



Northern beaches designs

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IPSCWITZ RESIDENCE

Site - 3 Arrabri Place, Warriewood.  
Alterations & additions, new carport & pool

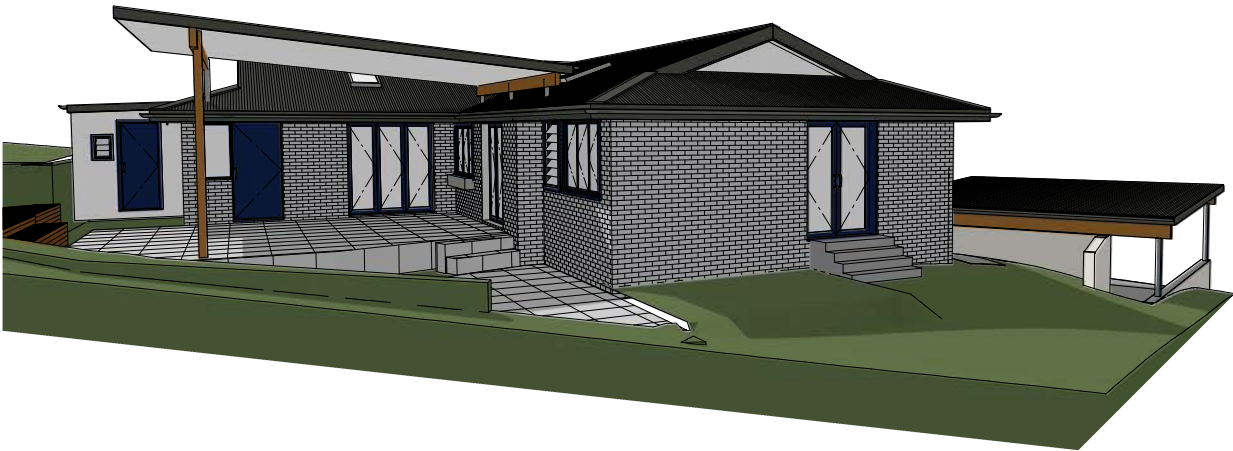
ARCHITECTURAL 3D'S FOR ILLUSTRATION ONLY

MATERIAL SCHEDULE

ROOF COLORBOND -  
MONUMENT OR SIMILAR

WINDOW & DOOR FRAMES -  
MONUMENT OR SIMILAR

RETAINING WALL - RENDERED &  
PAINTED WHITE OR SIMILAR

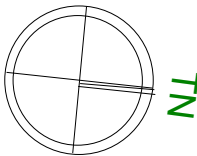


Revision	Date
COUNCIL UPDATE	29.11.23
COUNCIL UPDATE - LOS	9.01.24
COUNCIL UPDATE - LOS -REV A	18.01.24

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Project: 3 Arrabri Place, Warriewood.  
Alterations & additions, new carport & pool  
  
Lot 42, DP 228171, Site Area 984.8m2  
  
Client: IPSCWITZ  
  
Drawing:  
Cover Page - Materials & Finishes



Drawn / Designed: MW  
  
Project no:  
  
Drawing No: DA1

Date: 18.1.24  
Scale: N.T.S  
Issue: REV A

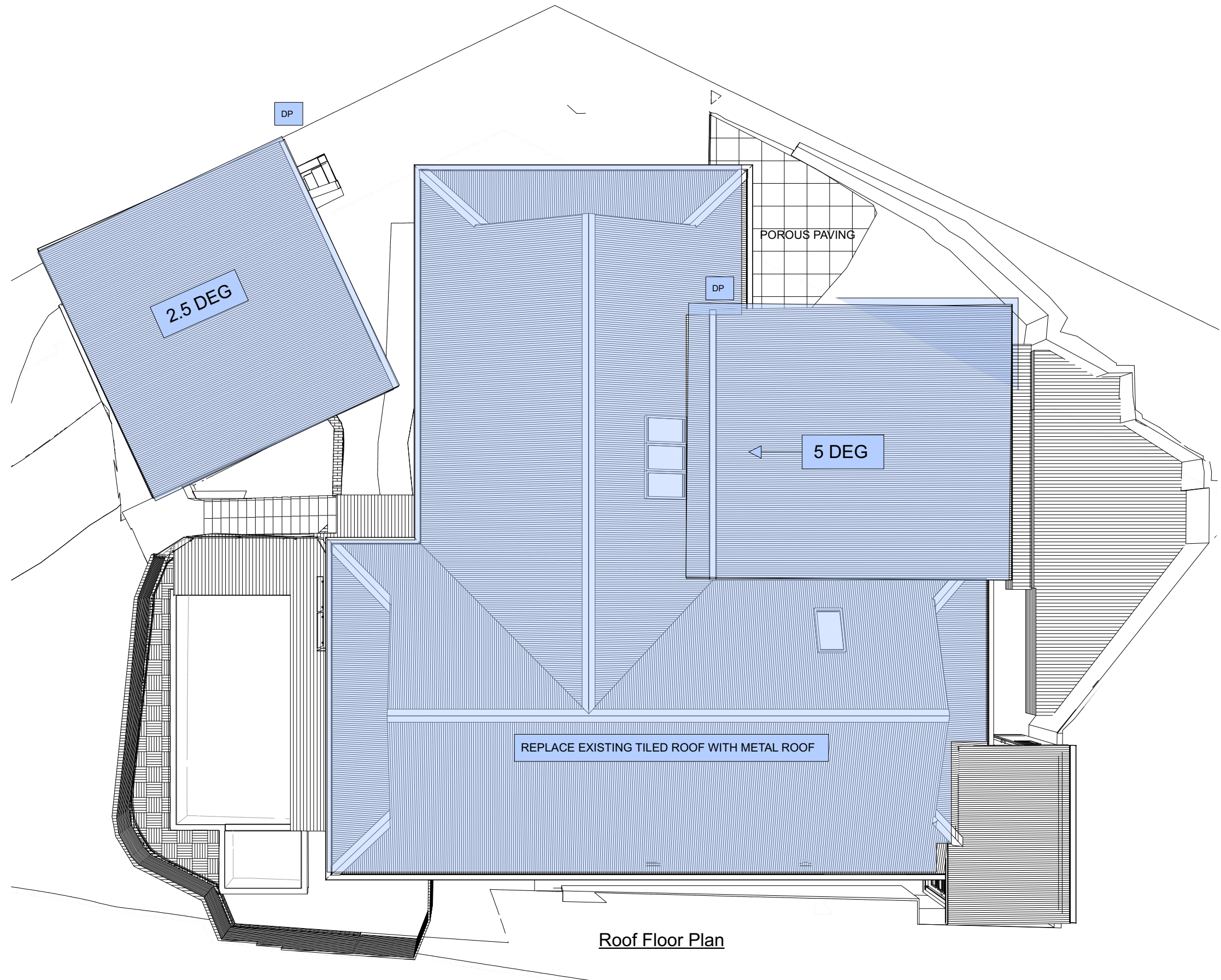














Revision	Date
COUNCIL UPDATE	29.11.23
COUNCIL UPDATE - LOS	9.01.24
COUNCIL UPDATE - LOS -REV A	18.01.24

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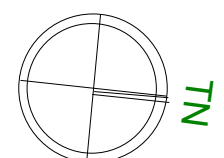
**ACCREDITED**  
BUILDING DESIGNER



WWW: [northernbd.com.au](http://northernbd.com.au), E: [info@northernbd.com.au](mailto:info@northernbd.com.au)  
 M: 0432 125 244. Accreditation no. bdaa 6369  
 Builder Lic no 62547C. ABN 47 121 229 166.

