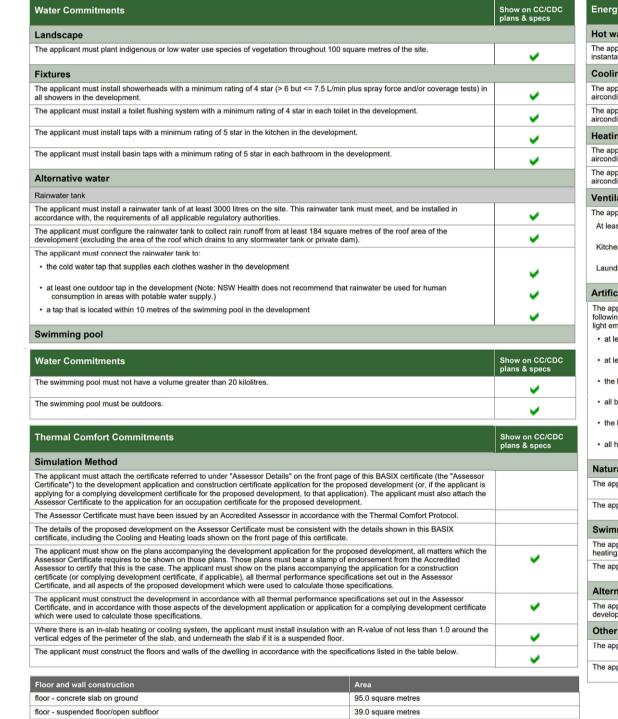
RALSTON ROAD PALM BEACH

APPOVED AS PER MOD2023/0676 TO BE REMODED PROPOSED NEW MODIFICATIONS

LOT 4 / LOT 5 DP 14048, 26 RALSTON ROAD, PALM BEACH NSW 2108

	DRAWING SCHEDULE
A000	COVER SHEET
A010	EXISTING SITE PLAN
A100	CUT & FILL PLAN
A200	LOWER GROUND FLOOR PLAN
A201	GROUND FLOOR PLAN
A202	FIRST FLOOR PLAN
A203	ROOF PLAN
A210	LOWER GROUND FLOOR DIMENSIONS PLAN
A211	GROUND FLOOR DIMENSIONS PLAN
A300	ELEVATIONS - SHEET 01
A301	ELEVATIONS - SHEET 02
A302	ELEVATIONS - SHEET 03
A310	SECTIONS





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Imming pool applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any ting system for the swimming pool): solar only applicant must install a timer for the swimming pool pump in the development. In the details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate, including the Cooling and Heating loads shown on the plans accompanying the development application for the proposed development application for the proposed development application for the proposed development application for a construction certificate, including the Cooling and Heating the Cooling and Heating the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate, and all aspects of the proposed development must show on the plans accompanying the application for a construction certificate, and all aspects of the proposed development which were used to calculate those specifications set out in the Assessor Certificate requires to be shown on those plans. Those plans must show on the plans accompanying the application for a construction certificate, and all aspects of the proposed development which were used to calculate those specifications set out in the Assessor Certificate requires to be shown on those plans. Those plans must show on the plans accompanying the application for a construction certificate, and all aspects of the proposed development which were used to calculate those specifications set out in the Assessor Certificate requires to be shown on those plans. Those plans must show on the plans accompanying the application of the development application of the development application of the plans accompanyi	applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
certificate, including the Cooling and Heating loads shown on the plans accompanying the development application for the proposed development, all matters whas a seasor Certificate requires to be shown on the plans accompanying the development application for the proposed development, all matters whas a seasor Certificate and all aspects of the proposed development certificate, if applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate), and all aspects of the proposed development which were used to calculate those specifications set out in the Assessor Certificate, and all aspects of the proposed development unstable as a specification of the development of the development application or a construction certificate, and all aspects of the proposed development which were used to calculate those specifications set out in the Assessor Certificate, and an accordance with all thermal performance specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and an accordance with those aspects of the development application or a complying development certificate, and an accordance with those aspects of the development application or a complying development certificate, and an accordance with those aspects of the development application or a construction or certificate (or complying development application or a construction or certificate (or complying development application or a construction or certificate (or complying development application or a construction or certificate (or complying development application or a construction or certificate (or complying the development application or a construction or certificate (or complying the development application or a construction or certificate (or complying the development application or a construction or certificate (or complying the development application for a construction or certificate (or comp	
Assessor Certificate requires to be shown on those plans. Those plans accompanying the applicant for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. applicant must install a fixed outdoor clothes drying line as part of the development. **The applicant must install a fixed outdoor clothes drying line as part of the development. **The applicant must construct the floors and walls of the dwelling in accordance with the stability it is a suspended floor. **The applicant must construct the floors and walls of the dwelling in accordance with the stability it is a suspended floor. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below. **Floor and wall construction** **Touch and the stable of the perimeter of the slab, and underneath the slability it is a suspended floor. **Floor and wall construction** **Touch and wall construction for a complying development terms which were used to calculate those specifications set out in the Assessor Certificate, and in accordance with the development which were used to calculate those specifications of the development applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slability it is a suspended floor. **Touch and wall construction* **Touch and wall construction*	
certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications. The applicant must construct the development application or application for a complying development certificate, and in accordance with those aspects of the development application or application for a complying development certificate, and in accordance with those aspects of the development application or application for a complying development certificate, and in accordance with those aspects of the development application or application for a complying development certificate, and in accordance with those aspects of the development application or application for a complying development certificate, and in accordance with those aspects of the development application or application for a complying development certificate, and in accordance with those aspects of the development application or application for a complying development certificate, and in accordance with those aspects of the development application or application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development application for a co	Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accre
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development certificate, and in accordance with those aspects of the development application for a complying development on the substitution of the development application for a complying development on the substitution of the development application for a complying development on the substitution of the development application for a complying development on the substitution of the development application for a complying development on the substitution of the development application application application application application application	certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Asses
which were used to calculate those specifications. Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below. Floor and wall construction Area Floor and wall construction 72.0 square metres	e applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the velopment. The applicant must connect this system to the development's electrical system.
vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below. Floor and wall construction Area floor - concrete slab on ground 72.0 square metres	
Floor and wall construction floor - concrete slab on ground Area 72.0 square metres	
floor - concrete slab on ground 72.0 square metres	e applicant must install a fixed outdoor clothes drying line as part of the development. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table be
floor - concrete slab on ground 72.0 square metres	Flore and wall construction
	floor - concrete slab on ground 72.0 square metres floor - suspended floor/open subfloor 63.0 square metres

BASIX Certificate	Project summary				
Building Sustainability Index www.basix.nsw.gov.au	Project name	Palm Beach 1			
	Street address	26, lot 5 Ralston Stree	26, lot 5 Ralston Street Palm Beach 2108		
Single Dwelling	Local Government Area	Northern Beaches Co	Northern Beaches Council		
	Plan type and plan number	deposited 14048	deposited 14048		
ertificate number: 1065036S	Lot no.	5			
	Section no.	10	10		
his certificate confirms that the proposed development will meet the NSW overnment's requirements for sustainability, if it is built in accordance with the	Project type	separate dwelling hou	use		
ommitments set out below. Terms used in this certificate, or in the commitments,	No. of bedrooms	5			
ave the meaning given by the document entitled "BASIX Definitions" dated 6/10/2017 published by the Department. This document is available at	Project score				
ww.basix.nsw.gov.au	Water	✓ 42	Target 40		
ecretary ate of issue: Monday, 23 December 2019	Thermal Comfort	✓ Pass	Target Pass		
be valid, this certificate must be lodged within 3 months of the date of issue.	Energy	✓ 56	Target 50		
Planning, Industry &					
Environment	Certificate Prepared by				
	Name / Company Name: Integreco Consulting Pty Ltd				
	ABN (if applicable): 42630013008				

Project address		Assessor details and thermal lo	oads
Project name	Palm Beach 1	Assessor number	BDAV/19/1921
Street address	26, lot 5 Raiston Street Palm Beach 2108	Certificate number	0004495628
Local Government Area	Northern Beaches Council	Climate zone 56	
Plan type and plan number	Deposited Plan 14048	Area adjusted cooling load (MJ/m².year)	19
Lot no.	5	Area adjusted heating load (MJ/m².year)	43
Section no.	10	Project score	
Project type		Water	✓ 42
Project type	separate dwelling house		¥
No. of bedrooms	5	Thermal Comfort	✓ Pass
Site details		Energy	✓ 56
Site area (m²)	766		•
Roof area (m²)	184		
Conditioned floor area (m2)	280.0		
Unconditioned floor area (m2)	14.0		
		1	

