

# RALSTON ROAD PALM BEACH

## LOT 4 / LOT 5 DP 14048, 26 RALSTON ROAD, PALM BEACH NSW 2108

APPROVED AS PER MOD02023/0676  
TO BE REMOVED  
PROPOSED NEW MODIFICATIONS

### DRAWING SCHEDULE

A000	COVER SHEET
A010	EXISTING SITE PLAN
A100	CUT & FILL PLAN
A200	LOWER GROUND FLOOR PLAN
A201	GROUND FLOOR PLAN
A202	FIRST FLOOR PLAN
A203	ROOF PLAN
A210	LOWER GROUND FLOOR DIMENSIONS PLAN
A211	GROUND FLOOR DIMENSIONS PLAN
A300	ELEVATIONS - SHEET 01
A301	ELEVATIONS - SHEET 02
A302	ELEVATIONS - SHEET 03
A310	SECTIONS

### BASIX Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

#### Single Dwelling

Certificate number: 10650405

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 23 December 2019  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	Palm Beach 2		
Street address	26, lot 4 Ralston Street Palm Beach 2108		
Local Government Area	Northern Beaches Council		
Plan type and plan number	deposited 14048		
Lot no.	4		
Section no.	10		
Project type	separate dwelling house		
No. of bedrooms	5		
Project score			
Water	✔ 42	Target 40	
Thermal Comfort	✔ Pass	Target Pass	
Energy	✔ 56	Target 50	

Certificate Prepared by	
Name / Company Name:	Integroco Consulting Pty Ltd
ABN (if applicable):	42630013008

Project address	
Project name	Palm Beach 2
Street address	26, lot 4 Ralston Street Palm Beach 2108
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 14048
Lot no.	4
Section no.	10
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m <sup>2</sup> )	732
Roof area (m <sup>2</sup> )	184
Conditioned floor area (m <sup>2</sup> )	238.0
Unconditioned floor area (m <sup>2</sup> )	8.0
Total area of garden and lawn (m <sup>2</sup> )	320

Assessor details and thermal loads			
Assessor number	BDAN191921		
Certificate number	0004495610-01		
Climate zone	56		
Area adjusted cooling load (MJ/m <sup>2</sup> /year)	24		
Area adjusted heating load (MJ/m <sup>2</sup> /year)	40		
Project score			
Water	✔ 42	Target 40	
Thermal Comfort	✔ Pass	Target Pass	
Energy	✔ 56	Target 50	

Water Commitments	Show on CC/CDC plans & specs
<b>Landscape</b> The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✓
<b>Fixtures</b> The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.	✓ ✓ ✓ ✓
<b>Alternative water</b> <b>Rainwater tank:</b> The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 184 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: • the cold water tap that supplies each clothes washer in the development • at least one outdoor tap in the development (note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply) • a tap that is located within 10 metres of the swimming pool in the development.	✓ ✓ ✓ ✓ ✓

Swimming pool	Show on CC/CDC plans & specs
<b>Water Commitments</b> The swimming pool must not have a volume greater than 20 kilolitres. The swimming pool must be outdoors.	✓ ✓

Thermal Comfort Commitments	Show on CC/CDC plans & specs
<b>Simulation Method</b> The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate. The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓ ✓ ✓ ✓ ✓ ✓
<b>Floor and wall construction</b> Floor - concrete slab on ground Floor - suspended floor/open subfloor	Area 95.0 square metres 38.0 square metres

Energy Commitments	Show on CC/CDC plans & specs
<b>Hot water</b> The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓
<b>Cooling system</b> The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 2 Star (old label) The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2 Star (old label)	✓ ✓
<b>Heating system</b> The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 2 Star (old label) The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2 Star (old label)	✓ ✓
<b>Ventilation</b> The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓ ✓ ✓ ✓

<b>Artificial lighting</b> The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 4 of the bedrooms / study; dedicated • at least 3 of the living / dining rooms; dedicated • the kitchen; dedicated • all bathrooms/toilets; dedicated • the laundry; dedicated • all hallways; dedicated	✓ ✓ ✓ ✓ ✓ ✓
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<b>Natural lighting</b> The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓ ✓
<b>Swimming pool</b> The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only The applicant must install a timer for the swimming pool pump in the development.	✓ ✓
<b>Alternative energy</b> The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓
<b>Other</b> The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. The applicant must install a fixed outdoor clothes drying line as part of the development.	✓ ✓

### BASIX Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)




#### Single Dwelling

Certificate number: 10550365

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 23 December 2019  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	Palm Beach 1		
Street address	26, lot 5 Ralston Street Palm Beach 2108		
Local Government Area	Northern Beaches Council		
Plan type and plan number	deposited 14048		
Lot no.	5		
Section no.	10		
Project type	separate dwelling house		
No. of bedrooms	5		
Project score			
Water		42	Target 40
Thermal Comfort		Pass	Target Pass
Energy		56	Target 50

Certificate Prepared by	
Name / Company Name:	Integroco Consulting Pty Ltd
ABN (if applicable):	42630013008

Project address	
Project name	Palm Beach 1
Street address	26, lot 5 Ralston Street Palm Beach 2108
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 14048
Lot no.	5
Section no.	10
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m <sup>2</sup> )	768
Roof area (m <sup>2</sup> )	184
Conditioned floor area (m <sup>2</sup> )	260.0
Unconditioned floor area (m <sup>2</sup> )	14.0
Total area of garden and lawn (m <sup>2</sup> )	320

Assessor details and thermal loads			
Assessor number	BDAN191921		
Certificate number	0004495628		
Climate zone	56		
Area adjusted cooling load (MJ/m <sup>2</sup> /year)	19		
Area adjusted heating load (MJ/m <sup>2</sup> /year)	43		
Project score			
Water	✔ 42	Target	40
Thermal Comfort	✔ Pass	Target	Pass
Energy	✔ 56	Target	50

Water Commitments	Show on CC/CDC plans & specs
<b>Landscape</b> The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✓
<b>Fixtures</b> The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.	✓ ✓ ✓ ✓
<b>Alternative water</b> <b>Rainwater tank:</b> The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 184 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: • the cold water tap that supplies each clothes washer in the development • at least one outdoor tap in the development (note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply) • a tap that is located within 10 metres of the swimming pool in the development	✓ ✓ ✓ ✓ ✓

Swimming pool	Show on CC/CDC plans & specs
<b>Water Commitments</b> The swimming pool must not have a volume greater than 20 kilolitres. The swimming pool must be outdoors.	✓ ✓

Thermal Comfort Commitments	Show on CC/CDC plans & specs
<b>Simulation Method</b> The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate. The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓ ✓ ✓ ✓ ✓ ✓
<b>Floor and wall construction</b> Floor - concrete slab on ground Floor - suspended floor/open subfloor	Area 72.0 square metres 63.0 square metres

