

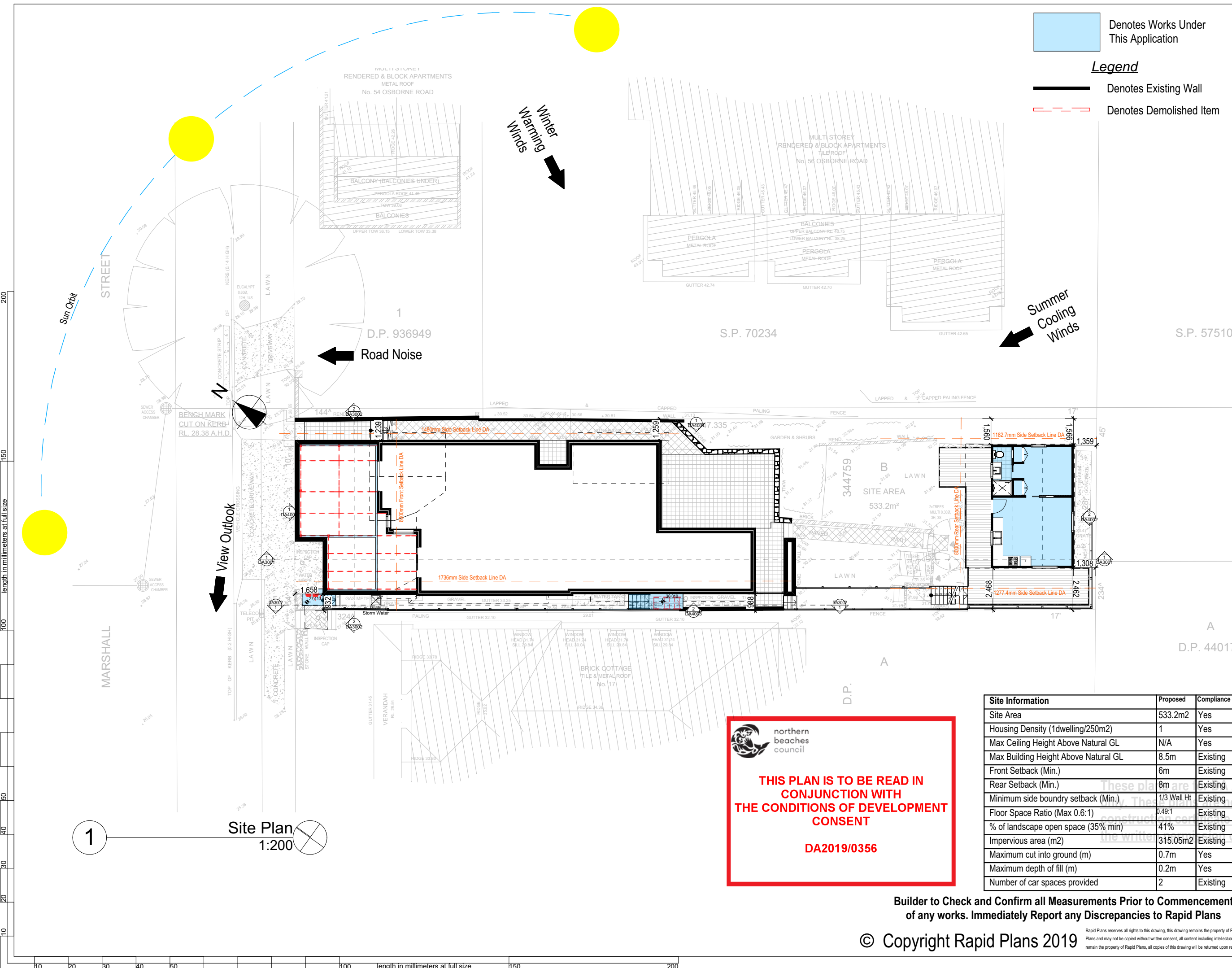
**NOTES**  
 19 Marshall Street, Manly is zoned R1 General Residential.  
 New Works to be constructed shown in Shaded/Blue. 19 Marshall Street, Manly is not considered a heritage item.

**Construction**  
 Concrete & Timber  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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**Legend**

- Denotes Works Under This Application
- Denotes Existing Wall
- Denotes Demolished Item



length in millimeters at full size

1 Site Plan 1:200

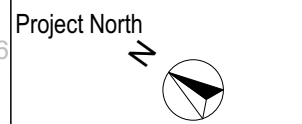
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/0356

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly 2095

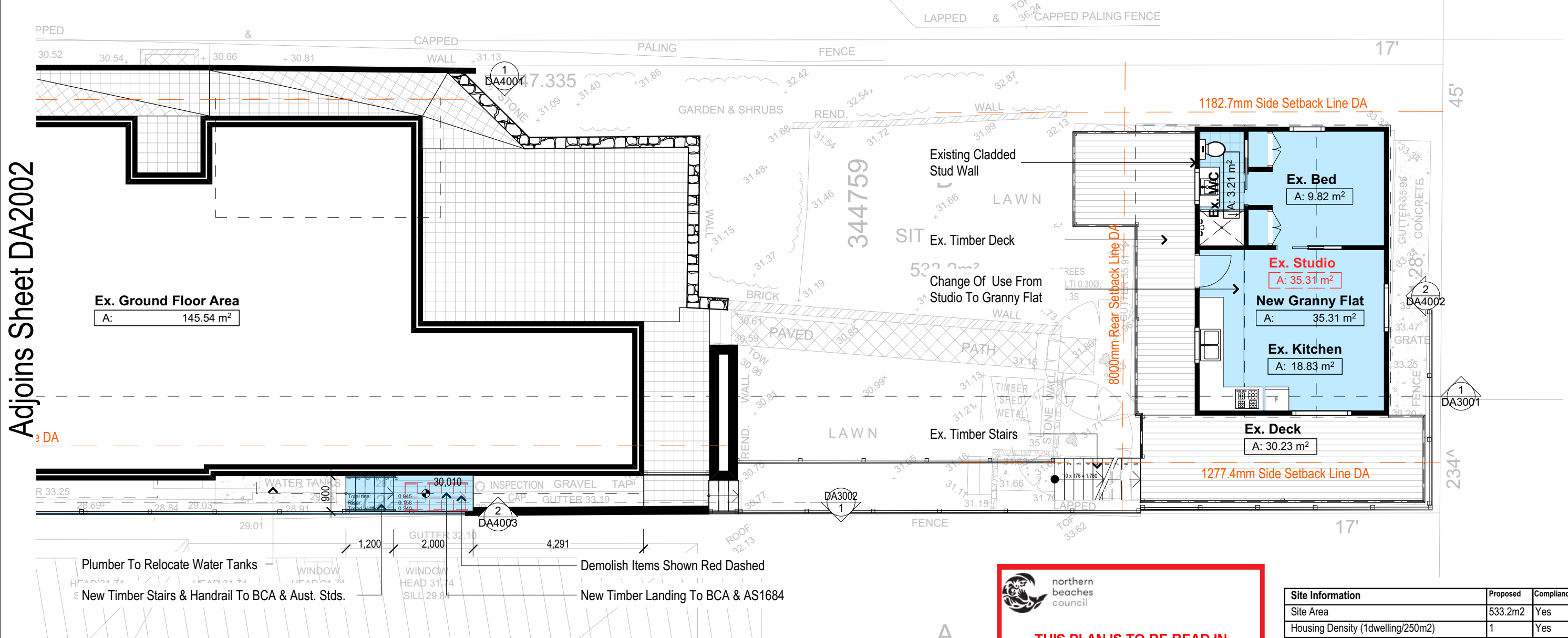
Lot B D.P. 344759	
Drawing Title: Site Plans - Site Plan	
Scale: A3 as noted	Date: 5-4-2019
Status: DA	Checked By: GBJ
Project No: RP0119JAC	Drawing No: DA1003