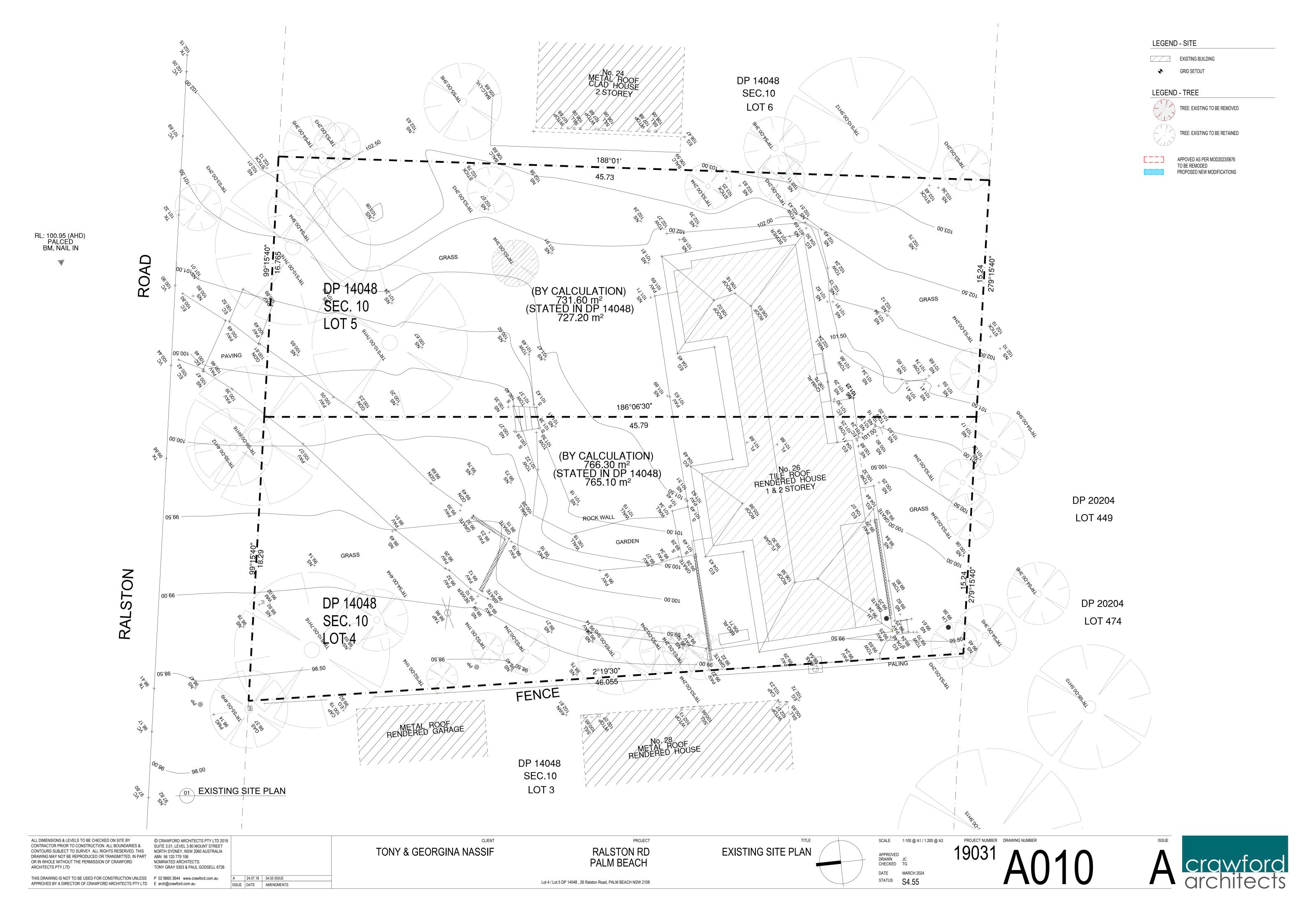
Total area of garden and lawn (m2)

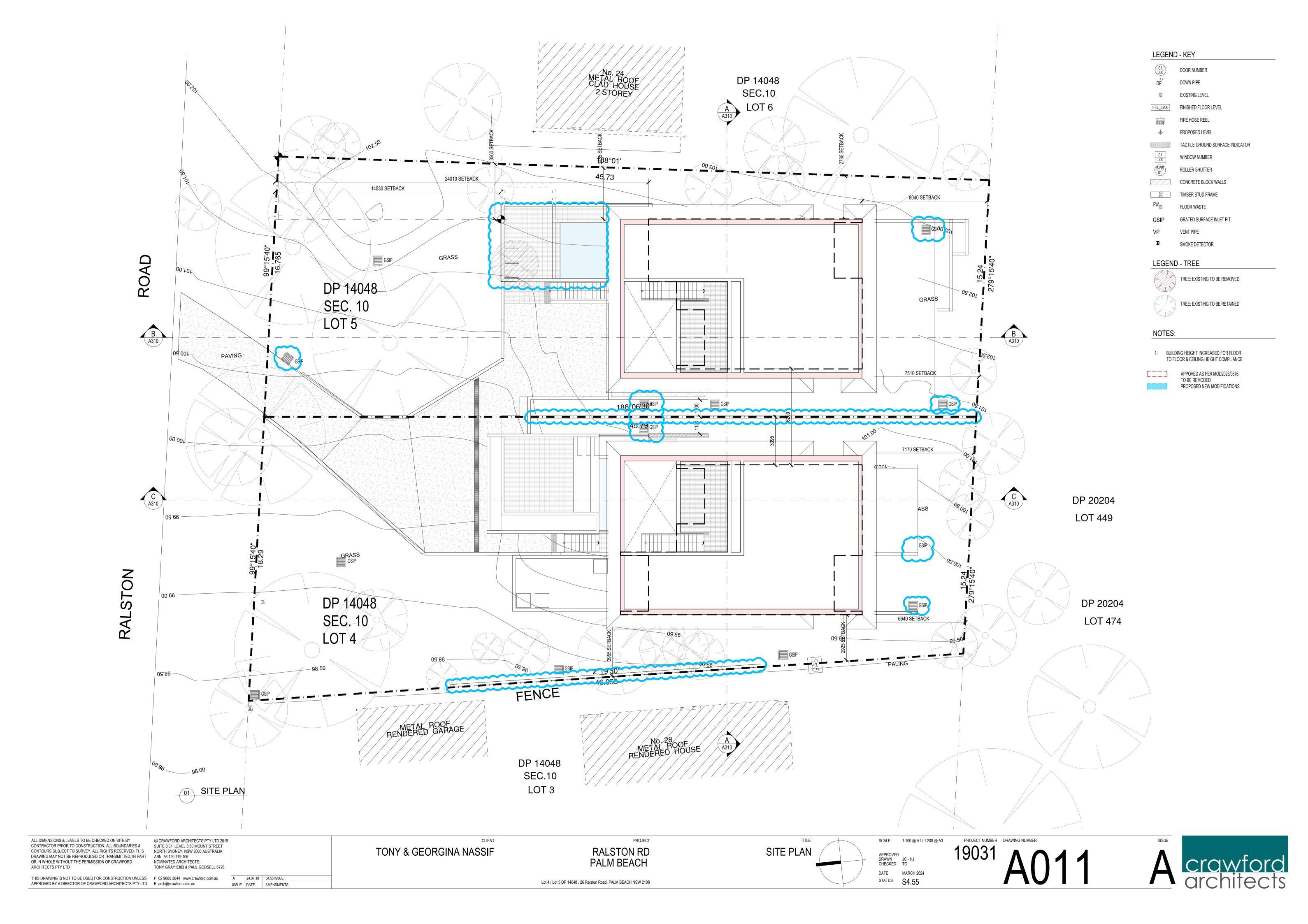
	_	
Water Commitments	Show on CC/CDC plans & specs	Energy Commitments
Landscape	Hot water	
The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	~	The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.
Fixtures		Cooling system
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.	~	The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 2 Star (old label)
The applicant must install a tollet flushing system with a minimum rating of 4 star in each toilet in the development.	~	The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 2 Star (old label)
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.	-	Heating system
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.	V	The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 2 Star (old label)
Alternative water		The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 2 Star (old label)
Rainwater tank		Ventilation
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	The applicant must install the following exhaust systems in the development:
The applicant must configure the rainwater tank to collect rain runoff from at least 184 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).	~	At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
The applicant must connect the rainwater tank to:		Alichen. Individual ian, ducted to laçade di 1001, Operation control. manual switch on/on
the cold water tap that supplies each clothes washer in the development	-	Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 	_	Artificial lighting
a tap that is located within 10 metres of the swimming pool in the development	•	The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps.
Swimming pool		at least 5 of the bedrooms / study; dedicated
Water Commitments	Show on CC/CDC plans & specs	at least 3 of the living / dining rooms; dedicated
The swimming pool must not have a volume greater than 20 kilolitres.	~	the kitchen; dedicated
The swimming pool must be outdoors.	~	Energy Commitments
		Espa de Campanion de la company
Thermal Comfort Commitments	Show on CC/CDC plans & specs	all bathrooms/toilets; dedicated
Simulation Method		the laundry; dedicated
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is		all hallways; dedicated
applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.		Natural lighting