Project: 3 Arrabri Place, Warriewood.  
 Alterations & additions, new carport & pool  
 Lot 42, DP 228171, Site Area 984.8m2  
 Client: IPSCWITZ

**Drawing:**  
**Roof Floor Plan**

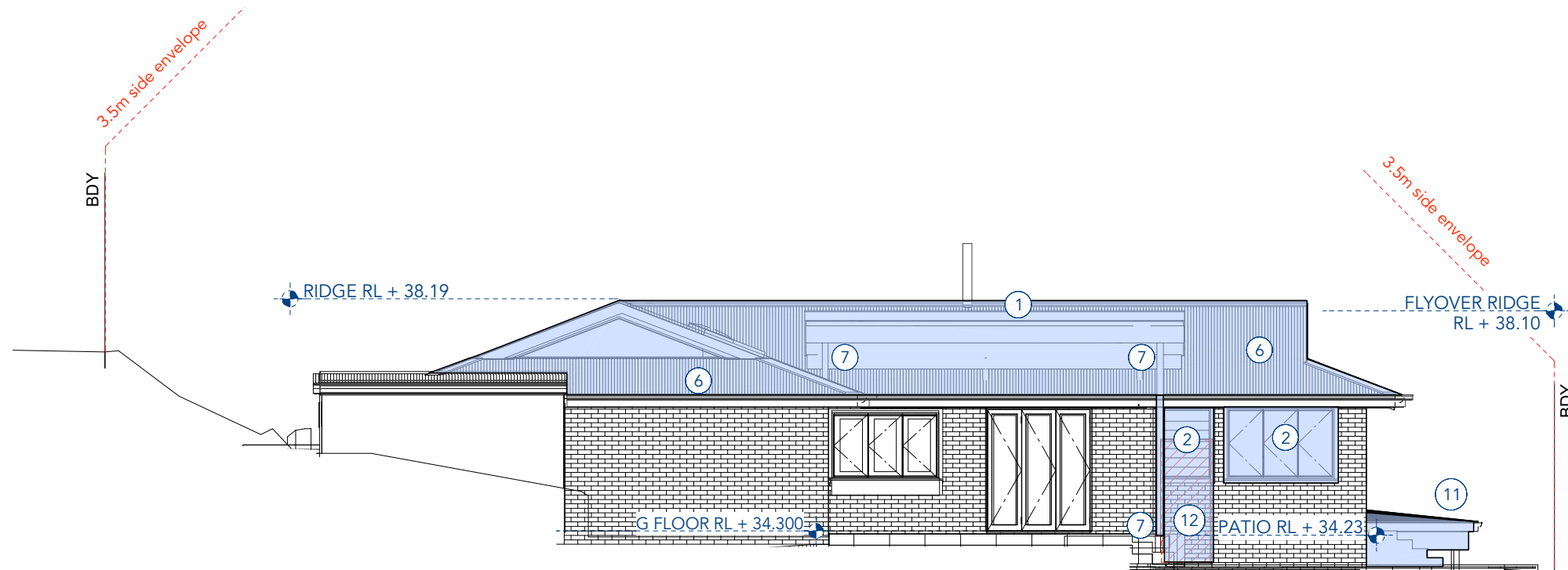


**Drawn / Designed:** MW

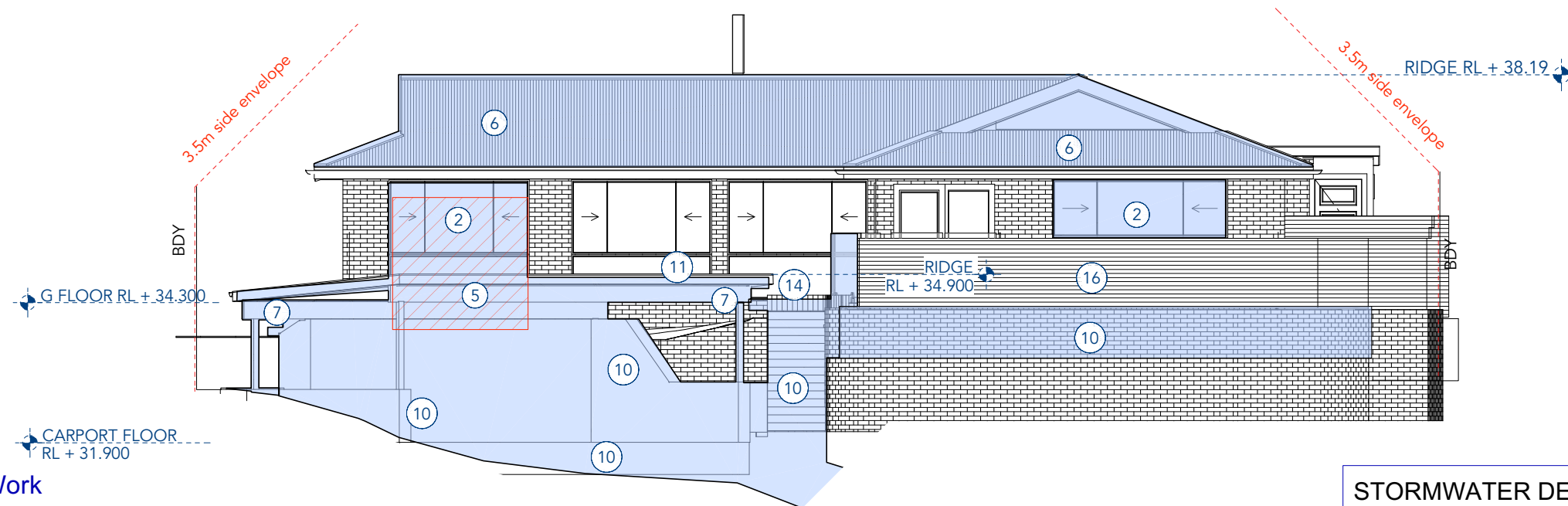
**Project no:**

**Drawing No:** **DA5**

**Date:** 18.1.24  
**Scale:** N.T.S  
**Issue:** REV A



North Elevation



South Elevation

NOTE SCHEDULE	
①	FLYOVER ROOF WITH METAL ROOF (VERICLAD OF SIMILAR)
②	ALUMINIUM WINDOW TO BASIX
③	ALUMINIUM GLASS DOORS TO BASIX
④	NEW INTERNAL FLOOR TO STRUCTURAL ENGINEERS DETAILS
⑤	REMOVE GARAGE DOOR AND DRIVEWAY & INSTALL NEW WINDOW.
⑥	REPLACE EXISTING TILE ROOF WITH METAL ROOF
⑦	BEAMS & COLUMNS TO ENGINEERS DETAILS
⑧	NEW SKYLIGHTS
⑨	1.2M HIGH POOL FENCE TO AS1926 & NCC 2022
⑩	CARPORT CONCRETE SLAB, RETAINING WALLS, STAIRS & DRIVEWAY TO ENGINEERS DETAILS
⑪	CARPORT ROOF WITH METAL CLADDING (VERICLAD OR SIMILAR)
⑫	ADJUST BRICK WALL HEIGHT AS REQUIRED
⑬	NEW POOL & SPA TO TO ENGINEERS DETAIL & /OR MANUFACTURES SPECIFICATION.
⑭	TIMBER DECK FLOORING TO ENGINEERS DETAILS
⑮	REMOVE EXISTING WINDOW.
⑯	EXISTING TIMBER SCREEN FENCE TO BE UPGRADE TO COMPLY WITH POOL FENCING - AS1926 & NCC 2022

STORMWATER DETAILS.

No increase in impervious area by 50m2. No OSD required for alterations. New downpipes connected to existing stormwater lines & discharged to existing approved street drainage system.

