

141 POWDERWORKS ROAD, ELANORA HEIGHTS 2101

NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO EXISTING BRICK DWELLING

DEVELOPMENT APPLICATION

APPLICANTS: MATT & NAOMI NOFFS
 LOT/DP: LOT101/DP842992
 LGA: NORTHERN BEACHES COUNCIL
 ZONE: R2 - LOW DENSITY RESIDENTIAL
 FLOOD: IS NOT A FLOOD CONTROL LOT
 BUSHFIRE: IS NOT A BUSHFIRE PRONE LOT
 HERITAGE: NOT IN A HERITAGE CONSERVATION AREA
 NOT A LOCAL HERITAGE ITEM OR DRAFT HERITAGE ITEM

DEVELOPMENT APPLICATION - DRAWING LIST

ID	DRAWING
DA-00	COVER SHEET
DA-01	NOTES AND STANDARDS
DA-02	SITE STAGING AND SEDIMENTATION PLAN
DA-10	SITE PLAN AND SITE ANALYSIS
DA-11	FLOOR PLAN - DUAL OCCUPANCY GROUND FLOOR
DA-12	FLOOR PLAN - DUAL OCCUPANCY FIRST FLOOR
DA-13	FLOOR PLAN - PROPOSED ADDITIONS TO EXISTING BRICK DWELLING
DA-14	ROOF PLAN
DA-15	DEMOLITION PLAN
DA-16	LANDSCAPING CONCEPT PLAN
DA-17	PLANTING SCHEDULE (PREPARED BY WILDER GARDEN CO.)
DA-20	ELEVATIONS
DA-21	ELEVATIONS
DA-22	SECTIONS
DA-23	SHADOW DIAGRAMS
DA-30	WINDOW SCHEDULE
DA-31	DOOR SCHEDULE
DA-32	FINISHES AND COLOURS
DA-33	BASIX DA REQUIREMENTS
3585	SURVEY (PREPARED BY GEOGRAPHIC SOLUTIONS SURVEYORS)
11682-C1.00	STORMWATER MANAGEMENT - SHEET 1 (PREPARED BY WADDINGTON CONSULTING P/L)
11682-C1.01	STORMWATER MANAGEMENT - SHEET 2 (PREPARED BY WADDINGTON CONSULTING P/L)
11682-C1.02	STORMWATER DETAILS (PREPARED BY WADDINGTON CONSULTING P/L)
164/2020	PROPOSED CAR PARKING AREA (PREPARED BY TTPA)
164/2020	CAR PARKING AREA RLs AND GRADIENTS (PREPARED BY TTPA)
164/2020	SWEPT PATH ASSESSMENTS FOR B85 VEHICLE (PREPARED BY TTPA)

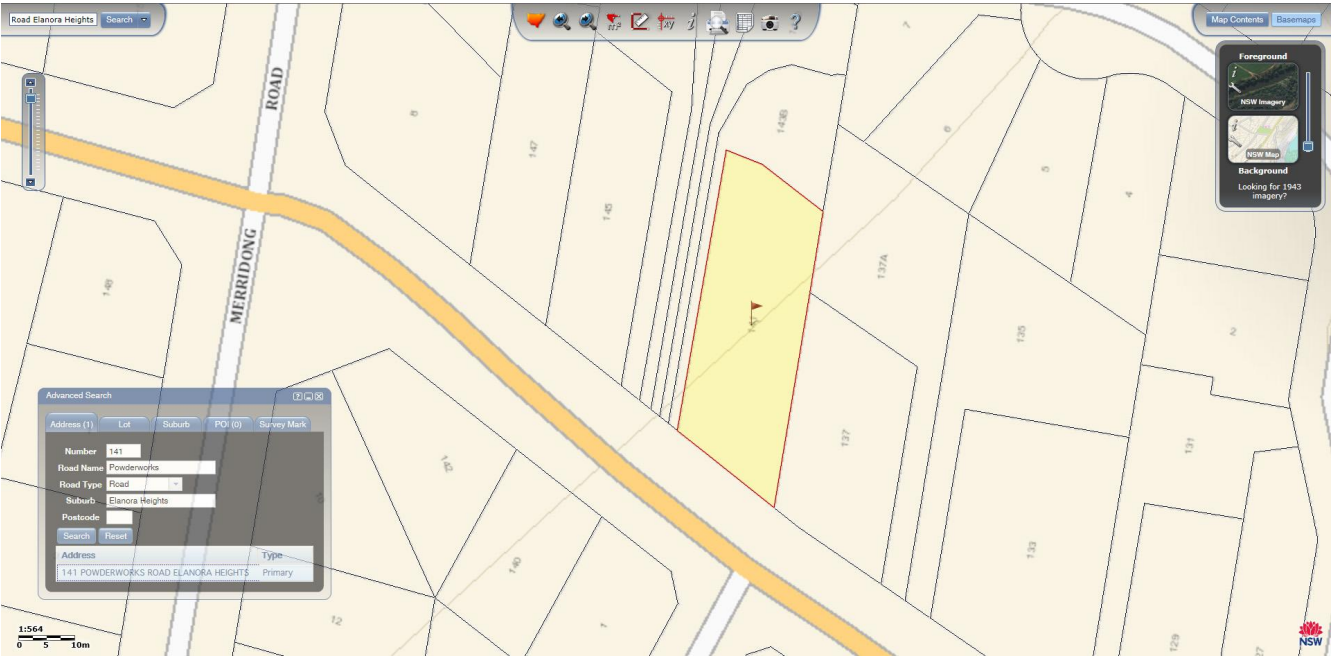
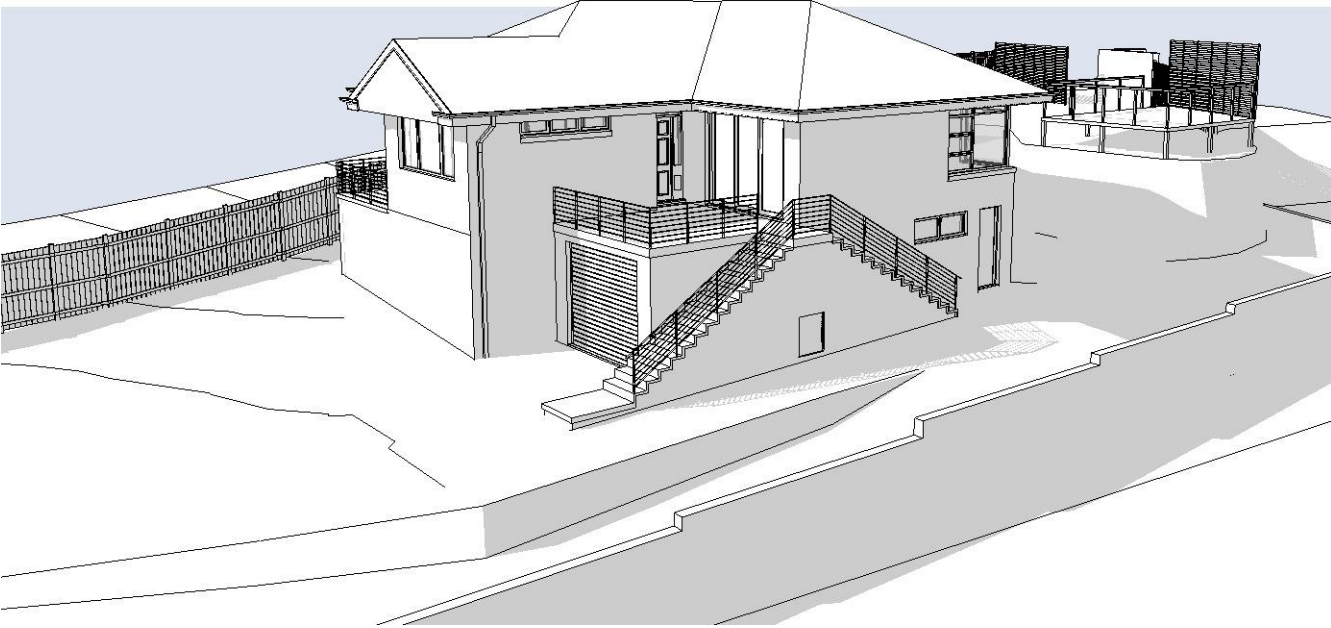


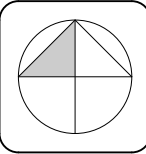
IMAGE COURTESY OF SIX MAPS



EXISTING DWELLING

REV.	DESCRIPTION	DATE
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019
A8	REVISED DRAWING LIST.	21/03/2020

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CLIENT: MATT & NAOMI NOFFS
 PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING
 SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102

DRAWING: COVER SHEET

 SCALE: AS SHOWN @ A3

DRAWN: ALM
 DRAWING ID: DA-00
 REV. STATUS: APPROVALS
 CREATED: 22nd JUNE 2018
 DO NOT SCALE FROM DRAWINGS.



NOTES

1. CONFIRM ALL DIMENSIONS ON SITE BEFORE ORDERING MATERIALS AND STARTING CONSTRUCTION.
2. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA, NSW WORKCOVER AND ALL RELEVANT APPROVALS/REQUIREMENTS.
3. ALL WORKS TO BE IN ACCORDANCE WITH BASIX CERTIFICATE A323325_06 AND BASIX CERTIFCATE 1003317M_03 AND ALL ASSOCIATED DOCUMENTATION.
4. DEMOLISH EXISTING STRUCTURES AS SHOWN. WHERE REQUIRED, ALL DEMOLITION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 2601 AND NSW WORKCOVER REGULATIONS.
5. IF REQUIRED, ANY ASBESTOS REMOVAL SHALL BE UNDER TAKEN BY APPROPRIATELY QUALIFIED AND LICENSED CONTRACTORS AND ALL MATERIALS TREATED AND DISPOSED OF IN ACCORDANCE WITH NSW WORKCOVER REQUIREMENTS.
6. PROVIDE TERMITE TREATMENT TO WHOLE OF NEW CONSTRUCTION AREA IN ACCORDANCE WITH PART 3.1 OF VOLUME TWO OF THE BUILDING CODE OF AUSTRALIA AND AS 3660.
7. WHERE REQUIRED, PROVIDE WATER SERVICES, STORMWATER DRAINAGE, HOT WATER SERVICES AND SANITARY SERVICES, METERS, VENTS, WASTES, Etc. AS REQUIRED IN ACCORDANCE WITH AS 3500 AND AS 1547 AND THE BUILDING CODE OF AUSTRALIA. ALL NEW WATER PIPES ARE TO BE ACCOUSTICALLY INSULATED.
8. WHERE REQUIRED, PROVIDE ALL ELECTRICAL SERVICES, METERS, LIGHTING, EMERGENCY LIGHTING, SWITCHBOARDS, METERS, Etc. IN ACCORDANCE WITH AS 3000 AND AS 1680.
9. WHERE REQUIRED, ALL WET AREAS ARE TO BE WATER PROOFED, AND THE INSTALLATION CERTIFIED, IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS 4200.
10. WHERE REQUIRED, PROVIDE ALL TIMBER FRAMING, TRUSSES, BEAMS, POSTS, Etc. AS REQUIRED, ALL IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS 1684 TIMBER FRAMING CODE.
11. WHERE REQUIRED, PROVIDE ALL STEEL FRAMING, TRUSSES, BEAMS, COLUMNS, Etc. AS REQUIRED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS 4100.
12. WHERE REQUIRED, PROVIDE ALL ROOFING AND ASSOCIATED GUTTERS, DOWNPIPES, FLASHINGS, INSULATION, Etc. IN ACCORDANCE WITH AS 2050, AS 2728, AS 4389, AND AS 3500 AND THE THE BUILDING CODE OF AUSTRALIA,.
13. WHERE REQUIRED, PROVIDE SMOKE ALARMS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS 3786 AND AS 2293.
14. WHERE REQUIRED, PROVIDE ALL DOORS AND DOOR HARDWARE AS REQUIRED IN ACCORDANCE WITH AS 2688, AS 1909, AS 3959.
15. WHERE REQUIRED, PROVIDE ALL WINDOWS, FRAMES, GLAZING, Etc. IN ACCORDANCE WITH AS 1288, AS 3715, AS 4667, AS 3959 AND THE REQUIREMENTS OF THE BASIX REPORT/S.
16. WHERE REQUIRED, ALL PREPARATION FOR PAINTING AND PAINTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1627, AS 2311, AS 2312.
17. WHERE REQUIRED, PROVIDE ALL WALL AND FLOOR TILING IN ACCORDANCE WITH AS 1884 & AS 2358

REV.	DESCRIPTION	DATE
A3	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	02/06/2019
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019

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SPECIFICATION

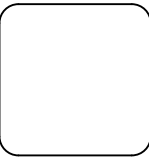
ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH BCA REQUIREMENTS & ALL RELEVANT AUSTRALIAN STANDARDS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

TRADE	STANDARD	TRADE	STANDARD
SURVEYS: TECHNICAL DRAWING	AS 1100.40-1984	DOORS & DOOR HARDWARE: FLUSH DOORS AND JOINERY DOORS INSTALLATION	AS 2688 & AS 3959 AS 1909
SAFETY: WORK HEALTH & SAFETY REGULATIONS 2011 & SAFE WORK AUSTRALIA HEALTH AND SAFETY AT WORK - PRINCIPLES AND PRACTICES	AS 1470	WINDOWS & GLAZING: MATERIALS, SELECTION AND INSTALLATION	AS 2047, AS 3959 & AS 1288 AS/NZS 4667 AS/NZS 4667
DEMOLITION: THE DEMOLITION OF STRUCTURES	AS 2601	CUT-TO-SIZE QUALITY LAMINATED AND TOUGHENED GLASS PROCESS METAL FINISHING - THERMOSET POWDER COATING FOR ARCHITECTURAL APPLICATIONS OF ALUMINUM AND ALUMINUM ALLOY SAFETY GLAZING MATERIALS IDENTIFY EACH PIECE OR PANEL	AS 3715-2002 AS 1288.
EARTHWORKS & EXCAVATION: GEOTECHNICAL SITE INVESTIGATIONS EARTHWORKS COMPACTION TESTING	AS 1726 AS 1726 AS 1289.5.41 & AS 1289.5.4.2	PAINTING: GUIDE TO THE PAINTING OF BUILDINGS GUIDE TO THE PROTECTION OF STRUCTURAL STEEL AGAINST ATMOSPHERIC CORROSION BY THE USE OF PROTECTIVE COATINGS METAL FINISHING - PREPARATION AND PRE-TREATMENT OF SURFACES - ABRASIVE BLAST CLEANING OF STEEL	AS/NZS 2311 AS/NZS 2312 AS 1627.4-2005
STORM WATER & HYDRAULICS: WASTEWATER STORMWATER PLUMBING & DRAINAGE - WATER SERVICES PLUMBING & DRAINAGE - SANITARY PLUMBING & DRAINAGE PLUMBING & DRAINAGE - HEATED WATER SERVICES COPPER PIPES & FITTINGS - INSTALLATION & COMMISSIONING	AS 1547 AS NZS 3500.3 AS/NZS 3500.1 AS/NZS 3500.2. AS/NZS 3500.4 AS 4809	TILING: AN INTRODUCTORY GUIDE TO THE SLIP RESISTANCE OF PEDESTRIAN SURFACE MATERIALS FLOOR COVERINGS - RESILIENT SHEET AND TILES - INSTALLATION PRACTICES	HB197:1999 AS 1884 AS 2358-1990
ELECTRICAL: DEGREES OF ELECTRICAL PROTECTION ELECTRICAL INSTALLATIONS ELECTRICAL WORK INTERIOR LIGHTING	AS 1939 AS/NZS 3000 AS/NZS 3000 AS/NZS 1680.	ADHESIVES - FOR FIXING CERAMIC TILES	AS 4419
TERMITE MANAGEMENT: TERMITE MANAGEMENT	AS 3660	PARKING: PARKING FACILITIES PART 1 OFF-STREET CAR PARKING	AS/NZS 2890.1:2004
TIMBER FRAMING: TIMBER FRAMING CODE	AS1684		
CONCRETE & MASONRY: FORMWORK DESIGN & CONSTRUCTION STEEL REINFORCING MATERIALS	AS 3610 AS 1302, AS 1303 & AS 1304 AS 1379 AS 3600 AS 3735 AS 3700		
STRUCTURAL STEEL: MATERIALS, CONSTRUCTION, FABRICATION & ERECTION	AS 4100		
WATERPROOFING: PLIABLE BUILDING MEMBRANES & UNDERLAYS - MATERIALS/INSTALLATION	AS/NZS 4200.1, AS/NZS 4200.2		
ROOFING: DESIGN AND INSTALLATION PRE-PAINTED AND ORGANIC FILM/METAL LAMINATE PRODUCTS ROOF PLUMBING	AS 1562.1 AS 2728 AS/NZS 3500.3.2		