Denotes Works Under This Application

**Wall Legend**

Denotes Existing Wall

Denotes Demolished Item



Adjoins Sheet DA2002

Ex. Ground Floor Area  
A: 145.54 m<sup>2</sup>

1182.7mm Side Setback Line DA

800mm Rear Setback Line DA

1277.4mm Side Setback Line DA

1 Ground Floor Plan  
1:100

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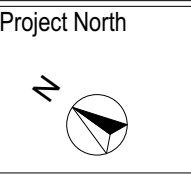
**NOTES**  
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**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**DA2019/0356**

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing



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Client: Paul Jacobsohn

Client: Paul Jacobsohn  
Project Name: Alterations & Additions/Change of Use  
19 Marshall Street, Manly 2095

Lot B D.P.344759  
Drawing Title: Plans - Ground Floor Plan  
Secondary Dwelling  
Ground Floor Plan

Scale: A3 as noted  
Status: DA  
Project No. RP0119JAC

Date: 5-4-2019  
Checked By: GBJ  
Drawing No. DA2003



**NOTES**  
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**Construction**  
Concrete & Timber  
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Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
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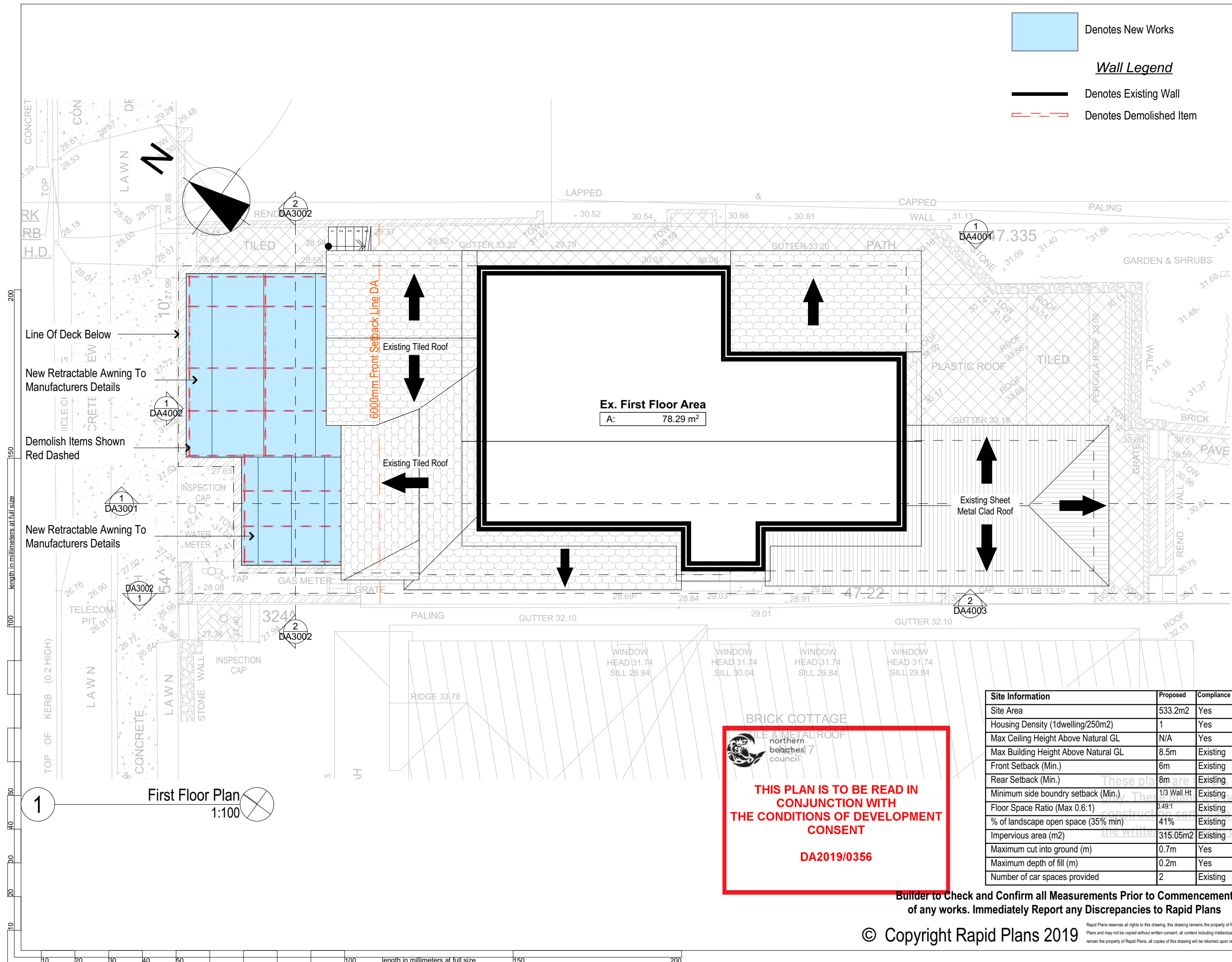
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**Denotes New Works**

**Wall Legend**

— Denotes Existing Wall

- - - Denotes Demolished Item



**Ex. First Floor Area**  
A: 78.29 m<sup>2</sup>

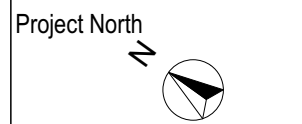
**1** First Floor Plan 1:100

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/0356**

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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Client: Paul Jacobsohn  
Project Name: Alterations & Additions/Change of Use  
19 Marshall Street, Manly  
2095