Elevations Plan North / South

Revision	Date
COUNCIL UPDATE	29.11.23
COUNCIL UPDATE - LOS	9.01.24
COUNCIL UPDATE - LOS -REV A	18.01.24

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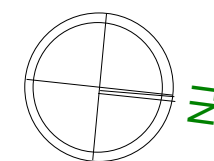


Project: 3 Arrabri Place, Warriewood.  
Alterations & additions, new carport & pool

Lot 42, DP 228171, Site Area 984.8m2

Client: IPSCWITZ

Drawing:  
Elevations Plan North / South



Drawn / Designed: MW

Project no:

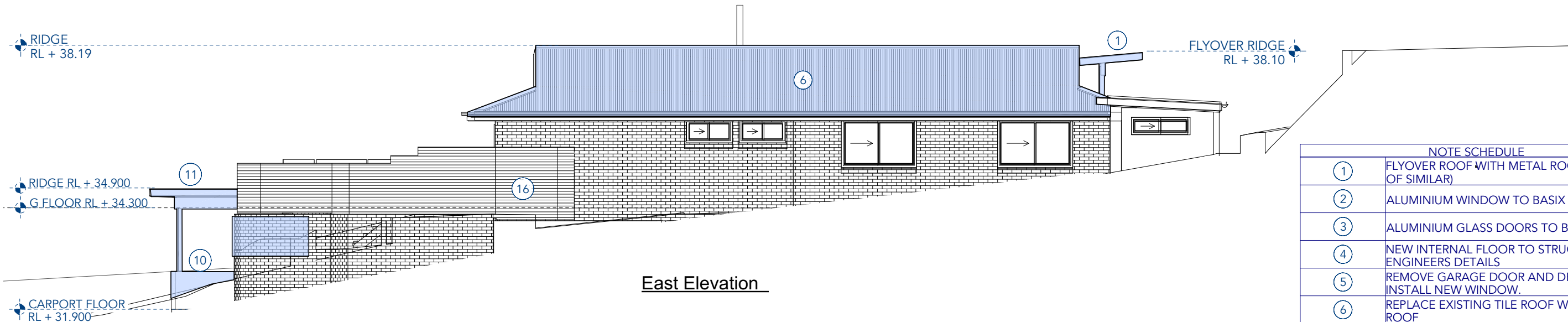
Drawing No: **DA6**

Date:  
18.1.24

Scale:  
1:100 A3

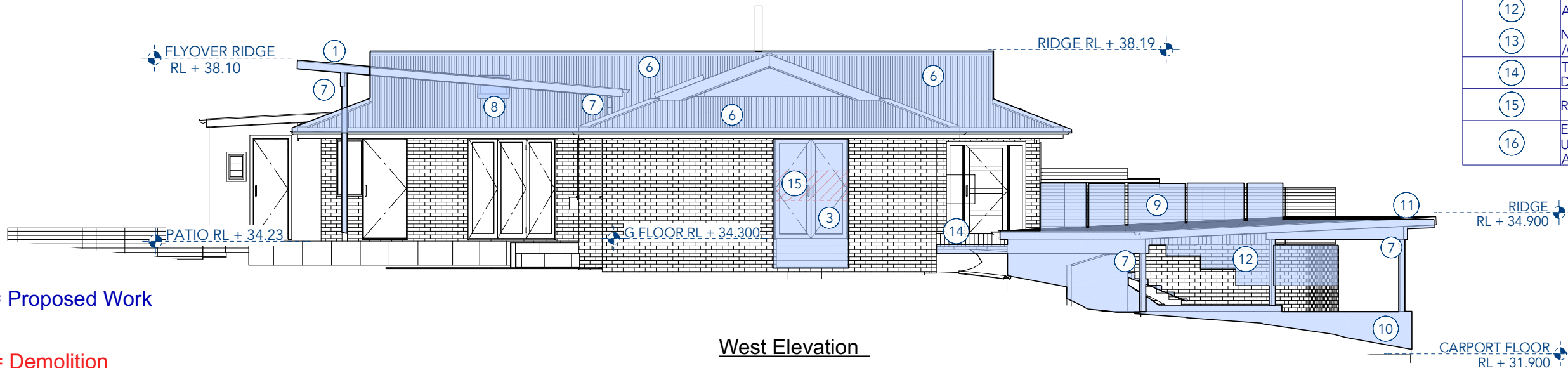
Issue: REV A

8.5m Building Height



East Elevation




8.5m Building Height



West Elevation

Elevations Plan East / West

NOTE SCHEDULE	
①	FLYOVER ROOF WITH METAL ROOF (VERSICLAD OF SIMILAR)
②	ALUMINIUM WINDOW TO BASIX
③	ALUMINIUM GLASS DOORS TO BASIX
④	NEW INTERNAL FLOOR TO STRUCTURAL ENGINEERS DETAILS
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⑨	1.2M HIGH POOL FENCE TO AS1926 & NCC 2022
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⑮	REMOVE EXISITING WINDOW.
⑯	EXISTING TIMBER SCREEN FENCE TO BE UPGRADE TO COMPLY WITH POOL FENCING - AS1926 & NCC 2022

-  = Proposed Work
-  = Demolition
-  = Existing

Revision	Date
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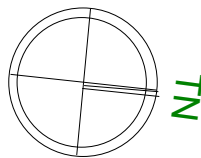


Project: 3 Arrabri Place, Warriewood.  
Alterations & additions, new carport & pool

Lot 42, DP 228171, Site Area 984.8m2

Client: IPSCWITZ

Drawing:  
Elevations Plan East / West



Drawn / Designed: MW

Project no:

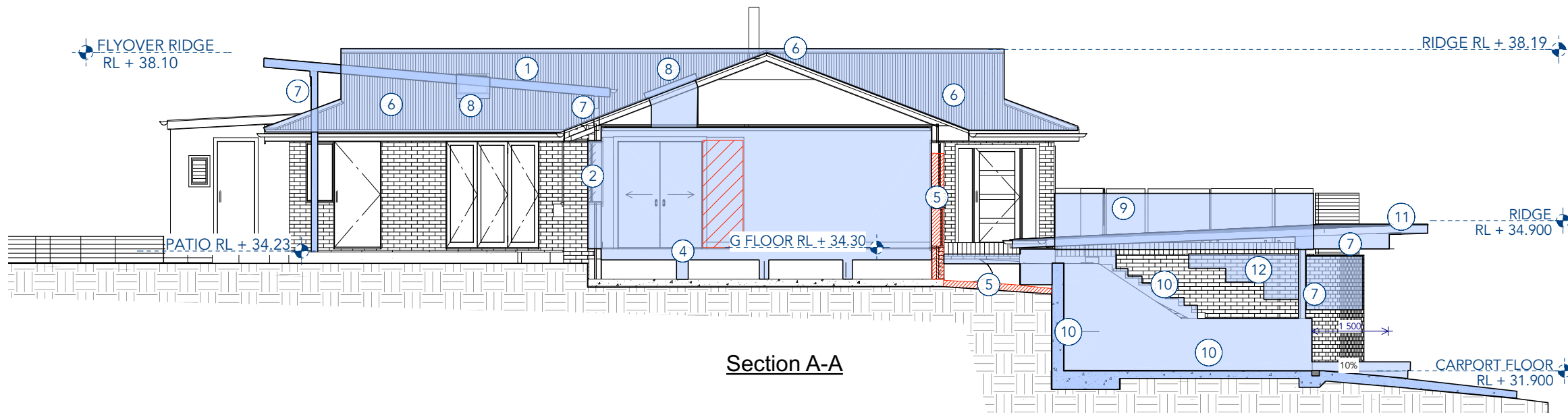
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Date: 18.1.24