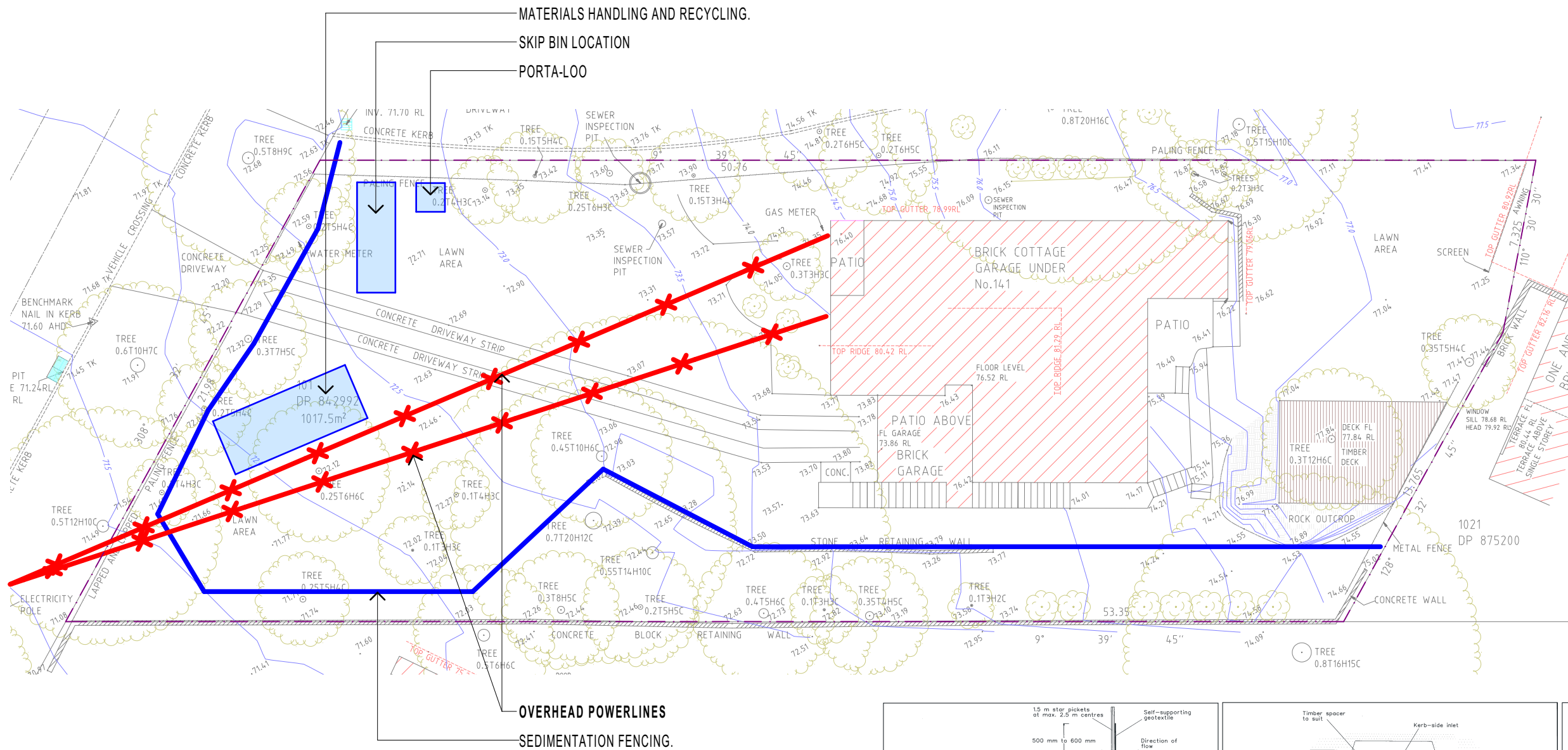


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CLIENT:	MATT & NAOMI NOFFS	DRAWING:	NOTES AND STANDARDS	DRAWN:	ALM
PROJECT:	NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING			DRAWING ID:	DA-01
SITE:	141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102	SCALE:	AS SHOWN @ A3	REV. STATUS:	APPROVALS
				CREATED:	22nd JUNE 2018
					DO NOT SCALE FROM DRAWINGS.



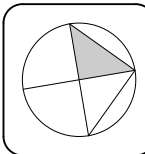
P09
SITE STAGING
1:200

NOTES

1. ENSURE ALL WORKS ARE CARRIED OUT BY SUITABLY QUALIFIED INDIVIDUALS IN ACCORDANCE WITH ALL RELEVANT SAFework AUSTRALIA LAWS AND REGULATIONS.
2. IF REQUIRED, ANY ASBESTOS REMOVAL SHALL BE UNDER TAKEN BY APPROPRIATELY QUALIFIED AND LICENSED CONTRACTORS AND ALL MATERIALS TREATED AND DISPOSED OF IN ACCORDANCE WITH NSW WORKCOVER REQUIREMENTS.
3. EXACT LOCATION OF AREAS TO BE DETERMINED ONSITE TO MEET REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION.
4. ALL AREAS TO BE LOCATED ONSITE WITH IN SITE BOUNDARIES.



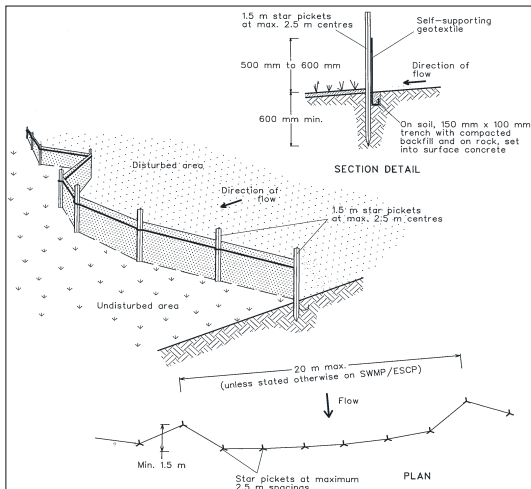
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A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019



CLIENT: MATT & NAOMI NOFFS
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY
ADDITIONS TO AN EXISTING BRICK DWELLING
141 POWDERWORKS ROAD ELANORA HEIGHTS
NSW 2102

DRAWING: SITE STAGING PLAN AND SEDIMENTATION
CONTROL
SCALE: AS SHOWN @ A3

DRAWN: ALM
DRAWING ID: DA-02
REV. STATUS: APPROVALS
CREATED: 22nd JUNE 2018
DO NOT SCALE FROM DRAWINGS.

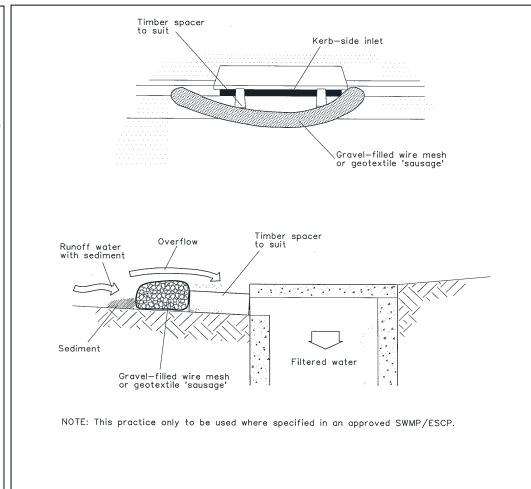


Construction Notes

1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
5. Join sections of fabric at a support post with a 150-mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE

SD 6-8

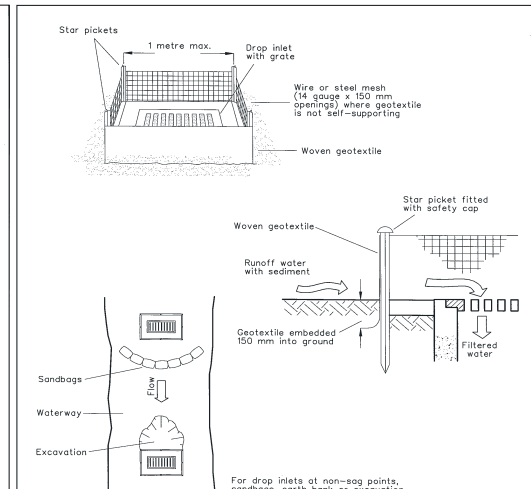


Construction Notes

1. Install filters to kerb inlets only at sag points.
2. Fabricate a sleeve made from geotextile or wire mesh longer than the length of the inlet pit and fill it with 25 mm to 50 mm gravel.
3. Form an elliptical cross-section about 150 mm high x 400 mm wide.
4. Place the filter at the opening leaving at least a 100-mm space between it and the kerb inlet. Maintain the opening with spacer blocks.
5. Form a seal with the kerb to prevent sediment bypassing the filter.
6. Sandbags filled with gravel can substitute for the mesh or geotextile providing they are placed so that they firmly abut each other and sediment-laden waters cannot pass between.

MESH AND GRAVEL INLET FILTER

SD 6-11



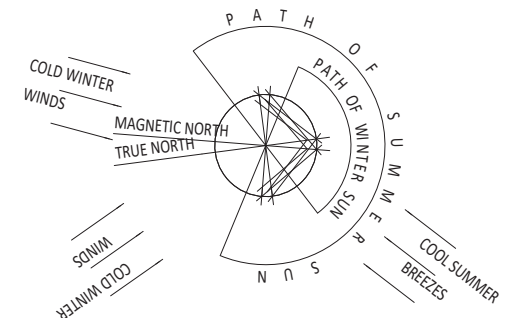
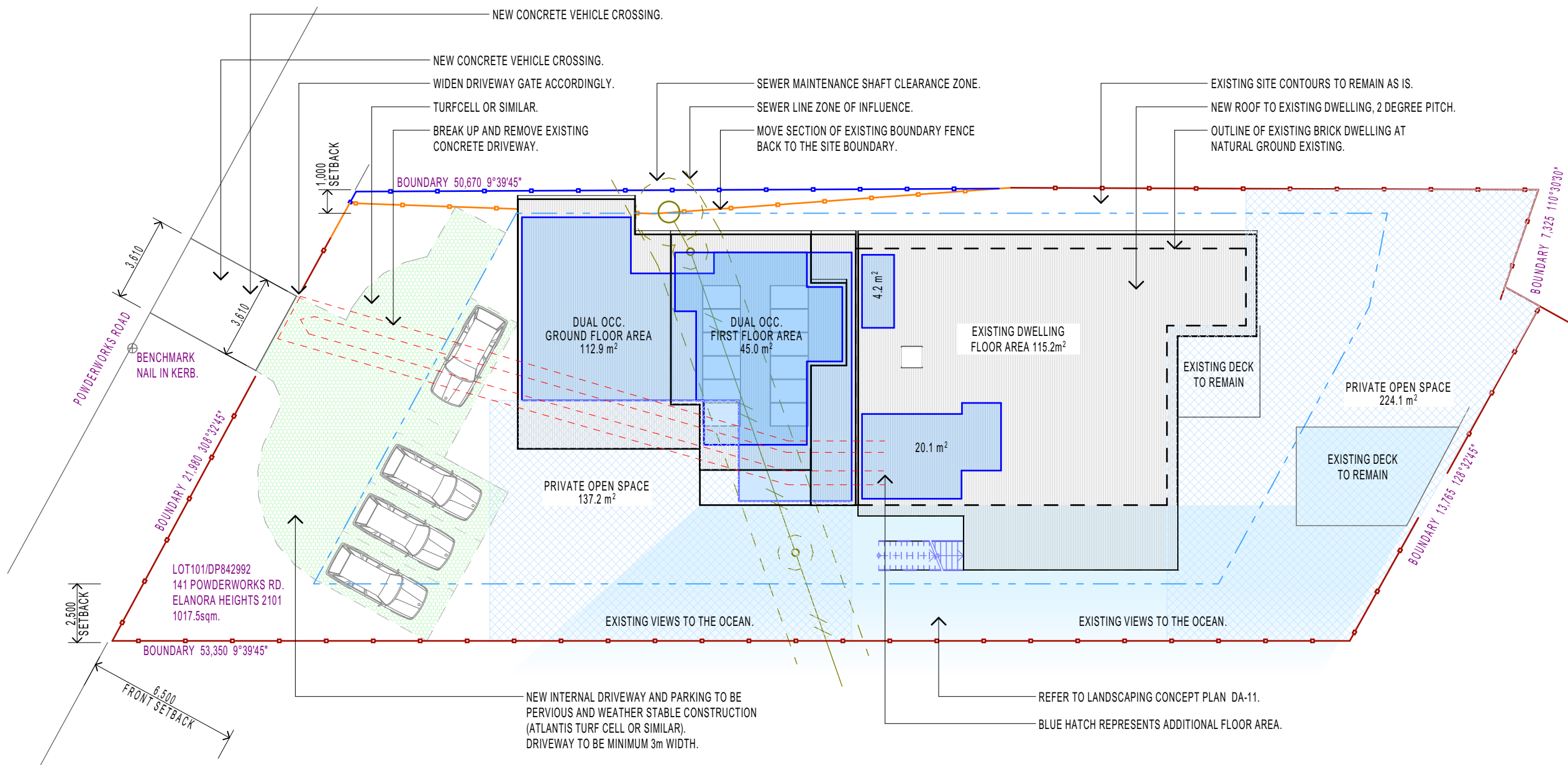
Construction Notes

1. Fabricate a sediment barrier made from geotextile or straw bales.
2. Follow Standard Drawing 6-7 and Standard Drawing 6-8 for installation procedures for the straw bales or geotextile. Reduce the picket spacing to 1 metre centres.
3. In waterways, artificial sag points can be created with sandbags or earth banks as shown in the drawing.
4. Do not cover the inlet with geotextile unless the design is adequate to allow for all waters to bypass it.

GEOTEXTILE INLET FILTER

SD 6-12

SOURCE: Managing Urban Stormwater: Soils and Construction - © New South Wales Government, 2004



P01 SITE PLAN
1:200

LEGEND

- BOUNDARY LINES
- BOUNDARY SETBACKS
- EXISTING BOUNDARY FENCE
- EXISTING BOUNDARY FENCE TO BE DEMOLISHED
- RELOCATED BOUNDARY FENCE
- SEWER LINE
- ADDITIONAL FLOOR SPACE
- PRIVATE OPEN SPACE
- VIEWS
- TURFCELL (OR SIMILAR) DRIVEWAY AND PARKING

SITE ANALYSIS

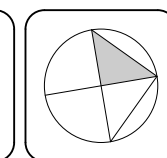
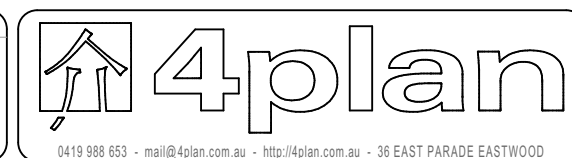
SITE AREA	1017.5sqm
FSR	0.3:1
MAX. GFA	305.25sqm
EXIST. GFA	115.2sqm
PROP. GFA	297.4sqm
REQUIRED P.O.S	160sqm
PROP. P.O.S.	361.3sqm