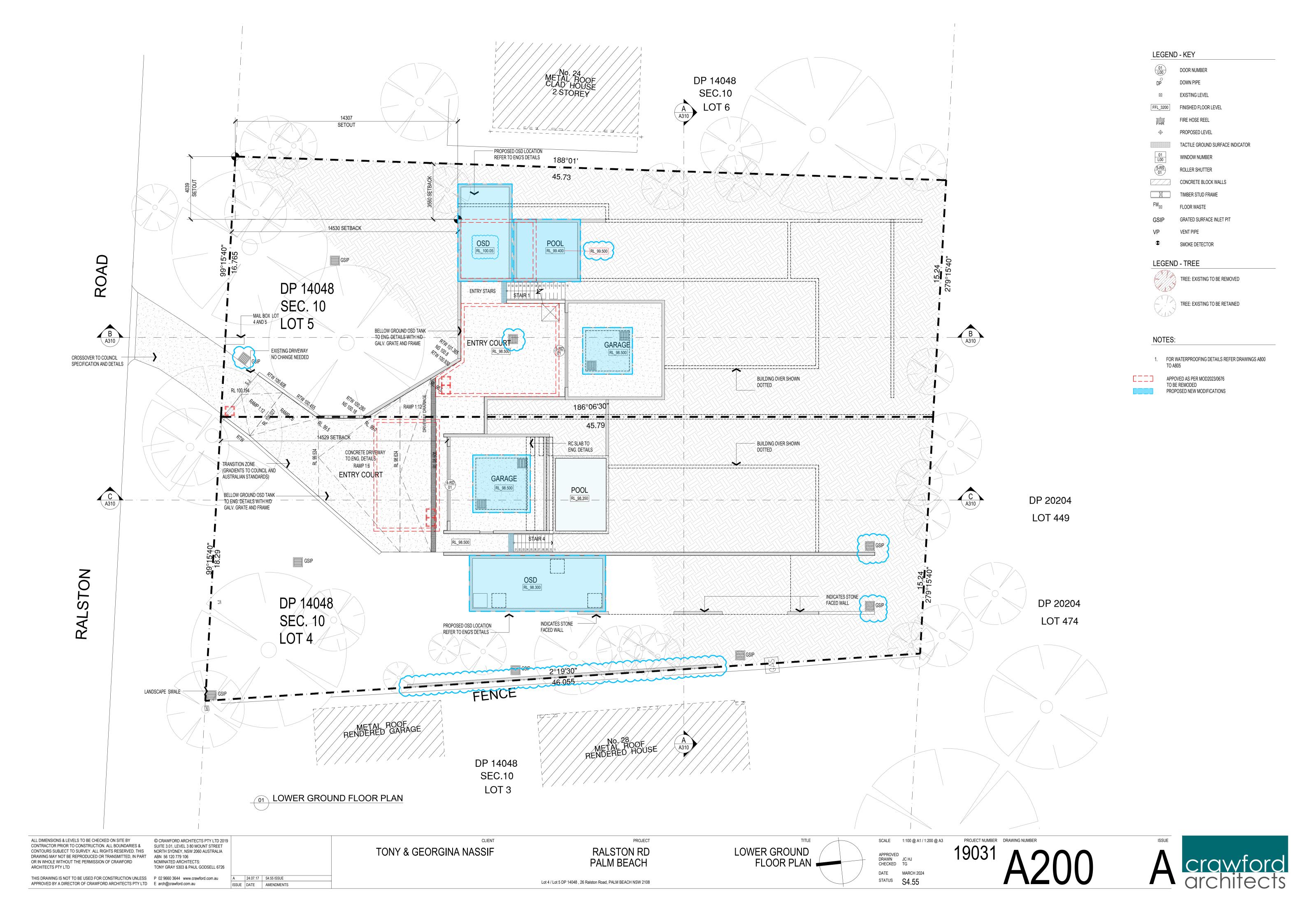
Er	nergy Commitments
٠	all bathrooms/toilets; dedicated
	the laundry; dedicated
	all hallways; dedicated
Na	atural lighting
Th	e applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
Th	e applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighti-
Sı	wimming pool
	e applicant must install the following heating system for the swimming pool in the development (or alternativel ating system for the swimming pool): solar only
Th	e applicant must install a timer for the swimming pool pump in the development.
Al	ternative energy
	e applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electric velopment. The applicant must connect this system to the development's electrical system.
01	ther
Th	e applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
Th	e applicant must install a fixed outdoor clothes drying line as part of the development.

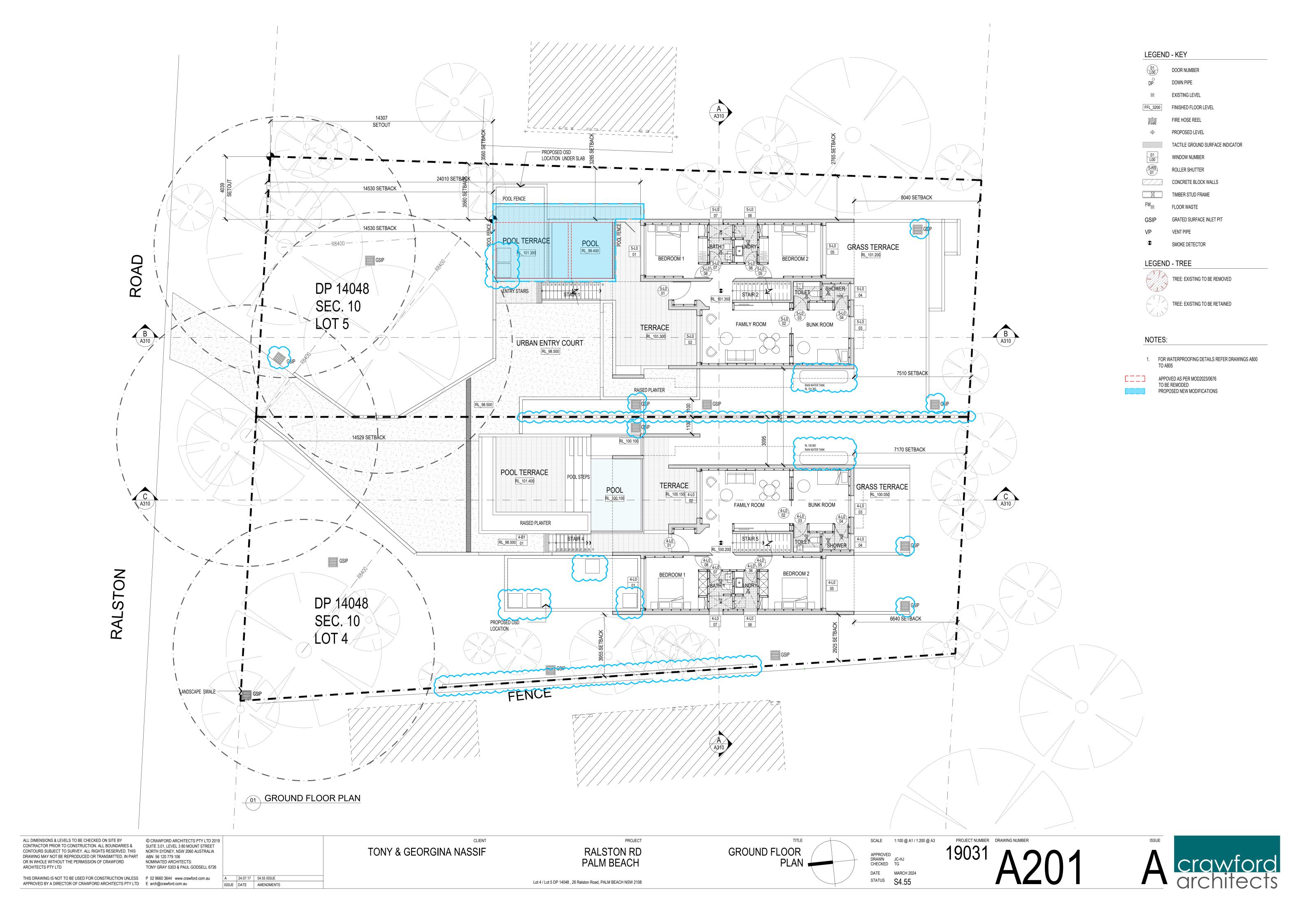
	<u>'</u>
Legend	
In these commitments, "applicant" means the p	rson carrying out the development.
Commitments identified with a 💓 in the "Show development application is to be lodged for the	on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a proposed development).
ommitments identified with a 💓 in the "Show ertificate / complying development certificate fo	on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction r the proposed development.
ommitments identified with a 💓 in the "Certifinal) for the development may be issued.	er check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or

