

Thermal Commitments:

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Roof Insulation: R4.0 as per detail on plans.
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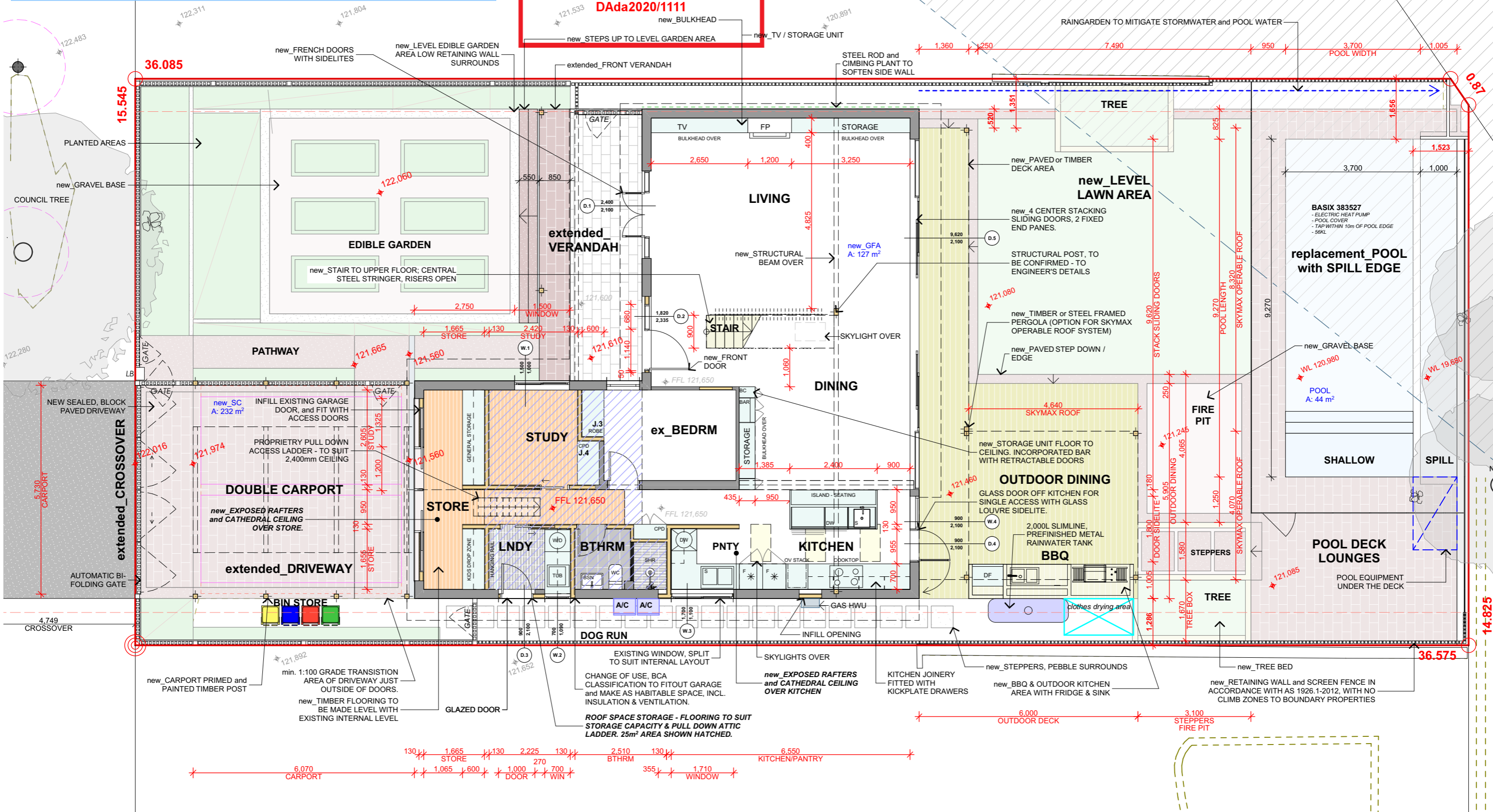
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BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A383527_02