REFER TO LANDSCAPE PLAN

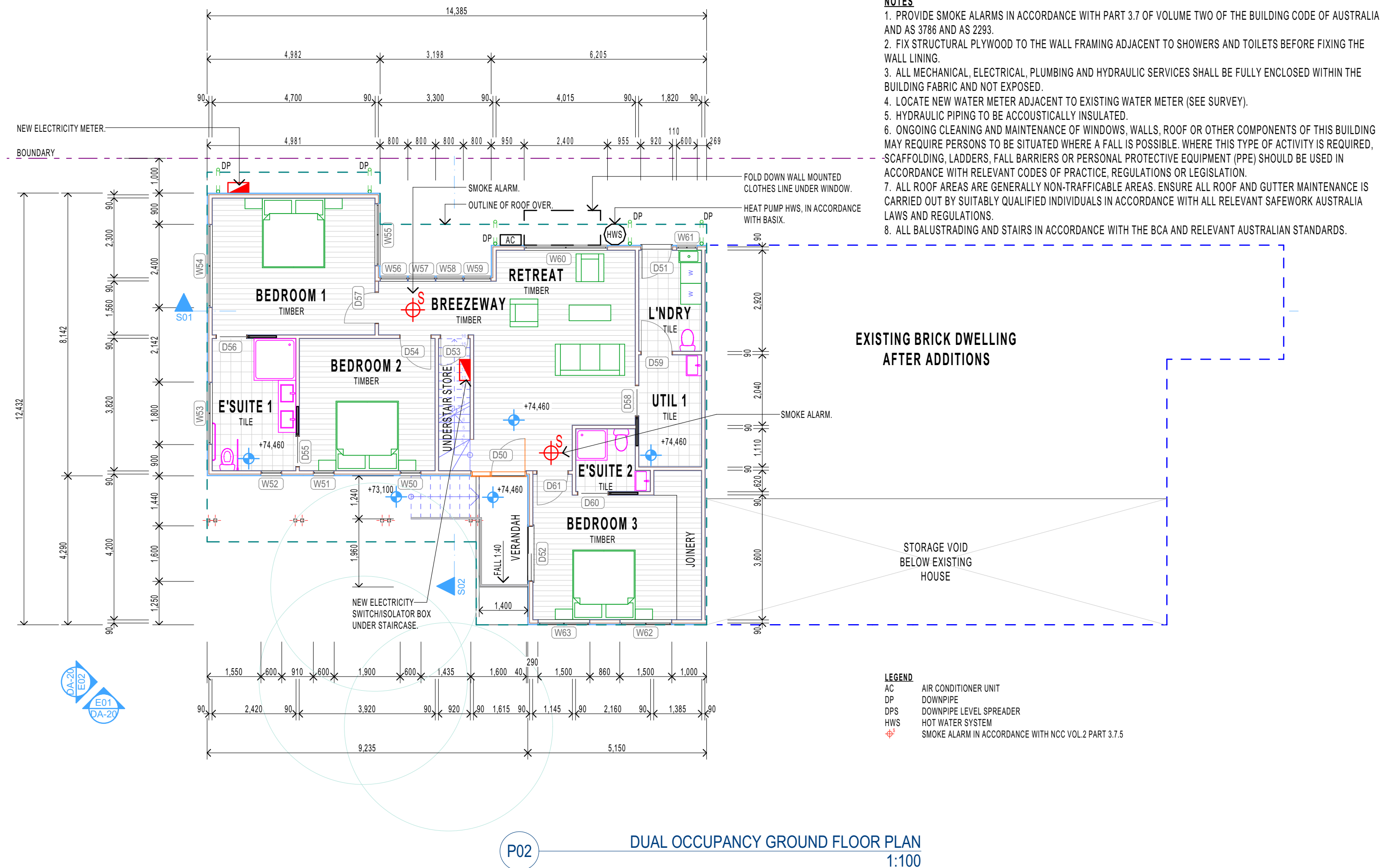
EXISTING LANDSCAPE AREA	709sqm
REQ'D LANDSCAPE AREA (%)	60%
REQ'D LANDSCAPE AREA (sqm)	610.5sqm
PROP. LANDSCAPE AREA (sqm)	615.4sqm
PROP. LANDSCAPE AREA LESS PARKING	564.1sqm



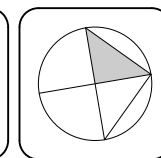
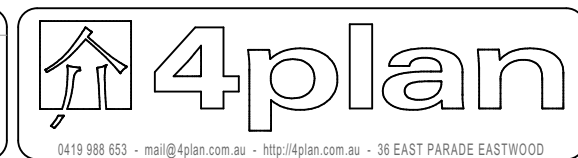
REV.	DESCRIPTION	DATE
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019
A7	REVISED - ADDED ACCESS DRIVEWAY DIMENSIONS	30/12/2019
A8	REVISED - PARKING, VEHICLE CROSSING AND DRIVEWAY GATE CHANGED.	14/03/2020



CLIENT:	MATT & NAOMI NOFFS	DRAWING:	SITE PLAN AND SITE ANALYSIS	DRAWN:	ALM
PROJECT:	NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING			DRAWING ID:	DA-10
SITE:	141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102			REV. STATUS:	APPROVALS
		SCALE:	AS SHOWN @ A3	CREATED:	22nd JUNE 2018
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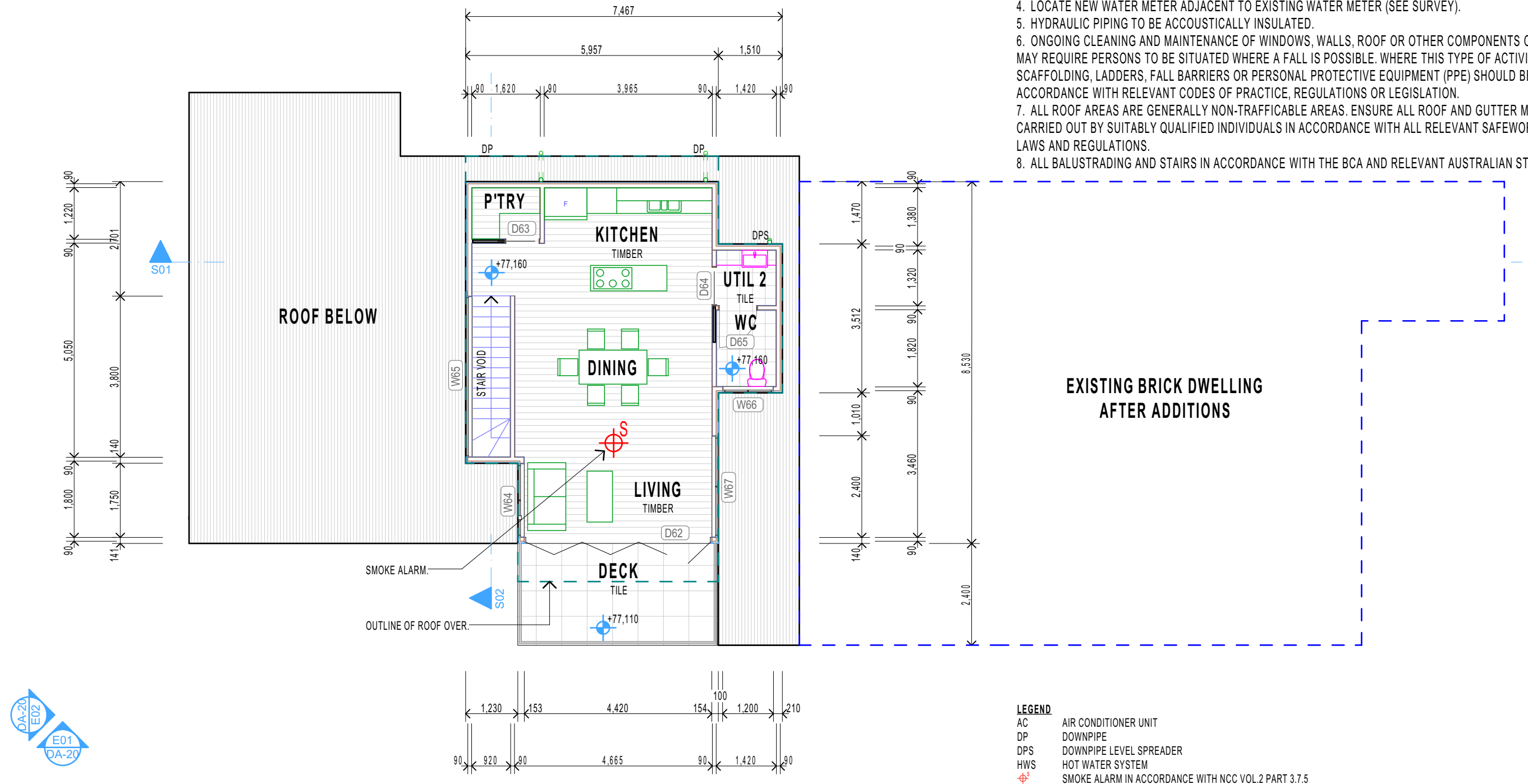
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A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019



CLIENT: MATT & NAOMI NOFFS	DRAWING: FLOOR PLAN - DUAL OCCUPANCY GROUND FLOOR	DRAWN: ALM
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING		DRAWING ID: DA-11
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102	SCALE: AS SHOWN @ A3	REV. STATUS: APPROVALS
		CREATED: 22nd JUNE 2018
		DO NOT SCALE FROM DRAWINGS.

NOTES

1. PROVIDE SMOKE ALARMS IN ACCORDANCE WITH PART 3.7 OF VOLUME TWO OF THE BUILDING CODE OF AUSTRALIA AND AS 3786 AND AS 2293.
2. FIX STRUCTURAL PLYWOOD TO THE WALL FRAMING ADJACENT TO SHOWERS AND TOILETS BEFORE FIXING THE WALL LINING.
3. ALL MECHANICAL, ELECTRICAL, PLUMBING AND HYDRAULIC SERVICES SHALL BE FULLY ENCLOSED WITHIN THE BUILDING FABRIC AND NOT EXPOSED.
4. LOCATE NEW WATER METER ADJACENT TO EXISTING WATER METER (SEE SURVEY).
5. HYDRAULIC PIPING TO BE ACCOUSTICALLY INSULATED.
6. ONGOING CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING MAY REQUIRE PERSONS TO BE SITUATED WHERE A FALL IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS, FALL BARRIERS OR PERSONAL PROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.
7. ALL ROOF AREAS ARE GENERALLY NON-TRAFFICABLE AREAS. ENSURE ALL ROOF AND GUTTER MAINTENANCE IS CARRIED OUT BY SUITABLY QUALIFIED INDIVIDUALS IN ACCORDANCE WITH ALL RELEVANT SAFEWORK AUSTRALIA LAWS AND REGULATIONS.
8. ALL BALUSTRADING AND STAIRS IN ACCORDANCE WITH THE BCA AND RELEVANT AUSTRALIAN STANDARDS.



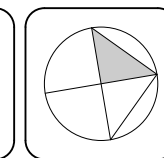
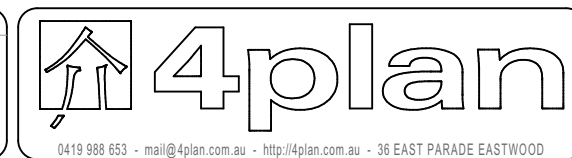
P03

DUAL OCCUPANCY FIRST FLOOR PLAN

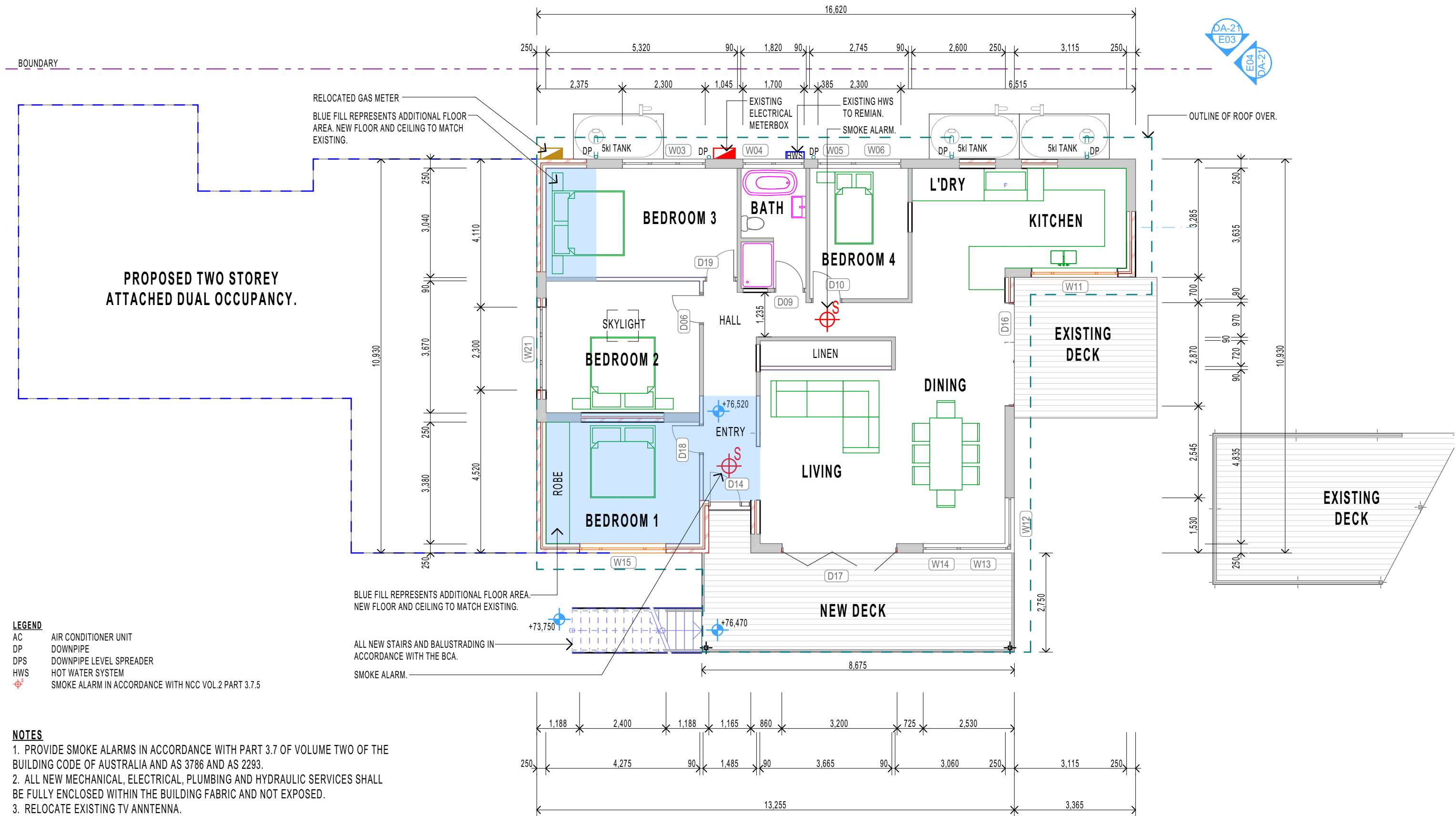
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REV.	DESCRIPTION	DATE
A3	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	02/06/2019
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019



CLIENT: MATT & NAOMI NOFFS	DRAWING: FLOOR PLAN - DUAL OCCUPANCY FIRST FLOOR	DRAWN: ALM
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING		DRAWING ID: DA-12
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102	SCALE: AS SHOWN @ A3	REV. STATUS: APPROVALS
		CREATED: 22nd JUNE 2018
		DO NOT SCALE FROM DRAWINGS.



LEGEND

AC	AIR CONDITIONER UNIT
DP	DOWNPIPE
DPS	DOWNPIPE LEVEL SPREADER
HWS	HOT WATER SYSTEM
	SMOKE ALARM IN ACCORDANCE WITH NCC VOL.2 PART 3.7.5

NOTES

1. PROVIDE SMOKE ALARMS IN ACCORDANCE WITH PART 3.7 OF VOLUME TWO OF THE BUILDING CODE OF AUSTRALIA AND AS 3786 AND AS 2293.
2. ALL NEW MECHANICAL, ELECTRICAL, PLUMBING AND HYDRAULIC SERVICES SHALL BE FULLY ENCLOSED WITHIN THE BUILDING FABRIC AND NOT EXPOSED.
3. RELOCATE EXISTING TV ANTENNA.
4. RELOCATE RELEVANT SPLIT SYSTEM AC HEAD UNITS WHERE REQUIRED.
5. RELOCATE GAS METER.
6. EXISTING WATER METER & ELECTRICAL DISTRIBUTION BOARD (EDB) TO REMAIN.
8. ALL BALUSTRADING AND STAIRS IN ACCORDANCE WITH THE BCA AND RELEVANT AUSTRALIAN STANDARDS.