Lot B D.P. 344759

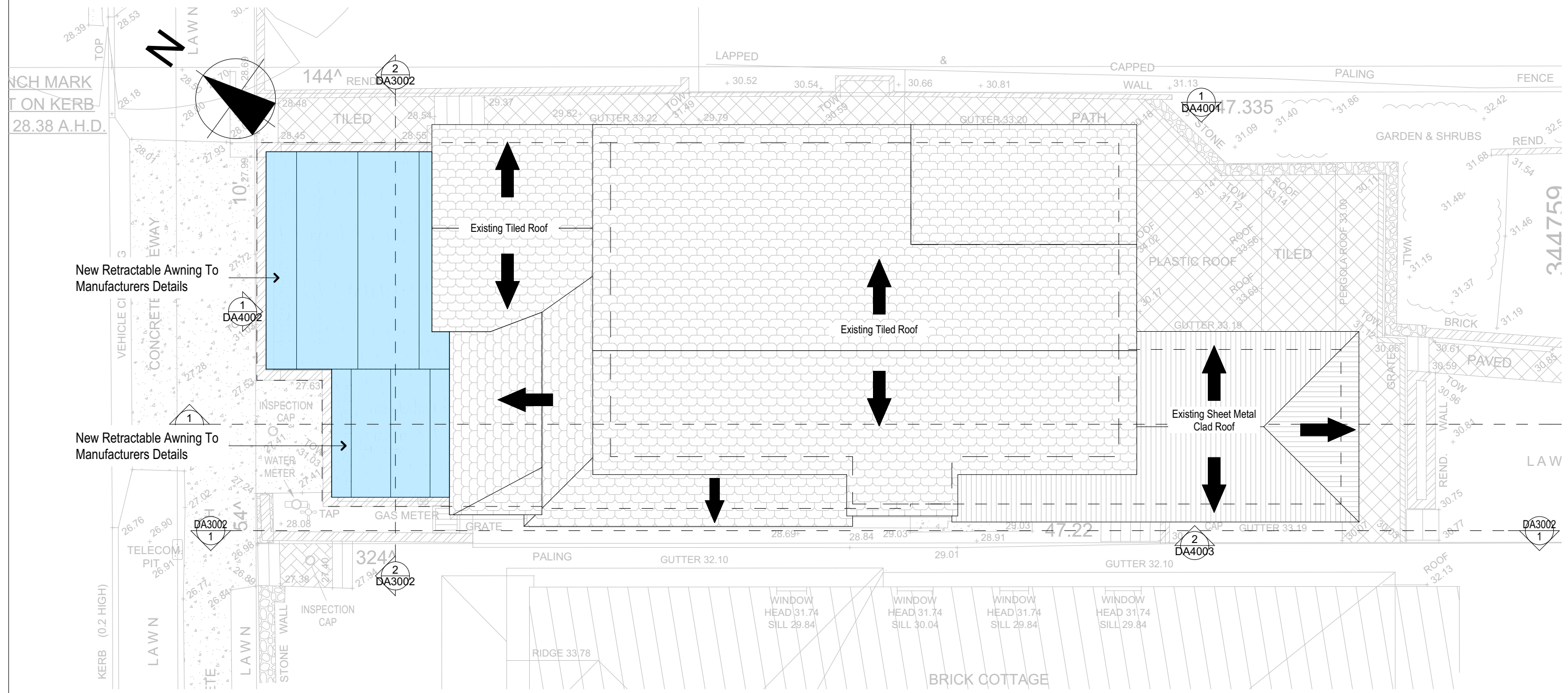
Drawing Title: Plans - First Floor Plan  
First Floor Plan

Scale: A3 as noted Date: 5-4-2019  
Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA2004

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Denotes Works Under This Application



Adjoins Sheet DA2006

1 Roof Plan 1:100

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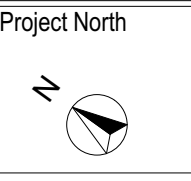
**DA2019/0356**

**Construction**  
Concrete & Timber  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1

Site Information	Proposed	Compliance
Site Area	533.2m2	Yes
Housing Density (1dwelling/250m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m2)	315.05m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing



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Client:  
Paul Jacobsohn

Client:  
Paul Jacobsohn  
Project Name:  
Alterations & Additions/Change of Use  
19 Marshall Street, Manly  
2095

Lot B D.P. 344759  
Drawing Title:  
Plans - Roof Plan Primary  
Dwelling  
Roof Plan

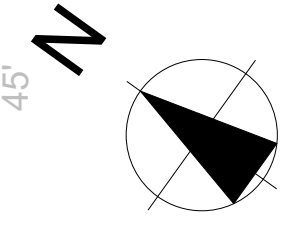
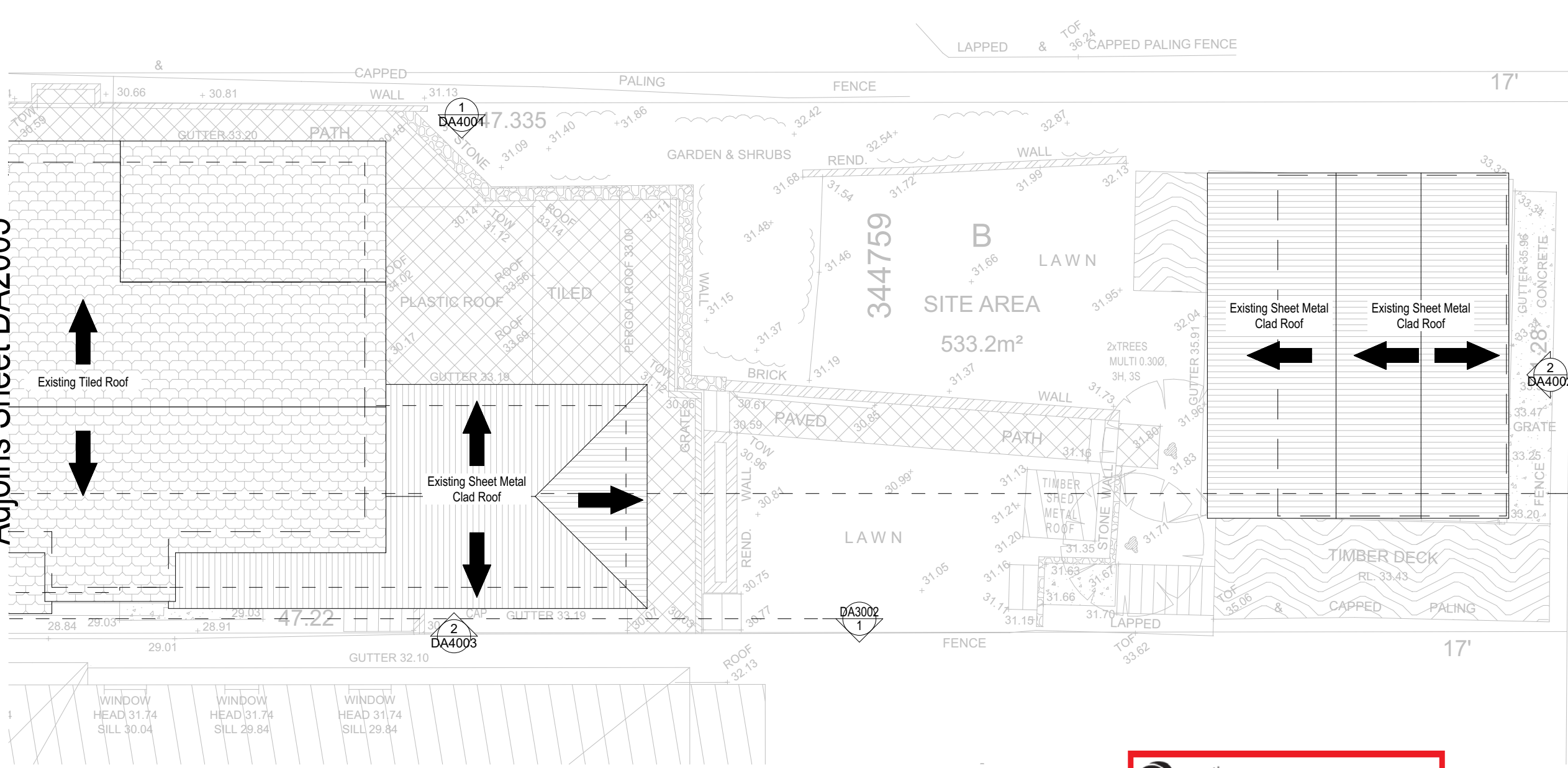
Scale: A3 as noted  
Status: DA  
Project No.  
RP0119JAC

Date: 5-4-2019  
Checked By: GBJ  
Drawing No.  
DA2005



Denotes Works Under This Application

Adjoins Sheet DA2005



1 Roof Plan 1:100


  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**
  
**DA2019/0356**

Site Information	Proposed	Compliance
Site Area	533.2m2	Yes
Housing Density (1dwelling/250m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m2)	315.05m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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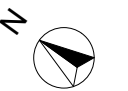
**Construction**  
 Concrete & Timber  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
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Project North



