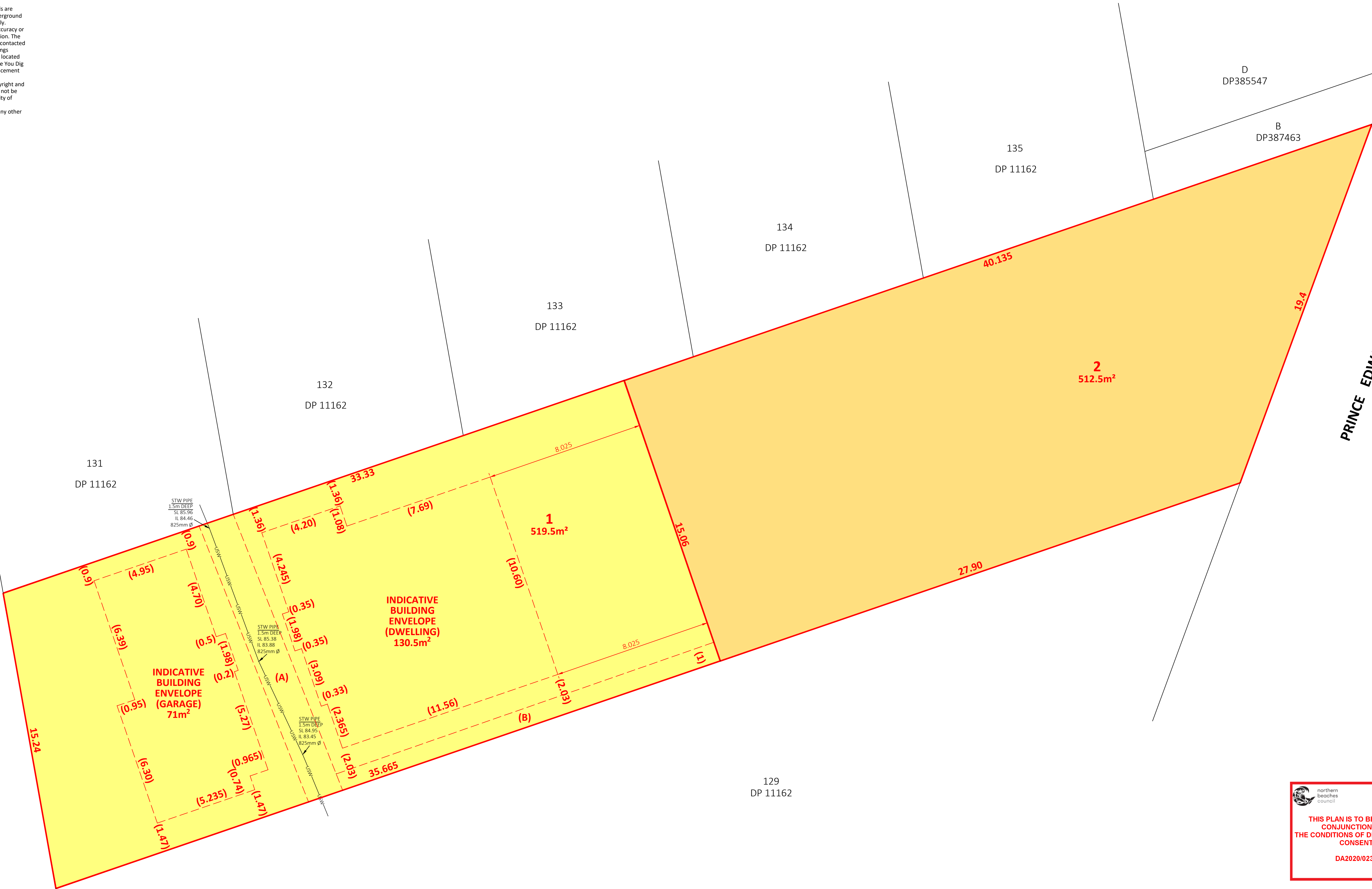


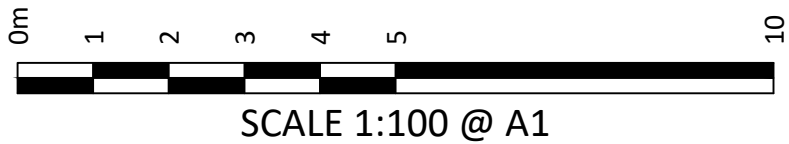
NOTES

- Do not scale from this plan.
- This purpose of this plan is to show a proposed subdivision layout. It must not be used for any other purpose.
- Boundary dimensions and areas have been compiled from the current subject site Deposited Plan. No boundaries have been surveyed or marked. If any work is to be undertaken on or adjacent to a boundary then a Boundary Survey is recommended to define the boundaries of the site.
- All proposed lot dimensions, areas and easements shown are approximate only and subject to services and engineering design, regulatory approval, construction, final survey and registration of the Plan of Subdivision at Land and Property Information NSW.
- Underground stormwater service location and levels are shown as per ground markings provided by an underground service locating consultant and are approximate only. SurveyPlus Pty Ltd takes no responsibility for the accuracy or completeness of any underground service information. The underground service locating consultant should be contacted directly to determine the accuracy of ground markings provided by them. Other visible services have been located by survey. It is recommended to contact Dial Before You Dig and the relevant service authority prior to commencement of any work.
- This drawing and the information it contains is copyright and remains the property of SurveyPlus Pty Ltd. It must not be copied, used or altered without the express authority of SurveyPlus.