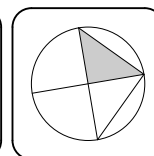
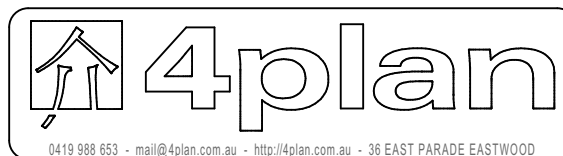
P04

PROPOSED ALTERATIONS TO EXISTING FLOOR PLAN

1:100



REV.	DESCRIPTION	DATE
A3	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	02/06/2019
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019

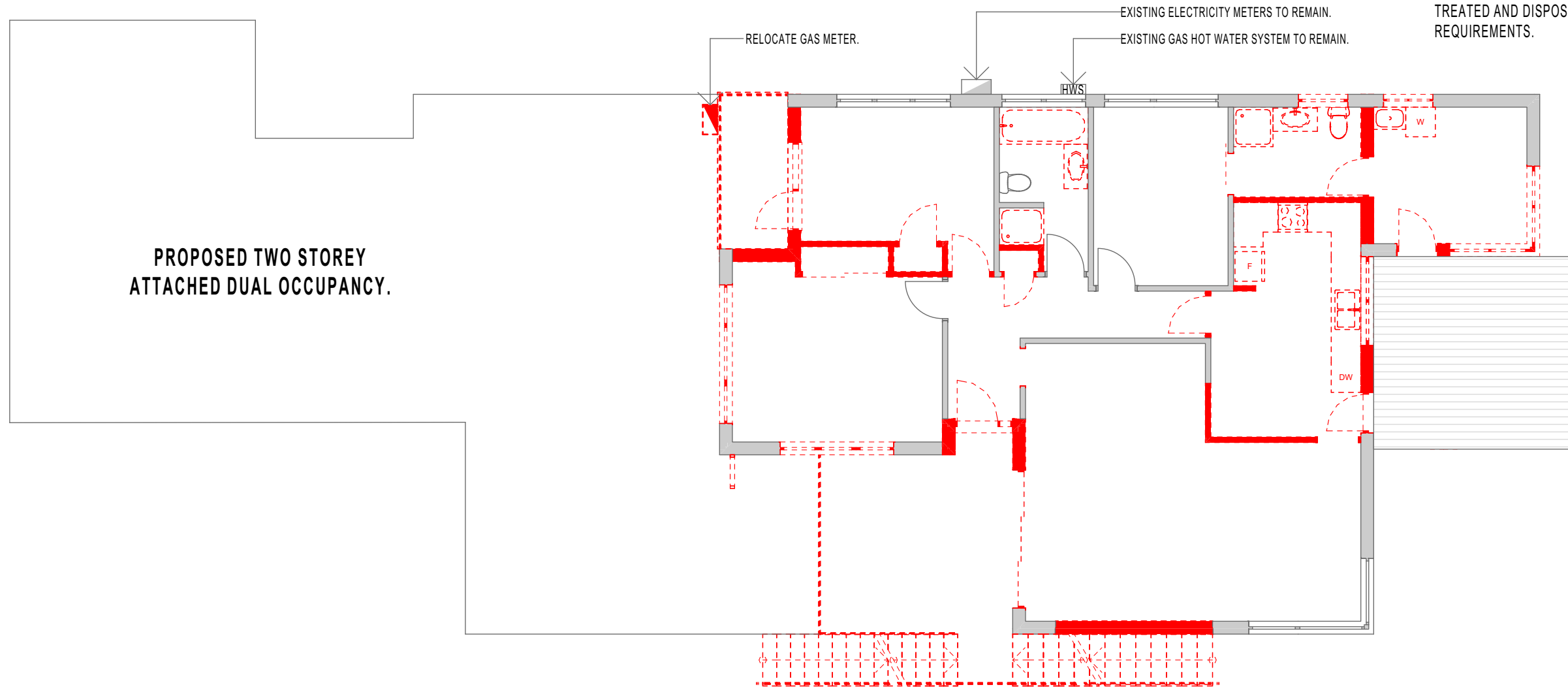


CLIENT: MATT & NAOMI NOFFS
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY
& ADDITIONS TO AN EXISTING BRICK DWELLING
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS
NSW 2102

DRAWING: FLOOR PLAN - PROPOSED ALTERATIONS TO
EXISTING DWELLING

SCALE: AS SHOWN @ A3

DRAWN: ALM
DRAWING ID: DA-13
REV. STATUS: APPROVALS
CREATED: 22nd JUNE 2018
DO NOT SCALE FROM DRAWINGS.



NOTES

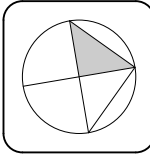
1. DEMOLISH EXISTING STRUCTURES AS SHOWN (RED HATCH). WHERE REQUIRED, ALL DEMOLITION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 2601 AND NSW WORKCOVER REGULATIONS.
2. WHERE REQUIRED, ALL EXISTING SERVICES SHALL BE DISCONNECTED, TERMINATED, CAPPED ETC. IN ACCORDANCE WITH THE SUPPLY AUTHORITIES REQUIREMENTS. ANY BUILDING SERVICES SHALL BE RECONNECTED IN ACCORDANCE WITH THE SUPPLY AUTHORITIES PROCEDURES.
3. IF REQUIRED, ANY ASBESTOS REMOVAL SHALL BE UNDER TAKEN BY APPROPRIATELY QUALIFIED AND LICENSED CONTRACTORS AND ALL MATERIALS TREATED AND DISPOSED OF IN ACCORDANCE WITH NSW WORKCOVER REQUIREMENTS.

P05 DEMOLITION PLAN
1:100



REV.	DESCRIPTION	DATE
A3	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	02/06/2019
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019

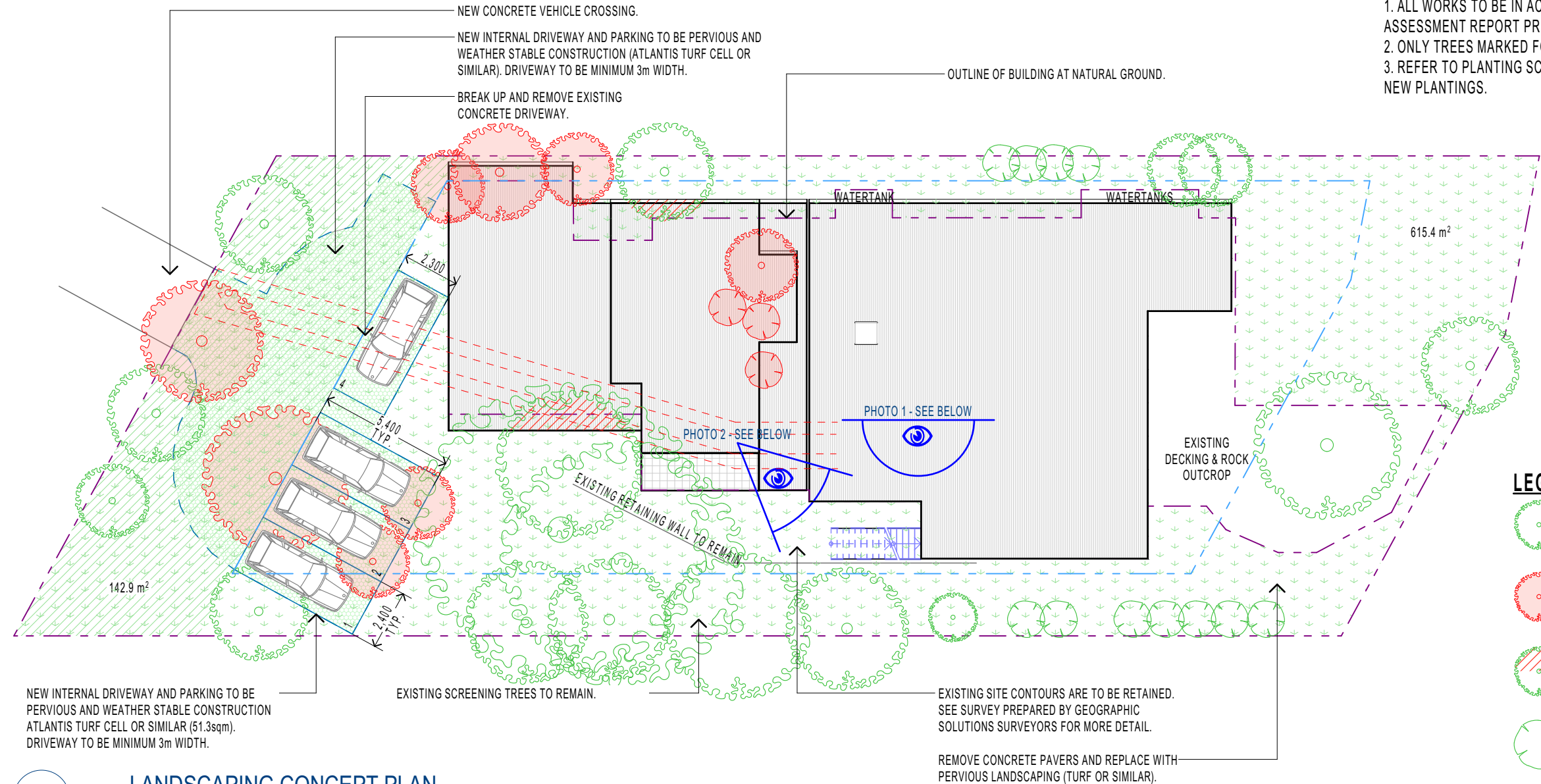
S:\OneDrive\4plan_projects\201_1812 Elanora Heights\drawings\1812 Elanora Heights.pln



CLIENT: MATT & NAOMI NOFFS	DRAWING: DEMOLITION PLAN	DRAWN: ALM
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING		DRAWING ID: DA-15
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102	SCALE: AS SHOWN @ A3	REV. STATUS: APPROVALS
		CREATED: 22nd JUNE 2018
		DO NOT SCALE FROM DRAWINGS.

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NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY COMPLETE ARBORCARE.
2. ONLY TREES MARKED FOR REMOVAL ARE TO BE REMOVED (SEE LEGEND BELOW).
3. REFER TO PLANTING SCHEDULE PREPARED BY WILDER GARDENS CO. FOR LIST OF NEW PLANTINGS.



- LEGEND**
- EXISTING TREE TO BE RETAINED
 - EXISTING TREE TO BE REMOVED
 - AREA OF EXISTING TREE TO BE PRUNED
 - EXISTING SHRUBS TO BE RETAINED
 - EXISTING SHRUBS TO BE REMOVED
 - PERVIOUS GROUND COVER/LAWN 615.4sqm
 - FRONT SETBACK LANDSCAPE AREA 142.9sqm

P08 LANDSCAPING CONCEPT PLAN
1:200



SCREENING - PANORAMIC PHOTO 1 (SEE ABOVE)
EYE LEVEL ABOVE EXISTING PATIO (RL 76.43), EQUIVALENT TO EYE LEVEL ABOVE NEW DECK.



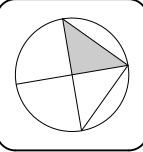
SCREENING - PHOTO 2 (SEE ABOVE)
EYE LEVEL ABOVE EXISTING GROUND.

LANDSCAPE ANALYSIS	
SITE AREA	1017.5sqm
EXISTING LANDSCAPE AREA	709sqm
REQ'D LANDSCAPE AREA (%)	60%
REQ'D LANDSCAPE AREA (sqm)	610.5sqm
PROP. LANDSCAPE AREA (sqm)	615.4sqm
PROP. LANDSCAPE AREA LESS PARKING	564.1sqm
FRONT SETBACK AREA	143sqm
REQ'D FRONT SETBACK LANDSCAPING (%)	60%
REQ'D FRONT SETBACK LANDSCAPE (sqm)	86sqm
PROP. FRONT SETBACK LANDSCAPE (sqm)	143sqm



REV.	DESCRIPTION	DATE
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019
A7	REVISED - ADDED ACCESS DRIVEWAY DIMENSIONS	30/12/2019
A8	REVISED - PARKING, VEHICLE CROSSING AND DRIVEWAY GATE CHANGED.	14/03/2020

S:\OneDrive\4plan_projects\201812 Elanora Heights\drawings\1812 Elanora Heights.pln



CLIENT: MATT & NAOMI NOFFS
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102

DRAWING: LANDSCAPING CONCEPT PLAN
SCALE: AS SHOWN @ A3

DRAWN: ALM
DRAWING ID: DA-16
REV. STATUS: APPROVALS
CREATED: 22nd JUNE 2018
DO NOT SCALE FROM DRAWINGS.

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Wilder Gardens .Co

Landscape Design for* 141 POWDER-
WORKS ROAD, ELANORA HEIGHTS 2101.
Contact / Adam Byrne
0404 413 813 / wildergardensoz@gmail.com
Lic No. 344757C