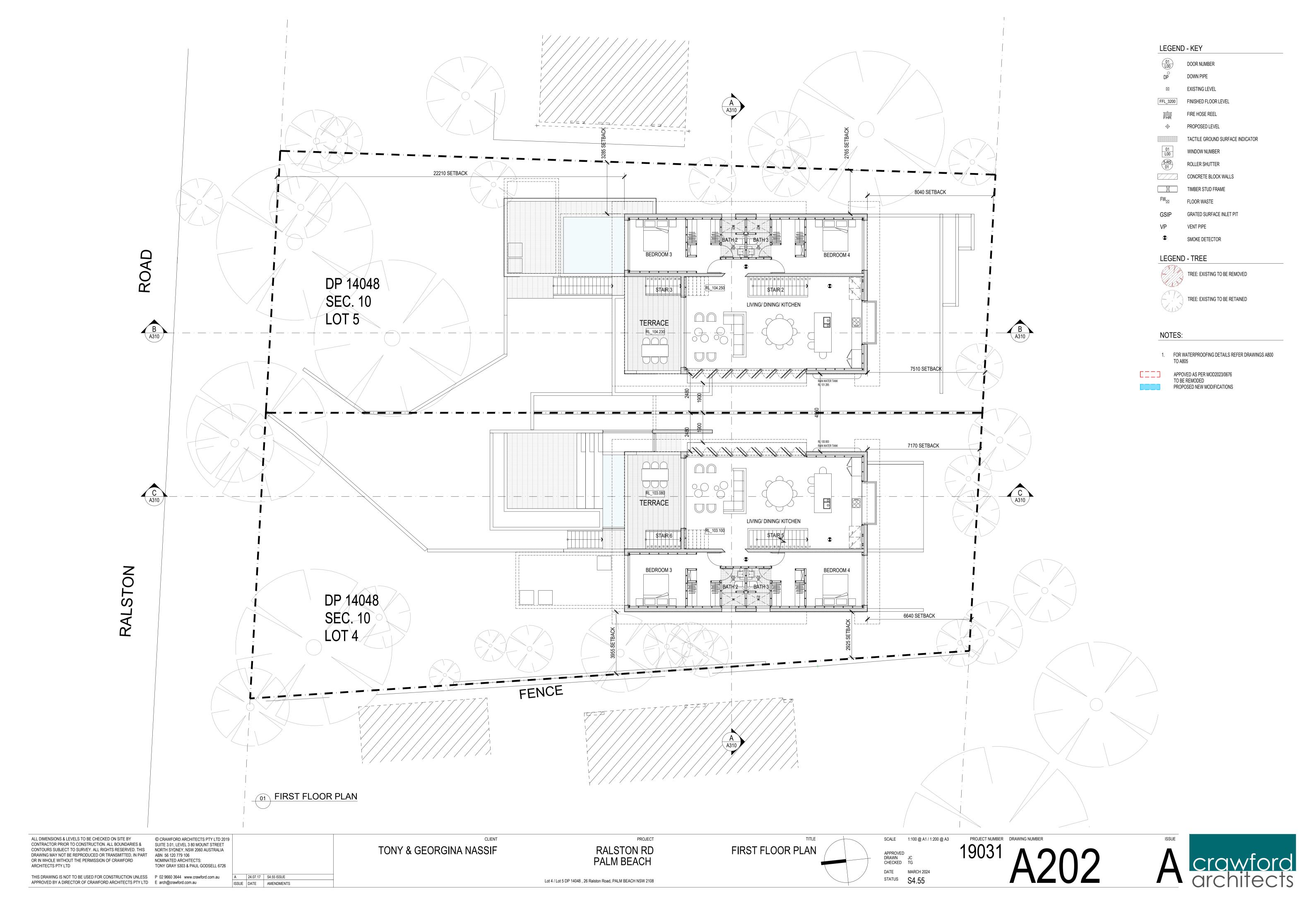


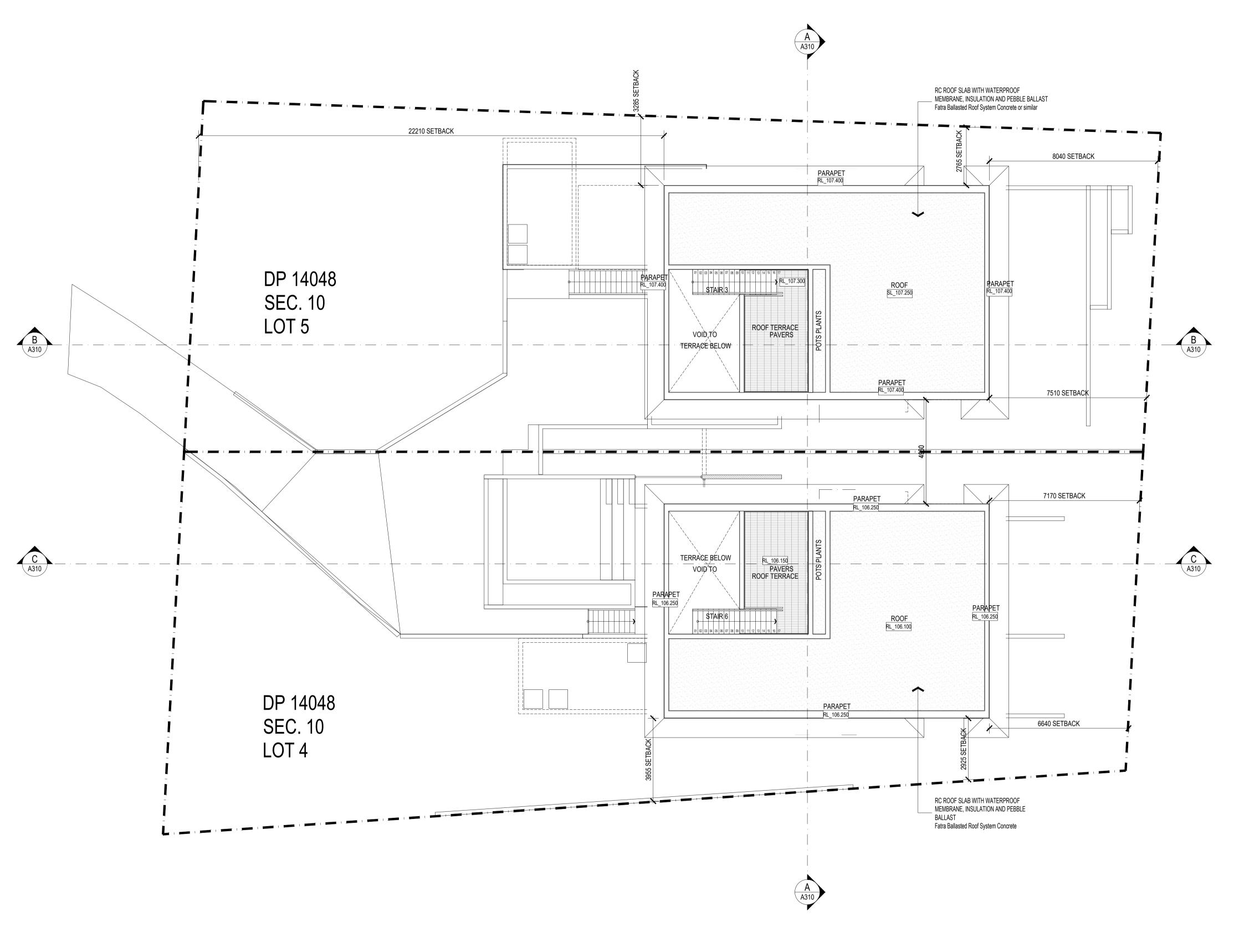












CONCRETE BLOCK WALLS FLOOR WASTE SMOKE DETECTOR LEGEND - TREE TREE: EXISTING TO BE REMOVED TREE: EXISTING TO BE RETAINED NOTES: FOR WATERPROOFING DETAILS REFER DRAWINGS A800 TO A805