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	

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E arch@crawford.com.au

A	24.07.17	\$4.55 ISSUE
ISSUE	DATE	AMENDMENTS

CLIENT

TONY & GEORGINA NASSIF

PROJECT

RALSTON RD  
PALM BEACH

TITLE

COVER SHEET

SCALE

APPROVED  
DRAWN JC  
CHECKED TG  
DATE MARCH 2024  
STATUS \$4.55

PROJECT NUMBER

19031

DRAWING NUMBER

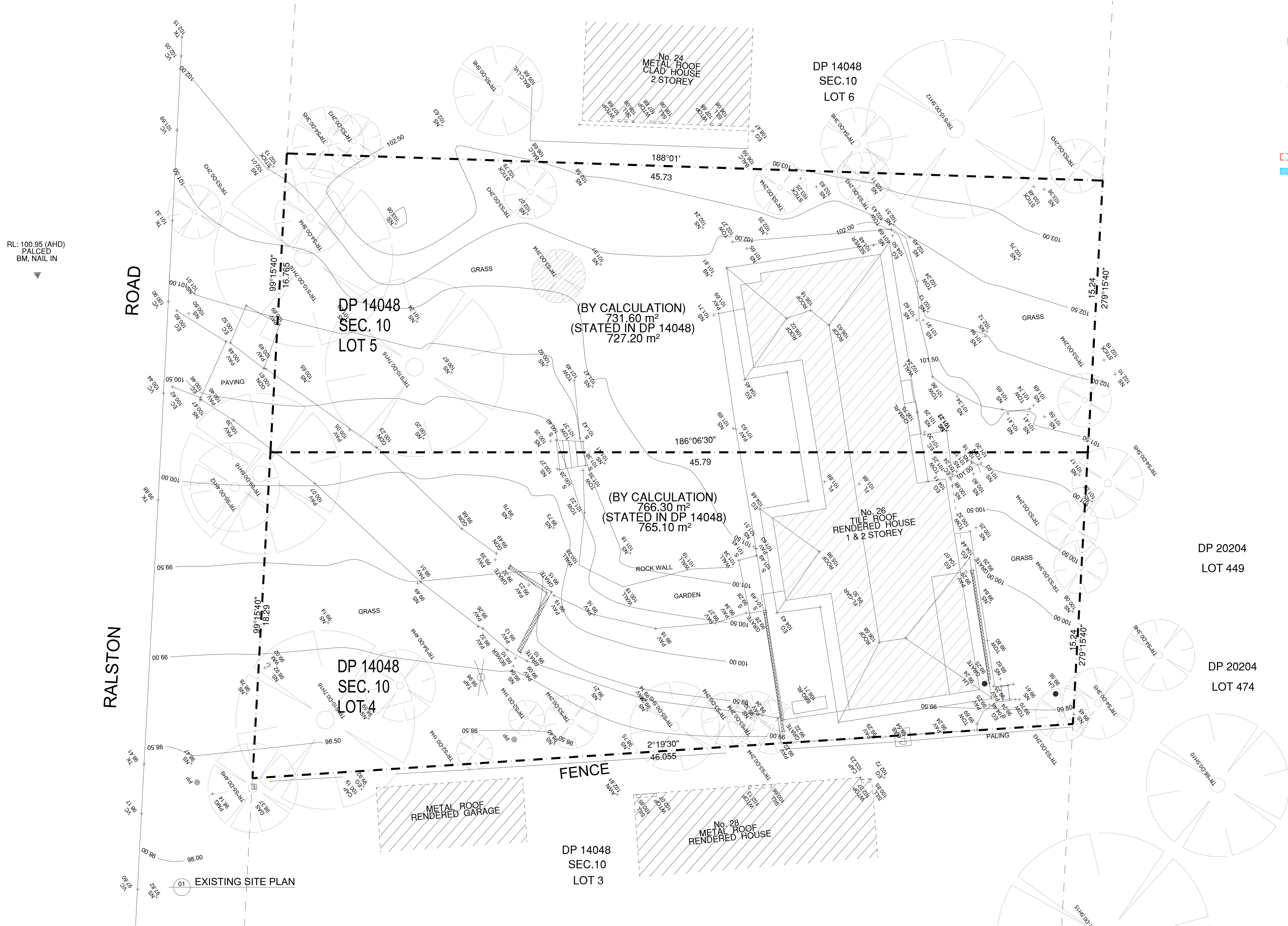
A001

ISSUE

A crawford architects

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108





LEGEND - SITE

EXISTING BUILDING

GRID SETOUT

LEGEND - TREE

TREE: EXISTING TO BE REMOVED

TREE: EXISTING TO BE RETAINED

APPROVED AS PER MOD2023/0676  
TO BE REMOVED

PROPOSED NEW MODIFICATIONS

RL: 100.95 (AHD)  
PALCED  
BM, NAIL IN

ROAD

RALSTON

01 EXISTING SITE PLAN

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A	24.07.18	S4.55 ISSUE
ISSUE	DATE	AMENDMENTS

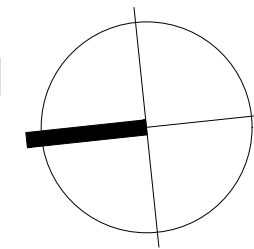
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CLIENT		
TONY & GEORGINA NASSIF		
PROJECT		
RALSTON RD PALM BEACH		
TITLE		
EXISTING SITE PLAN		
SCALE		
1:100 @ A1 / 1:200 @ A3		
PROJECT NUMBER		
DRAWING NUMBER		
ISSUE		
APPROVED		
DRAWN		
CHECKED		
DATE		
MARCH 2024		
STATUS		
S4.55		

TONY & GEORGINA NASSIF

RALSTON RD  
PALM BEACH

EXISTING SITE PLAN



19031

A010

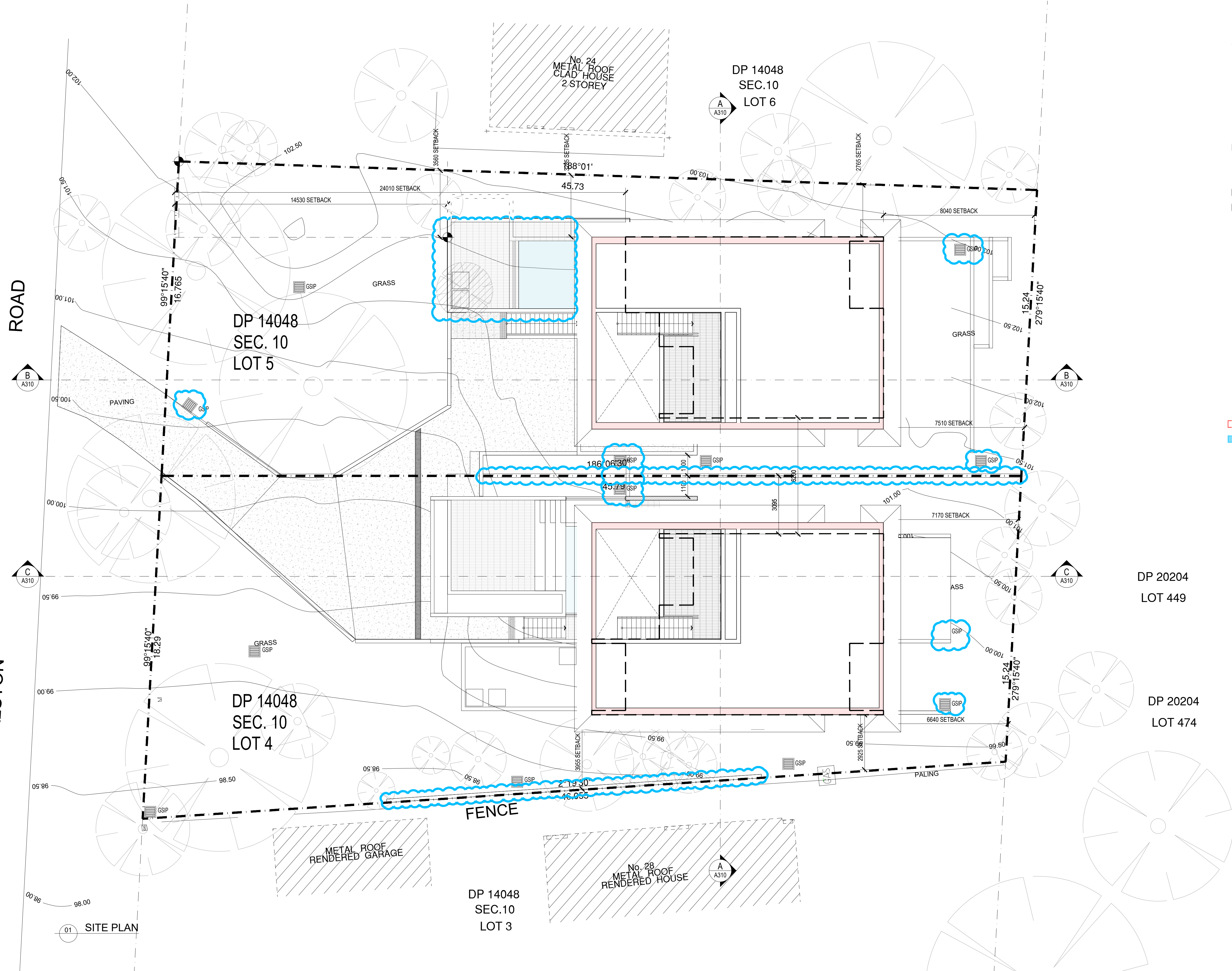
ISSUE

A

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Lot 4 / Lot 5 DP 14048 , 26 Ralston Road, PALM BEACH NSW 2108