2. PROPOSED_GROUND FLOOR PLAN 1:100

ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
D	RP	ISSUE FOR DEVELOPMENT APPLICATION	21.07.2020				
E	RP	ISSUE FOR DEVELOPMENT APPLICATION - NOT ISSUED TO CONSENT	21.07.2020				
C	RP	ISSUE FOR PRICING	18.06.2020				
B	RP	ISSUE FOR APPROVAL AND PRICING	06.06.2020				
A	RP	ISSUE FOR INITIAL REVIEW	02.06.2020				

GENERAL NOTES
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DEVELOPMENT APPLICATION
 SITE IDENTIFIED AS BUSHFIRE ZONE (BAL-29 & BAL19); GEOTECHNICAL RISK ASSESSMENT APPLIES

DIAL1100 BEFORE YOU DIG

Lot & DP
LOT 2, DP 238751

North

Project
PROPOSED ALTERATIONS & ADDITIONS:
 - Internal and External Modifications, Rectifications and Improvements; and Concept Landscape Plan
11 BROOKER AVENUE, BEACON HILL NSW, 2100

Client
JOHN and JENNIFER WHYTE

Scale
 AS NOTED @ A3

Drawn
 R.P.

Date	Issue	Scale	Drawn	Checked	Issue
MAY 2020	AS NOTED @ A3	R.P.			

Sheet No
DA-105

Issue
E

PH: 9960 0140
 M: 0410 669 148
 E: jhargrove@bigpond.com
 A: PO Box 416 Spit Junction NSW 2098

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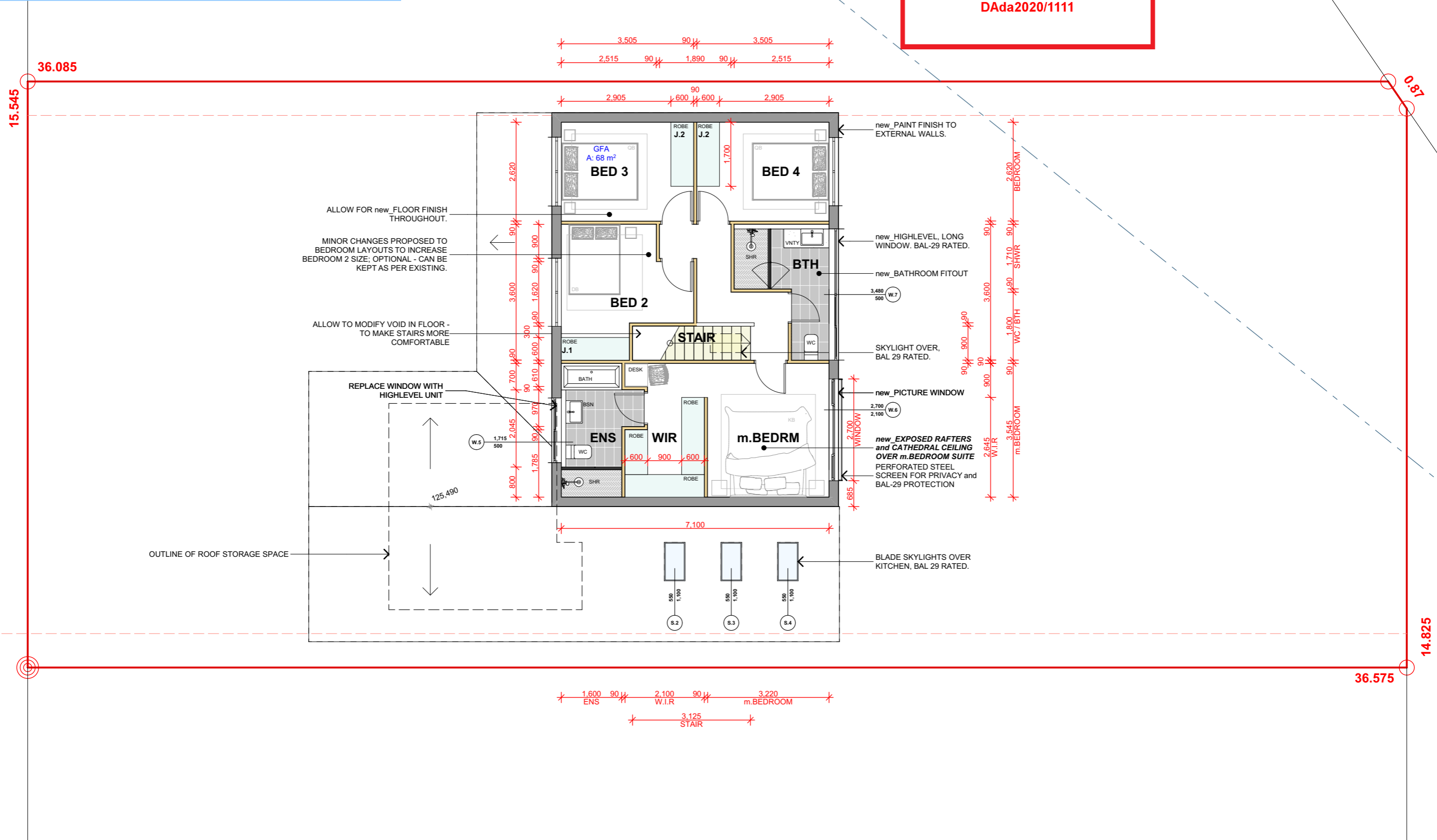
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3. PROPOSED FIRST FLOOR PLAN 1:100