LEGEND - KEY

DOOR NUMBER

EXISTING LEVEL

FIRE HOSE REEL

PROPOSED LEVEL

WINDOW NUMBER

ROLLER SHUTTER

TIMBER STUD FRAME

VENT PIPE

APPOVED AS PER MOD2023/0676 TO BE REMODED PROPOSED NEW MODIFICATIONS

GRATED SURFACE INLET PIT

TACTILE GROUND SURFACE INDICATOR

FINISHED FLOOR LEVEL

DOWN PIPE

O1 ROOF PLAN

ISSUE DATE AMENDMENTS

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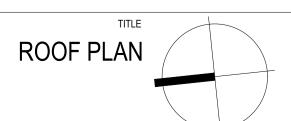
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RALSTON RD PALM BEACH

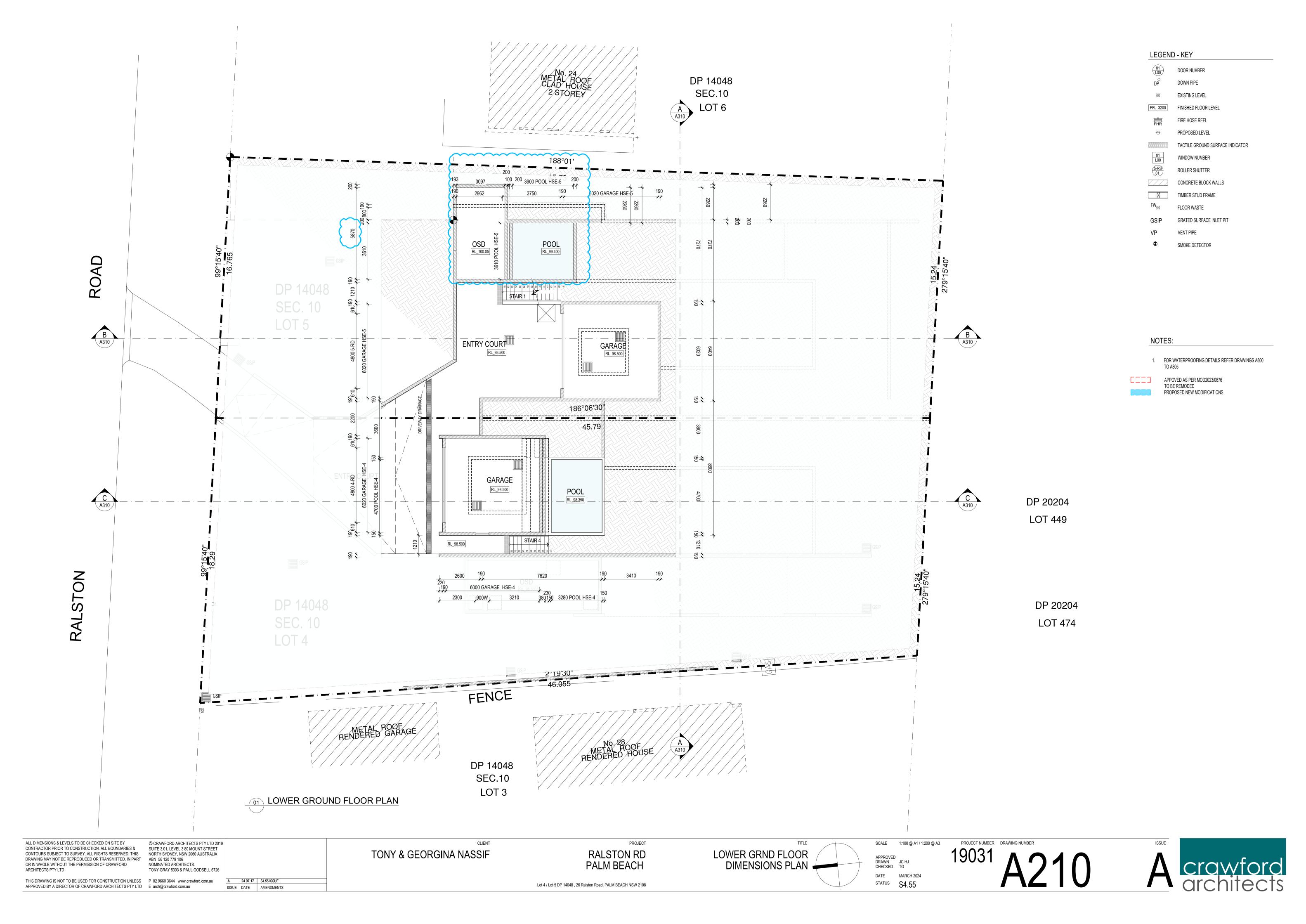
Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108