- These notes form an integral part of this plan and any other plan that relies on the information shown herein.

ALTO
AVENUE



(A) - EASEMENT FOR DRAINAGE 1.83 WIDE (G793114)
(B) - PROPOSED EASEMENT TO DRAIN WATER 1 WIDE



 northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0236



CLIENT Shannon Deeran	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY	 land development consultants 02 9651 2921 info@surveyplus.com.au www.surveyplus.com.au	DATE OF SURVEY	6.06.2019	DRAWING TITLE PROPOSED SUBDIVISION PLAN PROPOSED SUBDIVISION OF LOT 130 DP 11162 No. 15 ALTO AVENUE, SEAFORTH	SCALE	1:100 @ A1
							ORIGIN OF LEVELS	N / A		REVISION	D
	D 28.02.2020	UPDATE PROPOSED SUBDIVISION BOUNDARY AND BUILDING ENVELOPES	--	PK	PK/JM		ORIGIN OF COORDS	PM 365 (MGA)		SHEET	1 OF 2
	C 11.06.2019	STORMWATER DATA ADDED AND PROPOSED BUILDING ENVELOPE UPDATED (PROPOSED LOT 1)	PK	CE	GC		CONTOUR INTERVAL	N / A		REF	16123_SUB_1D
	B 14.03.2019	TREE DETAILS UPDATED	--	PK	PK						
	A 30.06.2017	INITIAL ISSUE	--	CE	PM						

INTERESTS RELATING TO THE SUBJECT SITE:

The Certificate of Title for Lot 130 DP11162 ordered on 01.03.2017 identified the following interests (refer to the original 888 Instrument or Dealing creating the interest for specific terms - we recommend this be undertaken prior to design or construction):

- Reservations and conditions in the crown grant(s) ~ (Not investigated).
- Easement for drainage affecting the land shown as burdened in Vol 6185 Fol 109 (G793114) ~ (Denoted (A) on the plan).