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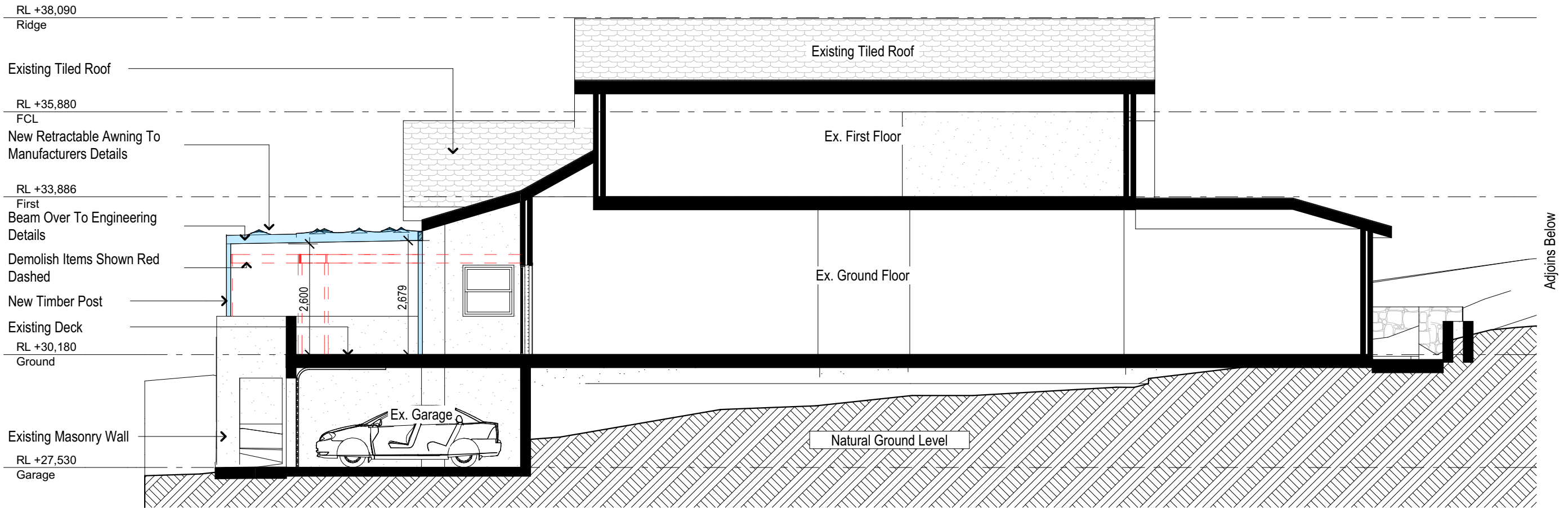
Client:  
 Paul Jacobsohn

Client:  
 Paul Jacobsohn  
 Project Name:  
 Alterations & Additions/Change of Use  
 19 Marshall Street, Manly  
 2095

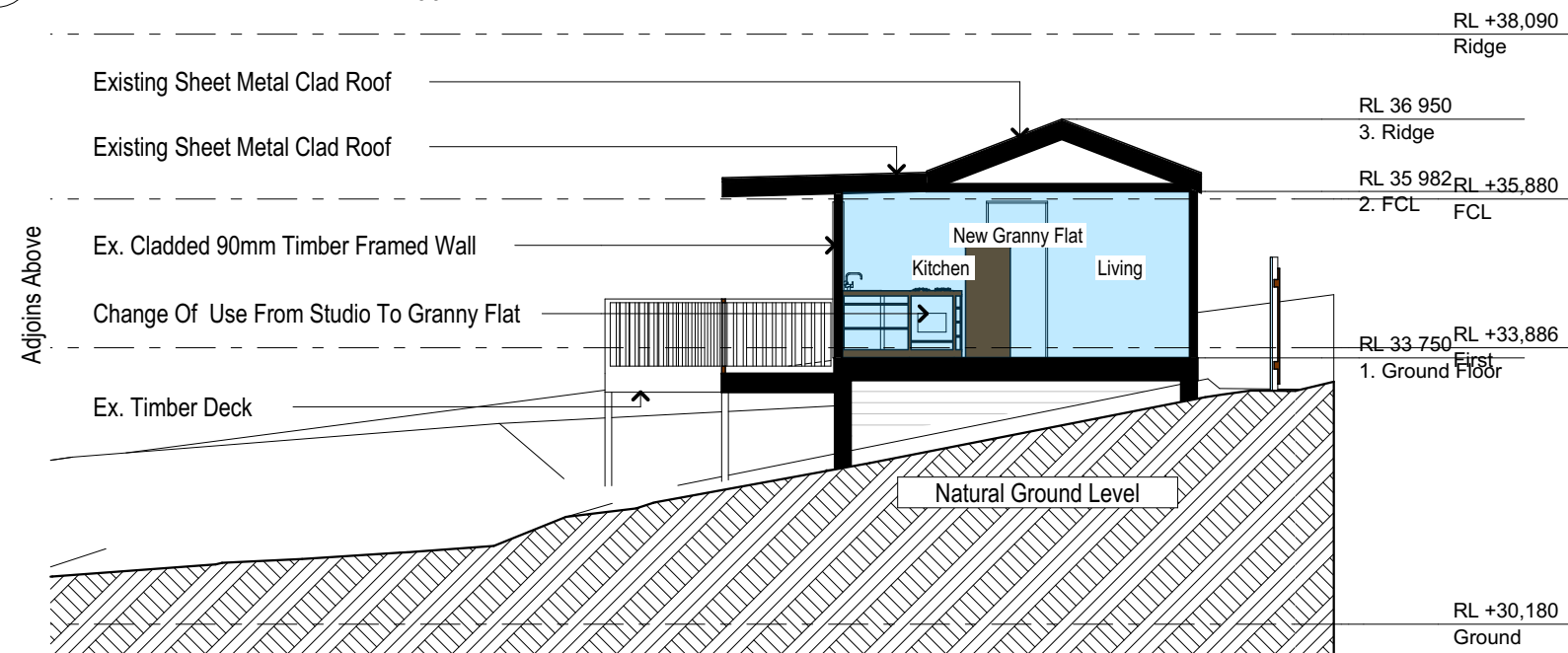
Lot B D.P.344759  
 Drawing Title:  
 Plans - Roof Plan Secondary Dwelling  
 Roof Plan

Scale: A3 as noted  
 Status: DA  
 Project No.  
 RP0119JAC

Date: 5-4-2019  
 Checked By: GBJ  
 Drawing No.  
**DA2006**



1 Section 1  
1:100



1 Section 1  
1:100

- Denotes Works Under This Application
- Wall Legend**
- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item


  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**
  
**DA2019/0356**




Site Information	Proposed	Compliance
Site Area	533.2m2	Yes
Housing Density (1dwelling/250m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m2)	315.05m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