LEGEND - KEY

- 01 L00 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FHR FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 L00 WINDOW NUMBER
- 5RS 01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- Timber Stud Frame
- FW Floor Waste
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE
- SMOKE DETECTOR

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

NOTES:

- BUILDING HEIGHT INCREASED FOR FLOOR TO FLOOR & CEILING HEIGHT COMPLIANCE

APPROVED AS PER MOD2023/0676 TO BE REMODED

PROPOSED NEW MODIFICATIONS

ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL BOUNDARIES & CONTOURS SUBJECT TO SURVEY. ALL RIGHTS RESERVED. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED, IN PART OR IN WHOLE WITHOUT THE PERMISSION OF CRAWFORD ARCHITECTS PTY LTD

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A	24.07.18	\$4.55 ISSUE	
ISSUE	DATE	AMENDMENTS	

CLIENT  
TONY & GEORGINA NASSIF

PROJECT  
RALSTON RD  
PALM BEACH

TITLE  
SITE PLAN

SCALE  
1:100 @ A1 / 1:200 @ A3

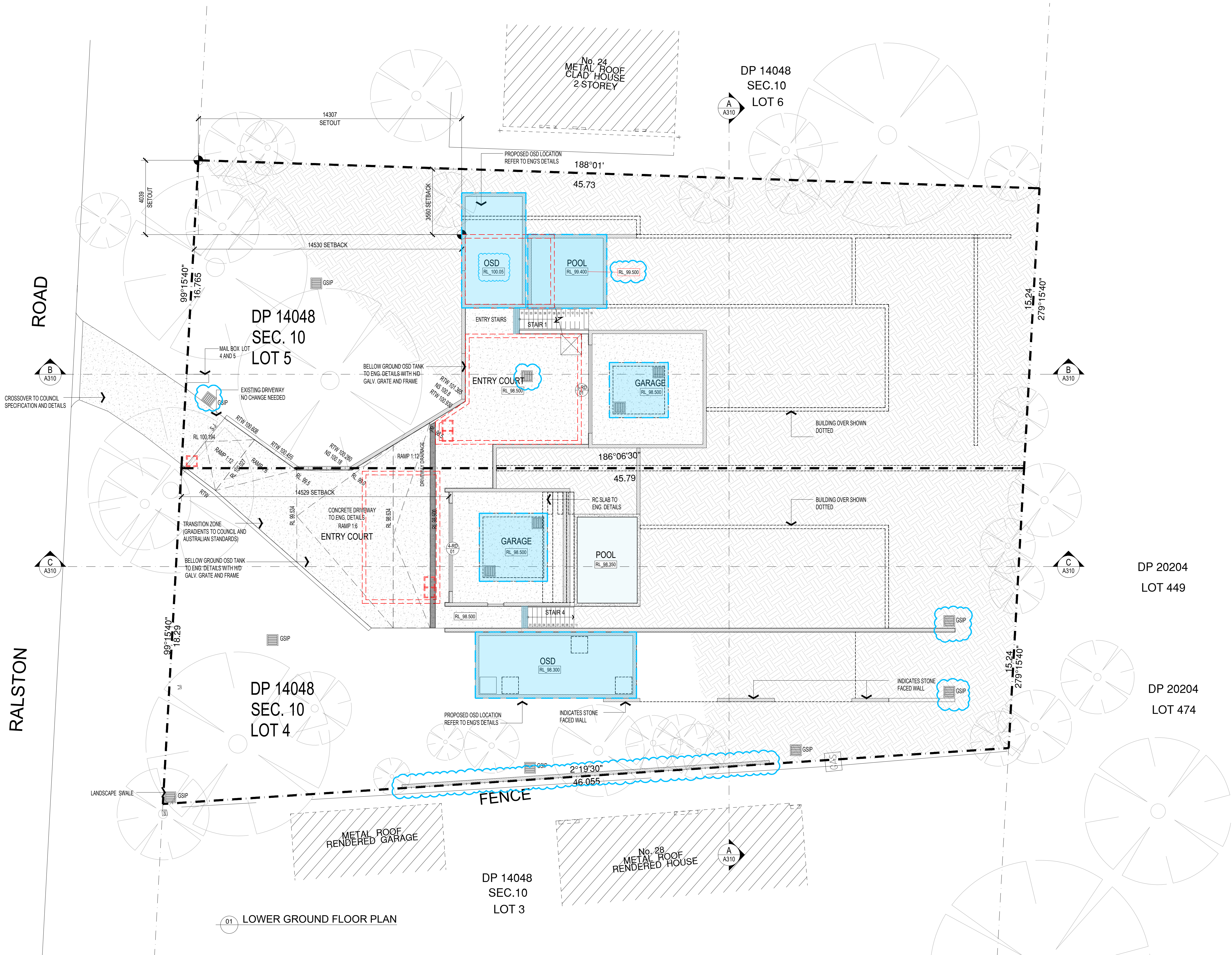
APPROVED  
DRAWN JC - HJ  
CHECKED TG  
DATE MARCH 2024  
STATUS \$4.55

PROJECT NUMBER  
DRAWING NUMBER  
19031  
A011

ISSUE  
A  
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architects

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108





LEGEND - KEY

- 01 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 WINDOW NUMBER
- 5RS 01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- TIMBER STUD FRAME
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE
- SMOKE DETECTOR

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

NOTES:

- FOR WATERPROOFING DETAILS REFER DRAWINGS A800 TO A805
- APPROVED AS PER MOD2023/0676 TO BE REMOVED
- PROPOSED NEW MODIFICATIONS

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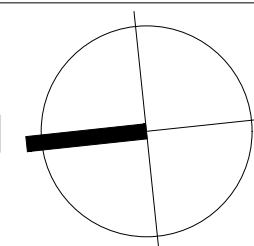
ISSUE	DATE	AMENDMENTS
A	24.07.17	S4.55 ISSUE

CLIENT  
TONY & GEORGINA NASSIF

PROJECT  
RALSTON RD  
PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

TITLE  
LOWER GROUND  
FLOOR PLAN



SCALE  
1:100 @ A1 / 1:200 @ A3

APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

JC HJ  
TG  
MARCH 2024  
S4.55

PROJECT NUMBER  
DRAWING NUMBER

19031

A200

ISSUE

A crawford architects





#### LEGEND - KEY

- 01 L00 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FHR FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 L00 WINDOW NUMBER
- RS 01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- TM TIMBER STUD FRAME
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE
- SMOKE DETECTOR

#### LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

#### NOTES:

- FOR WATERPROOFING DETAILS REFER DRAWINGS A800 TO A805
- APPROVED AS PER MOD2023/0676 TO BE REMOVED
- PROPOSED NEW MODIFICATIONS

01 GROUND FLOOR PLAN

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ABN: 56 120 779 106  
NOMINATED ARCHITECTS:  
TONY GRAY 5303 & PAUL GODSELL 6726  
ARCHITECTS PTY LTD

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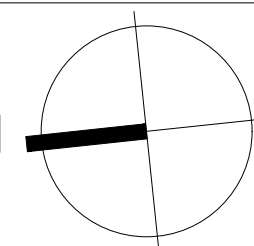
A	24.07.17	\$4.55 ISSUE
ISSUE	DATE	AMENDMENTS

CLIENT  
TONY & GEORGINA NASSIF

PROJECT  
RALSTON RD  
PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

TITLE  
GROUND FLOOR  
PLAN



SCALE 1:100 @ A1 / 1:200 @ A3

APPROVED  
DRAWN JC-HJ  
CHECKED TG  
DATE MARCH 2024  
STATUS \$4.55

PROJECT NUMBER 19031  
DRAWING NUMBER A201

19031  
A201

ISSUE

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ROAD

RALSTON

DP 14048  
SEC. 10  
LOT 5

DP 14048  
SEC. 10  
LOT 4

FENCE

01 FIRST FLOOR PLAN

LEGEND - KEY

- 01 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 WINDOW NUMBER
- 5RS 01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- TIMBER STUD FRAME
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE
- SMOKE DETECTOR

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

NOTES:

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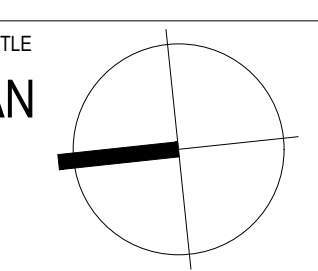
A	24.07.17	S4.55 ISSUE
ISSUE	DATE	AMENDMENTS

CLIENT  
TONY & GEORGINA NASSIF

PROJECT  
RALSTON RD  
PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

TITLE  
FIRST FLOOR PLAN



SCALE 1:100 @ A1 / 1:200 @ A3

APPROVED  
DRAWN JC  
CHECKED TG  
DATE MARCH 2024  
STATUS S4.55

PROJECT NUMBER  
DRAWING NUMBER

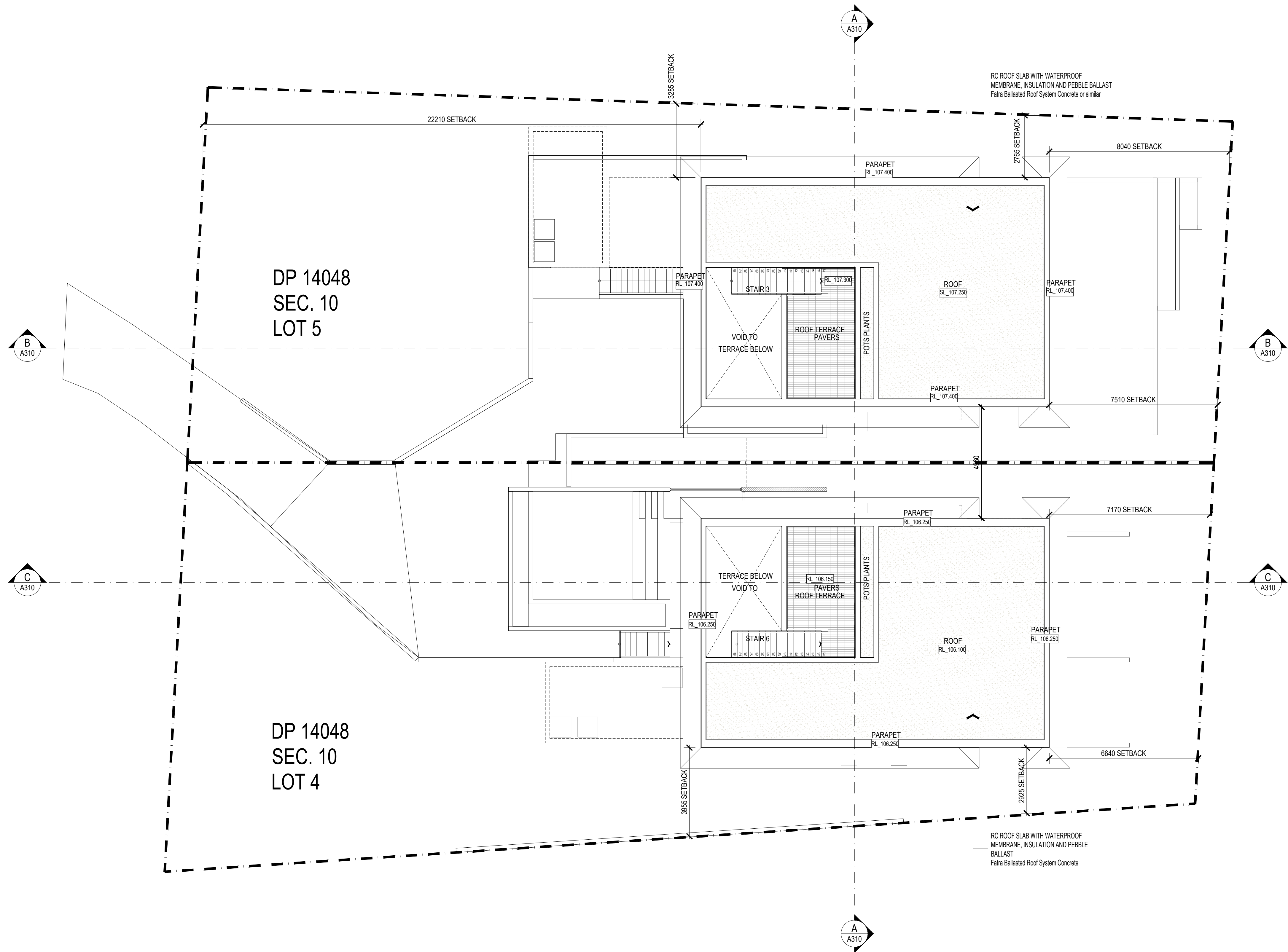
19031

A202

ISSUE







LEGEND - KEY

- DOOR NUMBER
- DOWN PIPE
- EXISTING LEVEL
- FINISHED FLOOR LEVEL
- FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- WINDOW NUMBER
- ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- TIMBER STUD FRAME
- FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VENT PIPE
- SMOKE DETECTOR

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

NOTES:

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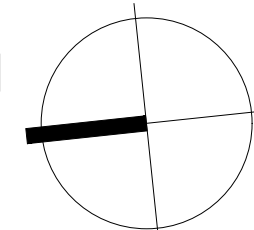
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ISSUE	DATE	AMENDMENTS

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PROJECT  
RALSTON RD  
PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

