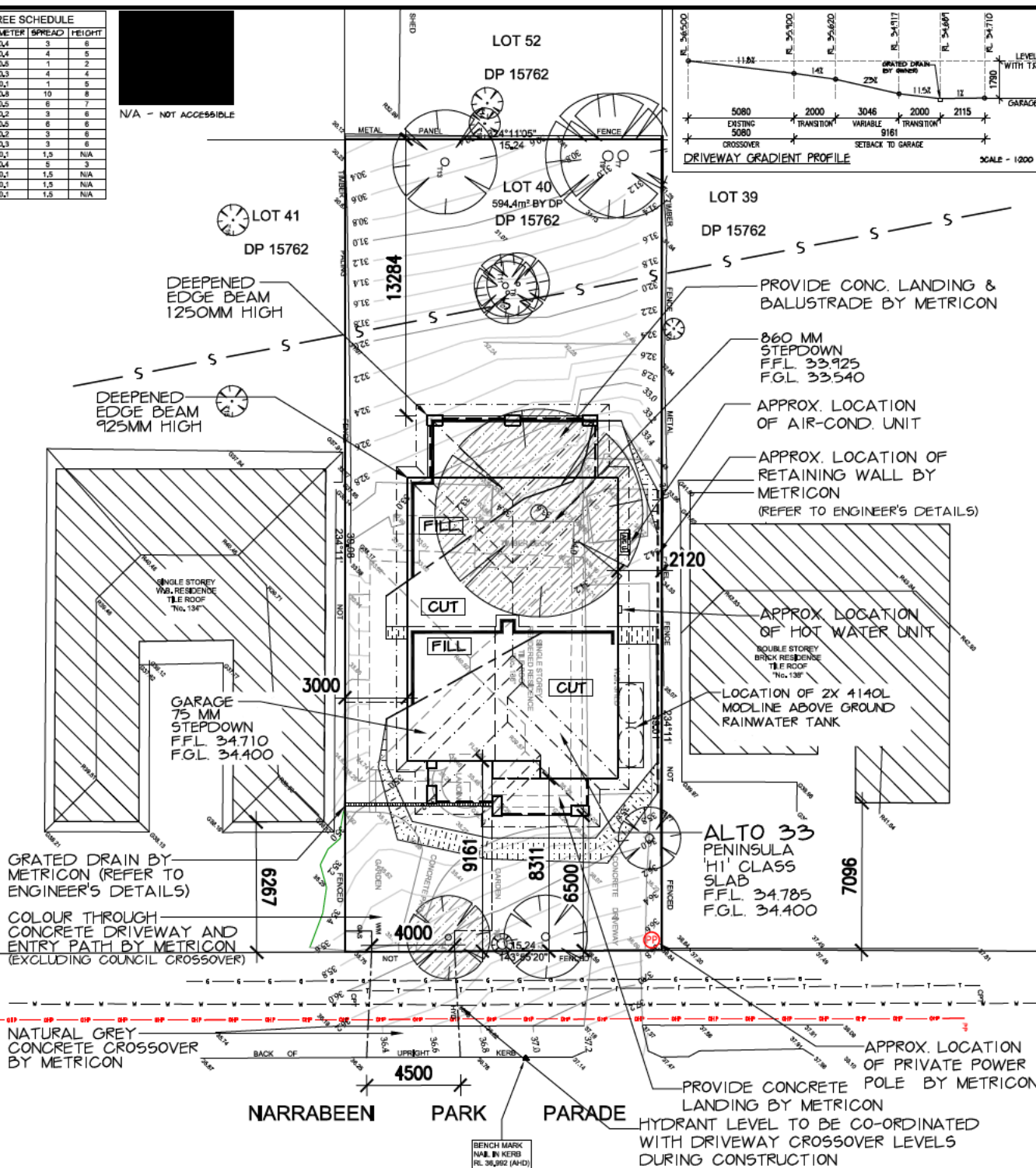


SITE AREA:	594.4 SQM
PROPOSED ROOF COVERAGE	
DWELLING:	214.61 SQM
TOTAL COVERAGE AREA:	214.61 SQM
PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	248.17 SQM
MIN. REQUIRED BY COUNCIL:	80 SQM
MINIMUM DIMENSION OF 3M	
PRINCIPAL PRIVATE OPEN SPACE	
PRINCIPAL PRIVATE OPEN SPACE:	16 SQM
MIN. REQUIRED BY COUNCIL:	16 SQM
MINIMUM DIMENSIONS OF 4M X 4M	
LANDSCAPED AREA	
TOTAL LANDSCAPED AREA:	343.93 SQM
EXCL. ALL HARD SURFACES:	
MINIMUM DIMENSION OF 2M	57.86 %
MIN. REQUIRED BY COUNCIL:	60 %
STORMWATER CALCULATION	
HARD LANDSCAPE AREAS:	284.94 SQM
(INCL. ROOF/DRIVEWAY/PATHS ETC)	
SITE COVERAGE RATIO	47.93 %
EXISTING SITE COVERAGE:	207.23 SQM
MAXIMUM ALLOWABLE BY COUNCIL PRIOR TO O.S.D. BEING REQUIRED:	43.27 % (EXISTING SITE COVERAGE + 50 SQM)
BUILDING HEIGHT RESTRICTION	
MAXIMUM 8.5M RIDGE HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)	
BUILDING ENVELOPE	
PROVIDE 45 DEGREE PLANE PROJECTED AT 3.5M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL.	
MAXIMUM 1500 MM CUT MAXIMUM 1000MM FILL	
 EXISTING TREES TO BE LOPPED/REMOVED BY OWNER	
TREE REMOVAL REQUIREMENTS:	
SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND/OR PRUNE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO CONSTRUCTION	
IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED	
DEMOLITION REQUIREMENTS:	
SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELLED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L.	
SURVEYORS NOTES	
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.	
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.	
C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.	
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.	

NO.	DIAMETER	SPREAD	HEIGHT
T1	0.4	3	8
T2	0.4	4	5
T3	0.6	1	2
T4	0.3	4	4
T5	0.1	1	5
T6	0.9	10	8
T7	0.5	6	7
T8	0.2	3	6
T9	0.5	6	6
T10	0.2	3	6
T11	0.3	3	6
T12	0.1	1.5	N/A
T13	0.4	5	3
T14	0.1	1.5	N/A
T15	0.1	1.5	N/A
T16	0.1	1.5	N/A