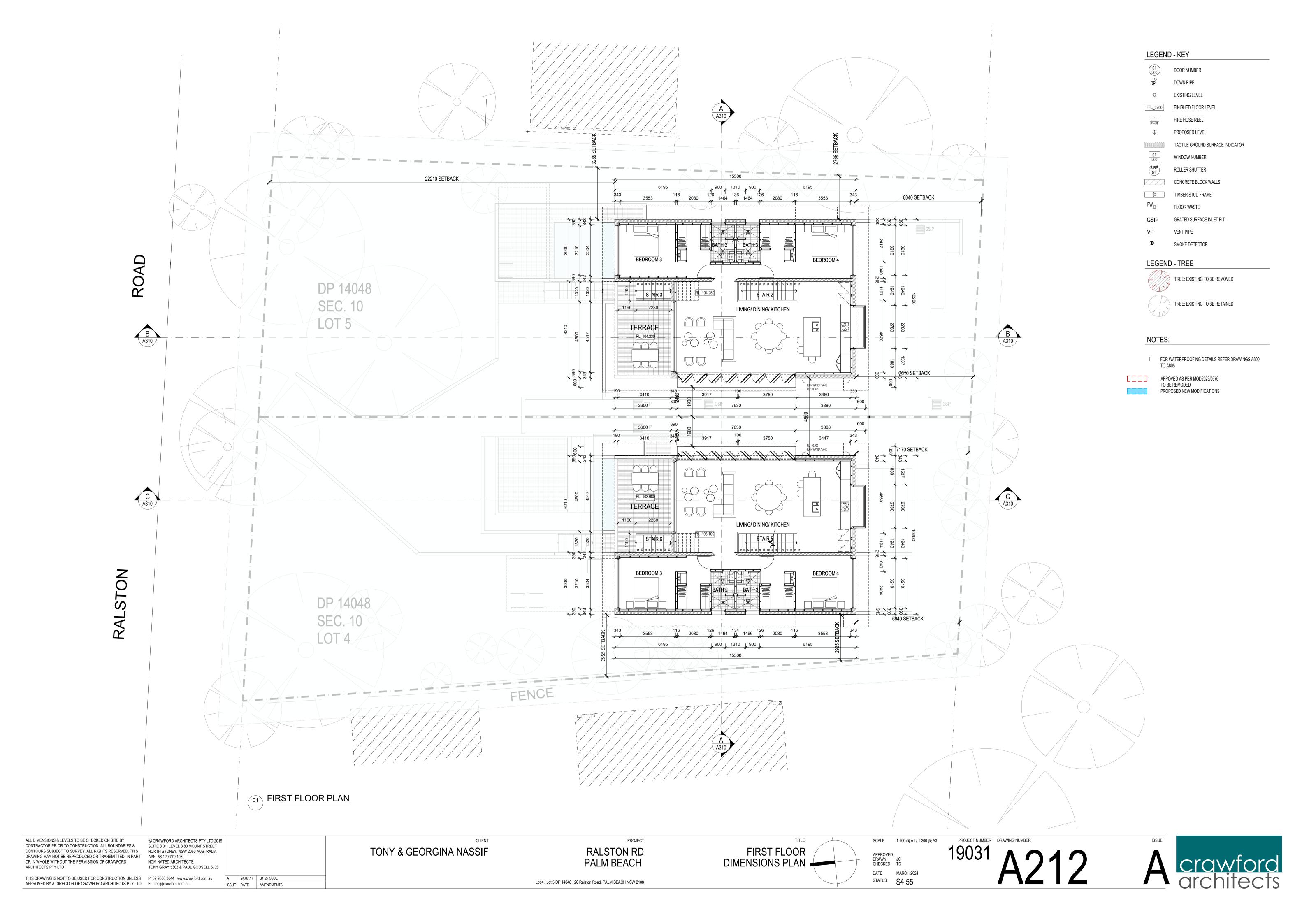
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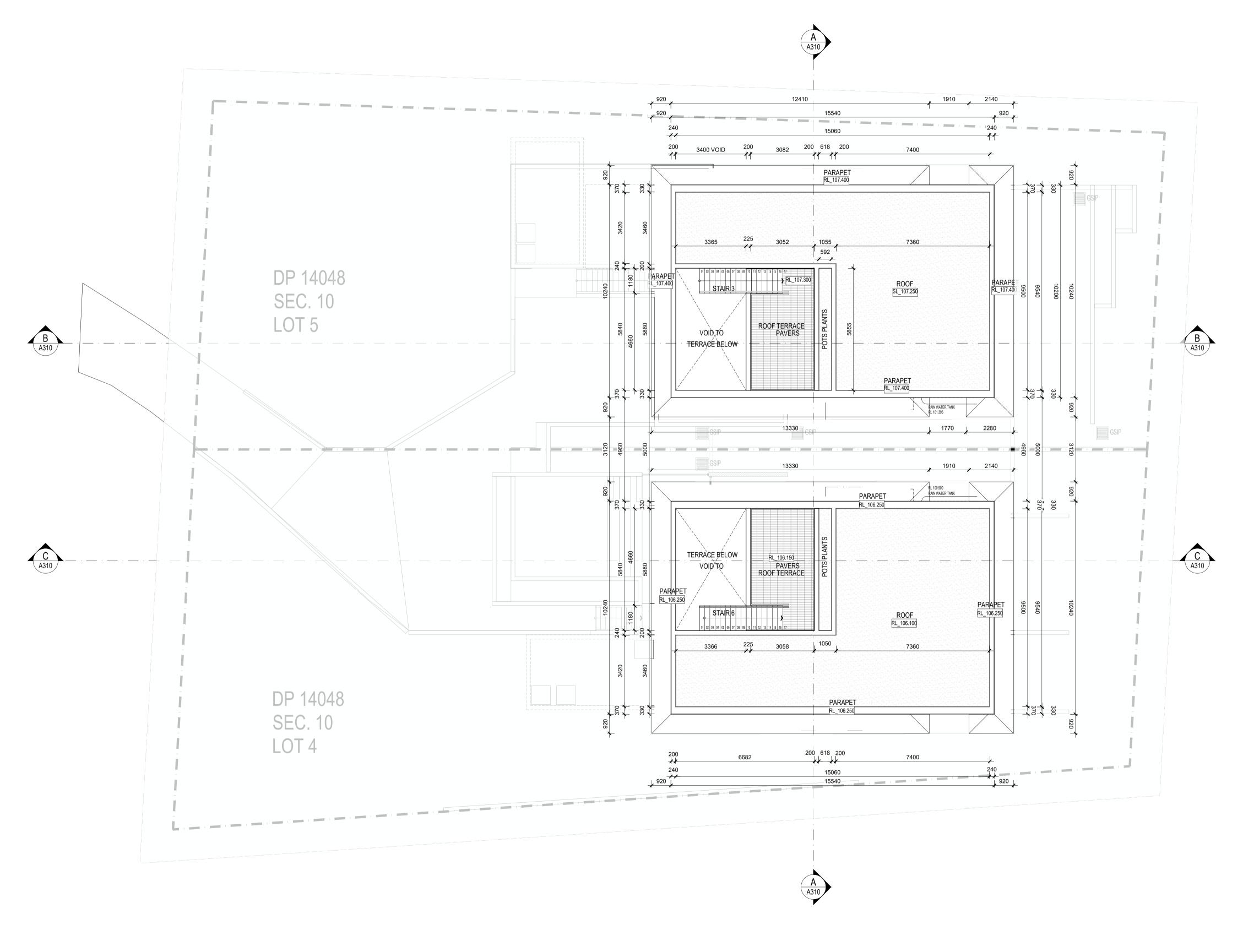
STATUS S4.55











LEGEND - KEY

DOOR NUMBER

DOWN PIPE

EXISTING LEVEL FINISHED FLOOR LEVEL

FIRE HOSE REEL PROPOSED LEVEL

TACTILE GROUND SURFACE INDICATOR

WINDOW NUMBER

ROLLER SHUTTER CONCRETE BLOCK WALLS

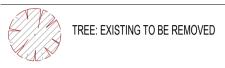
TIMBER STUD FRAME FLOOR WASTE

GRATED SURFACE INLET PIT

VENT PIPE

SMOKE DETECTOR

LEGEND - TREE



TREE: EXISTING TO BE RETAINED

NOTES:

FOR WATERPROOFING DETAILS REFER DRAWINGS A800 TO A805



APPOVED AS PER MOD2023/0676 TO BE REMODED PROPOSED NEW MODIFICATIONS

01 ROOF PLAN

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RALSTON RD PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

TITLE ROOF DIMENSIONS PLAN 🗕

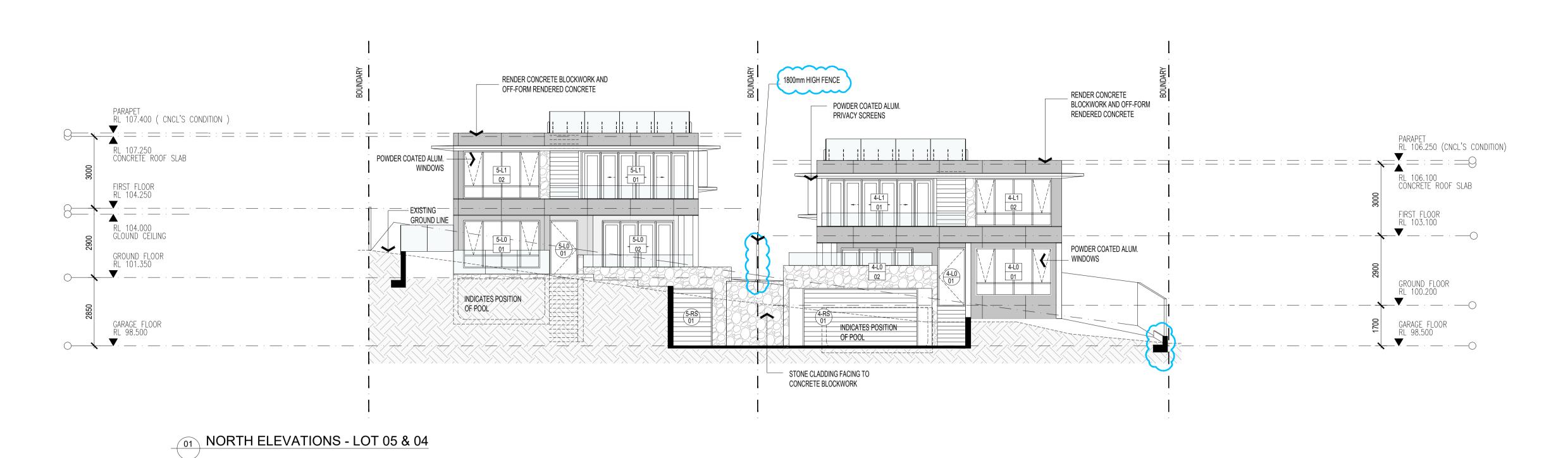
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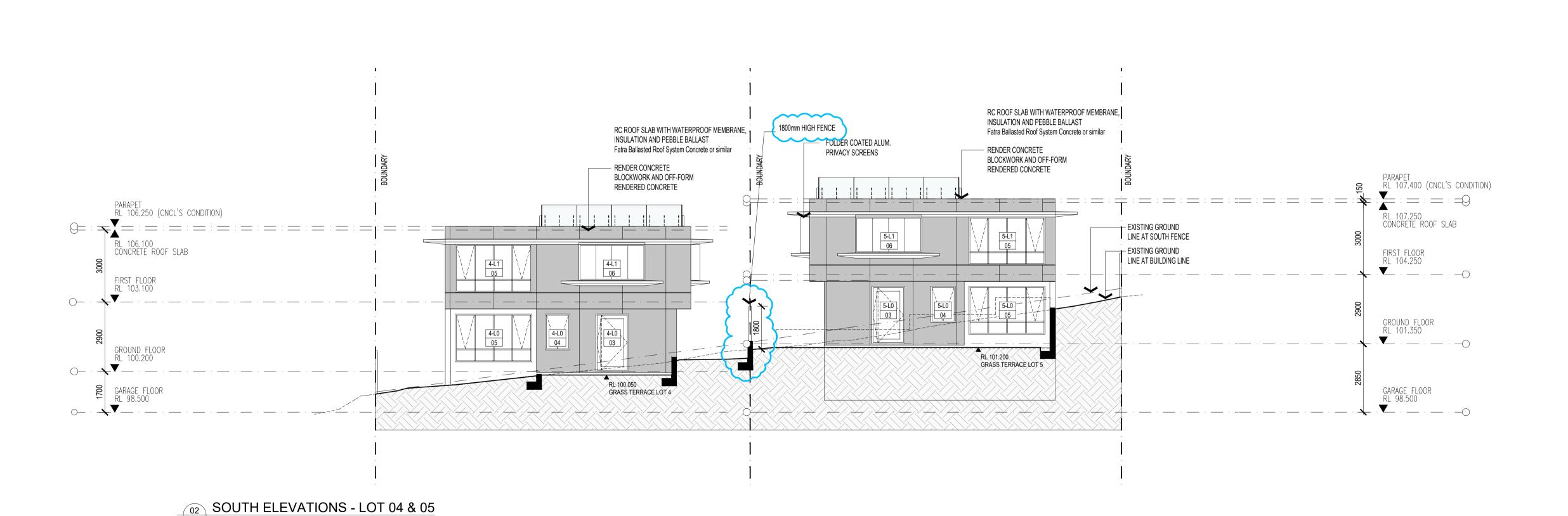
STATUS S4.55