Backhousia myrtifolia -
Grey myrtle



Leptospermum laevigatum -
Coast Tea-Tree



Syzygium australe -
Lilly pilly



Prostanthera ovalifolia



Actinotus helianthi -
Flannel flower



Eremophila nivea – Emu Bush



Correa alba - White



Westringia fruticosa -
Coastal Rosemary



Grevillea sericea - Pink spider
grevillea



Myoporum parvifolium



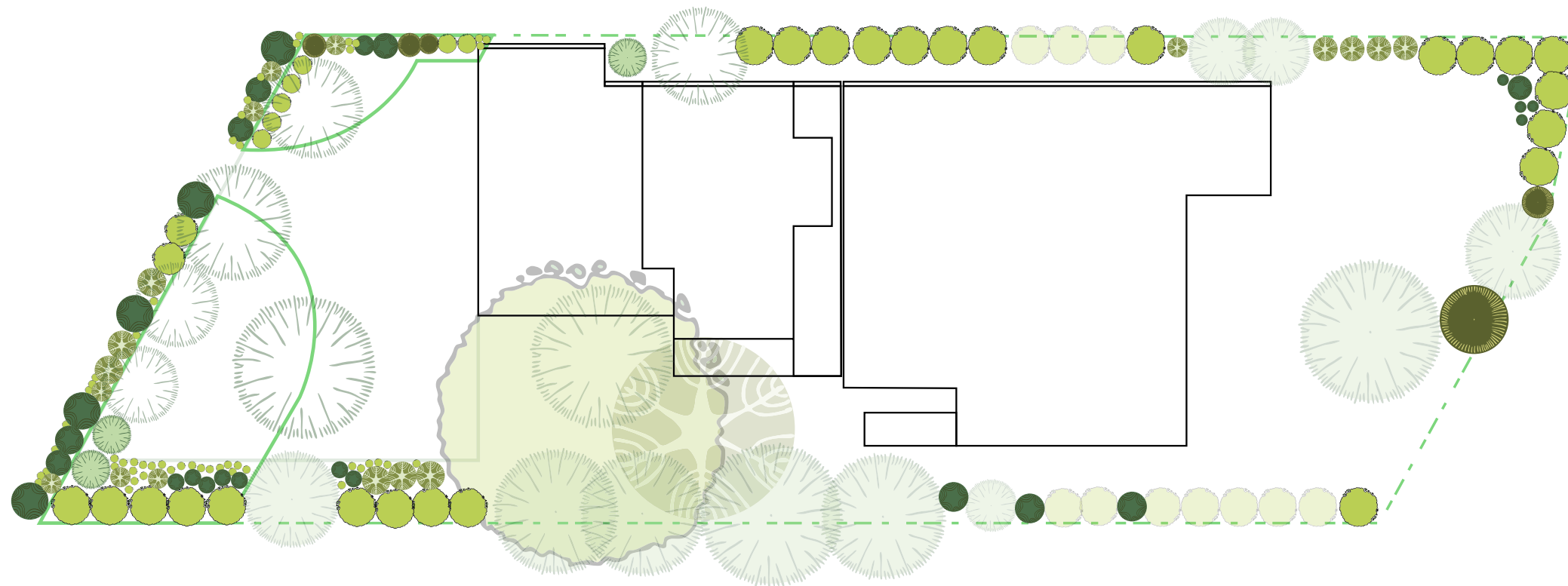
Themeda australis /
Kangaroo Grass



Chryscephalum - Yellow
buttons

01

PLANTINGS



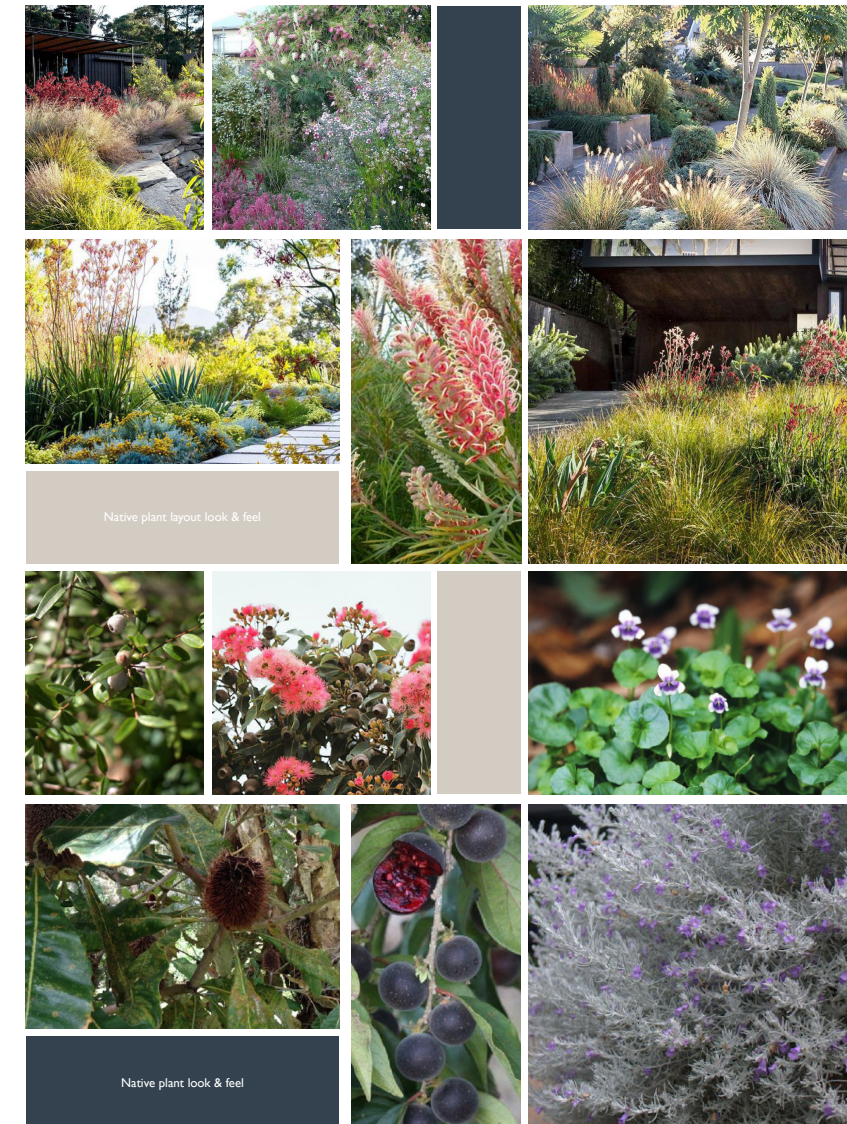
02

PLANTING SCHEDULE NOT TO SCALE



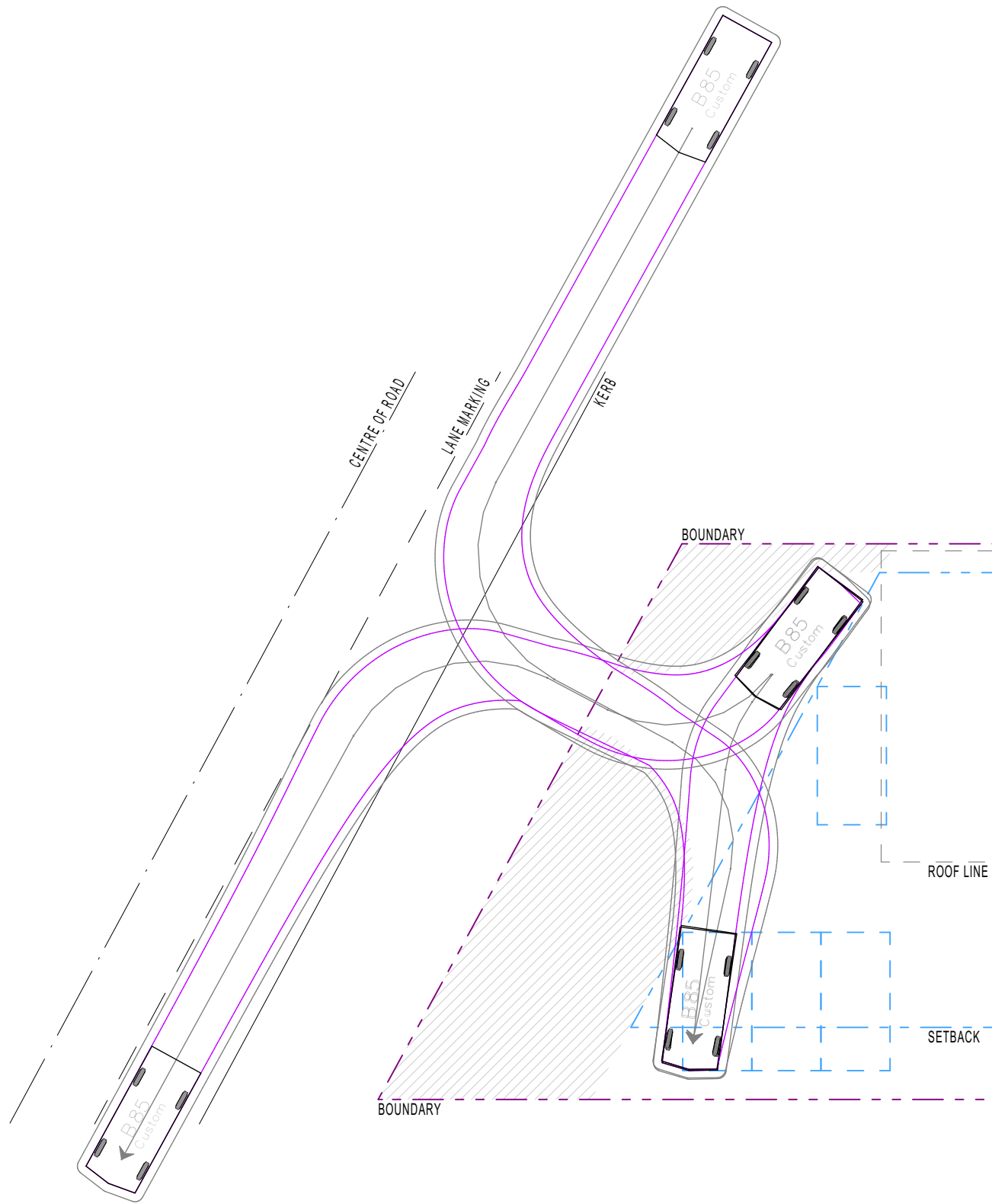
Full Colour = New planting

Faded Colour = Existing

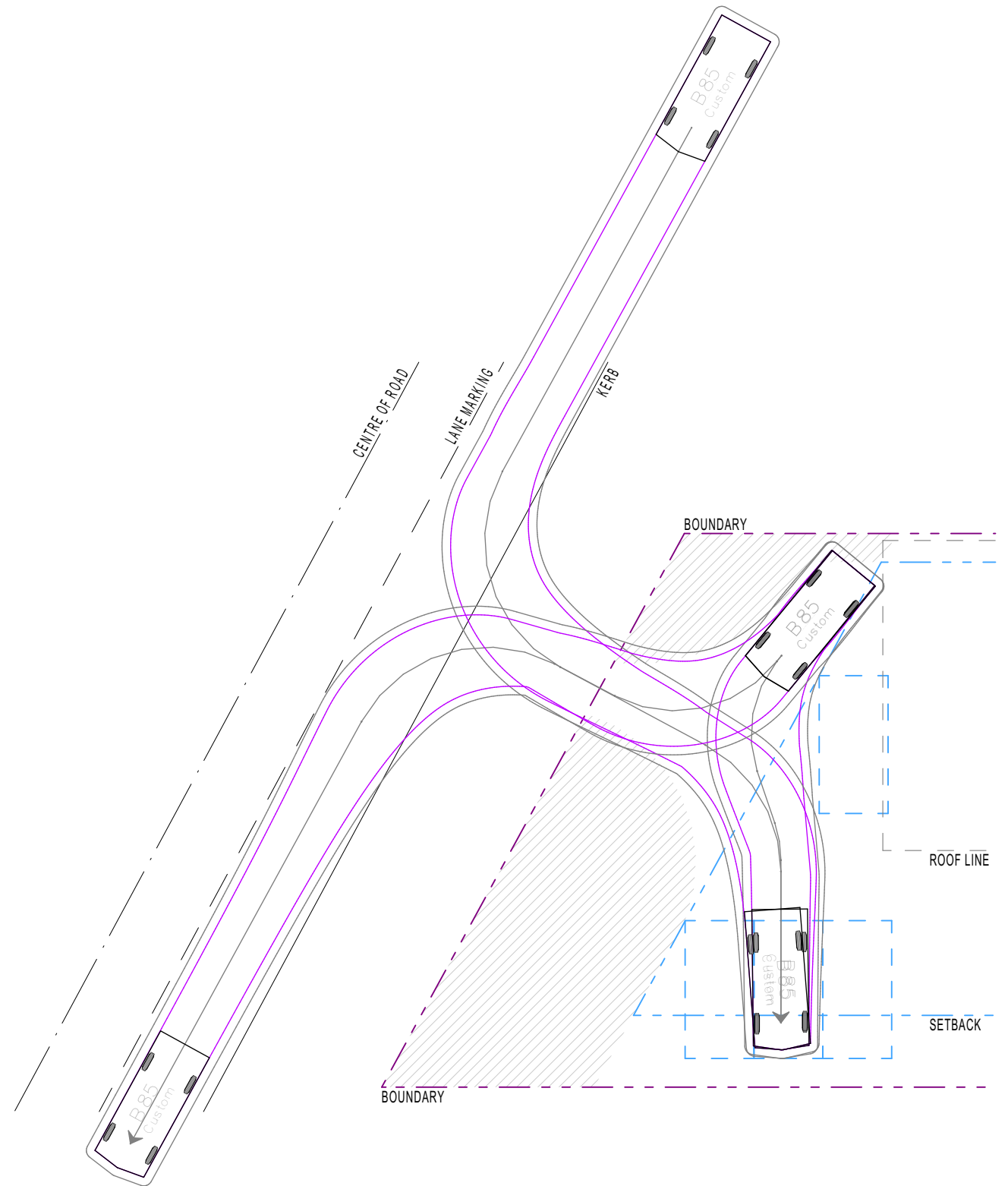


03

PLANTING LOOK & FEEL



T01 TURNING STUDY - CAR 01
1:200



T02 TURNING STUDY - CAR 02
1:200

NOTE
THE B85 VEHICLE TURNING PATHS SHOWN ON THIS DRAWING HAVE BEEN GENERATED USING AutoTURN 10.2, CONFIGURED TO MEET THE REQUIREMENTS OF AUSTRROADS 2013 AS DETAILED IN AUSTRALIAN STANDARD 2890.1-2004.

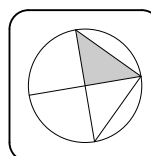


REV.	DESCRIPTION	DATE
A7	REVISED - ADDED CAR PARKING TURNING STUDIES	30/12/2019

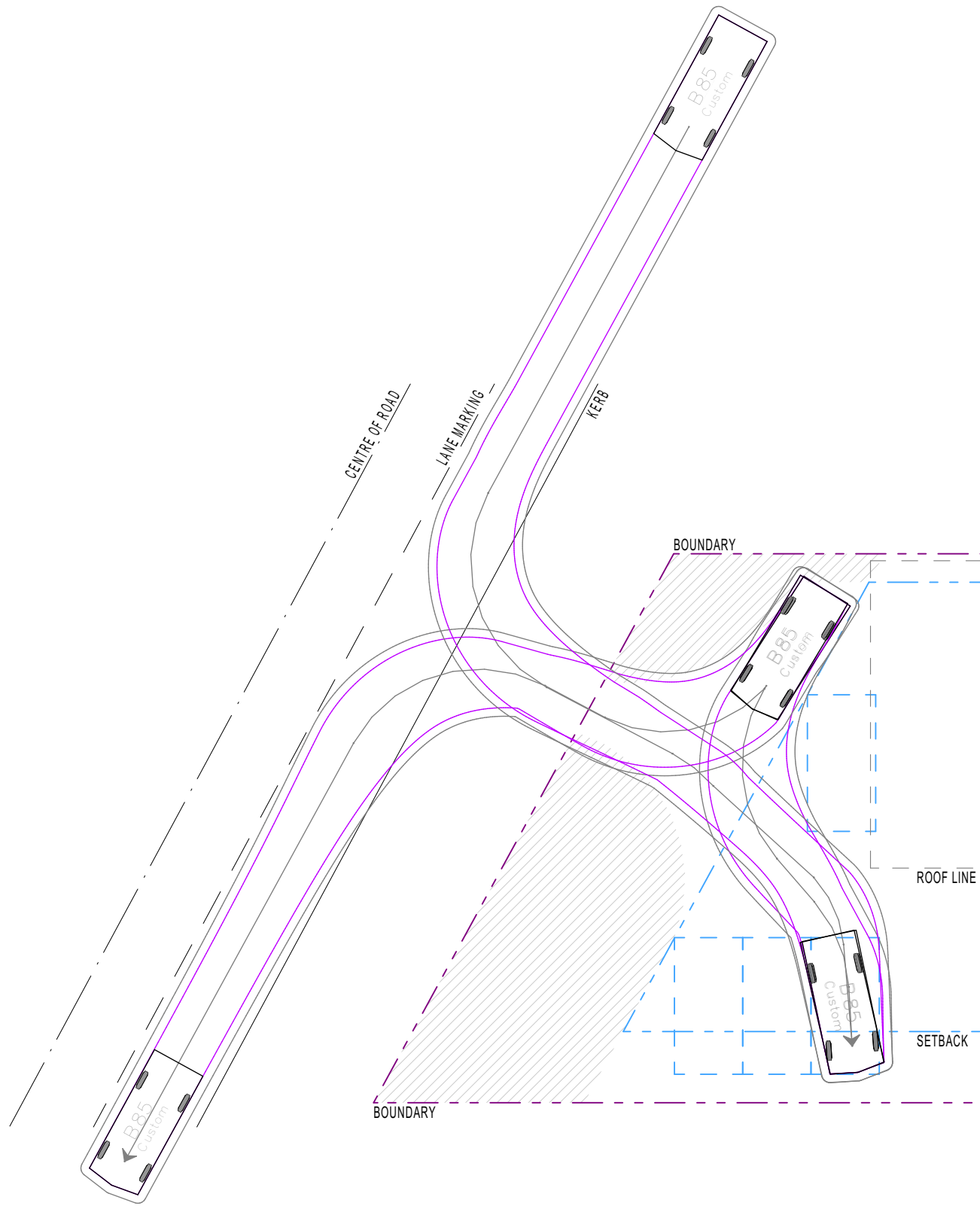


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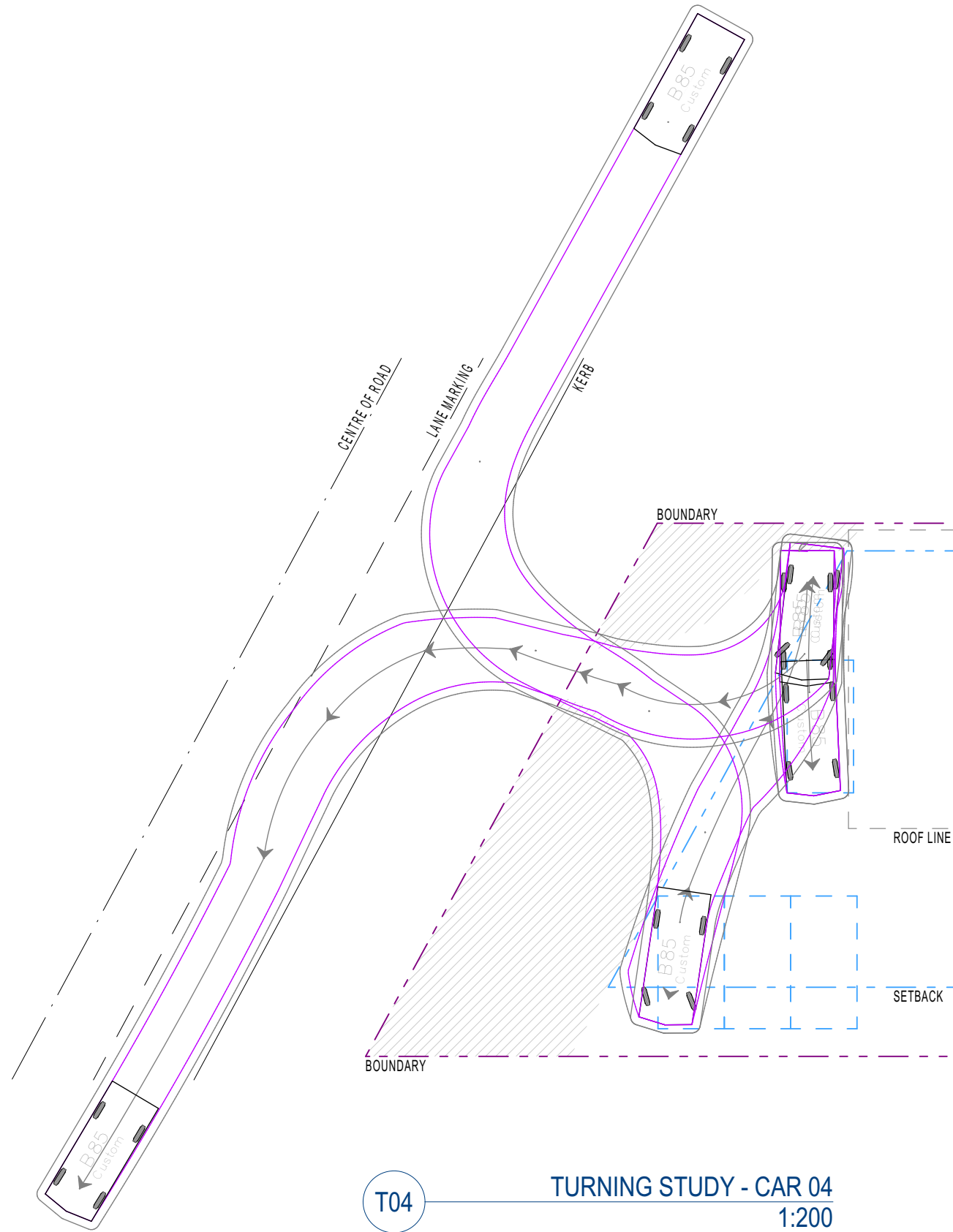
CLIENT: MATT & NAOMI NOFFS	DRAWING: CAR PARKING TURNING STUDIES - SHEET 1	DRAWN: ALM
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING		DRAWING ID: DA-18
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102	SCALE: AS SHOWN @ A3	REV. STATUS: APPROVALS
		CREATED: 22nd JUNE 2018
		DO NOT SCALE FROM DRAWINGS.