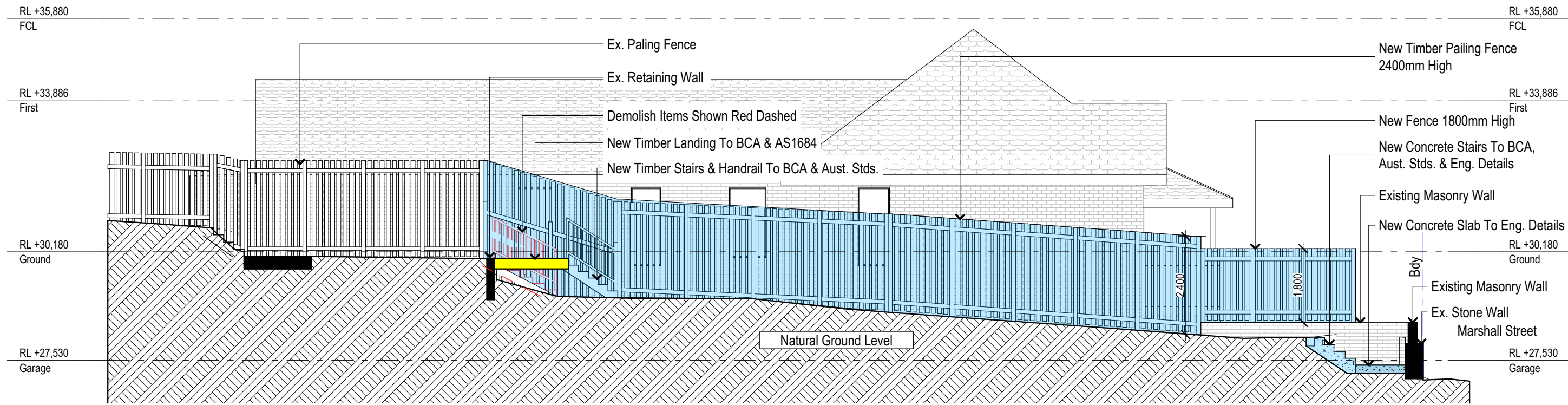
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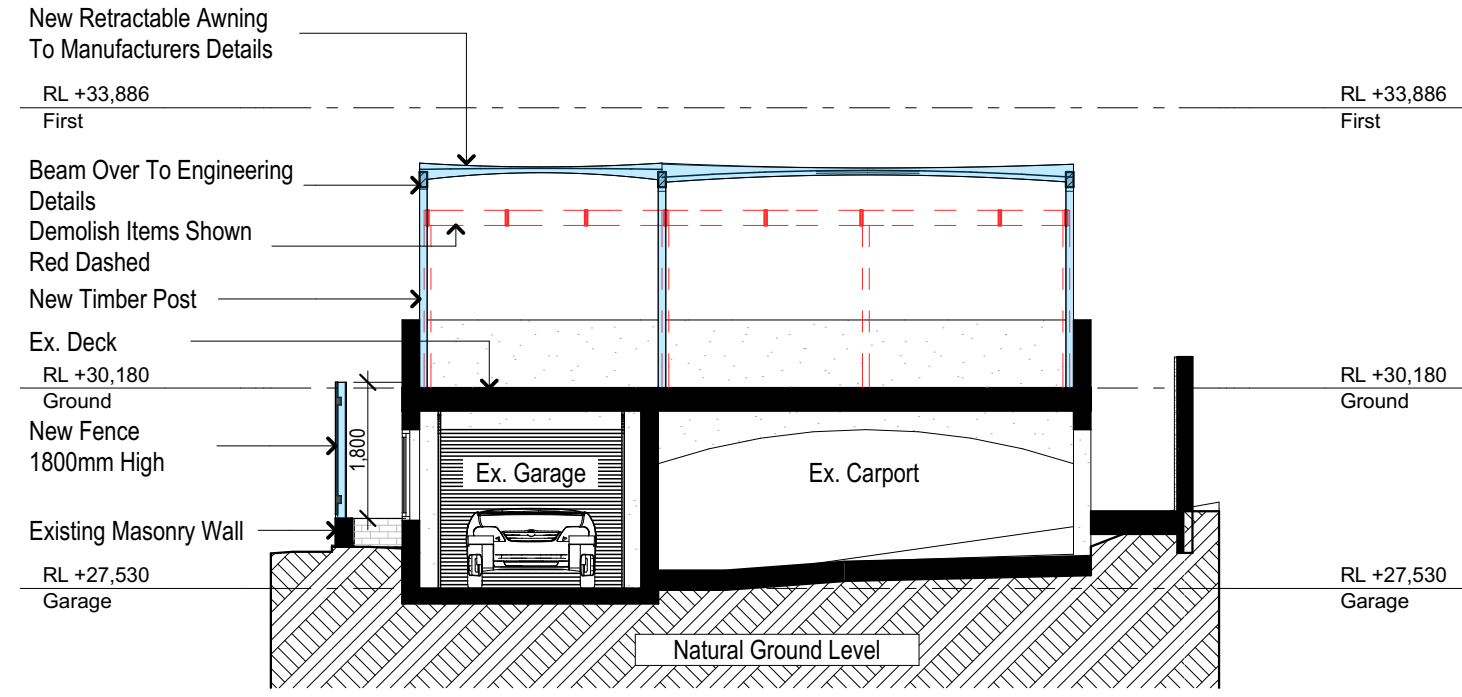
**Construction**  
 Concrete & Timber  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

 Building Design and Architectural Drafting	Rapid Plans www.rapidplans.com.au PO Box 6193 Frenchs Forest DC NSW 2086 Fax: (02) 9905-8865 Mobile: 0414-945-024 Email: gregg@rapidplans.com.au	 BUILDING DESIGNERS AUSTRALIA NSW	Project North 	© Copyright Rapid Plans 2019	Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.	The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction. Client: Paul Jacobsohn	Client Paul Jacobsohn Project Name Alterations & Additions/Change of Use 19 Marshall Street, Manly 2095	Lot B D.P.344759 Drawing Title: Sections - Section 1 Section 1	Scale: A3 as noted Status: DA Project No. RP0119JAC	Date: 5-4-2019 Checked By: GBJ Drawing No. DA3001
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1 Section 3  
1:100