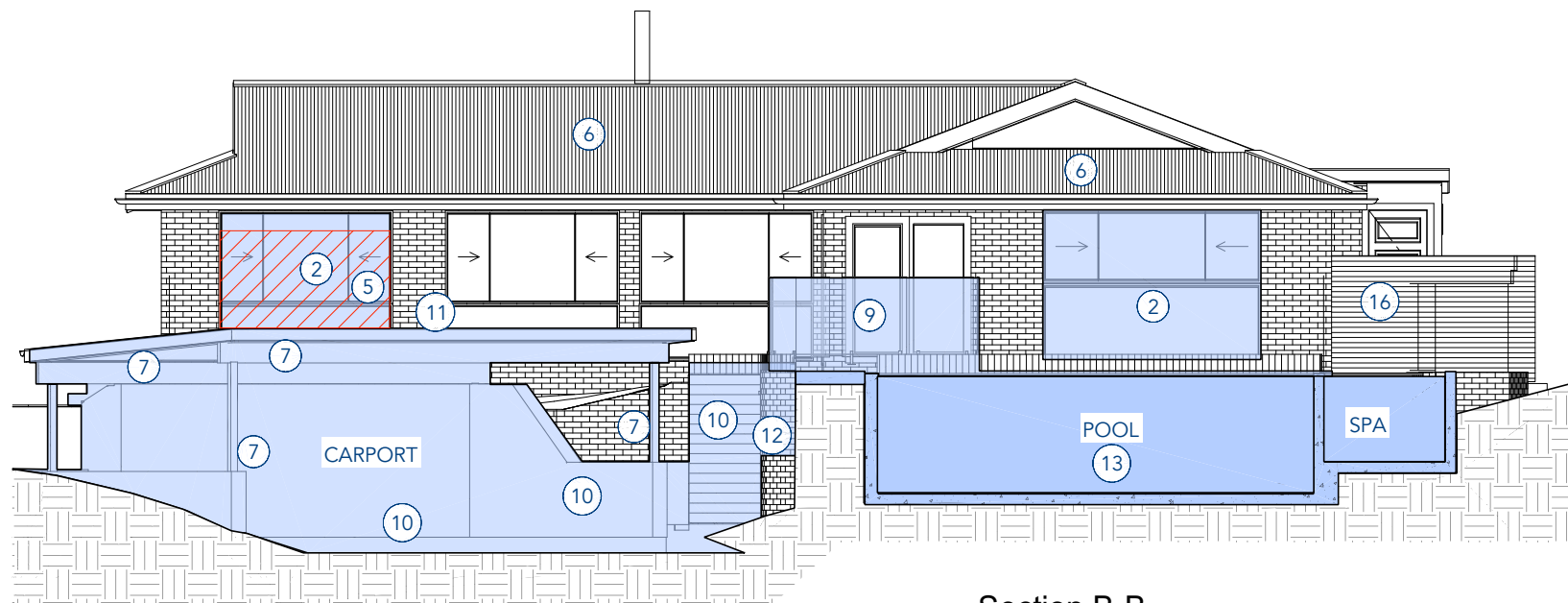
Scale: 1:100 A3

Issue: REV A

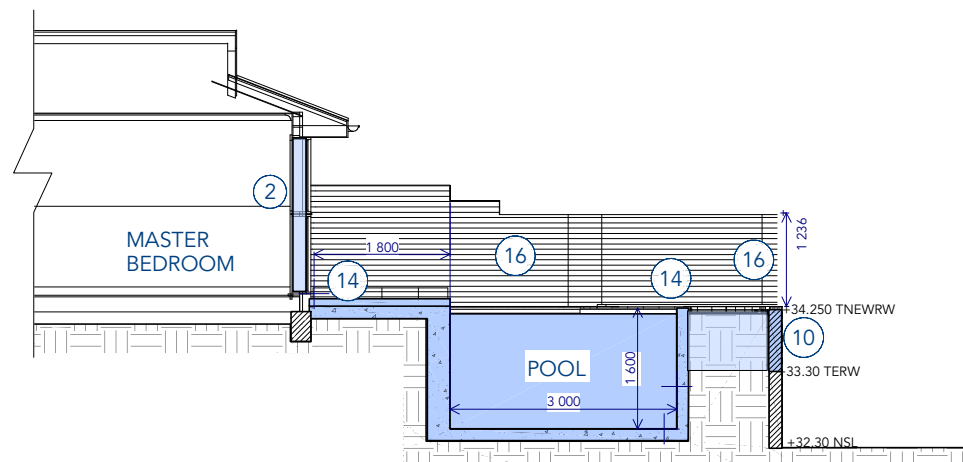




Section A-A

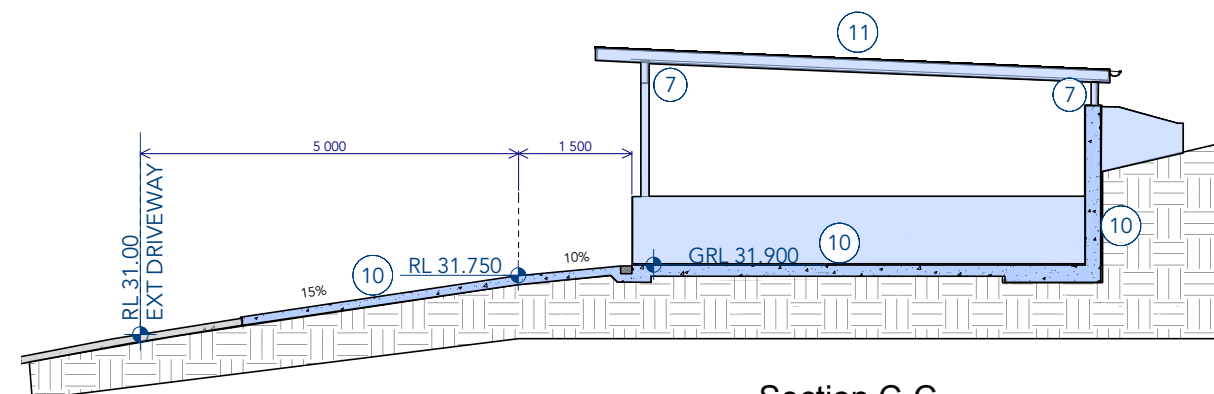


Section B-B



Section D-D

NOTE SCHEDULE	
①	FLYOVER ROOF WITH METAL ROOF (VERICLAD OF SIMILAR)
②	ALUMINIUM WINDOW TO BASIX
③	ALUMINIUM GLASS DOORS TO BASIX
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⑯	EXISTING TIMBER SCREEN FENCE TO BE UPGRADE TO COMPLY WITH POOL FENCING - AS1926 & NCC 2022



Section C-C

- = Proposed Work
- = Demolition
- = Existing

#### STORMWATER DETAILS.

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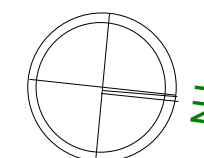
Section A-A, B-B, C-C, D-D

Revision	Date
COUNCIL UPDATE	29.11.23
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COUNCIL UPDATE - LOS -REV A	18.01.24

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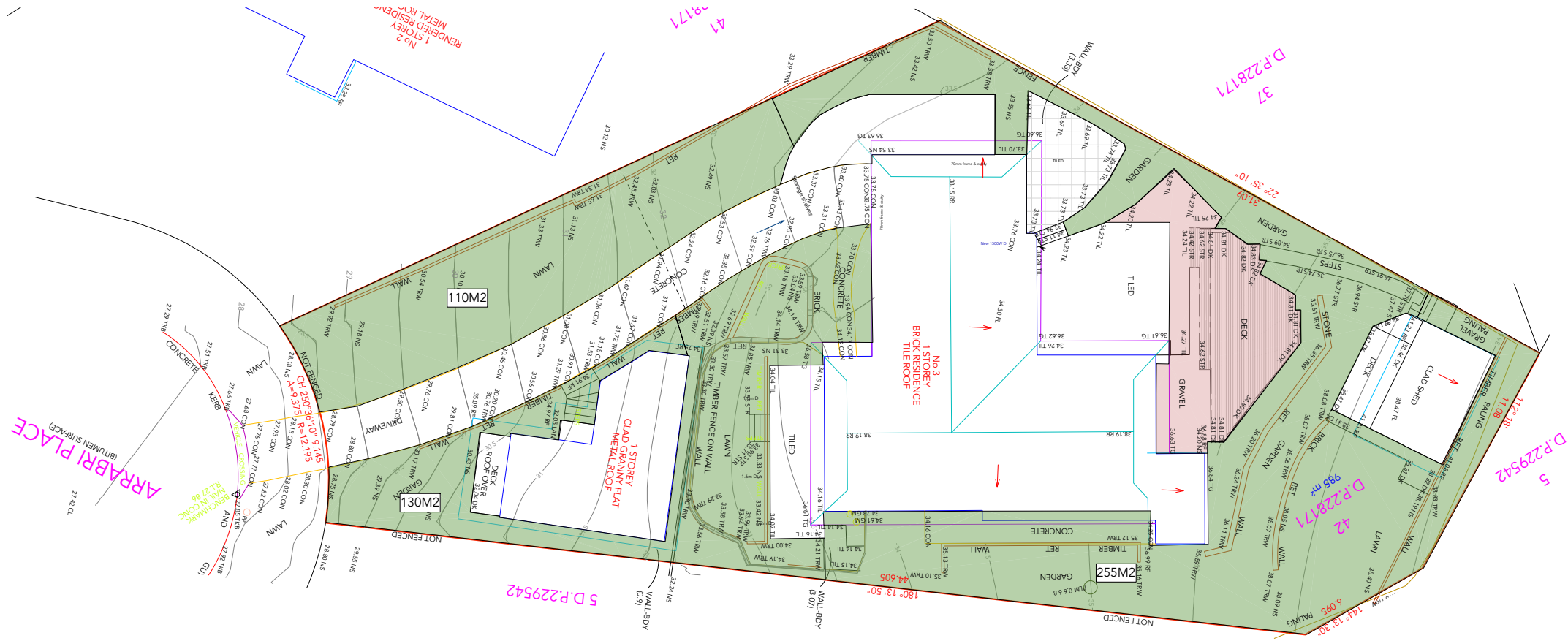