TITLE  
ROOF PLAN



SCALE 1:100 @ A1 / 1:200 @ A3

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DRAWN JC  
CHECKED TG

DATE MARCH 2024  
STATUS S4.55

PROJECT NUMBER  
DRAWING NUMBER

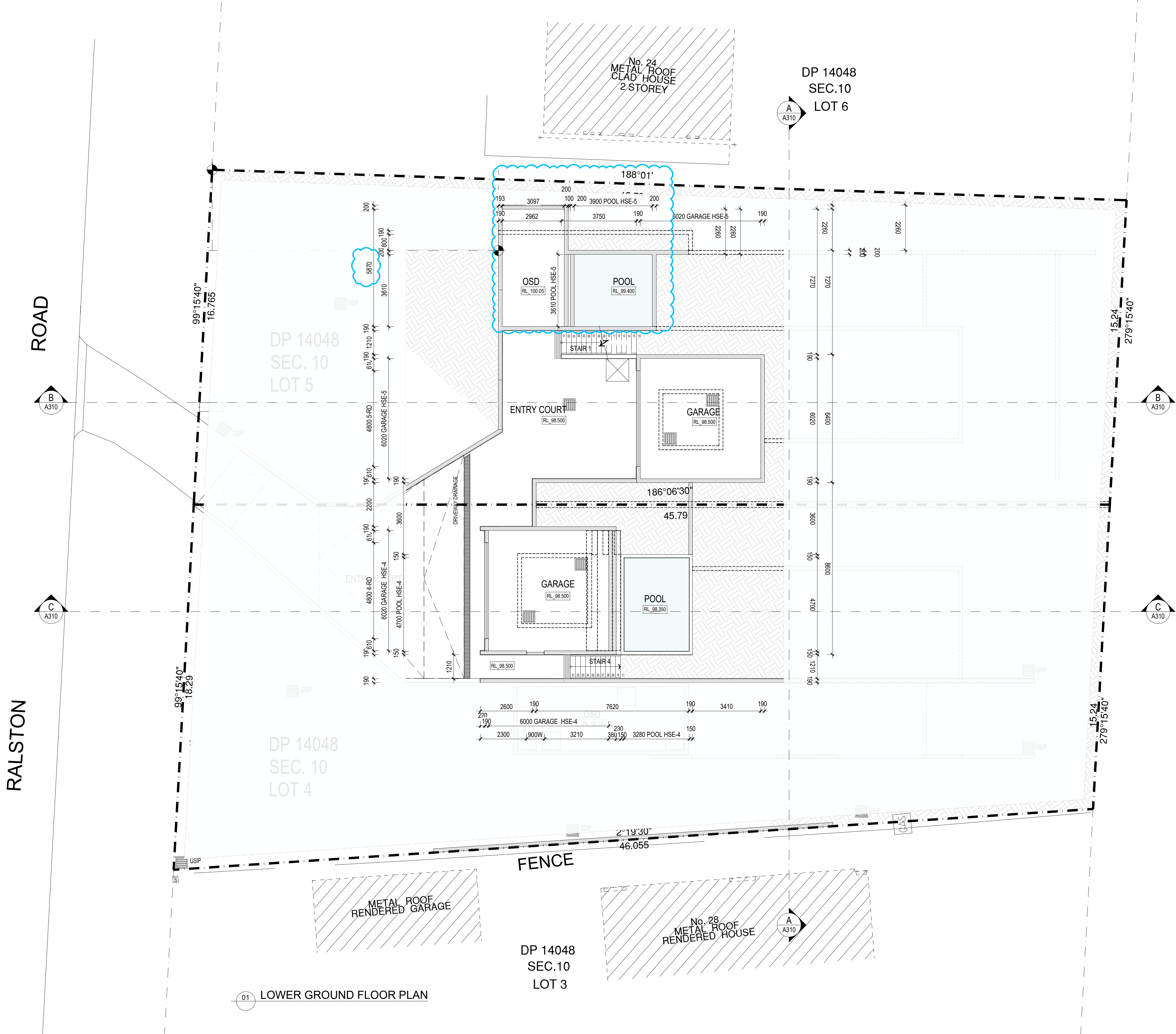
19031

A203

ISSUE







LEGEND - KEY

- 01 L00 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FHR FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 L00 WINDOW NUMBER
- RS 01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- Timber Stud Frame
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE
- SMOKE DETECTOR

NOTES:

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PROJECT  
RALSTON RD  
PALM BEACH

TITLE  
LOWER GRND FLOOR  
DIMENSIONS PLAN

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

SCALE 1:100 @ A1 / 1:200 @ A3  
APPROVED  
DRAWN JC HJ  
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DATE MARCH 2024  
STATUS S4.55

PROJECT NUMBER  
DRAWING NUMBER

19031

A210

ISSUE

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ROAD

RALSTON

DP 14048  
SEC.10  
LOT 5

DP 14048  
SEC.10  
LOT 4

DP 14048  
SEC.10  
LOT 6

DP 14048  
SEC.10  
LOT 3

DP 20204  
LOT 449

DP 20204  
LOT 474

#### LEGEND - KEY

- 01 L00 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FHR FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 L00 WINDOW NUMBER
- RS 01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- Timber Stud Frame
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE
- SMOKE DETECTOR

#### NOTES:

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01 GROUND FLOOR PLAN

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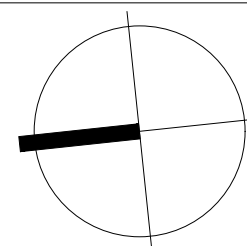
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PROJECT  
RALSTON RD  
PALM BEACH

TITLE  
GROUND FLOOR  
DIMENSIONS PLAN



SCALE  
1:100 @ A1 / 1:200 @ A3

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DATE  
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A211

ISSUE

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Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108



ROAD

RALSTON

DP 14048  
SEC. 10  
LOT 5

DP 14048  
SEC. 10  
LOT 4

FENCE

01 FIRST FLOOR PLAN

LEGEND - KEY

- 01  
L00  
D  
DP  
EXISTING LEVEL  
FFL 3200  
FHR  
PROPOSED LEVEL  
TACTILE GROUND SURFACE INDICATOR  
01  
L00  
SRS  
01  
WINDOW NUMBER  
ROLLER SHUTTER  
CONCRETE BLOCK WALLS  
TIMBER STUD FRAME  
FW  
FLOOR WASTE  
GSIP  
GRATED SURFACE INLET PIT  
VP  
VENT PIPE  
S  
SMOKE DETECTOR

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED  
TREE: EXISTING TO BE RETAINED

NOTES:

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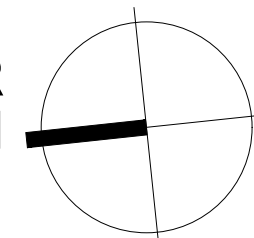
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PROJECT  
RALSTON RD  
PALM BEACH

TITLE  
FIRST FLOOR  
DIMENSIONS PLAN



SCALE 1:100 @ A1 / 1:200 @ A3

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CHECKED TG  
DATE MARCH 2024  
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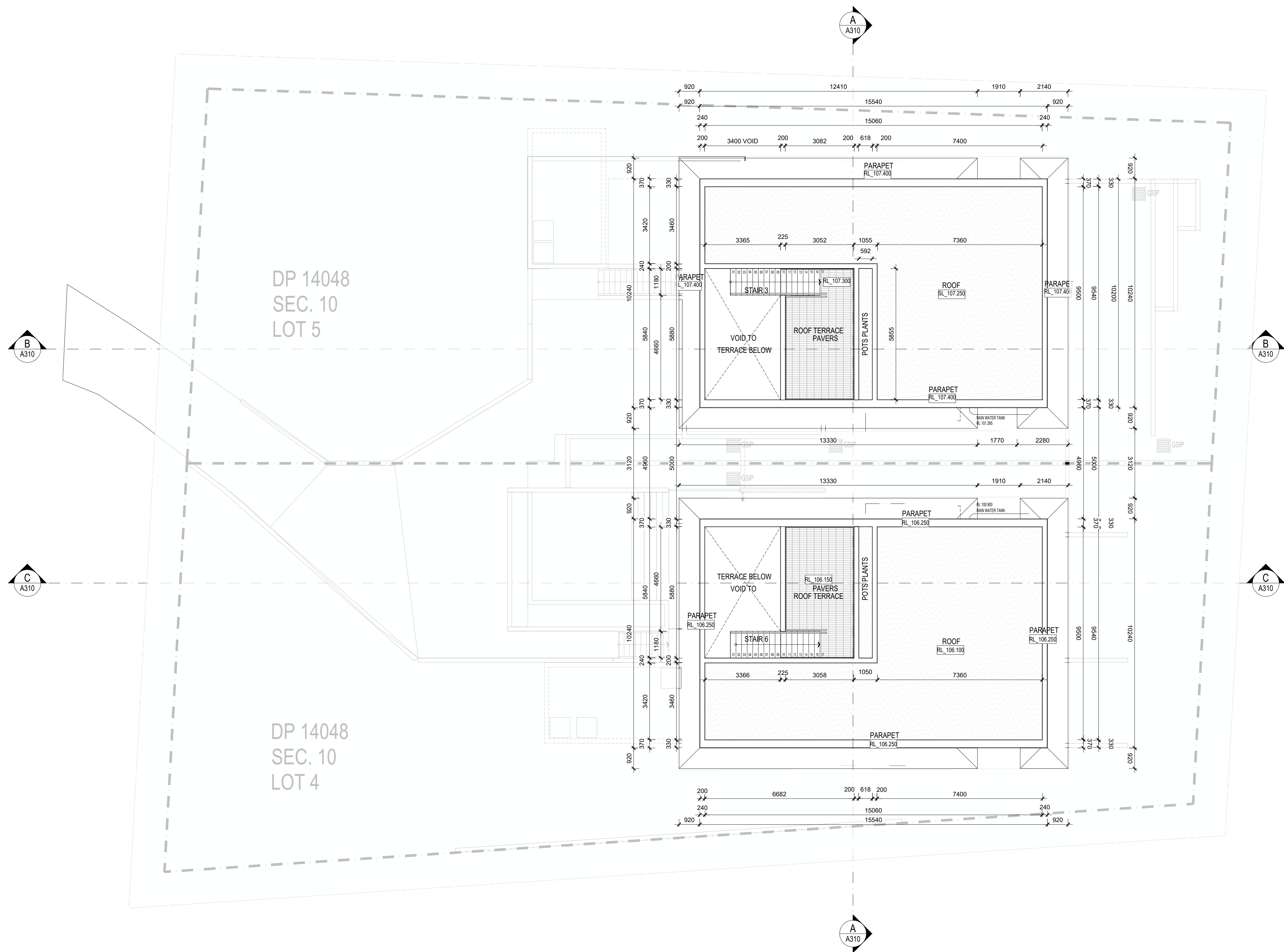
A212

ISSUE

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Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108





01 ROOF PLAN

LEGEND - KEY

- 01 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FHR FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 WINDOW NUMBER
- 5-RS-01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- M TIMBER STUD FRAME
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE
- SMOKE DETECTOR