N/A - NOT ACCESSIBLE



LOT NO	40																		
DEPOSITED PLAN	15762																		
COUNCIL / LG	NORTHERN BEACHES																		
SLAB CLASS	H1																		
WIND SPEED	N3																		
EXCAVATION NOTES:	50MM (+/-) TOLERANCE TO NOMINATED R.L.S UPPER LEVEL EXCAVATE APPROX. 1200MM ON R.L. 34.400 AND RETAIN FILL WITH DEEP EDGE BEAM LOWER LEVEL EXCAVATE APPROX. 900MM ON R.L. 33.540 AND RETAIN FILL WITH DEEP EDGE BEAM EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY																		
IMPORTANT NOTES:	SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD																		
STORMWATER TO DRAIN TO FUTURE EASEMENT VIA ON-SITE DETENTION AND RAINWATER TANK(S)	REFER TO HYDRAULIC ENGINEER'S DETAILS																		
TEMPORARY SITE FENCING:	METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)																		
ALL WEATHER ACCESS:	METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION																		
SURVEY LEGEND	<table border="1"> <tr> <td> GULLY PIT</td> <td> SEWER LINE</td> </tr> <tr> <td> HYDRANT</td> <td> VEHICLE CROSSING</td> </tr> <tr> <td> SURFACE INLET PIT</td> <td> STOP VALVE</td> </tr> <tr> <td> SEWER INSPECTION COVER</td> <td> DEEP EDGE BEAM</td> </tr> <tr> <td> SEWER MANHOLE</td> <td> GAS METER</td> </tr> <tr> <td> WATER METER</td> <td> LIGHT POLE</td> </tr> <tr> <td> ELECTRICITY BOX</td> <td> INVERT</td> </tr> <tr> <td> STORMWATER MANHOLE</td> <td> TOP OF KERB</td> </tr> <tr> <td> TELSTRA PIT</td> <td> KERB OUTLET</td> </tr> </table>	GULLY PIT	SEWER LINE	HYDRANT	VEHICLE CROSSING	SURFACE INLET PIT	STOP VALVE	SEWER INSPECTION COVER	DEEP EDGE BEAM	SEWER MANHOLE	GAS METER	WATER METER	LIGHT POLE	ELECTRICITY BOX	INVERT	STORMWATER MANHOLE	TOP OF KERB	TELSTRA PIT	KERB OUTLET
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ELECTRICITY BOX	INVERT																		
STORMWATER MANHOLE	TOP OF KERB																		
TELSTRA PIT	KERB OUTLET																		
INTRAX SURVEY DATE:	28.08.19																		
CONTOUR INTERVALS:	200MM																		
LEVELS TO AHD																			
SITE PLAN																			
ALTO 33	PENINSULA 'H1' CLASS SLAB F.F.L. 34.785 F.G.L. 34.400																		
GARAGE	75 MM STEPDOWN F.F.L. 34.710 F.G.L. 34.400																		
DEEPEDED EDGE BEAM 1250MM HIGH																			
DEEPEDED EDGE BEAM 925MM HIGH																			
PROVIDE CONC. LANDING & BALUSTRADE BY METRICON																			
APPROX. LOCATION OF AIR-COND. UNIT																			
APPROX. LOCATION OF RETAINING WALL BY METRICON (REFER TO ENGINEER'S DETAILS)																			
APPROX. LOCATION OF HOT WATER UNIT																			
LOCATION OF 2X 4140L MODLINE ABOVE GROUND RAINWATER TANK																			
GRATED DRAIN BY METRICON (REFER TO ENGINEER'S DETAILS)																			
COLOUR THROUGH CONCRETE DRIVEWAY AND ENTRY PATH BY METRICON (EXCLUDING COUNCIL CROSSOVER)																			
NATURAL GREY CONCRETE CROSSOVER BY METRICON																			
APPROX. LOCATION OF PRIVATE POWER POLE BY METRICON																			
PROVIDE CONCRETE LANDING BY METRICON																			
HYDRANT LEVEL TO BE CO-ORDINATED WITH DRIVEWAY CROSSOVER LEVELS DURING CONSTRUCTION																			
BENCH MARK	NAB IN KERB RL 36.992 (AHD)																		
LOT 40, NO.136 NARRABEEN PARK PARADE	MONA VALE																		
JOB No	704711																		
DATE	25.09.2019																		
DRAWN	ALM																		
SCALE	1:200																		
SHEET	1 OF 12																		
UBD REF	5YD XX XX																		