T03

TURNING STUDY - CAR 03

1:200



T04

TURNING STUDY - CAR 04

1:200

NOTE
THE B85 VEHICLE TURNING PATHS SHOWN ON THIS DRAWING HAVE BEEN GENERATED USING AutoTURN 10.2, CONFIGURED TO MEET THE REQUIREMENTS OF AUSTRROADS 2013 AS DETAILED IN AUSTRALIAN STANDARD 2890.1-2004.

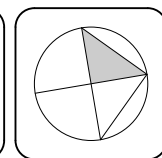


REV.	DESCRIPTION	DATE
A7	REVISED - ADDED CAR PARKING TURNING STUDIES	30/12/2019

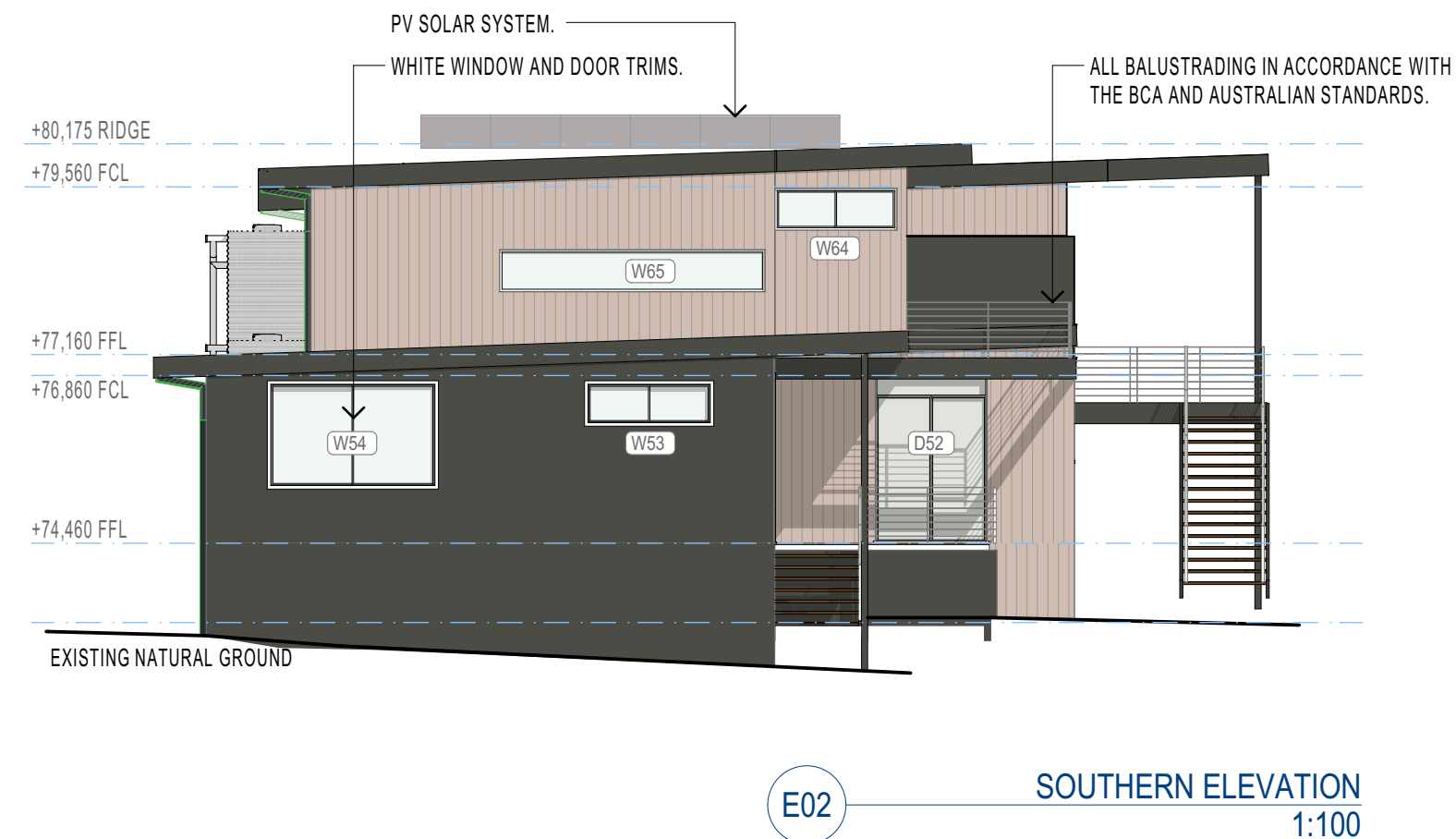
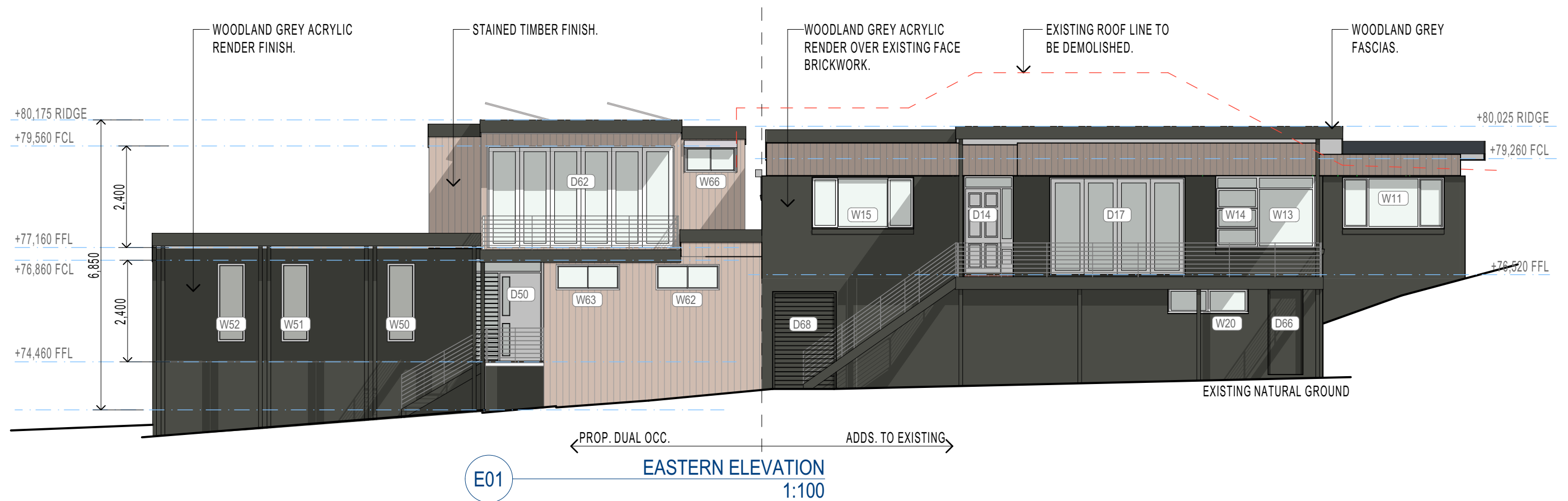


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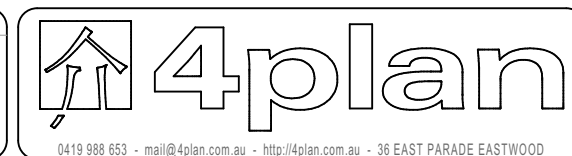
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CLIENT: MATT & NAOMI NOFFS	DRAWING: CAR PARKING TURNING STUDIES - SHEET 2	DRAWN: ALM
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING		DRAWING ID: DA-19
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102	SCALE: AS SHOWN @ A3	REV. STATUS: APPROVALS
		CREATED: 22nd JUNE 2018
		DO NOT SCALE FROM DRAWINGS.



REV.	DESCRIPTION	DATE
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019
A8	REVISED COLOUR SCHEME	21/03/2020

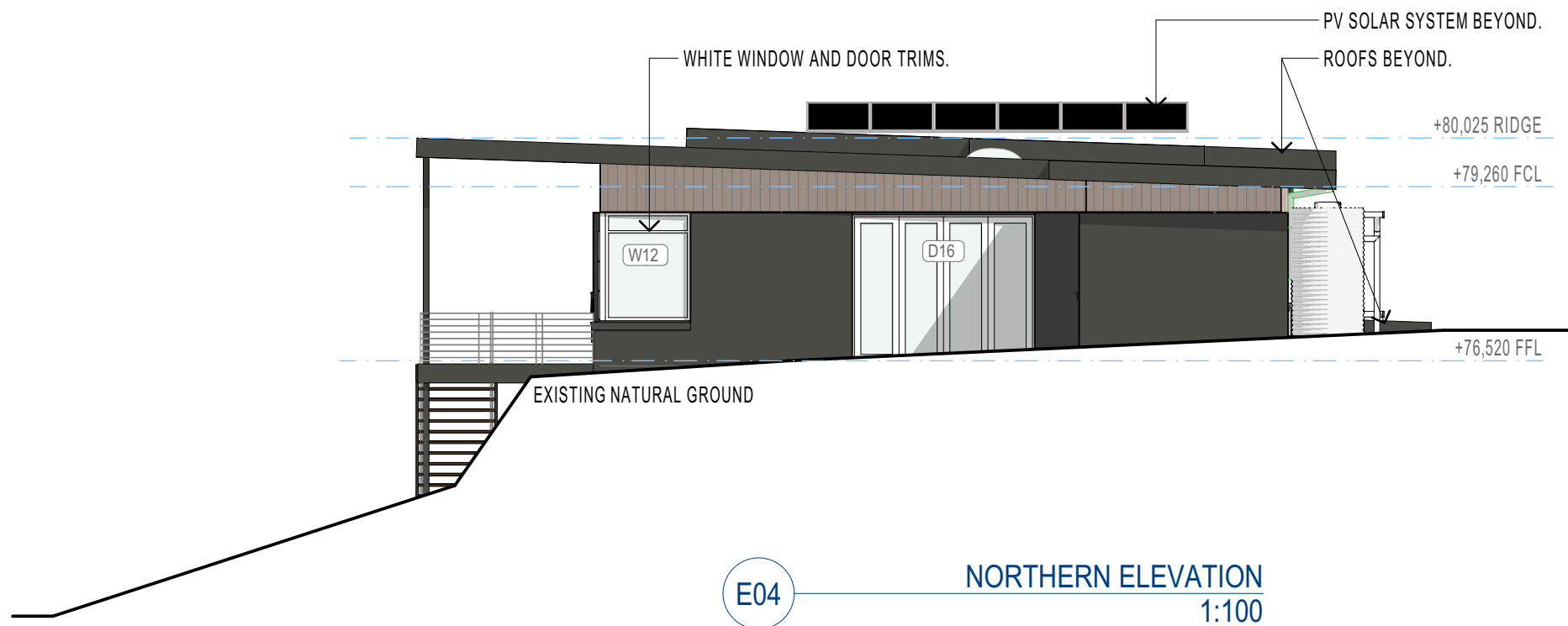
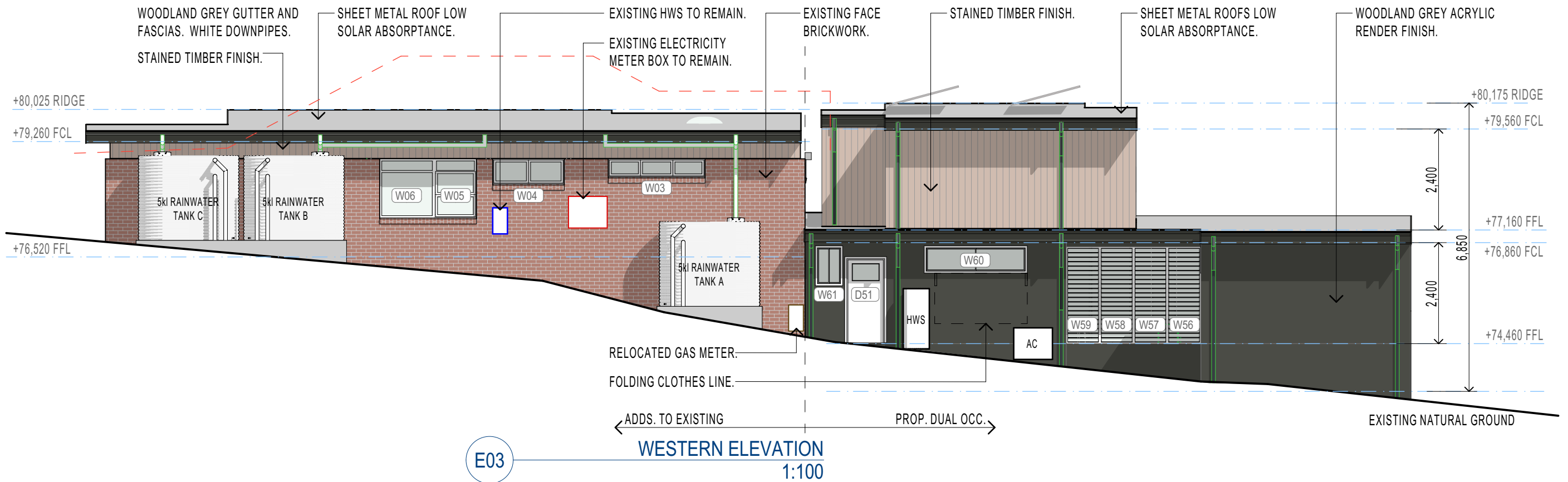


CLIENT: MATT & NAOMI NOFFS
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102

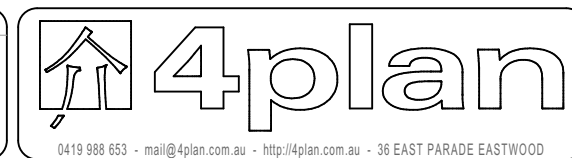
DRAWING: ELEVATIONS

SCALE: AS SHOWN @ A3

DRAWN: ALM
DRAWING ID: DA-20
REV. STATUS: APPROVALS
CREATED: 22nd JUNE 2018
DO NOT SCALE FROM DRAWINGS.