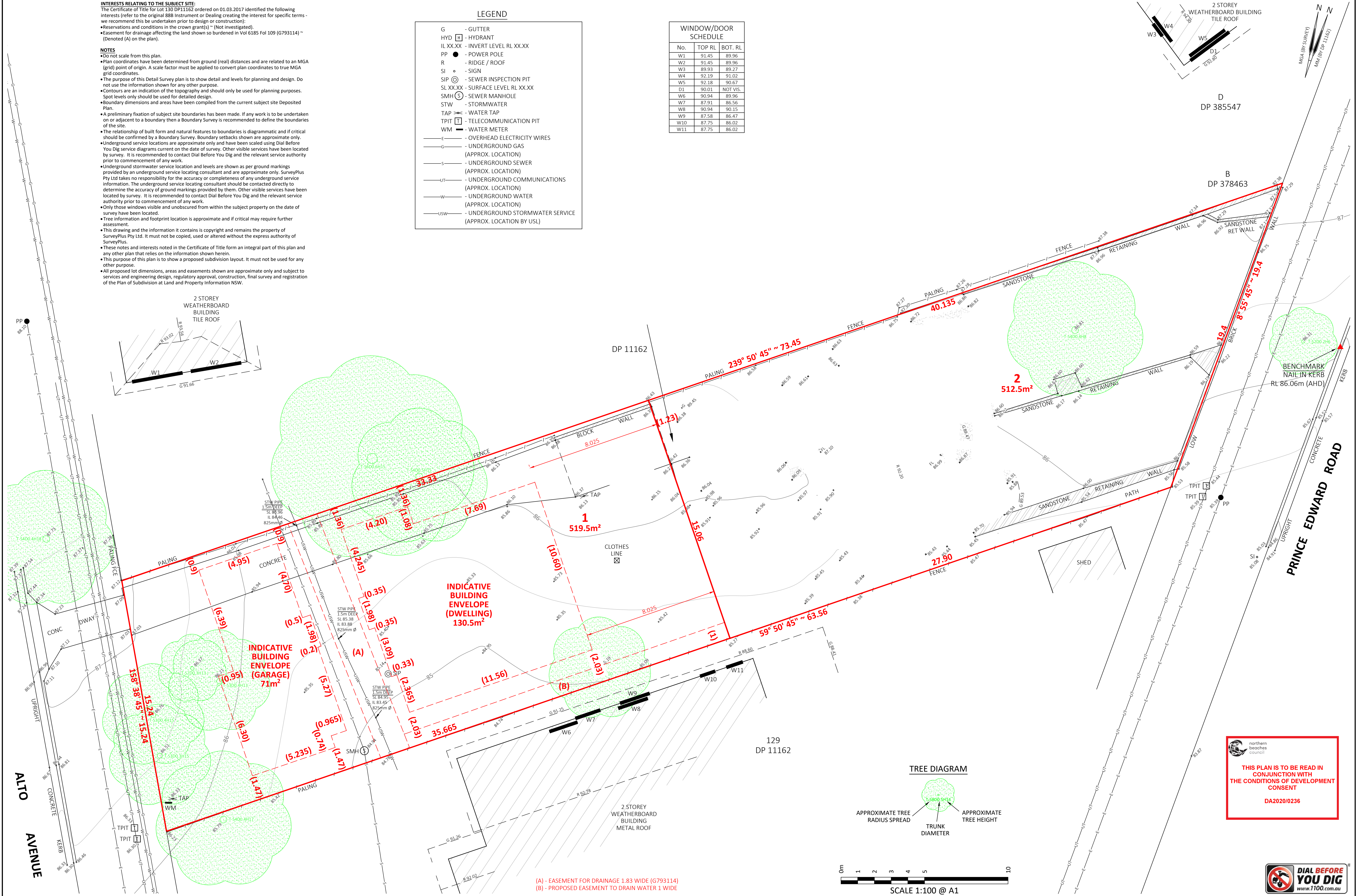
NOTES

- Do not scale from this plan.
- Plan coordinates have been determined from ground (real) distances and are related to an MGA (grid) point of origin. A scale factor must be applied to convert plan coordinates to true MGA grid coordinates.
- The purpose of this Detail Survey plan is to show detail and levels for planning and design. Do not use the information shown for any other purpose.
- Contours are an indication of the topography and should only be used for planning purposes. Spot levels only should be used for detailed design.
- Boundary dimensions and areas have been compiled from the current subject site Deposited Plan.
- A preliminary fixation of subject site boundaries has been made. If any work is to be undertaken on or adjacent to a boundary then a Boundary Survey is recommended to define the boundaries of the site.
- The relationship of built form and natural features to boundaries is diagrammatic and if critical should be confirmed by a Boundary Survey. Boundary setbacks shown are approximate only.
- Underground service locations are approximate only and have been scaled using Dial Before You Dig service diagrams current on the date of survey. Other visible services have been located by survey. It is recommended to contact Dial Before You Dig and the relevant service authority prior to commencement of any work.
- Underground stormwater service location and levels are shown as per ground markings provided by an underground service locating consultant and are approximate only. SurveyPlus Pty Ltd takes no responsibility for the accuracy or completeness of any underground service information. The underground service locating consultant should be contacted directly to determine the accuracy of ground markings provided by them. Other visible services have been located by survey. It is recommended to contact Dial Before You Dig and the relevant service authority prior to commencement of any work.
- Only those windows visible and unobscured from within the subject property on the date of survey have been located.
- Tree information and footprint location is approximate and if critical may require further assessment.
- This drawing and the information it contains is copyright and remains the property of SurveyPlus Pty Ltd. It must not be copied, used or altered without the express authority of SurveyPlus.
- These notes and interests noted in the Certificate of Title form an integral part of this plan and any other plan that relies on the information shown herein.
- This purpose of this plan is to show a proposed subdivision layout. It must not be used for any other purpose.
- All proposed lot dimensions, areas and easements shown are approximate only and subject to services and engineering design, regulatory approval, construction, final survey and registration of the Plan of Subdivision at Land and Property Information NSW.

