

8 April 2020

**Project No: 10066**

Birdwood Projects Pty Ltd  
Birdwood Avenue  
**COLLARROY NSW 2097**

**By Email:** *birdwoodprojectscollaroy@gmail.com*

Dear Gregor,

**Re: Residential development and strata subdivision consisting of four sole-occupancy units with associated carparking, storage space, and four (4) swimming pools – 9-11 Birdwood Avenue, Collaroy NSW 2097**

#### **BCA Compliance Capability Statement – DA Submission**

---

#### **1.0 Introduction**

Reference is made to the engagement of this office to provide a *National Construction Code (NCC) 2019 Compliance Capability Statement* relating to proposed multi-dwelling development at the abovementioned property.

#### **2.0 Assessment Basis**

The content of this correspondence reflects and relies upon –

- (i) The prescriptive provisions of the *National Construction Code (NCC) 2019*.
- (ii) Architectural plans prepared by edaa, as follows –

<b>Drawing No.</b>	<b>Drawing Title</b>	<b>Date</b>
DA.00	SITE ANALYSIS PLAN	01.04.2020
DA.02	BASEMENT PLAN	01.04.2020
DA.03	LOWER GROUND FLOOR PLAN	01.04.2020
DA.04	UPPER GROUND FLOOR PLAN	01.04.2020
DA.05	NORTH SOUTH ELEVATIONS	01.04.2020
DA.06	EAST / WEST ELEVATIONS	01.04.2020
DA.07	SECTIONS	01.04.2020

#### **3.0 Purpose**

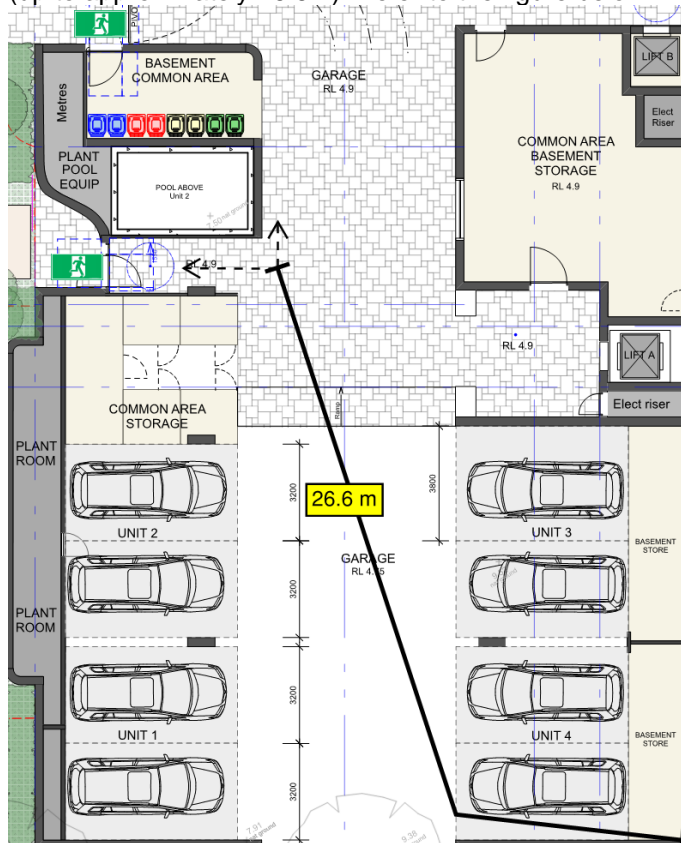
To offer a confirmation of NCC provisions compliance capability for the proposed development to accompany lodgement of a development application to Council.