2 Section 2  
1:100

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/0356**

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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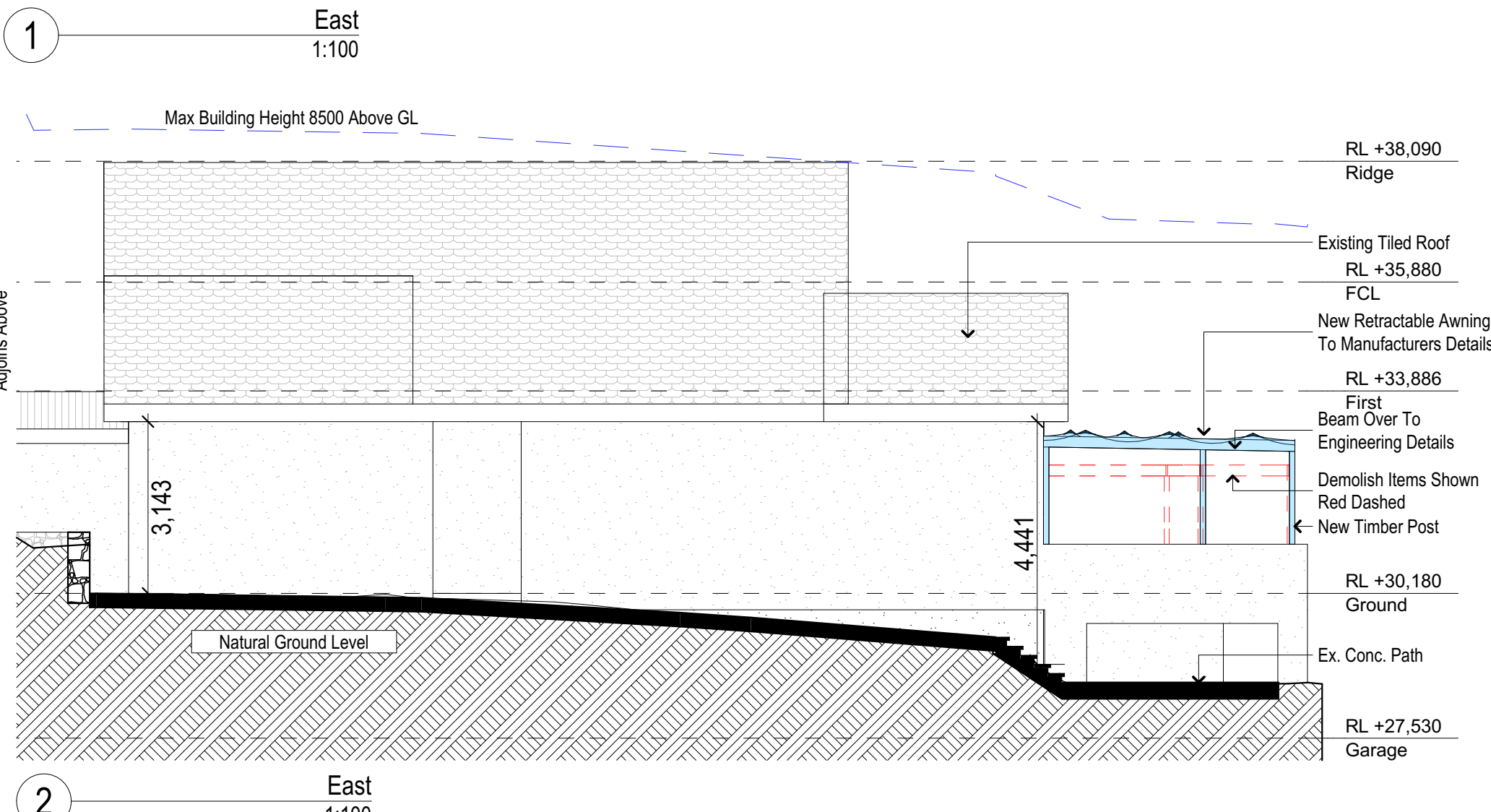
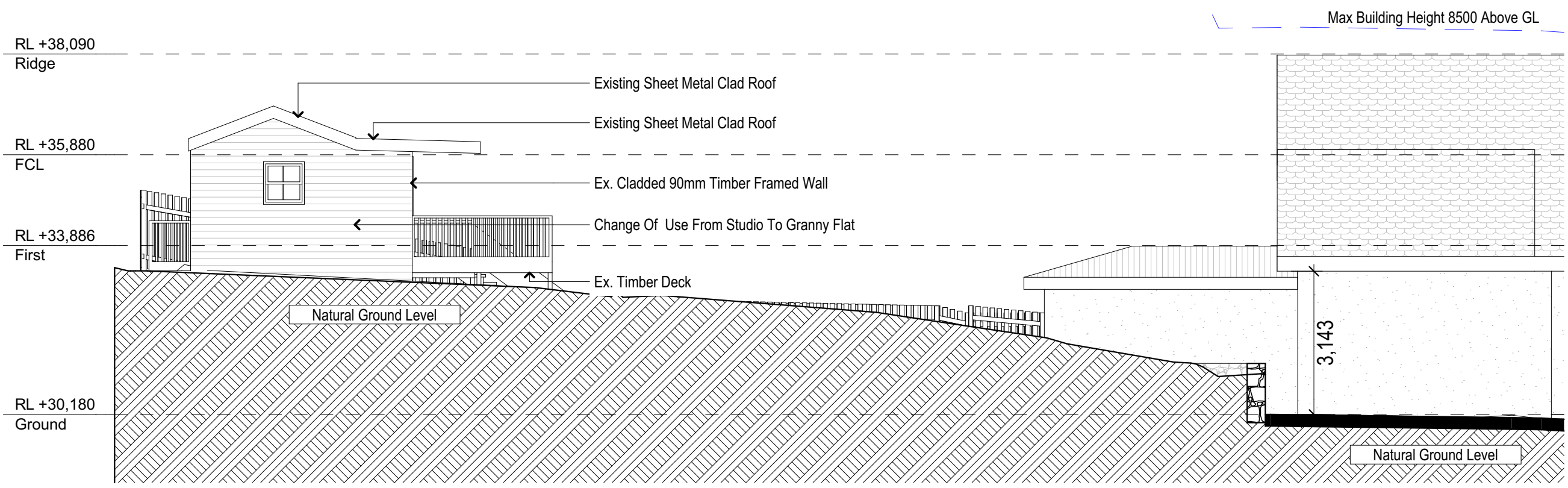
	Rapid Plans www.rapidplans.com.au PO Box 6193 Frenchs Forest DC NSW 2086 Fax: (02) 9905-8865 Mobile: 0414-945-024 Email: gregg@rapidplans.com.au		Project North 	© Copyright Rapid Plans 2019	Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.	The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction. Client: Paul Jacobsohn	Client: Paul Jacobsohn Project Name: Alterations & Additions/Change of Use 19 Marshall Street, Manly 2095	Lot B D.P.344759 Drawing Title: Sections - Section 2 Section 3, Section 2	Scale: A3 as noted Status: DA Project No. RP0119JAC	Date: 5-4-2019 Checked By: GBJ Drawing No. DA3002
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**northern beaches council**

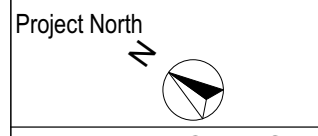
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2019/0356**

 Denotes Works Under This Application

 Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing



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Client: Paul Jacobsohn  
Project Name: Alterations & Additions/Change of Use  
19 Marshall Street, Manly 2095

Lot B D.P. 344759  
Drawing Title: Elevations - Elevations 1 East

Scale: A3 as noted Date: 5-4-2019  
Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA4001

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200  
150  
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20  
10