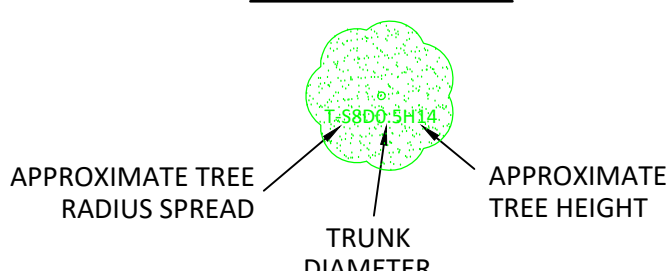
LEGEND

G	- GUTTER
HYD	- HYDRANT
IL XX.XX	- INVERT LEVEL RL XX.XX
PP	- POWER POLE
R	- RIDGE / ROOF
SI	- SIGN
SIP	- SEWER INSPECTION PIT
SL XX.XX	- SURFACE LEVEL RL XX.XX
SMH	- SEWER MANHOLE
STW	- STORMWATER
TAP	- WATER TAP
TPIT	- TELECOMMUNICATION PIT
WM	- WATER METER
E	- OVERHEAD ELECTRICITY WIRES
G	- UNDERGROUND GAS (APPROX. LOCATION)
S	- UNDERGROUND SEWER (APPROX. LOCATION)
UT	- UNDERGROUND COMMUNICATIONS (APPROX. LOCATION)
W	- UNDERGROUND WATER (APPROX. LOCATION)
USW	- UNDERGROUND STORMWATER SERVICE (APPROX. LOCATION BY USL)

WINDOW/DOOR SCHEDULE		
No.	TOP RL	BOT. RL
W1	91.45	89.96
W2	91.45	89.96
W3	89.93	89.27
W4	92.19	91.02
W5	92.18	90.67
D1	90.01	NOT VLS
W6	90.94	89.96
W7	87.91	86.56
W8	90.94	90.15
W9	87.58	86.47
W10	87.75	86.02
W11	87.75	86.02



TREE DIAGRAM



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2020/0236

CLIENT Shannon Deeran	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY	DATE OF SURVEY 30.03.2017 & 6.06.2019 ORIGIN OF LEVELS PM 364 RL 91.923 (AHD) ORIGIN OF COORDS PM 365 (MGA) CONTOUR INTERVAL 0.5m	DRAWING TITLE DETAIL SURVEY PLAN PROPOSED SUBDIVISION OF LOT 130 DP 11162 No.15 ALTO AVENUE, SEAFORTH	SCALE 1:100 @ A1 REVISION D SHEET 2 OF 2 REF 16123_SUB_1D
	D 28.02.2020	UPDATE PROPOSED SUBDIVISION BOUNDARY AND BUILDING ENVELOPES	PK	PK	PK/JM			
	C 11.06.2019	STORMWATER DATA ADDED AND PROPOSED BUILDING ENVELOPE UPDATED (PROPOSED LOT 1)	PK	CE	GC			
	B 14.03.2019	TREE DETAILS UPDATED	PK	PK	PK			
	A 30.06.2017	INITIAL ISSUE	PK	CE	PM			