1. REFER TO THE BUSH FIRE REPORT FOR WINDOW AND DOOR BAL REQUIREMENT AND AS 3959 'CONSTRUCTION OF BUILDINGS IN BUSH FIRE PRONE AREAS'







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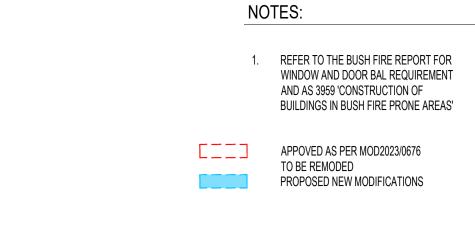
RALSTON RD PALM BEACH

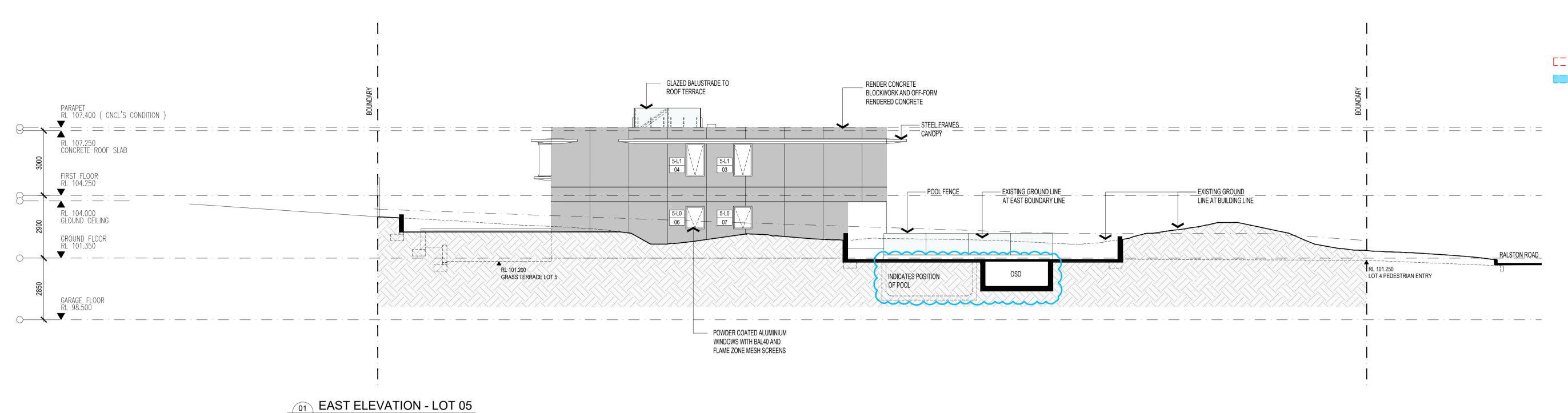
Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

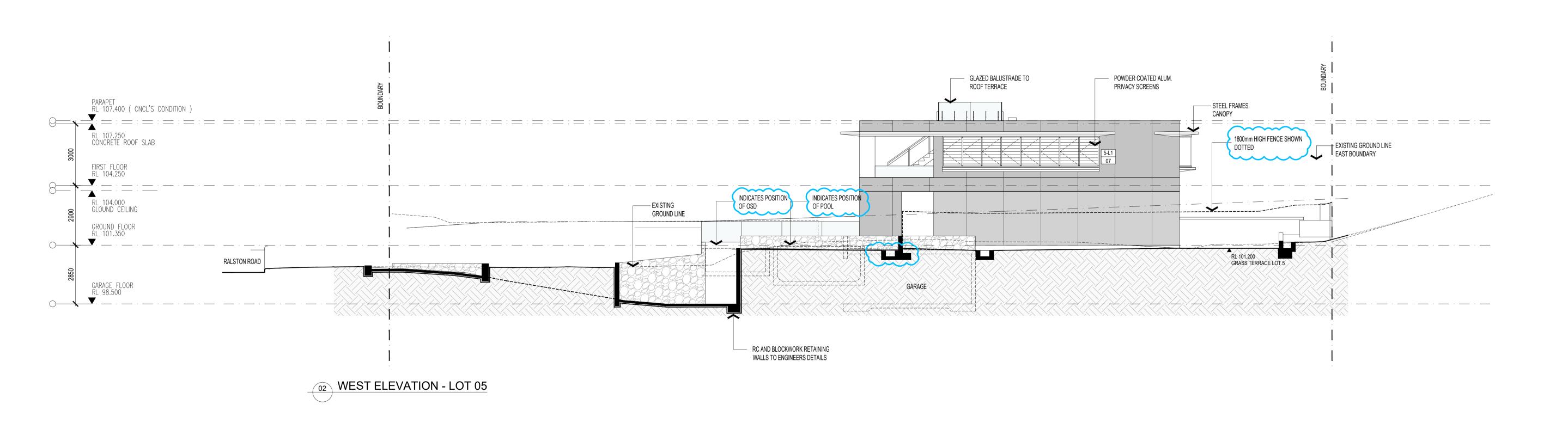
ELEVATIONS SHEET 01

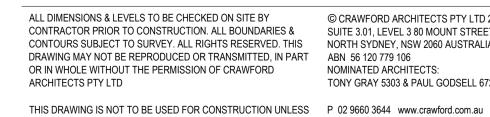
SCALE 1:100 @ A1 / 1:200 @ A3 APPROVED DRAWN JC - HJ CHECKED TG DATE MARCH 2024











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RALSTON RD PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