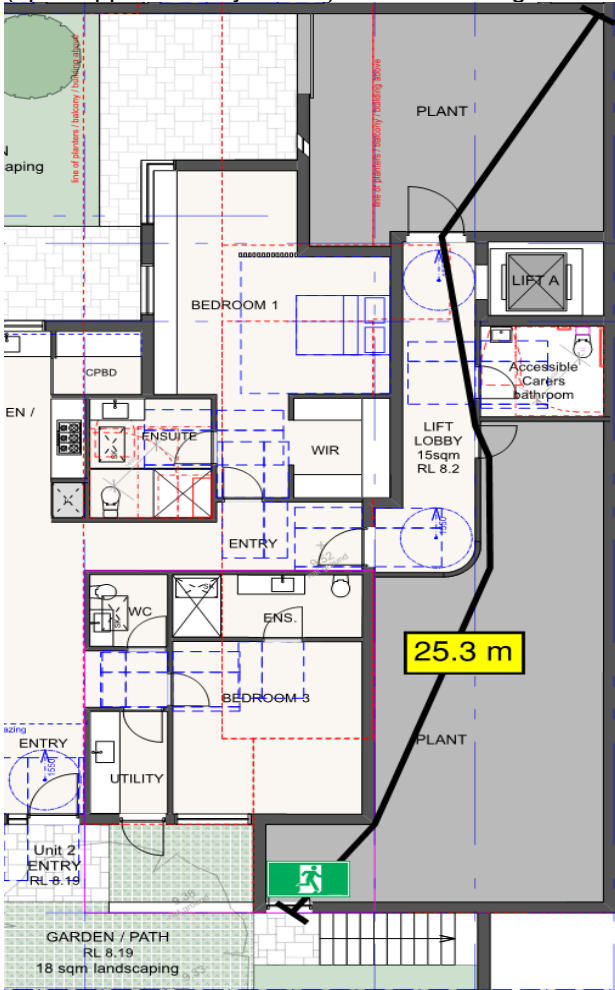
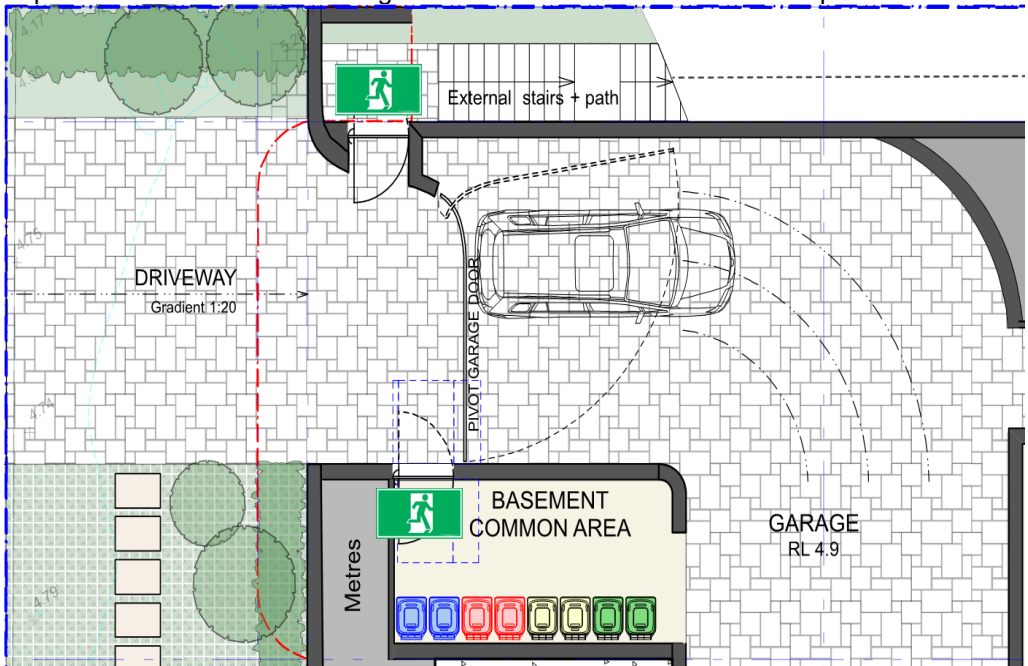
## 4.0 Discussion