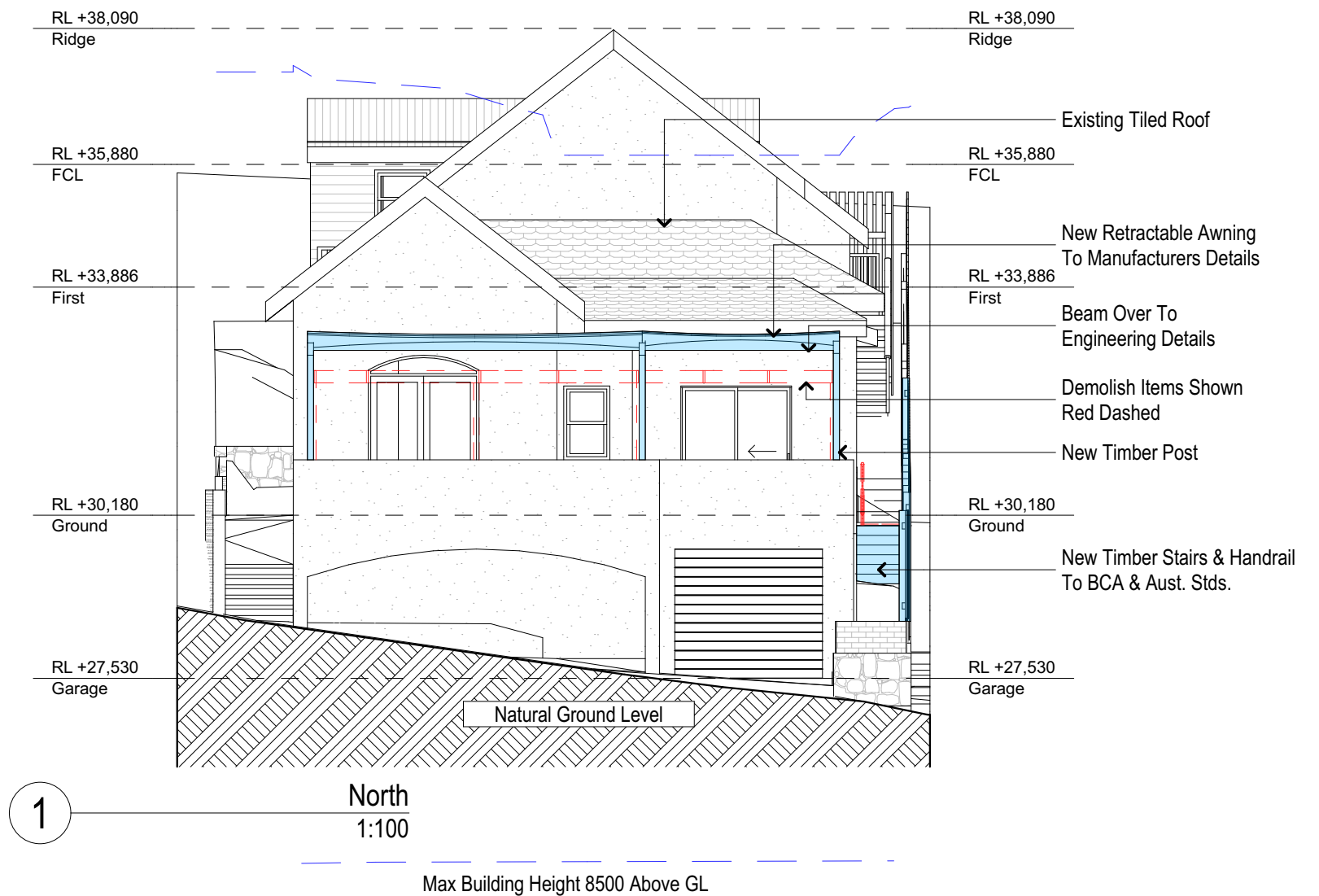
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**NOTES**  
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 New Works to be constructed shown in Shaded/Blue. 19 Marshall Street, Manly is not considered a heritage item.

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 Refer to Engineers drawings for structural details  
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 Termite Management to BCA and AS 3660.1  
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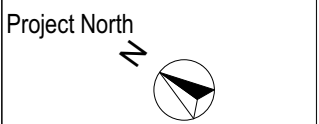
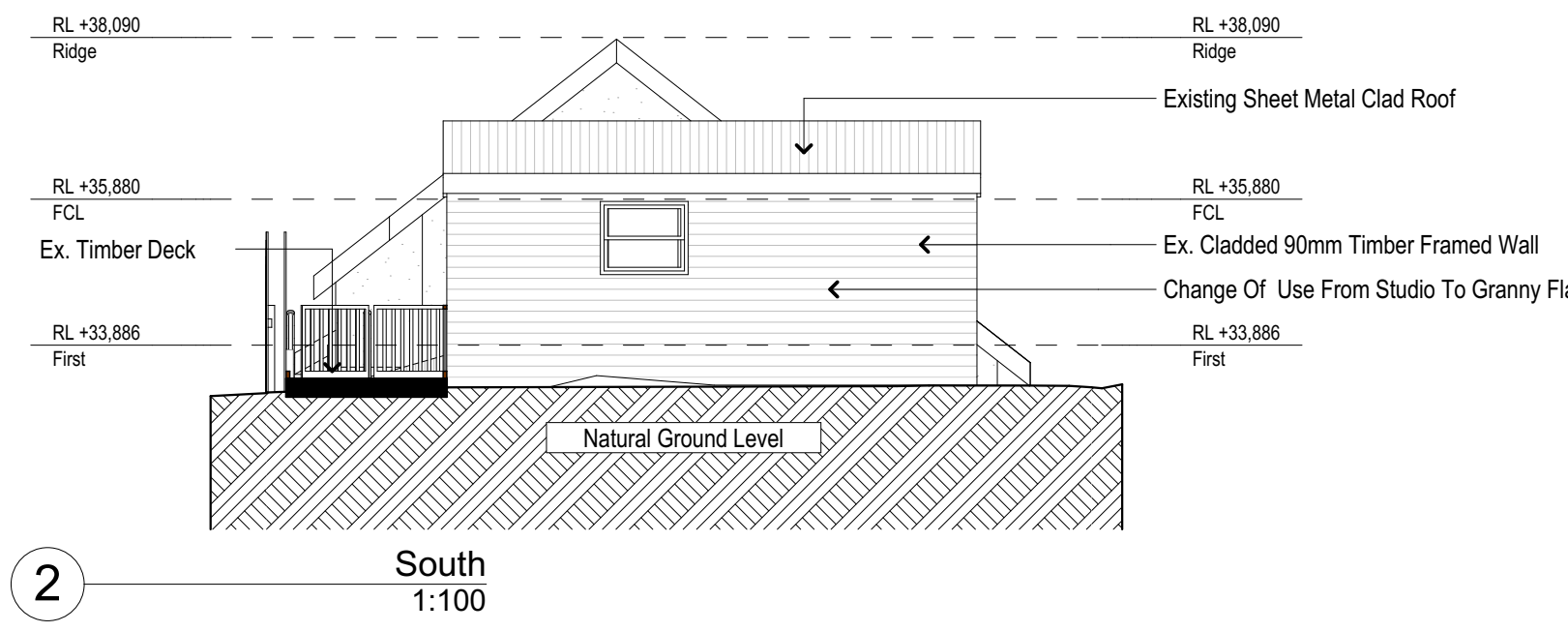


**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2019/0356**

Denotes Works Under This Application

Denotes Demolished Item



**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly 2095  
 Lot B D.P. 344759

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

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Drawing Title: Elevations - Elevations 1  
 North, South  
 Scale: A3 as noted Date: 10-4-2019  
 Status: DA Checked By: GBJ  
 Project No: RP0119JAC Drawing No: DA4002