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DEVELOPMENT APPLICATION

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Lot & DP
LOT 2, DP 238751

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North

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Client
JOHN and JENNIFER WHYTE

Designer
HARGROVES DESIGN CONSULTANTS
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E: jhargrove@bigpond.com
A: PO Box 416 Spit Junction NSW 2098

Date
MAY 2020

Scale
AS NOTED @ A3

Drawn
R.P.

Title
PROPOSED FIRST FLOOR PLAN

Sheet No
DA-106

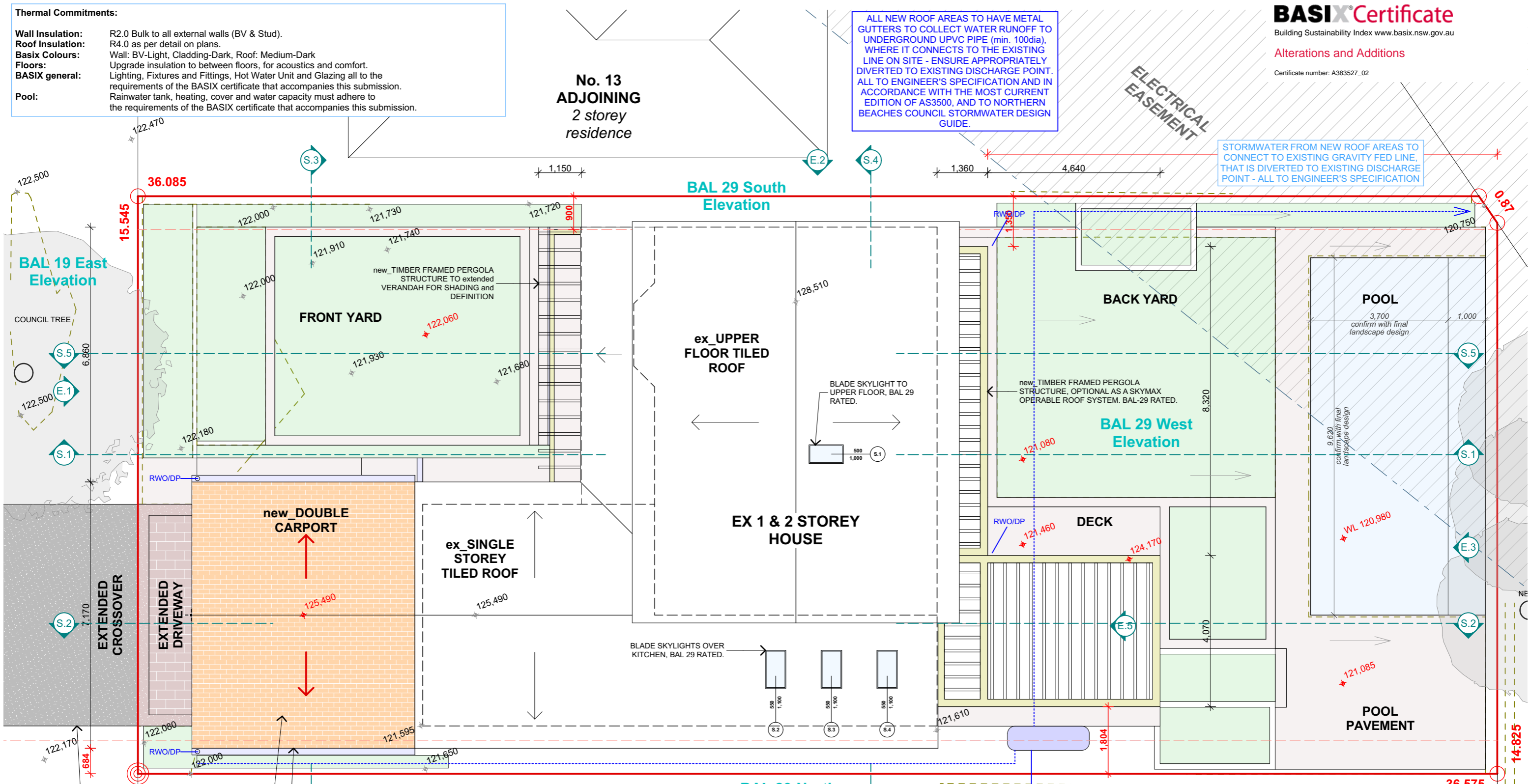
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ALL NEW ROOF AREAS TO HAVE METAL GUTTERS TO COLLECT WATER RUNOFF TO UNDERGROUND UPVC PIPE (min. 100dia), WHERE IT CONNECTS TO THE EXISTING LINE ON SITE - ENSURE APPROPRIATELY DIVERTED TO EXISTING DISCHARGE POINT. ALL TO ENGINEER'S SPECIFICATION AND IN ACCORDANCE WITH THE MOST CURRENT EDITION OF AS3500, AND TO NORTHERN BEACHES COUNCIL STORMWATER DESIGN GUIDE.

STORMWATER FROM NEW ROOF AREAS TO CONNECT TO EXISTING GRAVITY FED LINE, THAT IS DIVERTED TO EXISTING DISCHARGE POINT - ALL TO ENGINEER'S SPECIFICATION



No. 13
 ADJOINING
 2 storey
 residence

No. 9
 ADJOINING
 1 storey
 residence

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DAda2020/1111

NEW CONCRETE CROSSOVER TO BE BUILT IN ACCORDANCE WITH COUNCIL'S STANDARD DETAILS and CROSSOVER APPLICATION

new TIMBER FRAMED SCISSOR TRUSS (EXPOSED COLLAR TIE CARPORT ROOF; TILED FINISH)

PRE FINISHED METAL HALF ROUND GUTTERS TO COLLECT AND DIVERT ROOF RUNOFF TO STORMWATER SYSTEM UNDERGROUND AND TAP INTO EXISTING GRAVITY FED DRAINAGE SYSTEM.