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Alterations & additions, new carport & pool  
Lot 42, DP 228171, Site Area 984.8m2  
Client: IPSCWITZ  
Drawing:  
Section A-A, B-B, C-C, D-D

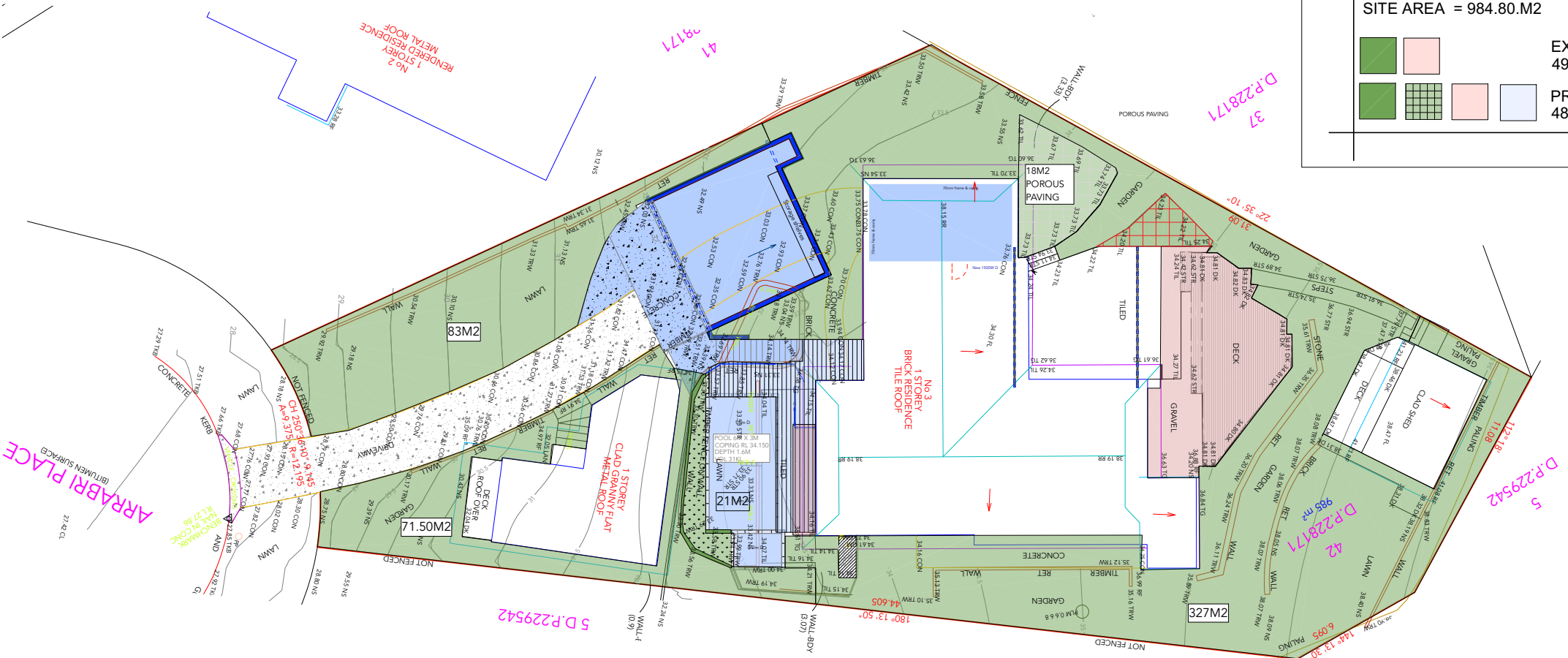


Drawn / Designed: MW	Date: 18.1.24
Project no:	Scale: 1:100 A3
Drawing No: DA8	Issue: REV A





Existing Landscaping / open space



Proposed Landscaping / open space

Landscape Open Space Plan

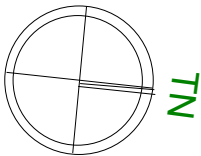
Revision	Date
COUNCIL UPDATE	29.11.23
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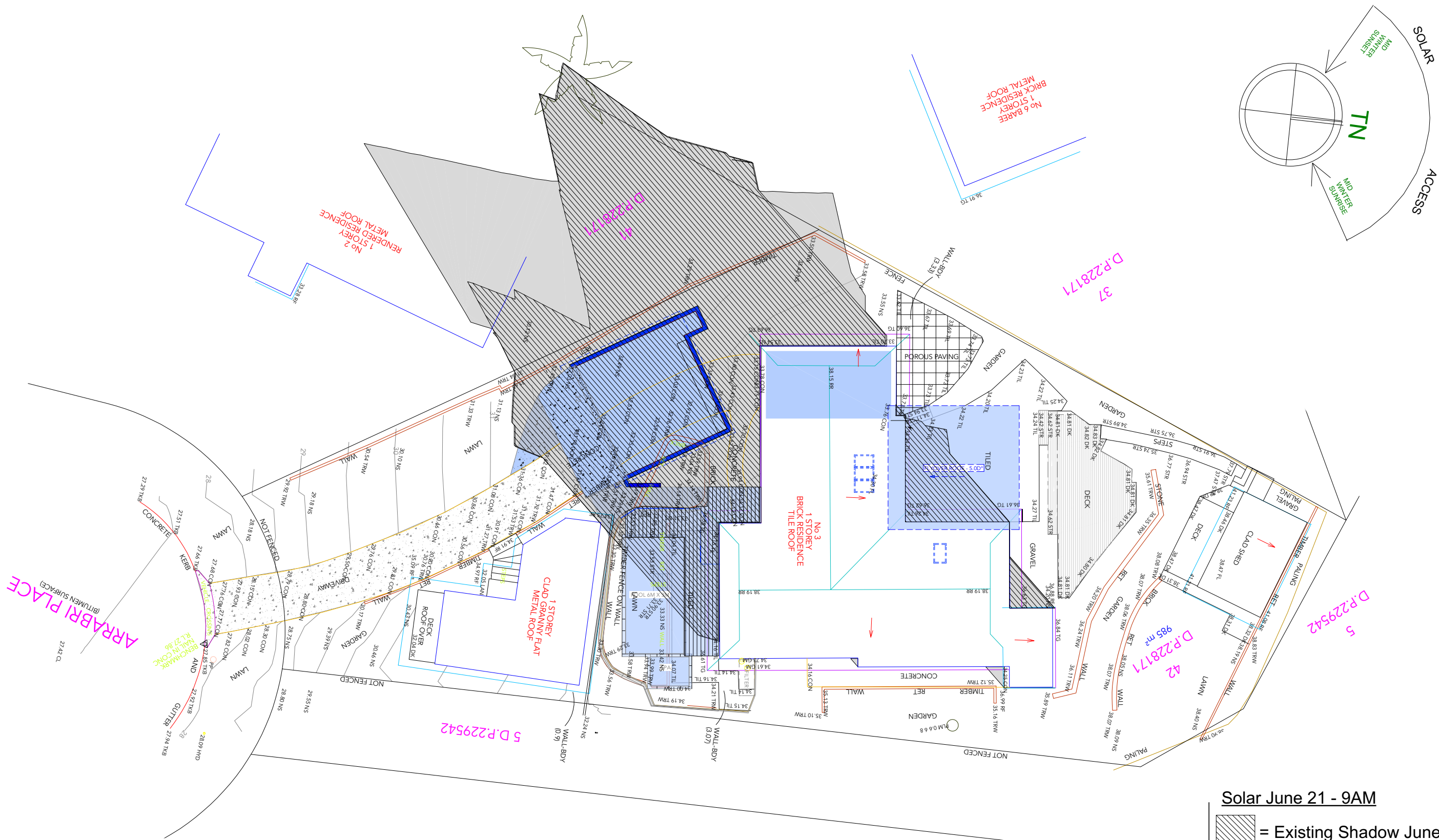