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

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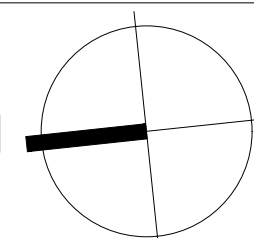
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ISSUE	DATE	AMENDMENTS

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PROJECT  
RALSTON RD  
PALM BEACH

Lot 4 / Lot 5 DP 14048 , 26 Ralston Road, PALM BEACH NSW 2108

TITLE  
ROOF  
DIMENSIONS PLAN



SCALE 1:100 @ A1 / 1:200 @ A3

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DATE MARCH 2024  
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PROJECT NUMBER 19031  
DRAWING NUMBER

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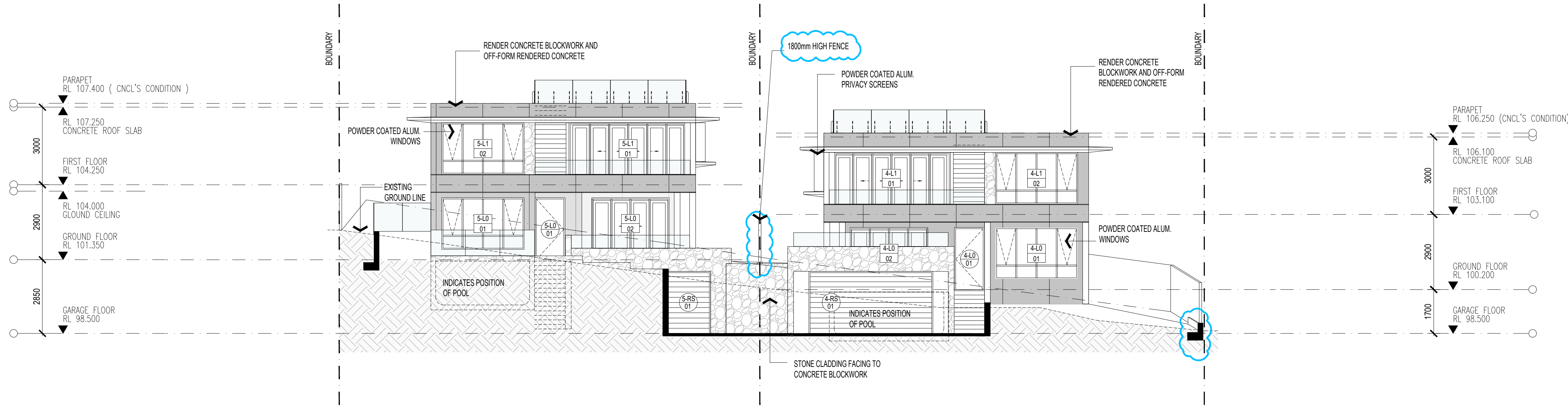
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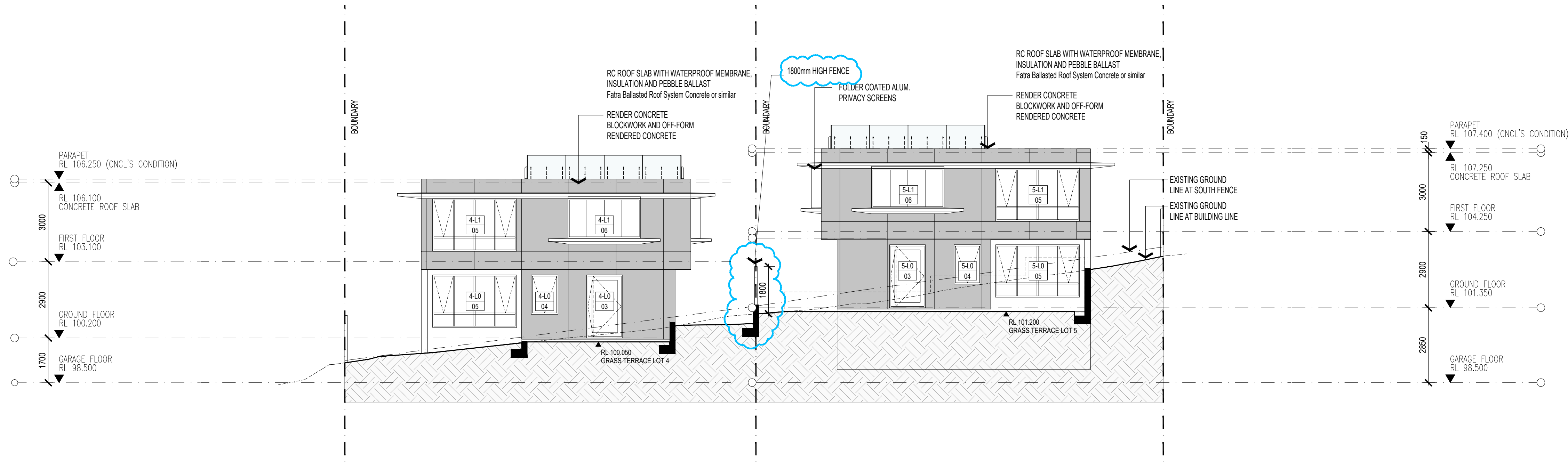
NOTES:

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01 NORTH ELEVATIONS - LOT 05 & 04



02 SOUTH ELEVATIONS - LOT 04 & 05

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PROJECT  
RALSTON RD  
PALM BEACH

TITLE  
ELEVATIONS  
SHEET 01

SCALE  
1:100 @ A1 / 1:200 @ A3

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DATE  
STATUS

JC - HJ  
TG  
MARCH 2024  
S4.55

PROJECT NUMBER  
DRAWING NUMBER

19031

A300

ISSUE

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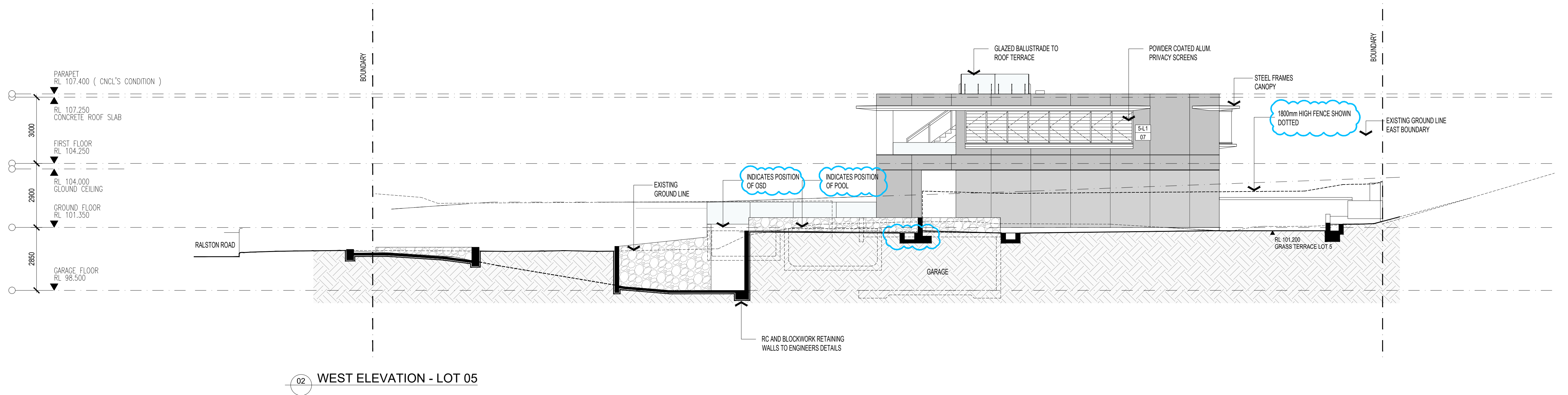
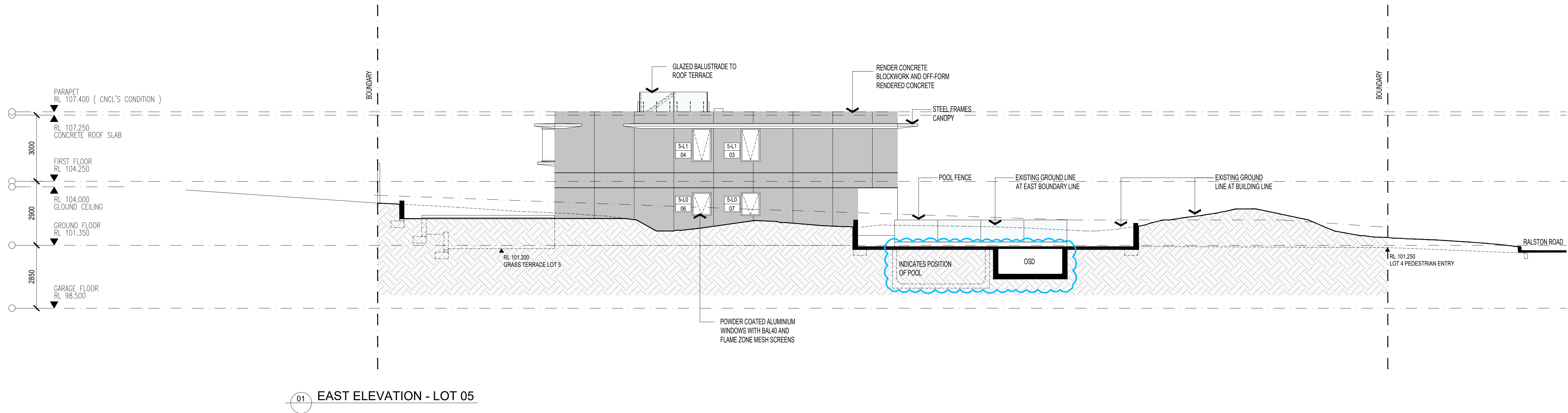
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PROJECT  
RALSTON RD  
PALM BEACH