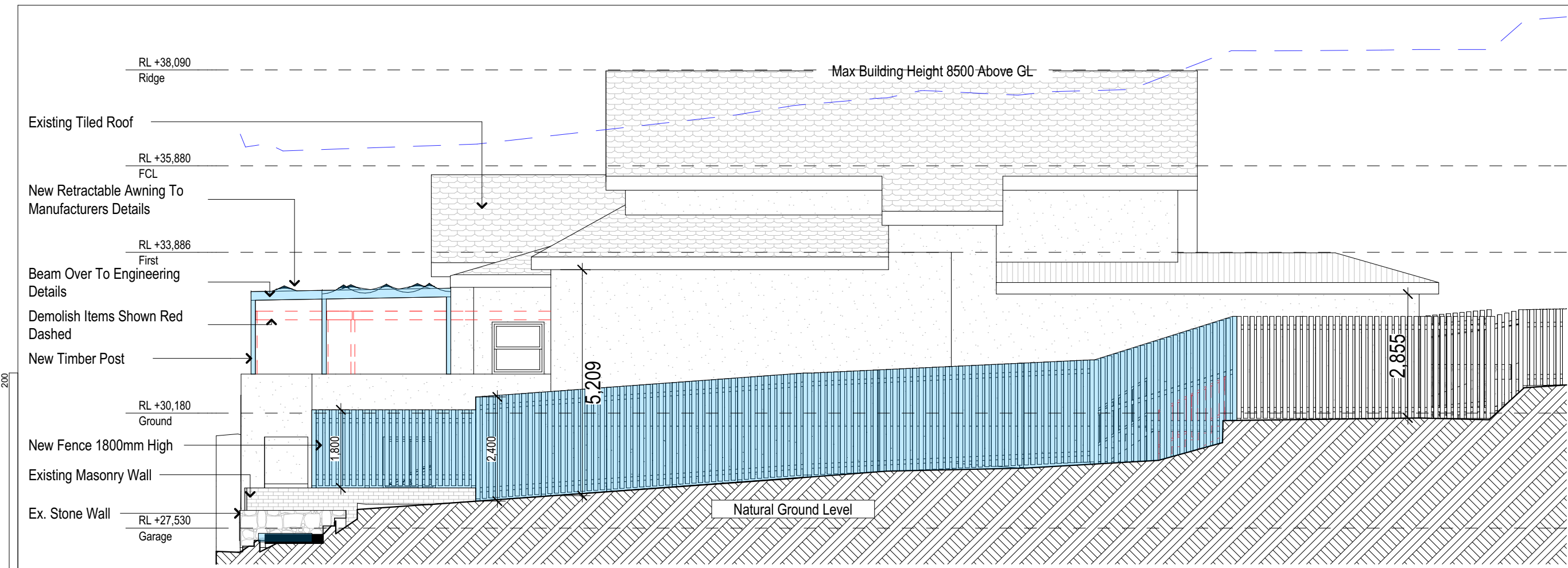
length in millimeters at full size

10 20 30 40 50 100 150 200 length in millimeters at full size

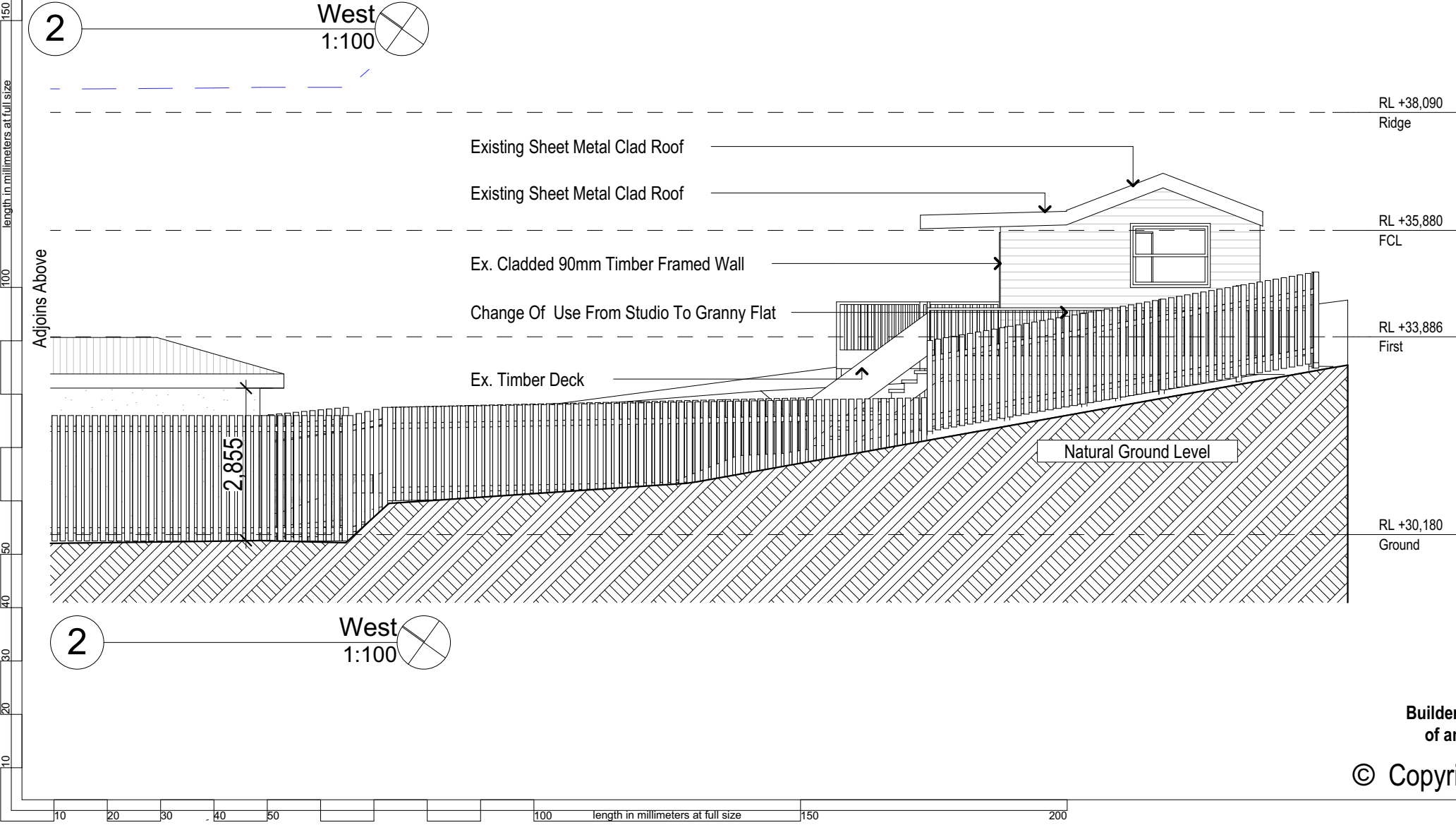
**NOTES**  
 19 Marshall Street, Manly is zoned R1 General Residential.  
 New Works to be constructed shown in Shaded/Blue. 19 Marshall Street, Manly is not considered a heritage item.

**Construction**  
 Concrete & Timber  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite framing to BCA and AS 3660.1  
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Adjoins Below

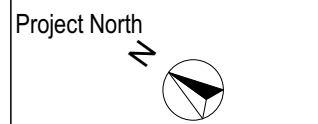


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DA2019/0356 Denotes Works Under This Application

--- Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing



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Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly 2095  
 Lot B D.P.344759

Drawing Title: Elevations - Elevations 2  
 West

Scale: A3 as noted Date: 5-4-2019  
 Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA4003

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

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length in millimeters at full size

2

Adjoins Above

2

10  
20  
30  
40  
50  
100  
150  
200





Denotes Concrete Stairs (Typical).  
Owner To Confirm Type & Colour



Denotes Timber Deck (Typical).  
Owner To Confirm Type & Colour



Denotes Timber Stairs (Typical).  
Owner To Confirm Type & Colour



Denotes Retractable Awning (Typical).  
Owner To Confirm Type & Colour



Denotes Timber Fence (Typical).  
Owner To Confirm Type & Colour


  
**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**
  
**DA2019/0356**

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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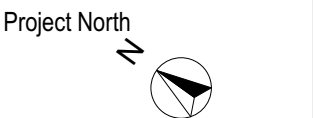
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**Construction**  
 Concrete & Timber  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly  
 2095  
 Lot B D.P. 344759

Drawing Title:  
**Sunstudy - Material & Colour Sample Board**

Scale: A3 as noted	Date: 5-4-2019
Status: DA	Checked By: GBJ
Project No: RP0119JAC	Drawing No: DA5001

200  
150  
100  
50  
40  
30  
20  
10  
length in millimeters at full size

10 20 30 40 50 100 150 200 length in millimeters at full size