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M: 0432 125 244. Accreditation no. bdaa 6369  
Builder Lic no 62547C. ABN 47 121 229 166.

Project: 3 Arrabri Place, Warriewood.  
Alterations & additions, new carport & pool  
Lot 42, DP 228171, Site Area 984.8m2  
Client: IPSCWITZ  
Drawing:  
Landscape Open Space Plan



Drawn / Designed: <i>MW</i>	Date: 18.1.24
Project no:	Scale: 1:250 A3
Drawing No: <b>DA9</b>	Issue: REV A



Solar June 21 - 9AM

- = Existing Shadow June 21
- = Proposed shadow June 21

Revision	Date	
COUNCIL UPDATE	29.11.23	
COUNCIL UPDATE - LOS	9.01.24	
COUNCIL UPDATE - LOS -REV A	18.01.24	

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BUILDING DESIGNER

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M: 0432 125 244. Accreditation no. bdaa 6369  
Builder Lic no 62547C. ABN 47 121 229 166.

Project: 3 Arrabri Place, Warriewood.  
Alterations & additions, new carport & pool

Lot 42, DP 228171, Site Area 984.8m2

Client: IPSCWITZ

Drawing:  
Solar June 21 - 9AM

Drawn / Designed: MW

Project no:

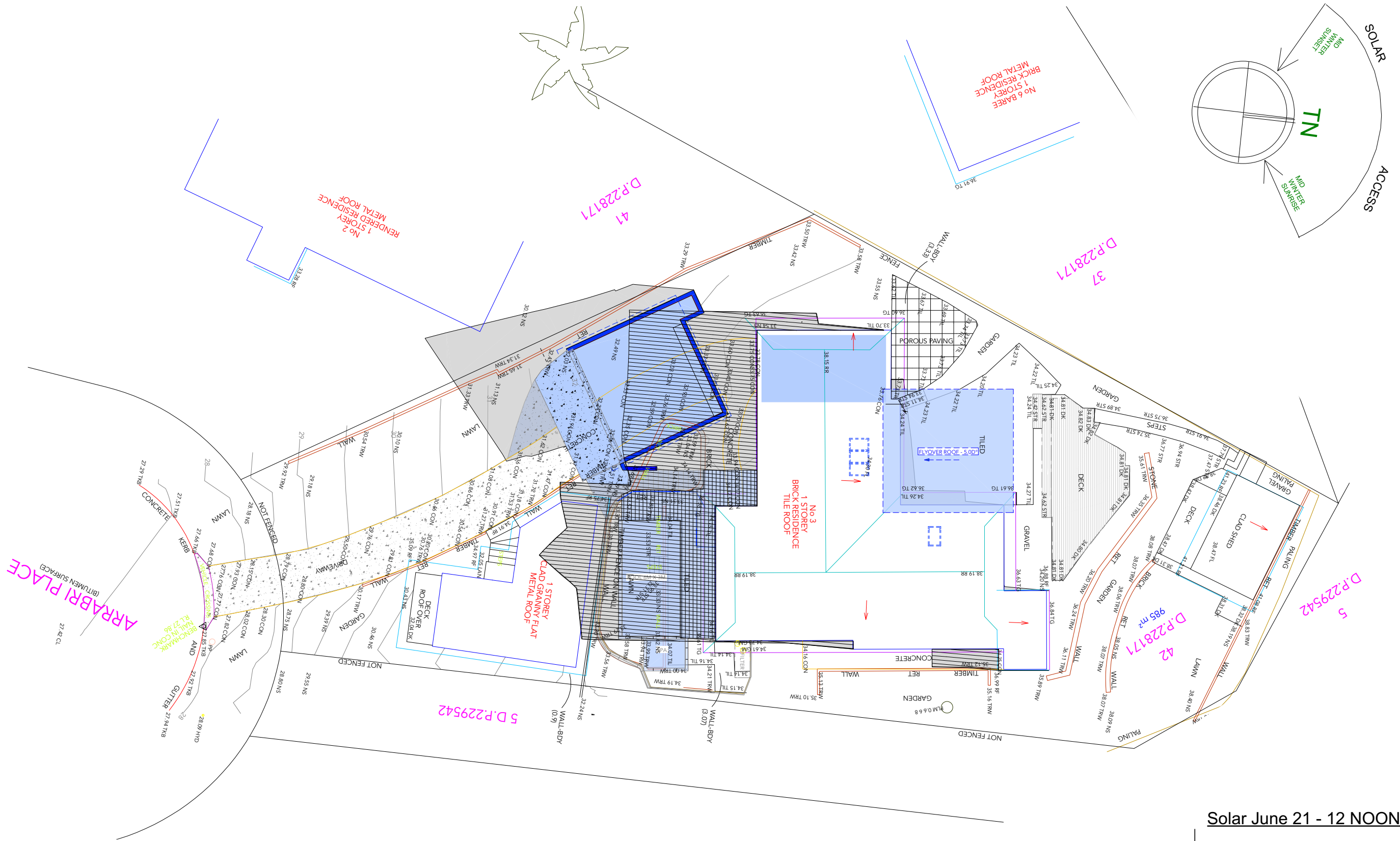
Drawing No: **DA10**

Date: 18.1.24



Scale: 1:200 A3

Issue: REV A





Solar June 21 - 12 NOON

-  = Existing Shadow June 21
-  = Proposed shadow June 21

Revision	Date
COUNCIL UPDATE	29.11.23
COUNCIL UPDATE - LOS	9.01.24
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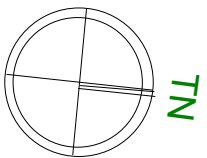


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Alterations & additions, new carport & pool