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. 5-TYP-PENI-03





PROVIDE JAMES HARDIE'S SCYON
LINEA WEATHERBOARD CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: 5-TYP-CLAD-02

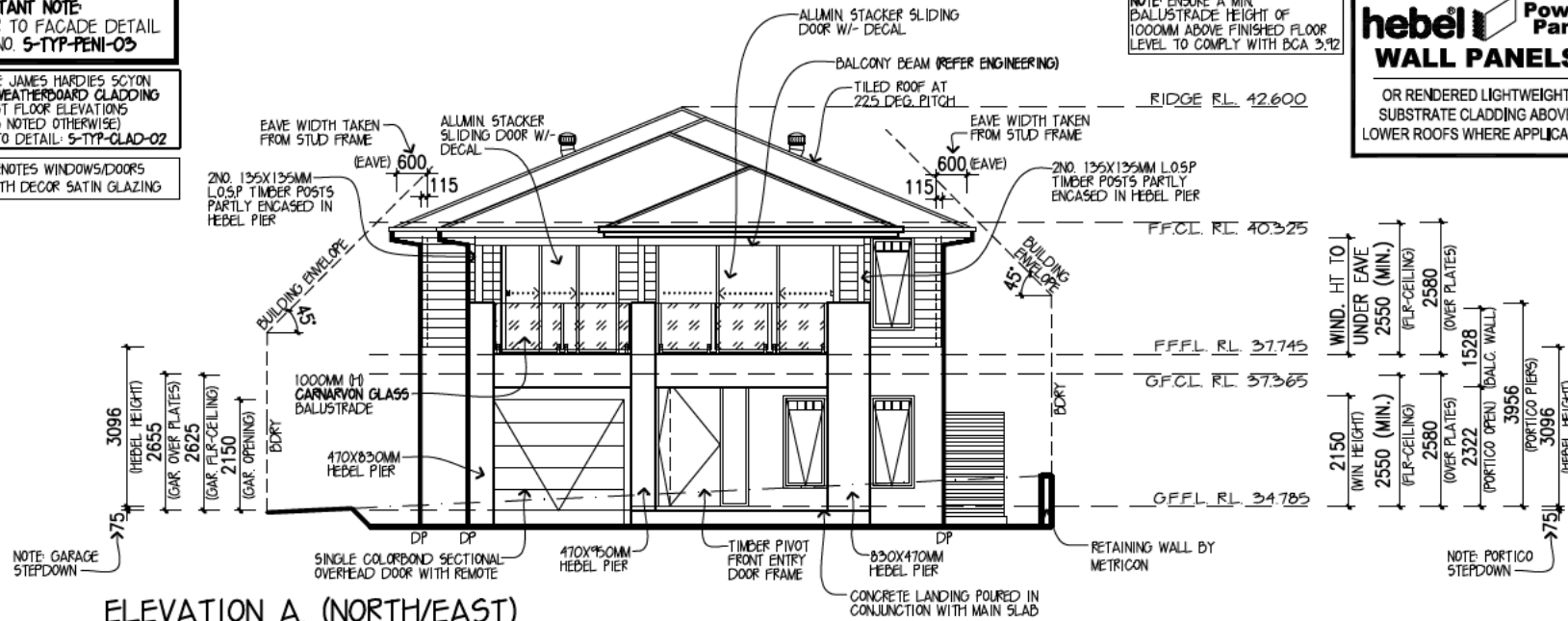
■ DENOTES WINDOWS/DOORS