REV.	DESCRIPTION	DATE
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019
A8	REVISED COLOUR SCHEME	21/03/2020

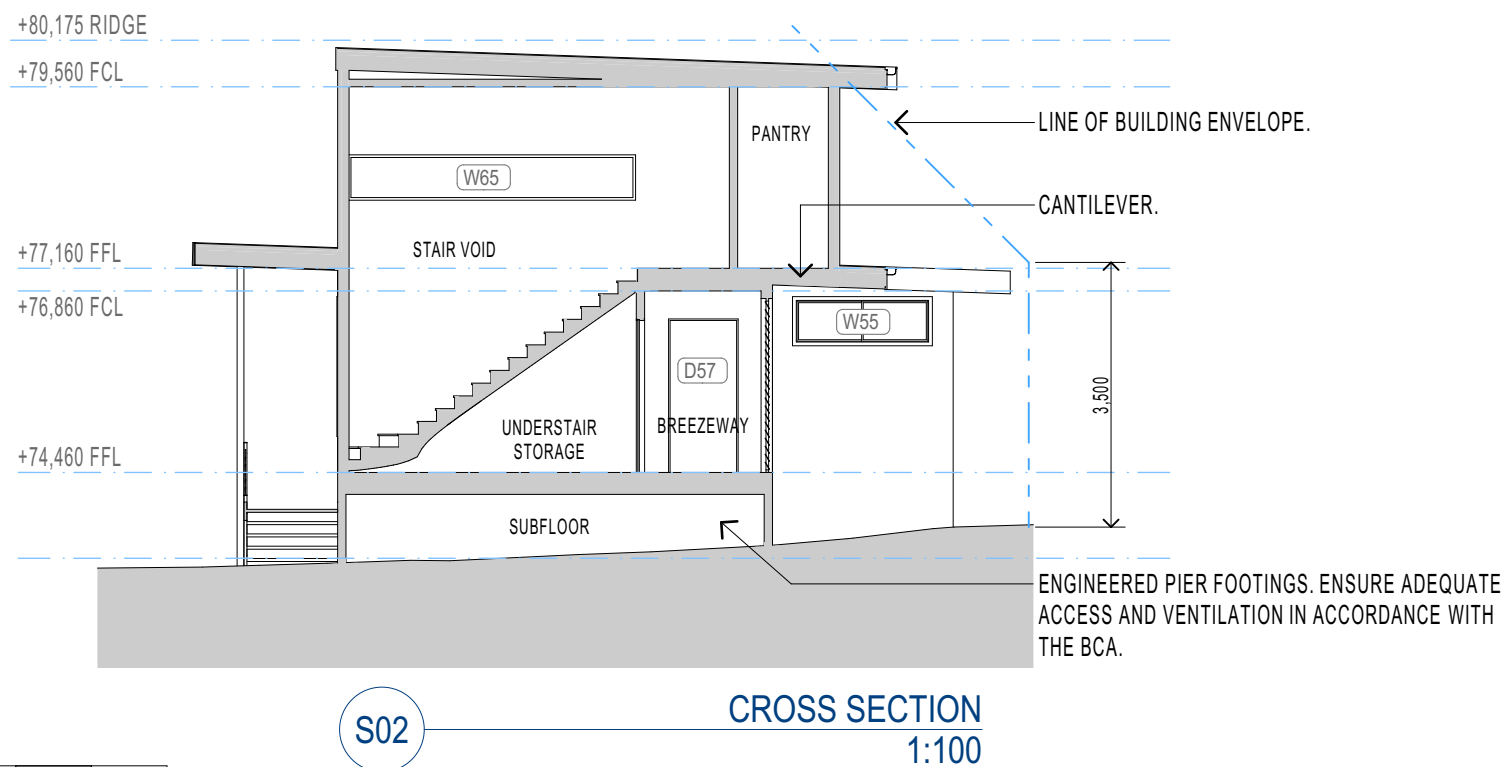
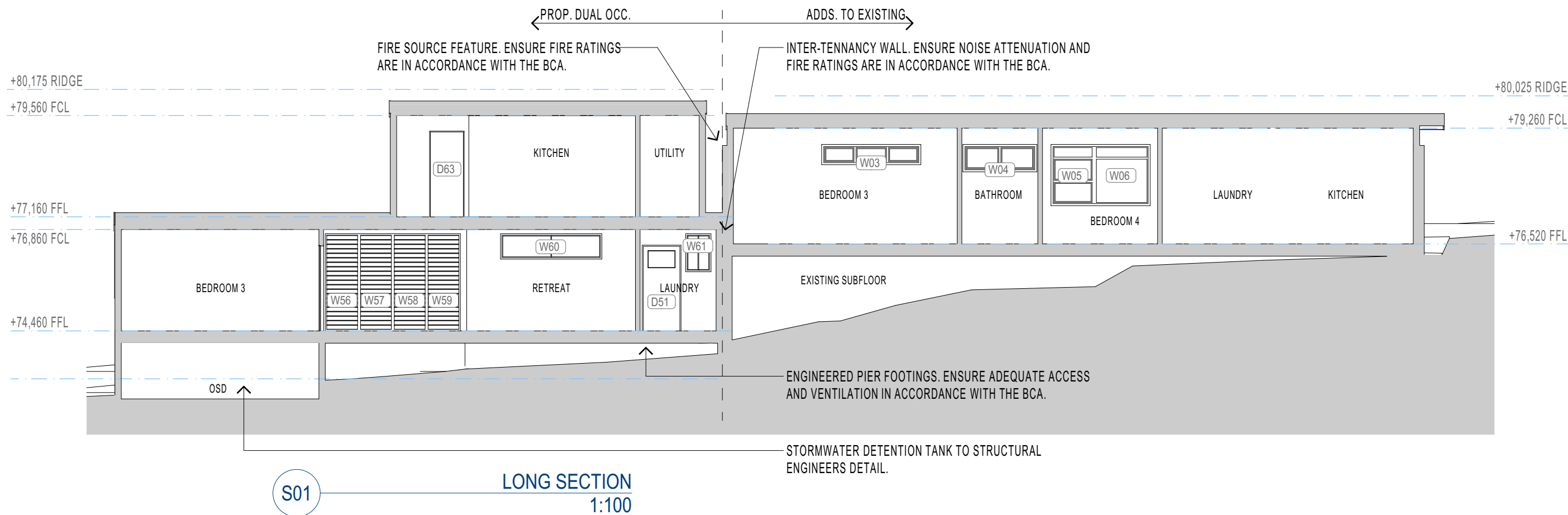


CLIENT: MATT & NAOMI NOFFS
 PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY
 & ADDITIONS TO AN EXISTING BRICK DWELLING
 141 POWDERWORKS ROAD ELANORA HEIGHTS
 NSW 2102

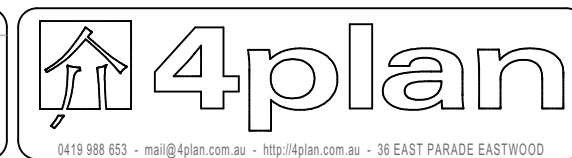
DRAWING: ELEVATIONS

SCALE: AS SHOWN @ A3

DRAWN: ALM
 DRAWING ID: DA-21
 REV. STATUS: APPROVALS
 CREATED: 22nd JUNE 2018
 DO NOT SCALE FROM DRAWINGS.



REV.	DESCRIPTION	DATE
A3	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	02/06/2019
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019

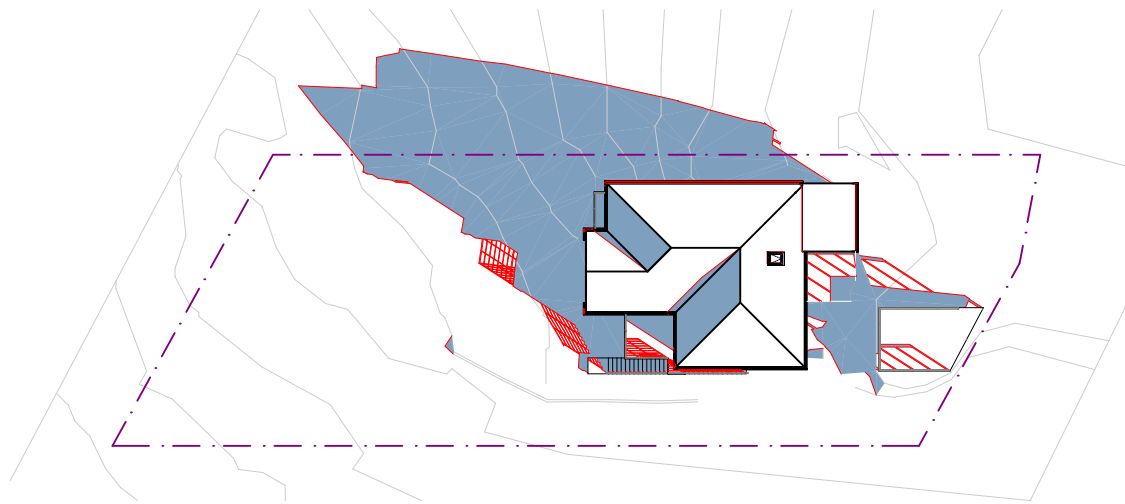


CLIENT: MATT & NAOMI NOFFS
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY
& ADDITIONS TO AN EXISTING BRICK DWELLING
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS
NSW 2102

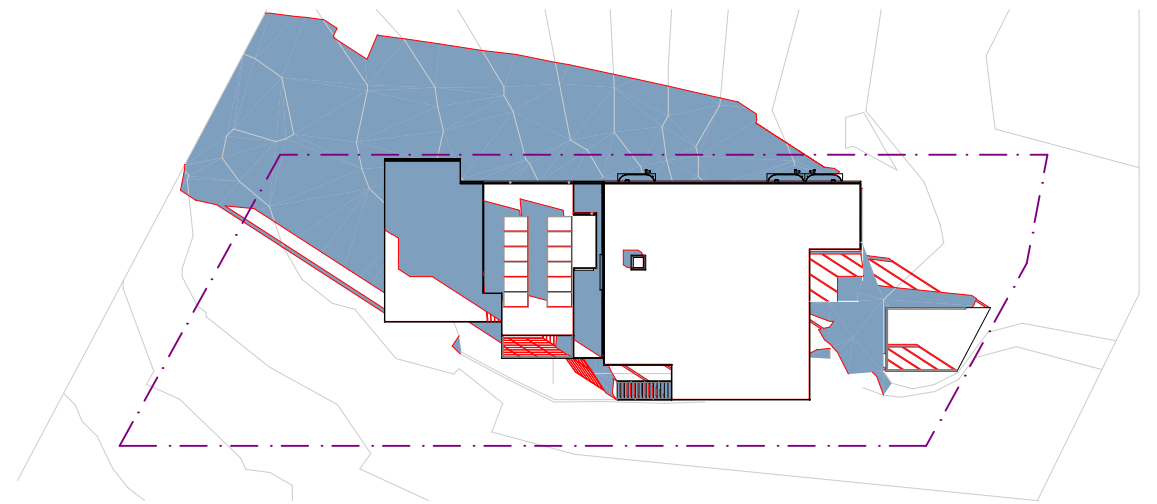
DRAWING: SECTIONS

SCALE: AS SHOWN @ A3

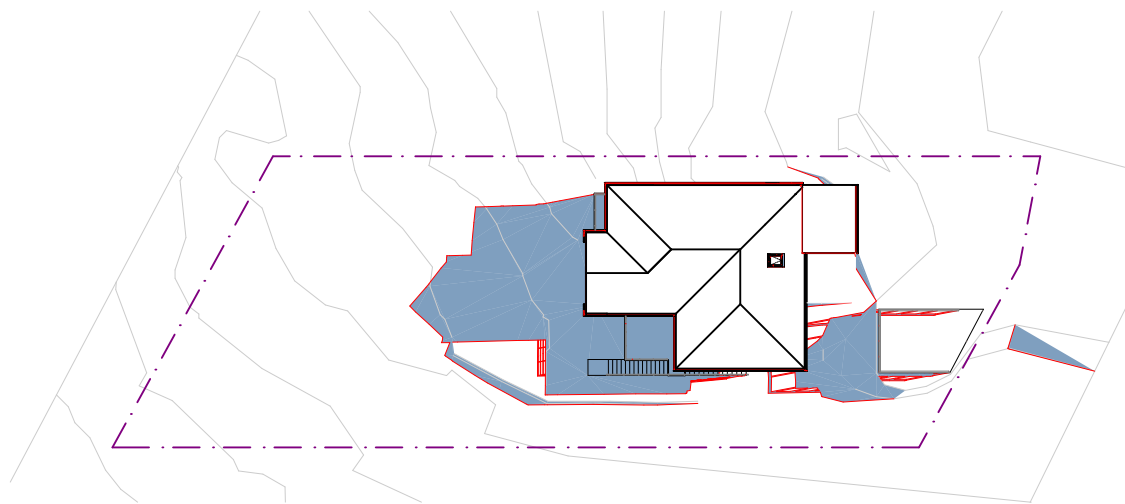
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DRAWING ID: DA-22
REV. STATUS: APPROVALS
CREATED: 22nd JUNE 2018
DO NOT SCALE FROM DRAWINGS.



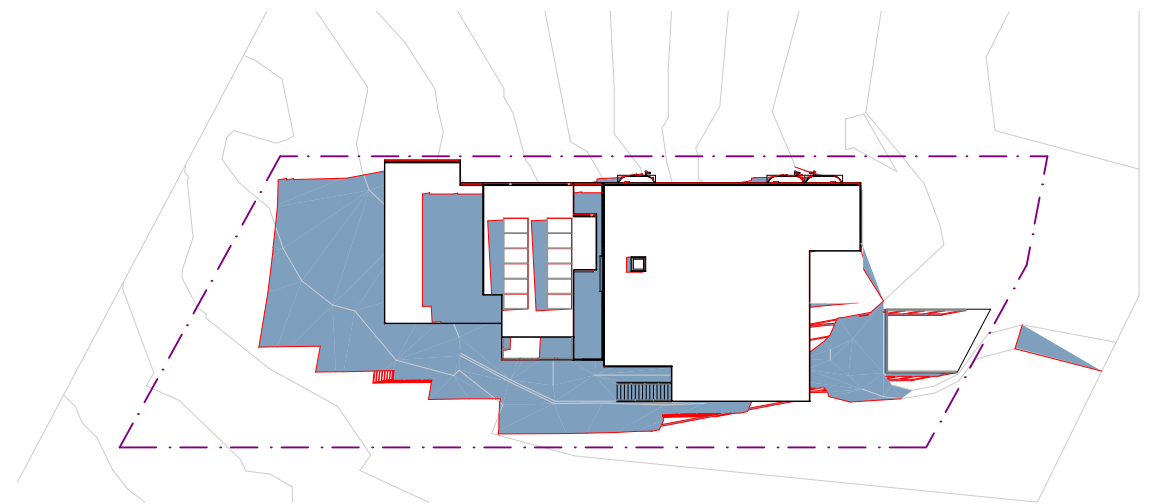
SH01 21 JUN 0900 - EXISTING
1:500



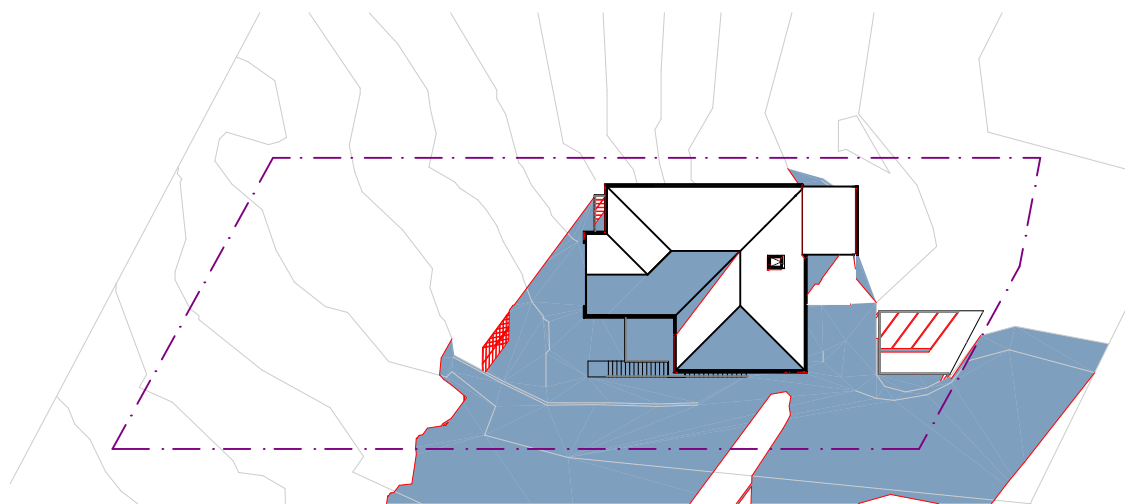
SH04 21 JUN 0900 - PROPOSED
1:500



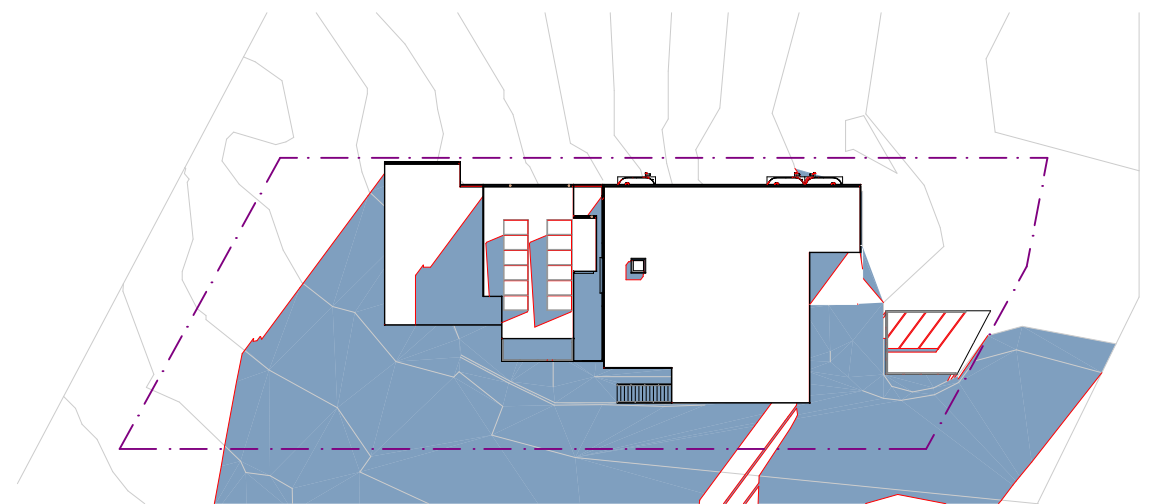
SH02 21 JUN 1200 - EXISTING
1:500



SH05 21 JUN 1200 - PROPOSED
1:500




SH03 21 JUN 1500 - EXISTING
1:500



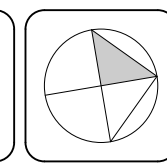
SH06 21 JUN 1500 - PROPOSED
1:500

REV.	DESCRIPTION	DATE
A3	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	02/06/2019
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019



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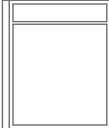
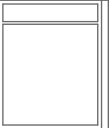



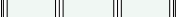

CLIENT: MATT & NAOMI NOFFS
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY
& ADDITIONS TO AN EXISTING BRICK DWELLING
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS
NSW 2102

DRAWING: SHADOW DIAGRAMS













SCALE: AS SHOWN @ A3



DRAWN: ALM
DRAWING ID: DA-23
REV. STATUS: APPROVALS
CREATED: 22nd JUNE 2018
DO NOT SCALE FROM DRAWINGS.

