246472553
Email: info@accuratedesign.com.au



Lot 9
353.20m²
DP: UNREG