WITH DECOR SATIN GLAZING

NOTE: ENSURE A MIN
BALUSTRADE HEIGHT OF
1000MM ABOVE FINISHED FLOOR
LEVEL TO COMPLY WITH BCA 3.12

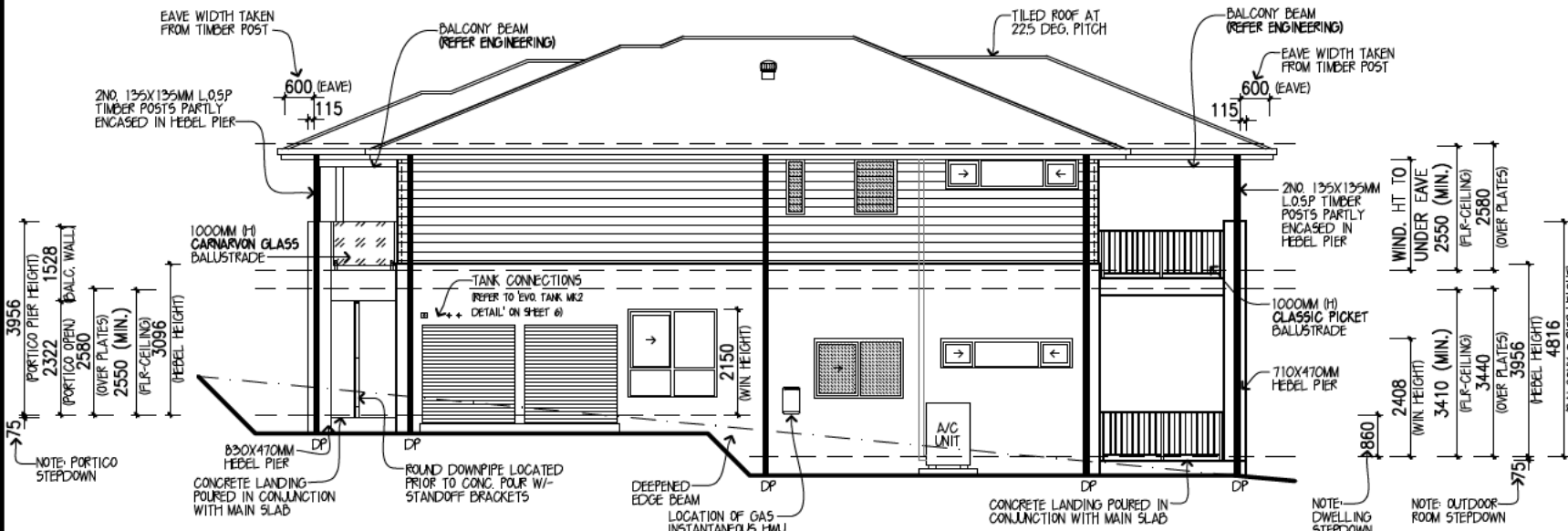
hebel Power Panel
WALL PANELS
OR RENDERED LIGHTWEIGHT
SUBSTRATE CLADDING ABOVE
LOWER ROOFS WHERE APPLICABLE