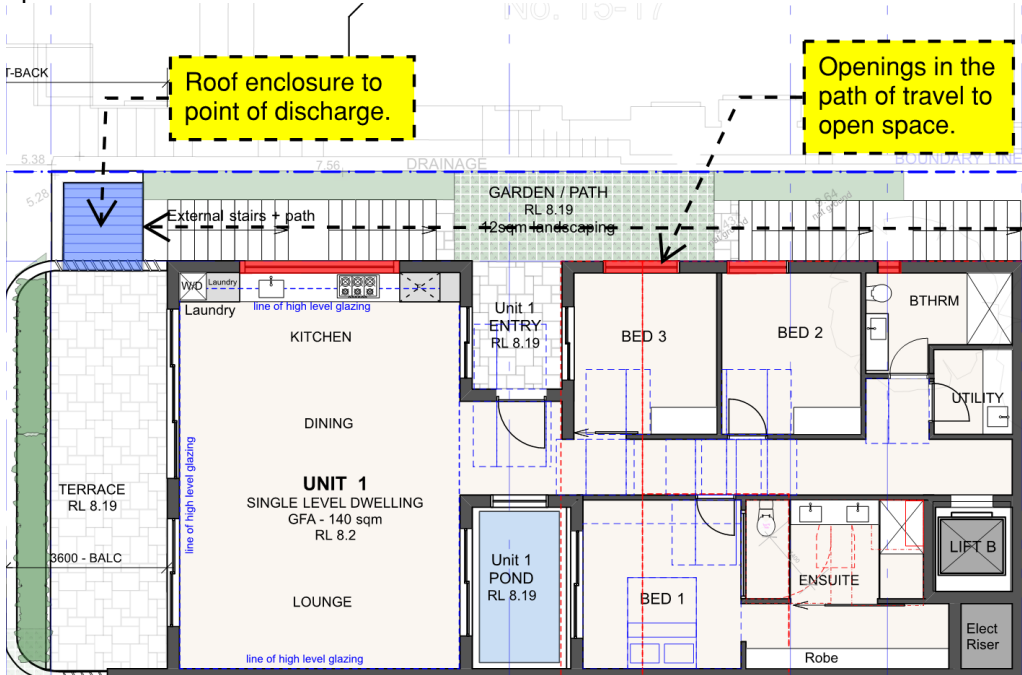
Based on a review of the architectural drawings, AE&D make comment as follows:

The building will be assessed under	NCC 2019
The building is classified as	Class 2 (Residential Sole-occupancy Units) Class 7a (Carpark) Class 7b (Storage) Class 10b (Swimming Pool)
The building has a rise in storeys of	3
The building is to be constructed of	Type A Construction
The building has an effective height of	<12m
The floor area of the building	Within the limitations prescribed in Table C2.2 of the NCC.

Our assessment has determined the following non-compliances with the DtS provisions of the BCA:

BCA Clause	Deemed-to-Satisfy Provision to be addressed
Clause C2.8	On basement level the storage area must be fire separated from the carpark by construction achieving an FRL not less than 240 minutes.
Clause C2.9	The floor between adjoining parts, with different classification, must have an FRL of not less than that prescribed in Specification C1.1 for the classification of the lower storey.
Clause C3.2	Openings in the external wall of Units 1 and 3 are within 3m of the fire-source feature.
Clause D1.4	<p><b>Basement –</b> The distance of travel to the point of choice from the basement carpark exceeds 20m (up to approximately 26.6m). Refer to the figure below.</p>  <p>The diagram is a detailed basement floor plan. It shows four residential units (Unit 1, Unit 2, Unit 3, Unit 4) arranged around a central carpark area. Unit 1 and Unit 3 are on the left, while Unit 2 and Unit 4 are on the right. Each unit has a carpark space. To the left of the units are plant rooms and a pool area. To the right are common area storage and basement storage areas. A yellow box with the text '26.6 m' is placed in the carpark area, with a line indicating the distance from the carpark to the point of choice. The plan also shows various storage areas, including 'COMMON AREA STORAGE' and 'BASEMENT STORAGE'. A 'POOL ABOVE UNIT 2' is indicated. The plan includes dimensions for the units and carpark spaces, and a scale bar is provided.</p>

BCA Clause	Deemed-to-Satisfy Provision to be addressed
	<p><u>Lower Ground –</u> The distance of travel to the exit from the plant room on Lower Ground exceeds 20m (up to approximately 26.6m). Refer to the figure below.</p> 
D1.10(a)	<p>The exit may be blocked at the point of discharge. Suitable barriers are to be provided to prevent vehicles from blocking the exit or access to it. Refer to the photo below.</p> 

BCA Clause	Deemed-to-Satisfy Provision to be addressed
D1.10(c)	<p>The external stairway, i.e. exit, serving the residential sole-occupancy units on Lower Ground and Ground Level, does not discharge to a space on the allotment that is adequately protected from fire and open to the sky i.e. open space. Refer to the mark-up below.</p> 

We do highlight, that *Performance Solution(s)* may become necessary to address any deemed to satisfy non compliances, although such is considered to be achievable at the Construction Certificate phase.

## 5.0 Conclusion

The proposed multi-dwelling development, as identified in this report, is readily capable of complying with the applicable Performance Requirements of NCC 2019.

Regards,



Roland Allam  
Building Surveyor  
Accredited Certifier  
for AED