Lot 42, DP 228171, Site Area 984.8m2

Client: IPSCWITZ

Drawing:  
Solar June 21 - 12 NOON



Drawn / Designed: MW

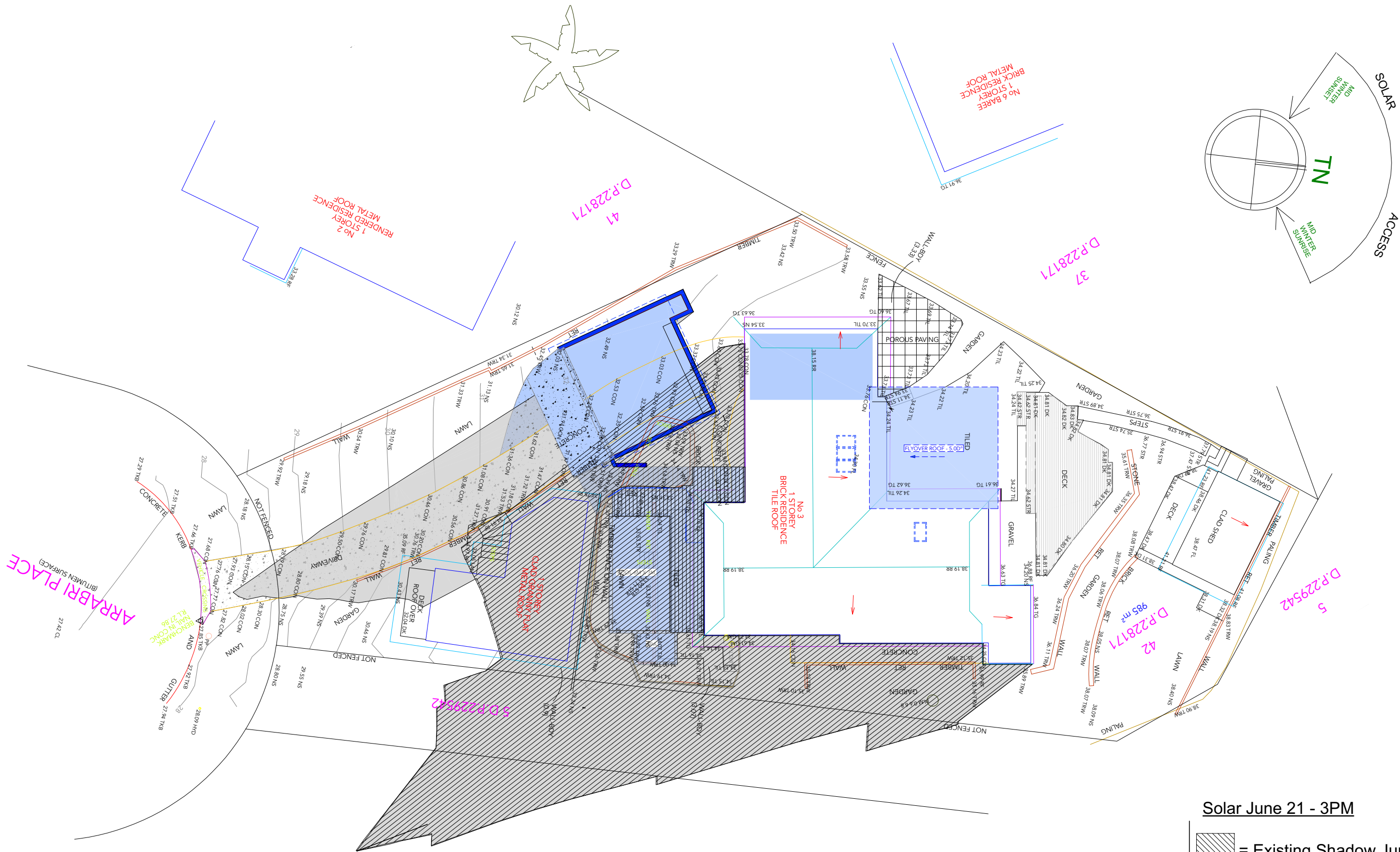
Project no:

Drawing No: **DA11**

Date:  
18.1.24

Scale:  
1:200 A3

Issue: REV A



Solar June 21 - 3PM

- = Existing Shadow June 21
- = Proposed shadow June 21

Revision	Date
COUNCIL UPDATE	29.11.23
COUNCIL UPDATE - LOS	9.01.24
COUNCIL UPDATE - LOS -REV A	18.01.24

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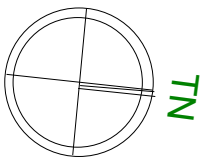
WWW: [northernbd.com.au](http://northernbd.com.au), E: [info@northernbd.com.au](mailto:info@northernbd.com.au)  
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Project: 3 Arrabri Place, Warriewood.  
Alterations & additions, new carport & pool

Lot 42, DP 228171, Site Area 984.8m2

Client: IPSCWITZ

Drawing:  
Solar June 21 - 3PM



Drawn / Designed: MW	Date: 18.1.24
Project no:	Scale: 1:200 A3
Drawing No: DA12	Issue: REV A



Certificate number: A1373970\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 06 November 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Arrabri_02
Street address	3 ARRABRI Place WARRIEWOOD 2102
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP228171
Lot number	42
Section number	-
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by <small>(please complete before submitting to Council or PCA)</small>	
Name / Company Name: Northern Beaches designs	
ABN (if applicable): 47 121 229 166	




Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor above garage: framed (R0.7).	nil	N/A			

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Windows and glazed doors</b>			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W04	N	1	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W01	N	1.8	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W02	S	5	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D01	W	3	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Skylights</b>						
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:					✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✓	✓
<b>Skylights glazing requirements</b>						
<b>Skylight number</b>	<b>Area of glazing inc. frame (m2)</b>	<b>Shading device</b>	<b>Frame and glass type</b>			
S1	1.5	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	0.5	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.	

## Basix Plan

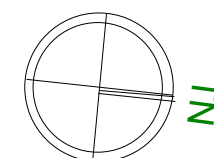
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COUNCIL UPDATE - LOS -REV A	18.01.24	



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Alterations & additions, new carport & pool  
Lot 42, DP 228171, Site Area 984.8m2  
Client: IPSCWITZ

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**Drawing:**  
**Basix Plan**



<b>Date:</b> 18.1.24	<b>Drawing / Designed:</b> MW
<b>Scale:</b> N.T.S	<b>Project no:</b>
<b>Issue:</b> REV A	<b>Drawing No:</b> DA13





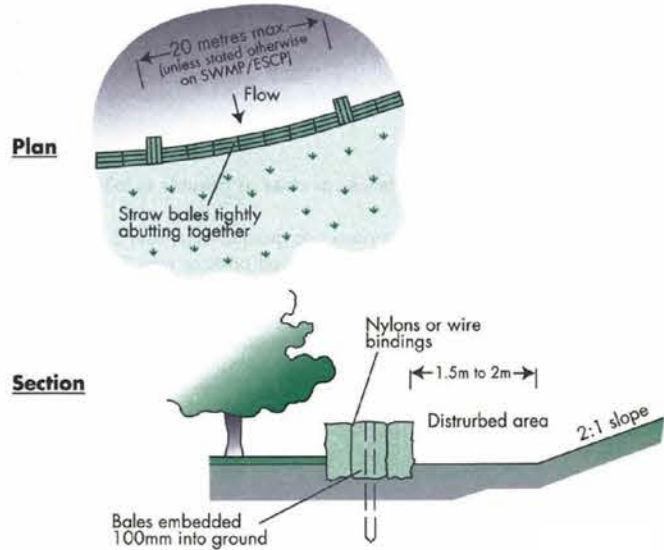


# SEDIMENT CONTROL PLAN

## EROSION & SEDIMENT NOTES.

Minimise area to be cleared and leave as much vegetation as possible. Install temporary fences to define 'no go' areas that are not to be disturbed.  
Install sediment fence(s) along the low side of the site before work begins.  
Divert water around the work site and stabilise channels, but ensure that you do not flood the neighbouring property.  
Establish a single stabilised entry/exit point. Clearly mark the access point and give an access map that has a delivery point indicated for all supplies.  
Leave or lay a kerb-side turf strip (for example, the nature strip) to slow the speed of water flows and to trap sediment.  
Check the erosion and sediment controls every day and keep them in good working condition.  
Stockpile topsoil within the sediment controlled zone.  
Always be aware of the weather forecast.  
Stabilise exposed earth banks (e.g. vegetation, erosion control mats).  
Fill in and compact all trenches immediately after services have been laid.  
Install site waste receptacles (mini-skip, bins, wind-proof litter receptors).  
Sweep the road and footpath every day and put soil behind the sediment controls. Hosing down roads and footpaths is unacceptable.  
Connect downpipes from the guttering to the stormwater drain as soon as the roof is installed.  
Revegetate the site as soon as possible. The erosion and sediment control devices must be kept in place until 70% of the site has been revegetated.