SYMBOL LEGEND

	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE W/- RAINWATER HEAD		
	ROTATING ROOF VENTILATOR		



ELEVATION A. (NORTH/EAST)



ELEVATION B. (NORTH/WEST)

DESIGN: **ALTO 33**

FACADE: **PENINSULA** CILING: 25, R

GARAGE: SINGLE LOCATION: F

ELEVATIONS

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BY METRICON

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OWNER: **LOT 40, NO.136 NARRADEEN PARK PARADE**
MONA VALE

JOB No: **704711** DATE: **25.09.2019**

FC DATE: **DD.MM.YYYY** MST VER: **04.12.2018**

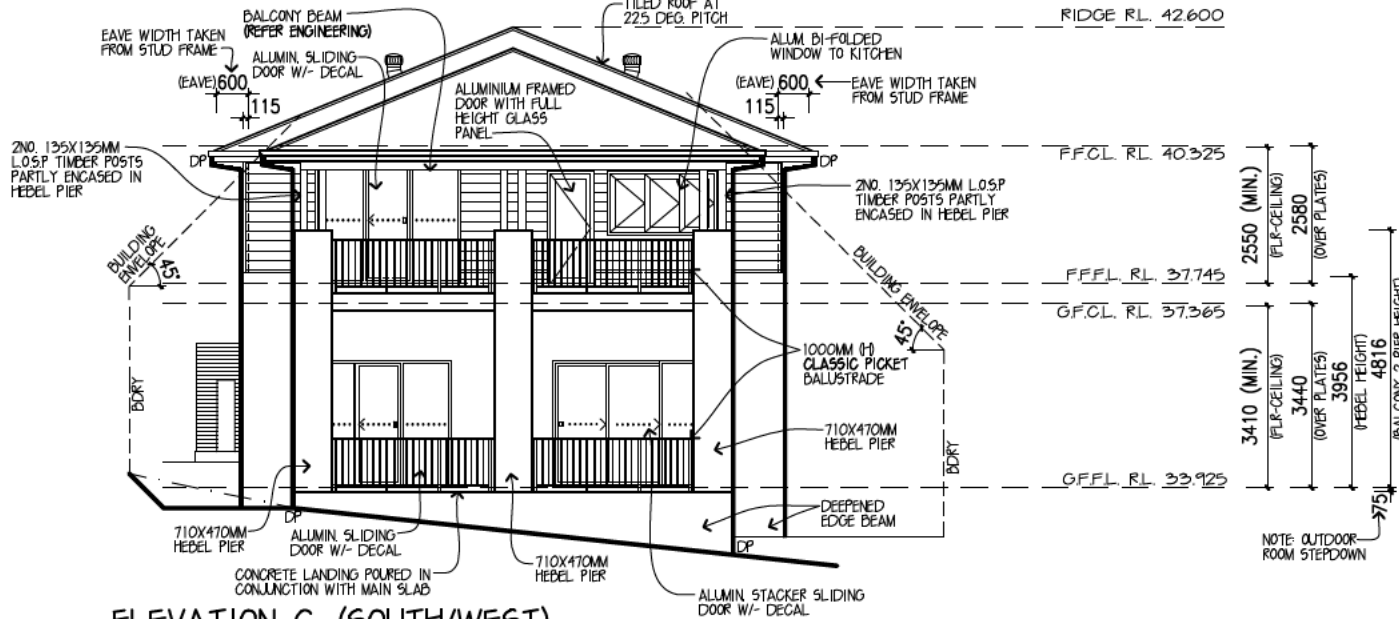
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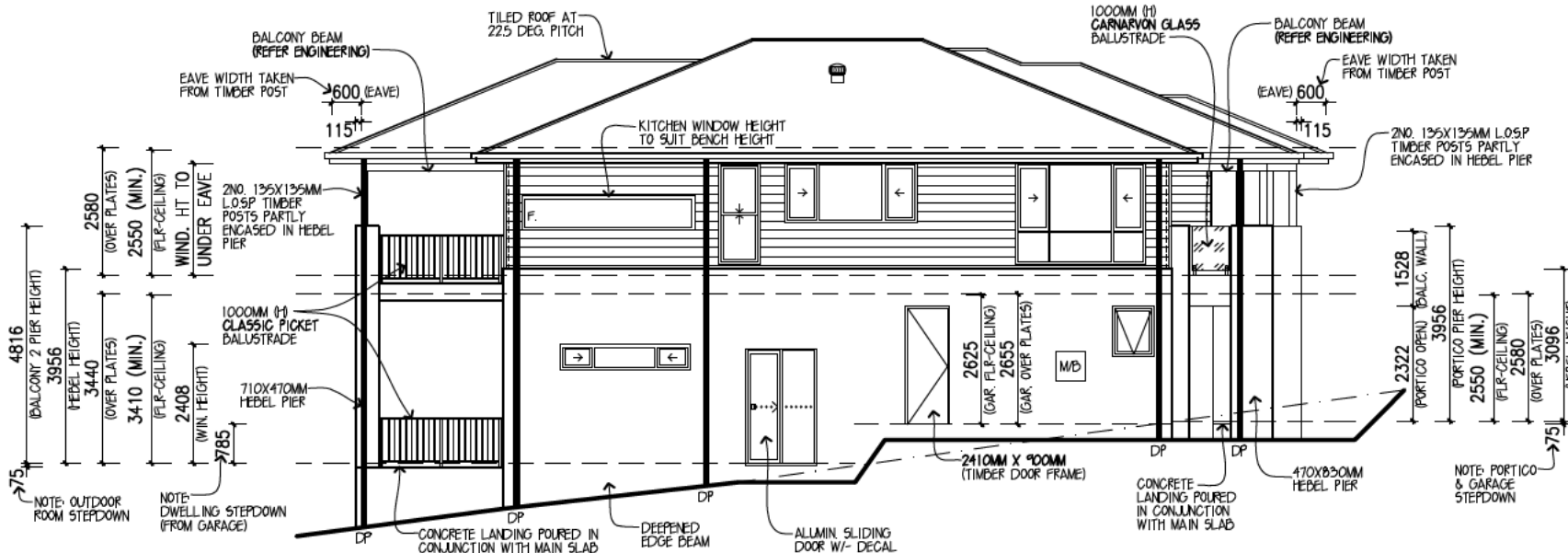
hebel Power Panel WALL PANELS

OR RENDERED LIGHTWEIGHT SUBSTRATE CLADDING ABOVE LOWER ROOFS WHERE APPLICABLE

PROVIDE JAMES HARDIES SCYN LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: S-TYP-CLAD-02



ELEVATION C. (SOUTH/WEST)



ELEVATION D. (SOUTH/EAST)

SYMBOL LEGEND

	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT
	DOWNPIPE W/- RAINWATER HEAD		ROTATING ROOF VENTILATOR

DESIGN: ALTO 33

FAÇADE: PENINSULA CILING: 25, R

GARAGE: SINGLE LOCATION: F

ELEVATIONS

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OWNER: [REDACTED]
LOT 40, NO.136 NARRADEEN PARK PARADE
MONA VALE

JOB No: 704711	DATE: 25.09.2019
FC DATE: DD.MM.YYYY	MST VER: 04.12.2018
SCALE: 1:100 ON A3 SHEET	REVISION: C
DRAWN: ALM	CHECK: DUM
SHEET: 5 of 12	