TITLE  
ELEVATIONS  
SHEET 02 - LOT 05

SCALE  
1:100 @ A1 / 1:200 @ A3

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DRAWN  
CHECKED  
DATE  
STATUS

JC-HJ  
TG  
MARCH 2024  
S4.55

PROJECT NUMBER  
DRAWING NUMBER

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A301

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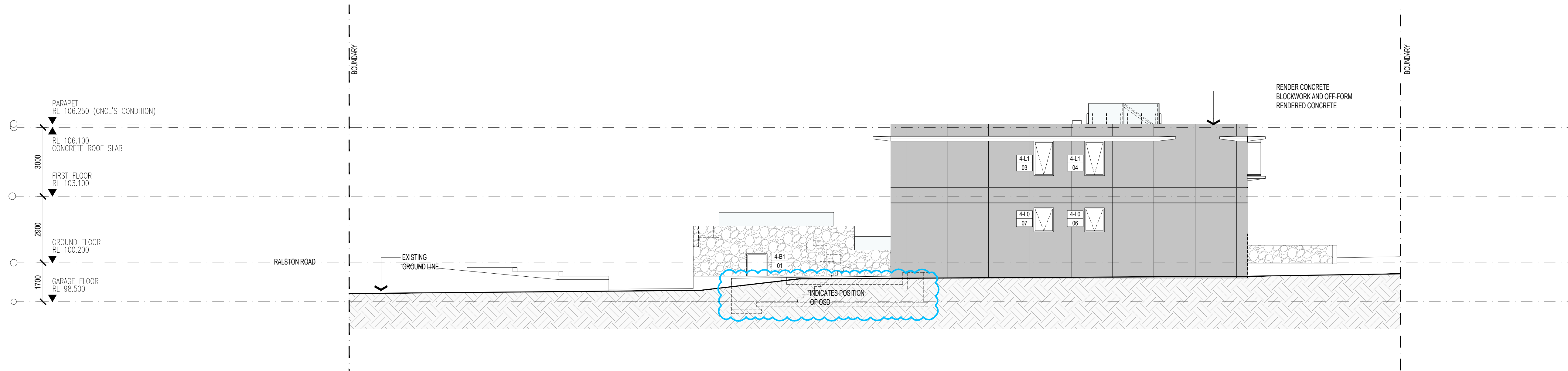
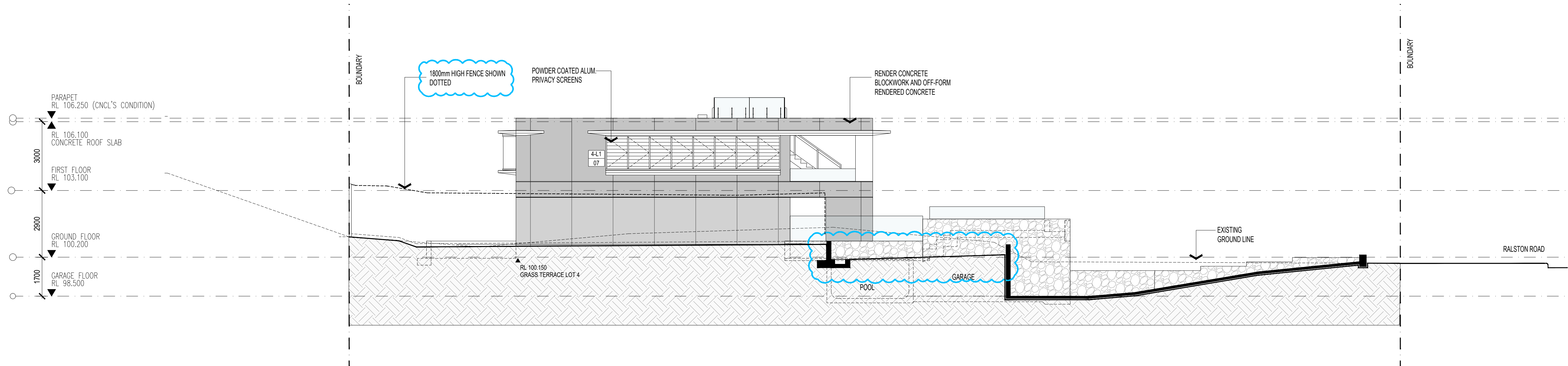
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ISSUE	DATE	AMENDMENTS

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PROJECT  
RALSTON RD  
PALM BEACH

TITLE  
ELEVATIONS  
SHEET 03 - LOT 04

SCALE 1:100 @ A1 / 1:200 @ A3

APPROVED  
DRAWN JC-HJ  
CHECKED TG  
DATE MARCH 2024  
STATUS \$4.55

PROJECT NUMBER 19031  
DRAWING NUMBER

A302

ISSUE

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Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108





RIVER GRAVEL BALLAST ROOF WITH SAFETY MESH - BIRD PROOF



EXTERNAL SAND STONE CLADDING - LIGHT GRAY



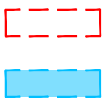
BLACK ALUMINIUM WINDOWS & DOORS FRAMES



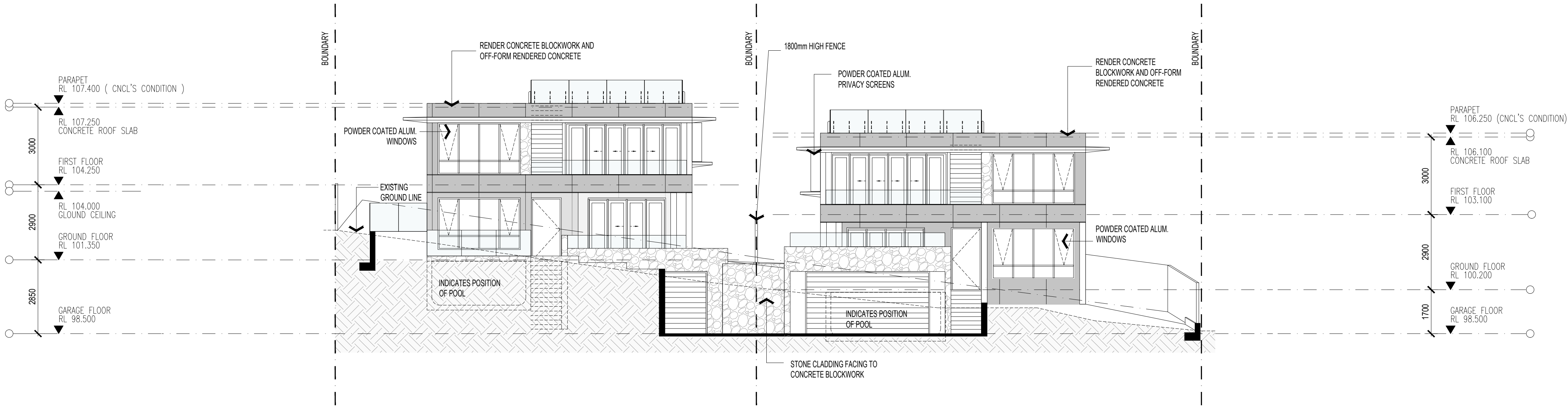
BLACK ALUMINUM BALUSTRADE SUPPORT - 15.5 LAMINATED SAFETY GLASS

NOTES:

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01 NORTH ELEVATIONS - LOT 05 & 04



CFC CLADDING SOFFITS



EXTERNAL RENDER WALL - PAINT FINISH - TRANQUIL RETREAT

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PROJECT  
RALSTON RD  
PALM BEACH

TITLE  
ELEVATIONS - FINISHES  
SHEET 04

SCALE  
1:100 @ A1  
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JC - HJ  
TG  
MARCH 2024  
S4.55

PROJECT NUMBER  
DRAWING NUMBER

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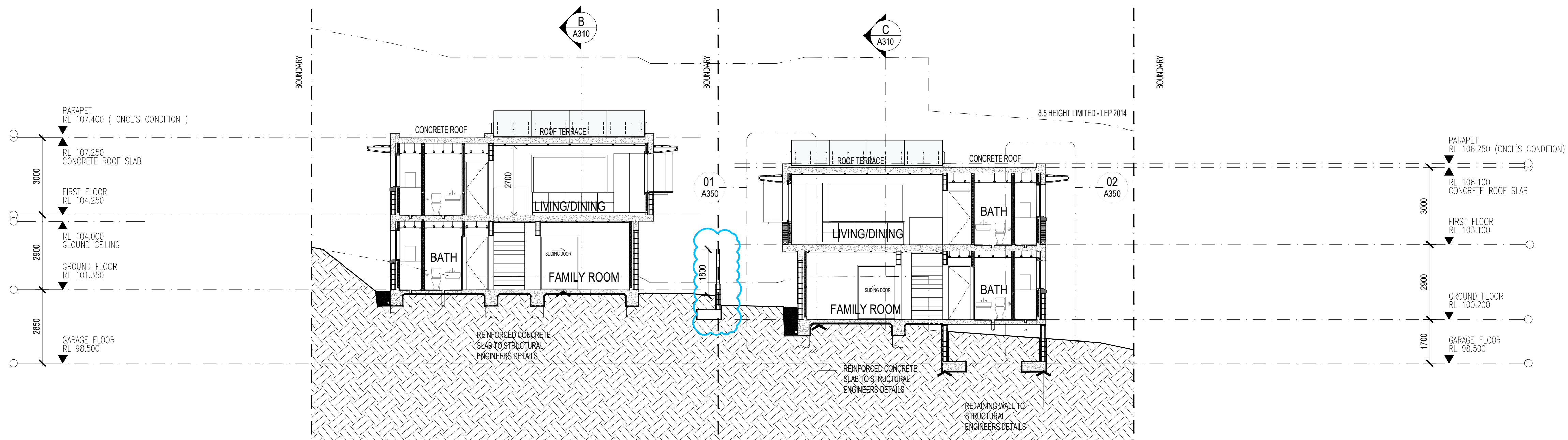
A305

ISSUE

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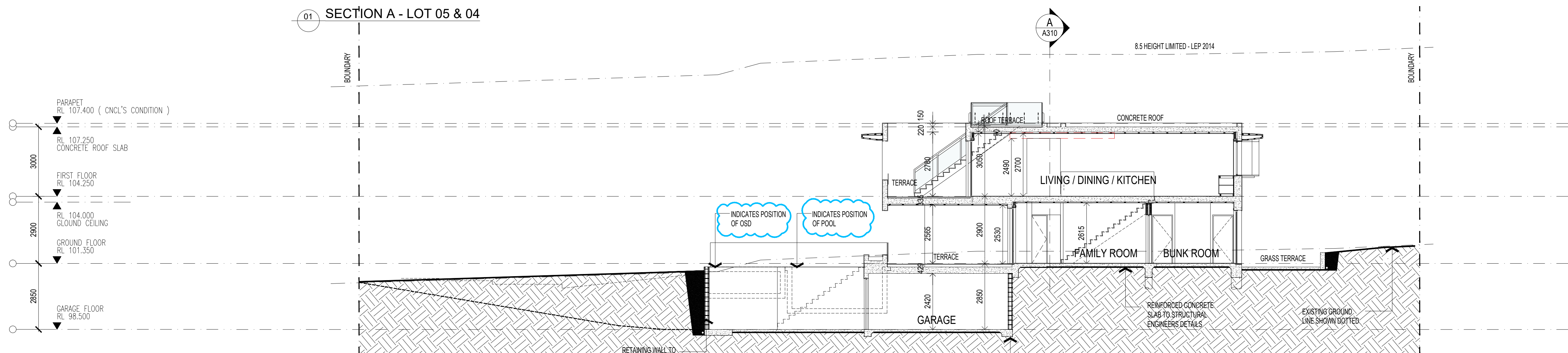
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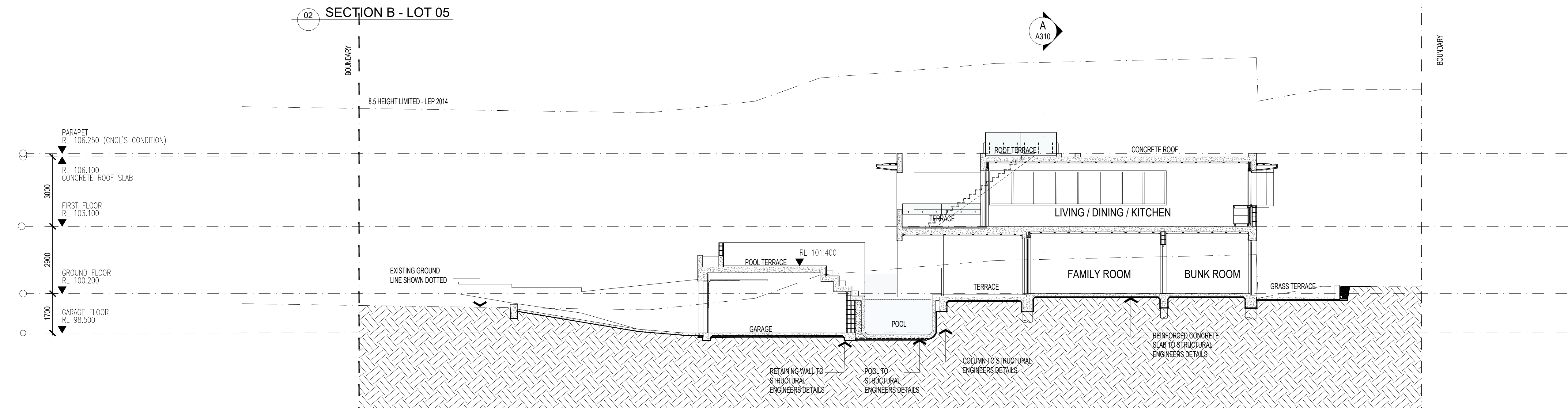


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PROPOSED NEW MODIFICATIONS

01 SECTION A - LOT 05 & 04



02 SECTION B - LOT 05



03 SECTION C - LOT 04

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SUITE 3.01, LEVEL 3.80 MOUNT STREET  
NORTH SYDNEY, NSW 2060 AUSTRALIA  
ABN 56 120 779 106  
NOMINATED ARCHITECTS:  
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ISSUE	DATE	AMENDMENTS
A	24.07.17	S4.55 ISSUE

CLIENT  
TONY & GEORGINA NASSIF

PROJECT  
RALSTON RD  
PALM BEACH

TITLE  
SECTIONS -  
LOT 05 & 04

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

SCALE 1:100 @ A1 / 1:200 @ A3  
APPROVED  
DRAWN JC-HJ  
CHECKED TG  
DATE MARCH 2024  
STATUS S4.55

PROJECT NUMBER  
DRAWING NUMBER

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