ELEVATIONS SHEET 02 - LOT 05

SCALE 1:100 @ A1 / 1:200 @ A3 APPROVED DRAWN JC-HJ CHECKED TG DATE MARCH 2024 STATUS S4.55

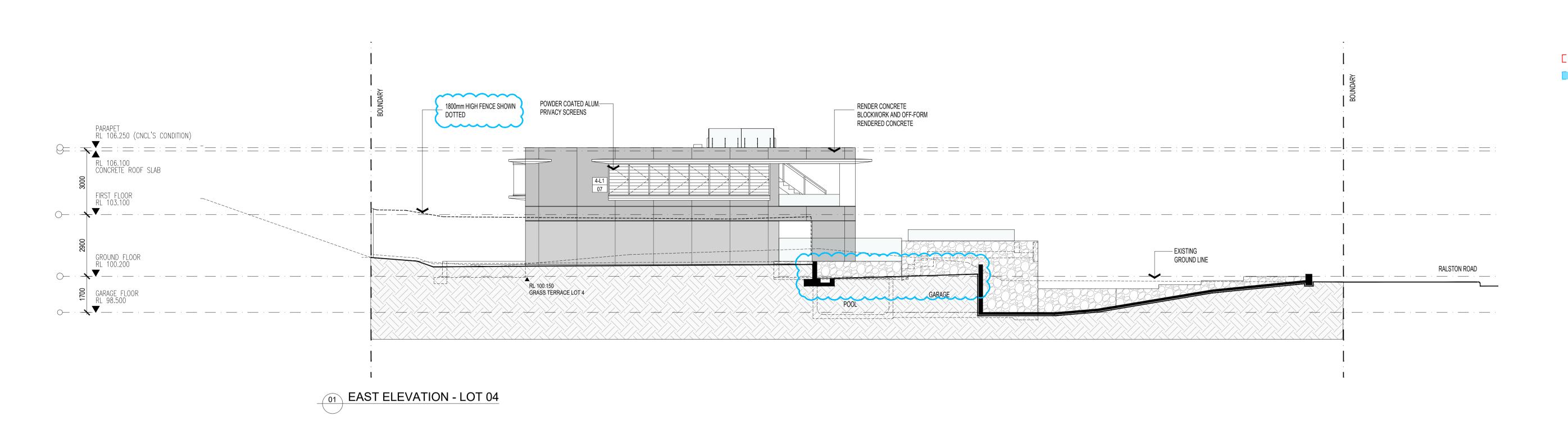


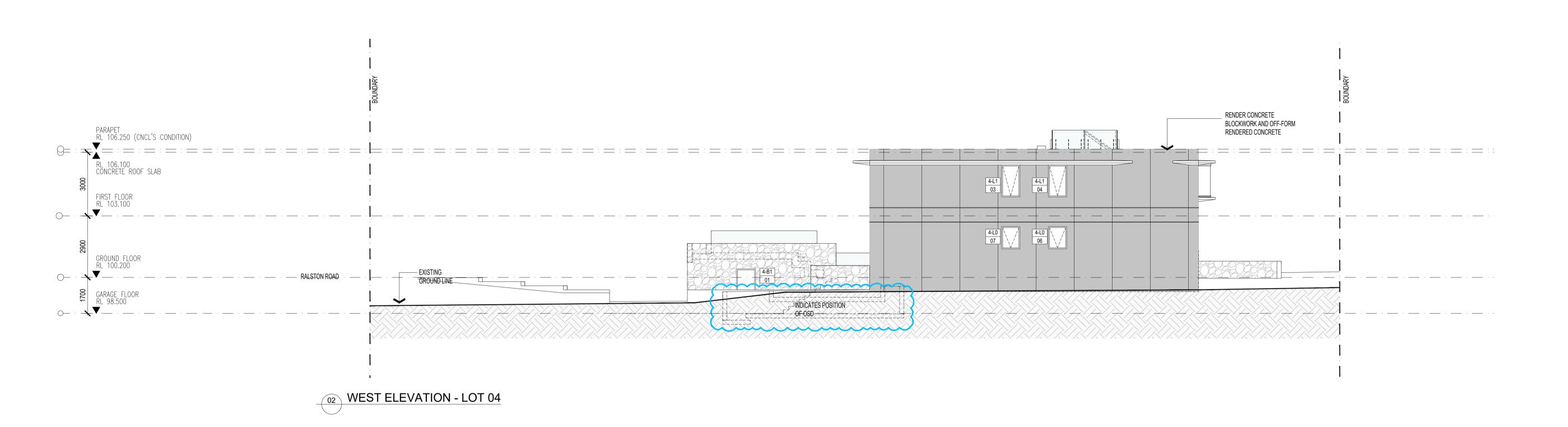


1. REFER TO THE BUSH FIRE REPORT FOR WINDOW AND DOOR BAL REQUIREMENT AND AS 3959 'CONSTRUCTION OF BUILDINGS IN BUSH FIRE PRONE AREAS'



APPOVED AS PER MOD2023/0676 TO BE REMODED PROPOSED NEW MODIFICATIONS





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NORTH STDIKE1, NSW 2000 AUSTRALIA
ABN 56 120 779 106
NOMINATED ARCHITECTS:
TONY GRAY 5303 & PAUL GODSELL 6726

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RALSTON RD PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

ELEVATIONS SHEET 03 - LOT 04

SCALE 1:100 @ A1 / 1:200 @ A3 APPROVED DRAWN JC-HJ CHECKED TG DATE MARCH 2024 STATUS S4.55





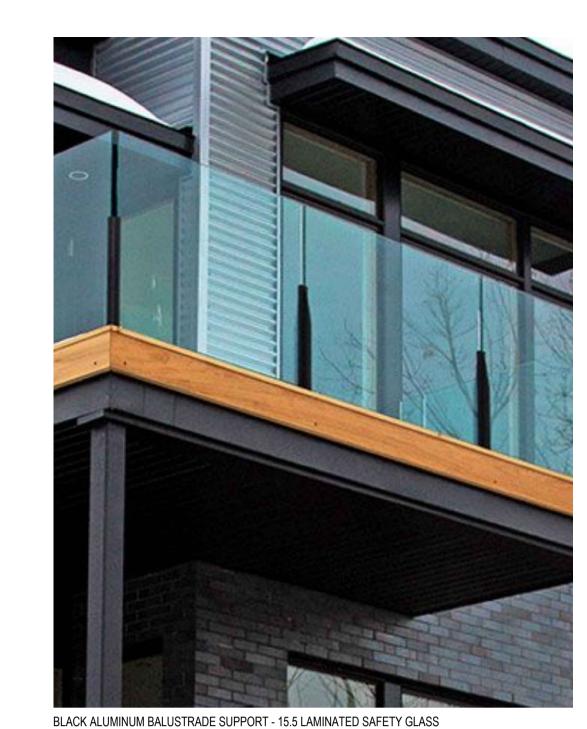




EXTERNAL SAND STONE CLADDING - LIGHT GRAY



BLACK ALUMINIUM WINDOWS & DOORS FRAMES

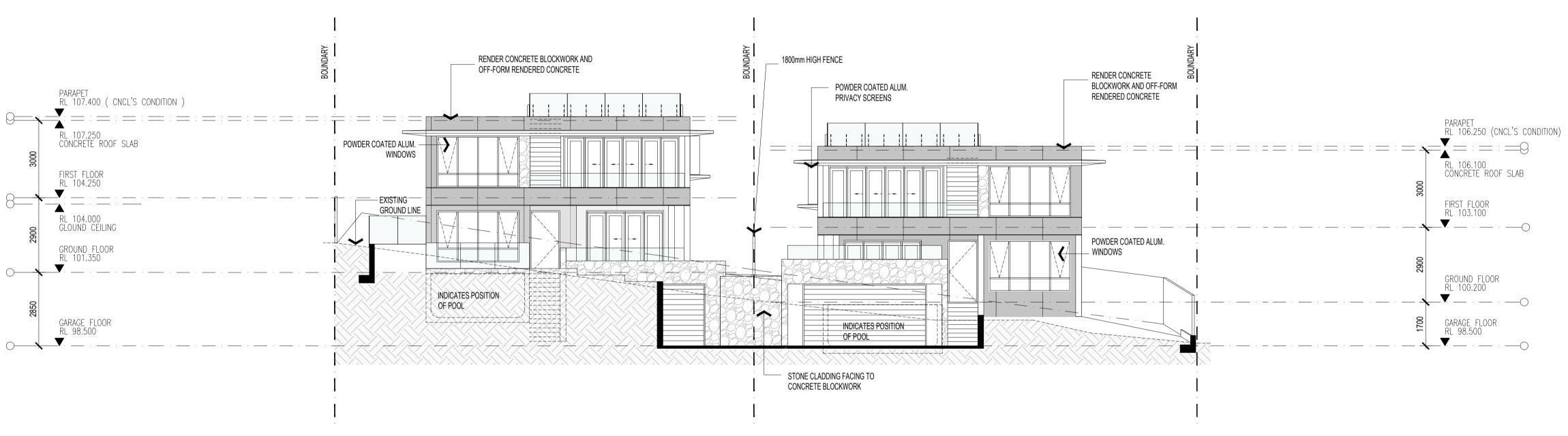


NOTES:

REFER TO THE BUSH FIRE REPORT FOR WINDOW AND DOOR BAL REQUIREMENT

APPOVED AS PER MOD2023/0676 TO BE REMODED PROPOSED NEW MODIFICATIONS

AND AS 3959 'CONSTRUCTION OF BUILDINGS IN BUSH FIRE PRONE AREAS'



01 NORTH ELEVATIONS - LOT 05 & 04



CFC CLADDING SOFFITS



EXTERNAL RENDER WALL - PAINT FINISH - TRANQUIL RETREAT

ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS

DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART
OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD

ABN 56 120 779 106
NOMINATED ARCHITECTS:

© CRAWFORD ARCHITECTS PTY LTD 2019 SUITE 3.01, LEVEL 3 80 MOUNT STREET NORTH SYDNEY, NSW 2060 AUSTRALIA TONY GRAY 5303 & PAUL GODSELL 6726

TONY & GEORGINA NASSIF

RALSTON RD PALM BEACH

ELEVATIONS - FINISHES SHEET 04

SCALE 1:100 @ A1 APPROVED DRAWN JC - HJ CHECKED TG DATE MARCH 2024 STATUS S4.55



Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