WINDOW SCHEDULE - ALL NEW WINDOWS IN ACCORDANCE WITH BASIX AND AS2047												
ID	W03	W04	W05	W06	W11	W12	W13	W14	W15	W20	W21	W50
RENO STATUS	Existing	Existing	Existing	Existing	New	Existing	Existing	Existing	New	Existing	New	New
DESCRIPTION	AWNING	AWNING	AWNING	FIXED	SLIDING	FIXED	FIXED	AWNING	SLIDING	FIXED	SLIDING	CASEMENT
GLAZING	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE LOW-E	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE LOW-E	SINGLE CLEAR	DBL GLAZE	DBL GLAZE
FRAME	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	METAL	METAL
LOCATION	ALTS. BEDROOM 3	ALTS. BATHROOM	ALTS. BEDROOM 4	ALTS. BEDROOM 4	ALTS. KITCHEN	ALTS. DINING	ALTS. DINING	ALTS. DINING	ALTS. BEDROOM 1	ALTS. UNDERCROFT	ALTS. BEDROOM 2	DUAL OCC. BEDROOM 2
W x H	2,300×430	1,700×600	1,000×1,400	1,300×1,400	2,400×1,200	1,340×1,700	1,340×1,700	1,000×1,700	2,400×1,200	1,900×600	2,300×430	600×1,800
AREA (sqm)	0.99	1.02	1.40	1.82	2.88	2.53	2.53	1.70	2.88	1.14	0.99	1.08
SILL HEIGHT	1,900	1,730	930	930	1,100	630	630	630	1,100	1,740	1,900	500
HEAD HEIGHT	2,330	2,330	2,330	2,330	2,300	2,330	2,330	2,330	2,300	2,340	2,330	2,300
ORIENTATION	W	W	W	W	E	N	E	E	E	E	S	E
EAVES	600mm	600mm	600mm	600mm	450mm	450mm	2750mm	2750mm	450mm	2750mm	0mm	1900mm
OVERSHADOWING	N	N	N	N	N	N	N	N	N	N	N	N
COMMENTS											FIRE SHUTTER FRL -/60/-	

ELEVATION												
-----------	-----------------------------------------------------------------------------------	-----------------------------------------------------------------------------------	-----------------------------------------------------------------------------------	------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------

ID	W51	W52	W53	W54	W55	W56	W57	W58	W59	W60	W61	W62
RENO STATUS	New	New	New	New	New	New	New	New	New	New	New	New
DESCRIPTION	CASEMENT	CASEMENT	SLIDING	SLIDING	SLIDING	LOUVRE	LOUVRE	LOUVRE	LOUVRE	SLIDING	SLIDING	SLIDING
GLAZING	DBL GLAZE	DBL GLAZED	DBL GLAZED	DBL GLAZE	DBL GLAZE	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	DBL GLAZE	SINGLE CLEAR	DBL GLAZE
FRAME	METAL	METAL	METAL	METAL	METAL	METAL	METAL	METAL	METAL	METAL	METAL	METAL
LOCATION	DUAL OCC. BEDROOM 2	DUAL OCC. ESUITE 1	DUAL OCC. ESUITE 1	DUAL OCC. BEDROOM 1	DUAL OCC. BEDROOM 1	DUAL OCC. BREEZEWAY	DUAL OCC. BREEZEWAY	DUAL OCC. BREEZEWAY	DUAL OCC. BREEZEWAY	DUAL OCC. RETREAT	DUAL OCC. LAUNDRY	DUAL OCC. BEDROOM 3
W x H	600×1,800	600×1,800	1,800×600	2,400×1,500	1,800×600	800×2,300	800×2,300	800×2,300	800×2,300	2,400×600	600×900	1,500×600
AREA (sqm)	1.08	1.08	1.08	3.60	1.08	1.84	1.84	1.84	1.84	1.44	0.54	0.90
SILL HEIGHT	500	500	1,700	800	1,700	0	0	0	0	1,700	1,400	1,700
HEAD HEIGHT	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300
ORIENTATION	E	E	S	S	N	W	W	W	W	W	W	E
EAVES	1900mm	1900mm	0mm	0mm	PART	1450mm	1450mm	1450mm	1450mm	600mm	600mm	0mm
OVERSHADOWING	N	N	N	N	N	N	N	N	N	N	N	N
COMMENTS		FROSTED										

ELEVATION												
-----------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------

ID	W63	W64	W65	W66	W67	WS01
RENO STATUS	New	New	New	New	New	New
DESCRIPTION	SLIDING	SLIDING	FIXED	SLIDING	SLIDING	SKYLIGHT
GLAZING	DBL GLAZE	DBL GLAZE	DBL GLAZE	SINGLE CLEAR	DBL GLAZE	DBL GLAZE
FRAME	METAL	METAL	METAL	METAL	METAL	METAL
LOCATION	DUAL OCC. BEDROOM 3	DUAL OCC. LIVING	DUAL OCC. STAIR VOID	DUAL OCC. WC	DUAL OCC. LIVING	ALTS. BEDROOM 2
W x H	1,500×600	1,750×600	3,800×600	1,200×600	2,400×600	---
AREA (sqm)	0.90	1.05	2.28	0.72	1.44	---
SILL HEIGHT	1,700	2,080	1,200	2,080	2,080	---
HEAD HEIGHT	2,300	2,680	1,800	2,680	2,680	---
ORIENTATION	E	S	S	E	N	N/A
EAVES	0mm	0mm	0mm	0mm	0mm	N/A
OVERSHADOWING	N	N	N	N	N	N/A
COMMENTS				FIRE SHUTTER FRL -/60/-		
ELEVATION						

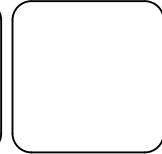
NOTE: WINDOWS TO BE DEMOLISHED DO NOT APPEAR IN SCHEDULE.

REV.	DESCRIPTION	DATE
A3	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	02/06/2019
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019




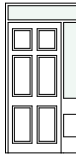
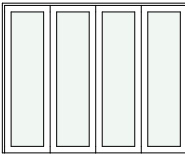
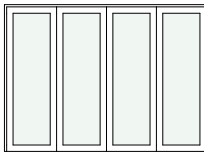

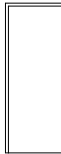
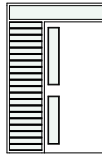











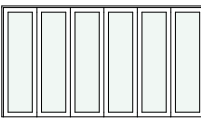
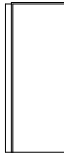



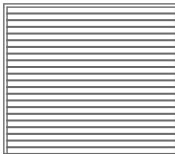



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CLIENT:	MATT & NAOMI NOFFS	DRAWING:	WINDOW SCHEDULE	DRAWN:	ALM
PROJECT:	NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING			DRAWING ID:	DA-30
SITE:	141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102			REV. STATUS:	APPROVALS
		SCALE:	AS SHOWN @ A3	CREATED:	22nd JUNE 2018
					DO NOT SCALE FROM DRAWINGS.

DOOR SCHEDULE - ALL NEW DOORS WITH GLAZING IN ACCORDANCE WITH BASIX AND AS2047												
ID	D06	D09	D10	D14	D16	D17	D18	D19	D50	D51	D52	D53
RENO STATUS	Existing	Existing	Existing	New	New	New	New	New	New	New	New	New
DESCRIPTION	HINGED INTERNAL	HINGED INTERNAL	HINGED INTERNAL	HINGED ENTRY	BIFOLD	BIFOLD	HINGED INTERNAL	HINGED INTERNAL	SOLID HINGE w. HIGH ...	HINGED ENTRY	SINGLE SLIDING	HINGED INTERNAL
GLAZING	NO	NO	NO	SINGLE CLEAR	SINGLE LOW-E	SINGLE LOW-E	NO	NO	SINGLE CLEAR	SINGLE CLEAR	DBL GLAZE	NO
MATERIAL	TIMBER	TIMBER	TIMBER	TIMBER	IMPROVED ALUMINIUM	IMPROVED ALUMINIUM	TIMBER	TIMBER	TIMBER	TIMBER	METAL	TIMBER
LOCATION	ALTS. BEDROOM 2	ALTS. BATHROOM	ALTS. BEDROOM 4	ALTS. ENTRY	ALTS. DINING	ALTS. LIVING	ALTS. BEDROOM 1	ALTS. BEDROOM 3	DUAL OCC. ENTRY	DUAL OCC. LAUNDRY	DUAL OCC. BEDROOM 3	DUAL OCC. UNDERSTA...
W x H	830×2,030	830×2,030	830×2,030	1,165×2,330	2,870×2,300	3,200×2,300	830×2,030	830×2,030	1,600×2,400	920×2,030	1,600×2,400	820×2,030
AREA (sqm)	1.68	1.68	1.68	2.71	6.60	7.36	1.68	1.68	3.84	1.87	3.84	1.66
ORIENTATION	N/A	N/A	N/A	E	N	E	N/A	N/A	E	W	S	N/A
EAVES	N/A	N/A	N/A	3750mm	450mm	2750mm	N/A	N/A	4200mm	600mm	1400mm	N/A
OVERSHADOWING	N/A	N/A	N/A	N	N	N	N/A	N/A	N	N	N	N/A
COMMENTS							TO MATCH EXISTING	TO MATCH EXISTING				
ELEVATION												
ID	D54	D55	D56	D57	D58	D59	D60	D61	D62	D63	D64	D65
RENO STATUS	New	New	New	New	New	New	New	New	New	New	New	New
DESCRIPTION	HINGED INTERNAL	CAVITY SLIDER	CAVITY SLIDER	HINGED INTERNAL	CAVITY SLIDER	HINGED INTERNAL	CAVITY SLIDER	HINGED INTERNAL	BIFOLD	CAVITY SLIDER	CAVITY SLIDER	HINGED INTERNAL
GLAZING	NO	NO	NO	NO	NO	NO	NO	NO	DBL GLAZE	NO	NO	NO
MATERIAL	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	METAL	TIMBER	TIMBER	TIMBER
LOCATION	DUAL OCC. BEDROOM 2	DUAL OCC. ENSUITE 1	DUAL OCC. ENSUITE 1	DUAL OCC. BEDROOM 1	DUAL OCC. UTILITY	DUAL OCC. LAUNDRY	DUAL OCC. ENSUITE 2	DUAL OCC. BEDROOM 3	DUAL OCC. LIVING	DUAL OCC. PANTRY	DUAL OCC. UTILITY 2	DUAL OCC. WC
W x H	920×2,030	900×2,030	900×2,030	920×2,030	900×2,030	920×2,030	900×2,030	920×2,030	4,420×2,400	820×2,030	920×2,030	920×2,030
AREA (sqm)	1.87	1.83	1.83	1.87	1.83	1.87	1.83	1.87	10.61	1.66	1.87	1.87
ORIENTATION	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	E	N/A	N/A	N/A
EAVES	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	900mm	N/A	N/A	N/A
OVERSHADOWING	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N	N/A	N/A	N/A
COMMENTS												
ELEVATION												
ID	D66	D67	D68	NOTE: DOORS TO BE DEMOLISHED DO NOT APPEAR IN SCHEDULE.								
RENO STATUS	Existing	Existing	New									
DESCRIPTION	HINGED ENTRY	ROLLER	ROLLER									
GLAZING	NO	NO	NO									
MATERIAL	TIMBER	METAL	METAL									
LOCATION	ALTS. UNDERCROFT	ALTS. UNDERCROFT	ALTS. UNDERCROFT									
W x H	820×2,040	2,690×2,300	1,500×2,300									
AREA (sqm)	1.67	6.19	3.45									
ORIENTATION	E	N/A	E									
EAVES	N/A	N/A	N/A									
OVERSHADOWING	N/A	N/A	N/A									
COMMENTS												
ELEVATION												

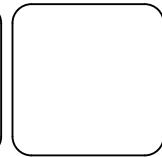
NOTE: DOORS TO BE DEMOLISHED DO NOT APPEAR IN SCHEDULE.

REV.	DESCRIPTION	DATE
A3	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	02/06/2019
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019



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CLIENT:	MATT & NAOMI NOFFS	DRAWING:	DOOR SCHEDULE	DRAWN:	ALM
PROJECT:	NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING			DRAWING ID:	DA-31
SITE:	141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102	SCALE:	AS SHOWN @ A3	REV. STATUS:	APPROVALS
				CREATED:	22nd JUNE 2018
					DO NOT SCALE FROM DRAWINGS.

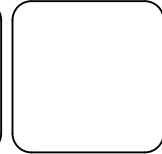


REV.	DESCRIPTION	DATE
A4	FOR APPROVALS ONLY, NOT FOR CONSTRUCTION.	11/06/2019
A5	REVISED PARKING AND STORMWATER.	18/09/2019
A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019
A8	REVISED COLOUR SCHEME.	21/03/2020



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CLIENT: MATT & NAOMI NOFFS	DRAWING: FINISHES AND COLOURS	DRAWN: ALM
PROJECT: NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING		DRAWING ID: DA-32
SITE: 141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102	SCALE: AS SHOWN @ A3	REV. STATUS: APPROVALS
		CREATED: 22nd JUNE 2018
		DO NOT SCALE FROM DRAWINGS.

The following schedule lists the DA requirements of BASIX certificate No. 1003317M_03. All items listed in the BASIX certificate, are to be incorporated into the construction of the residence.

ENERGY	REQUIREMENT
	Hot Water System
	Bathroom ventilation
	Kitchen ventilation
	Laundry ventilation
	Cooling living areas
	Cooling bedrooms
	Heating living areas
	Heating bedrooms
	Natural lighting
	Pool/Spa
	Appliances
	Alternative energy
	Electric heat pump – air sourced, fewer than 15 STCs.
	Individual fan ducted to façade or roof. Manually switched.
	Individual fan ducted to façade or roof. Manually switched.
	Individual fan ducted to façade or roof. Manually switched.
	Ceiling fans and single-phase air-conditioning (1 star zoned).
	Ceiling fans and single-phase air-conditioning (1 star zoned).
	Single-phase air-conditioning (1 star zoned).
	Single-phase air-conditioning (1 star zoned).
	2 Bathrooms.
	No.
	Electric cooktop & electric oven.
	Private clothes drying line.
	1.6kW photovoltaic system.

The following schedule lists the DA requirements of BASIX certificate No. A323325_06. All items listed in the BASIX certificate, are to be incorporated into the construction of the residence.

GLAZING		REQUIREMENT			
Windows & Glazed Doors		Windows, glazed doors and shading devices must be installed in accordance with the specification listed in BASIX certificate No. A323325.			
Tag	Orientation	Area (sqm)	Overshadow height x distance (m)	Shading Device	Frame & Glass
W15	E	2.8	nil	Eaves ≥ 450mm	Timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
D14	E	0.5	nil	Eaves ≥ 900mm	Timber or uPVC, single clear (U-value: 5.71, SHGC: 0.66)
D16	N	6.6	nil	Eaves ≥ 450mm	Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D17	E	7.3	nil	Eaves ≥ 900mm	Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W21	S	1.0	nil	none	Standard aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)
W11	E	2.9	nil	Eaves ≥ 450mm	Timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
Skylights		Skylights must be installed in accordance with the specification listed in BASIX certificate No. A323325.			
Tag	Area (sqm)	Shading Device		Frame & Glass	
WS01	0.77	No shading device		Aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)	

Nationwide House Energy Rating Scheme — Multiple-dwelling summary					
Certificate number:	0003717640	Certificate Date:	25 Mar 2019	Average Star rating: 5.3	
Assessor details					
Accreditation number:	VIC/BDAV161742				
Name:	Joseph Lorrman				
Organisation:	Evergreen Energy Consultants Pty Ltd				
Email:	enquiries@evergreeneec.com.au				
Phone:	02 4975 5350				
Declaration of interest:	The Assessor has provided design advice to the Applicant				
Software:	BERS Pro v4.3.0.2d (3.13)				
AAO:	BDAV				
Dwelling details					
Street:	141 Powderworks Road				
Suburb:	Elanora Heights				
State:	NSW				
Postcode:	2101				
Scan to access this certificate online and confirm this is valid.					
Summary of all dwellings					
Certificate Details					
Certificate number	Dwelling/Unit number	Heating load	Cooling load	Total load	Star Rating
0003717634		37.2	24.7	61.9	5.3

The rating listed above is the average of all dwellings in this summary

For more information on your dwelling's rating see
www.nathers.gov.au

* Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments.

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A6	REVISED BASIX - CHANGE HWS & INCLUDE PV SYSTEM.	23/09/2019



CLIENT:	MATT & NAOMI NOFFS	DRAWING:	BASIX DA REQUIREMENTS	DRAWN:	ALM
PROJECT:	NEW ATTACHED TWO STOREY DUAL OCCUPANCY & ADDITIONS TO AN EXISTING BRICK DWELLING			DRAWING ID:	DA-33
SITE:	141 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2102	SCALE:	AS SHOWN @ A3	REV. STATUS:	APPROVALS
				CREATED:	22nd JUNE 2018
					DO NOT SCALE FROM DRAWINGS.