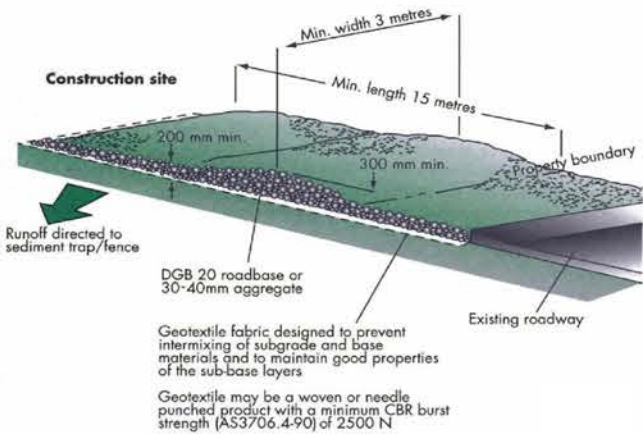
## STRAW BALES



## Construction Notes

1. Construct the straw bale filter as close as possible to being parallel to the contours of the site.
2. Place bales lengthwise in a row with ends tightly abutting. Use straw to fill any gaps between bales. Straws are to be placed parallel to ground.
3. Ensure that the maximum height of the filter is one bale.
4. Embed each bale in the ground 75 mm to 100 mm and anchor with two 1.2 metre star pickets or stakes. Angle the first star picket or stake in each bale towards the previously laid bale. Drive them 600 mm into the ground and, if possible, flush with the top of the bales. Where star pickets are used and they protrude above the bales, ensure they are fitted with safety caps.
5. Where a straw bale filter is constructed downslope from a disturbed batter, ensure the bales are placed 1 to 2 metres downslope from the toe.
6. Establish a maintenance program that ensures the integrity of the bales is retained - they could require replacement each two to four months.

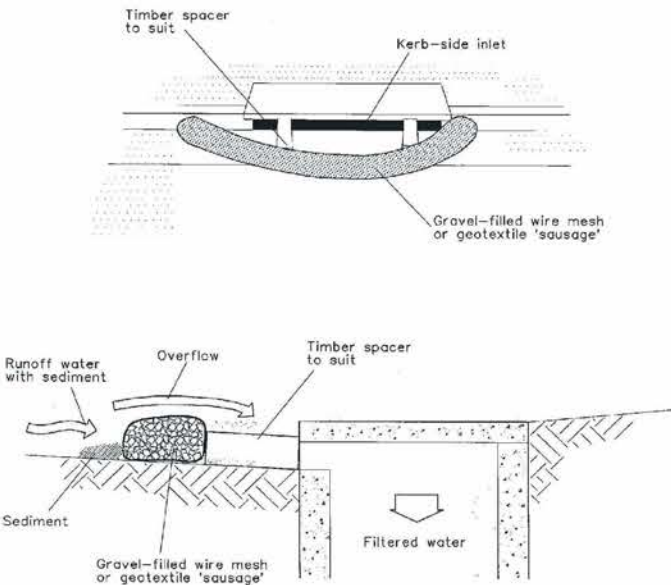
## STABILISED ENTRY / EXIT



## Construction Notes

1. Strip at least 150 mm of topsoil, level area and stockpile on site if space available.
2. Compact sub-grade.
3. Cover area with needle-punched geotextile.
4. Construct a 200 mm thick pad over geotextile using aggregate at least 40 mm in size. Minimum length 15 metres or to building alignment. Minimum width 3 metres.
5. Construct diversion hump immediately within boundary to divert water to a sediment fence or other sediment trap.

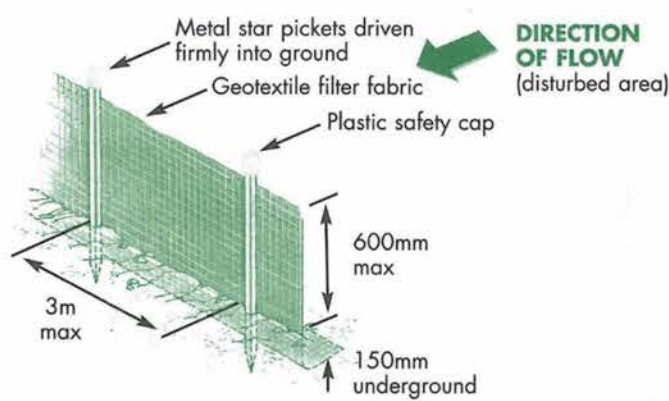
## INLET SEDIMENT TRAP



## Construction Notes

1. Install filters to kerb inlets only at sag points.
2. Fabricate a sleeve made from geotextile or wire mesh longer than the length of the inlet pit and fill it with 25 mm to 50 mm gravel.
3. Form an elliptical cross-section about 150 mm high x 400 mm wide.
4. Place the filter at the opening leaving at least a 100-mm space between it and the kerb inlet. Maintain the opening with spacer blocks.
5. Form a seal with the kerb to prevent sediment bypassing the filter.
6. Sandbags filled with gravel can substitute for the mesh or geotextile providing they are placed so that they firmly abut each other and sediment-laden waters cannot pass between.

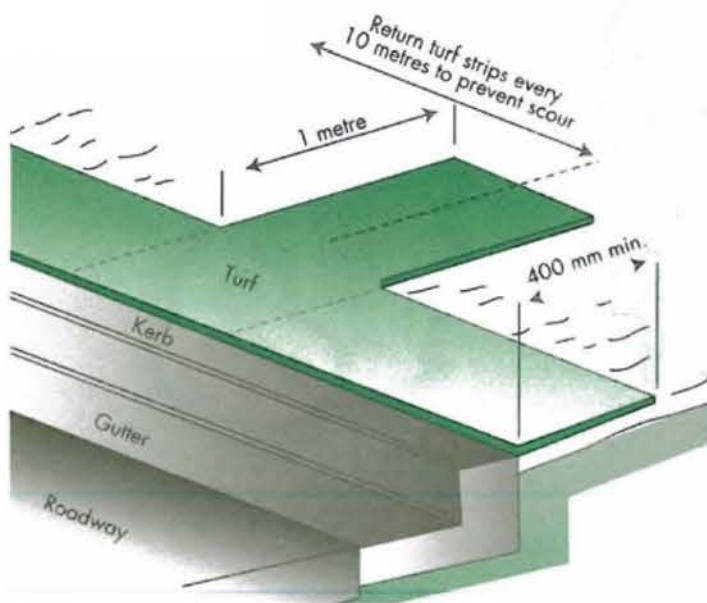
## SEDIMENT FENCING



## Construction Notes

1. Construct sediment fences as close as possible to follow the contours of the site.
2. Drive 1.5 metre long posts into ground, maximum 3 metres apart.
3. Staple to 40 mm square hardwood posts or wire tied to steel posts.
4. Dig a 150 mm deep trench along the up-slope line of the fence for the bottom of the fabric to be entrenched.
5. Backfill trench over base of fabric and compact on both sides.

## GRASS FILTER STRIPS



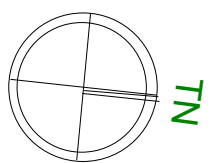
## Construction Notes

1. Install a 400-mm minimum wide roll of turf on the footpath next to the kerb and at the same level as the top of the kerb.
2. Lay 1.4 metre long turf strips normal to the kerb every 10 metres.
3. Rehabilitate disturbed soil behind the

Revision	Date	
COUNCIL UPDATE	29.11.23	The builder shall check & verify all dimensions & verify all errors and omissions to the Designer. Do not scale from the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
COUNCIL UPDATE - LOS	9.01.24	Drawings and design is subject to copyright and may not be reproduced without prior written consent Northern Beaches designs.
COUNCIL UPDATE - LOS -REV A	18.01.24	



Project: 3 Arrabri Place, Warriewood.  
Alterations & additions, new carport & pool  
Lot 42, DP 228171, Site Area 984.8m2  
Client: IPSCWITZ  
Drawing:  
Sediment Control Plan



Drawn / Designed: MW	Date: 18.1.24
Project no:	Scale: N.T.S
Drawing No: DA15	Issue: REV A