4. PROPOSED ROOF PLAN 1:100

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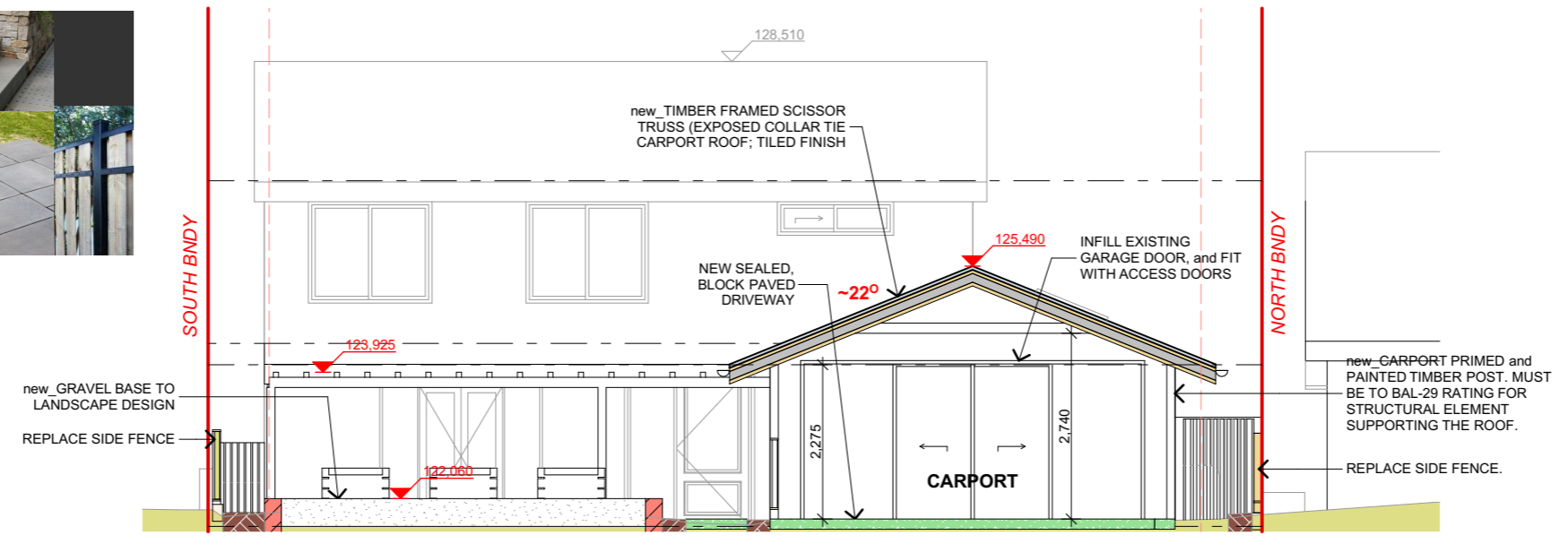
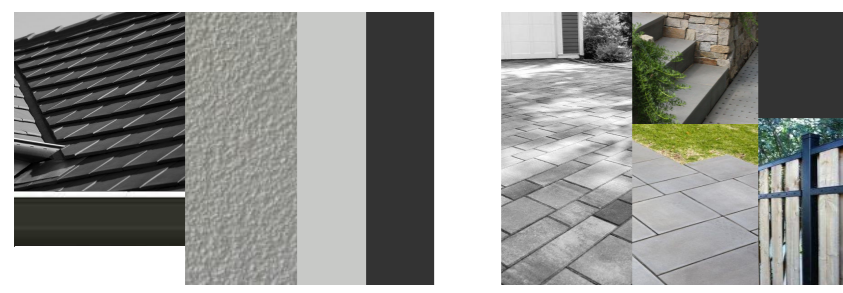
DEVELOPMENT APPLICATION

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	Lot & DP LOT 2, DP 238751		Project PROPOSED ALTERATIONS & ADDITIONS: - Internal and External Modifications; Rectifications and Improvements; and Concept Landscape Plan 11 BROOKER AVENUE, BEACON HILL NSW, 2100	Designer HARGROVES DESIGN CONSULTANTS PH: 9960 0140 M: 0410 669 148 E: jhargrove@bigpond.com A: PO Box 416 Spit Junction NSW 2098
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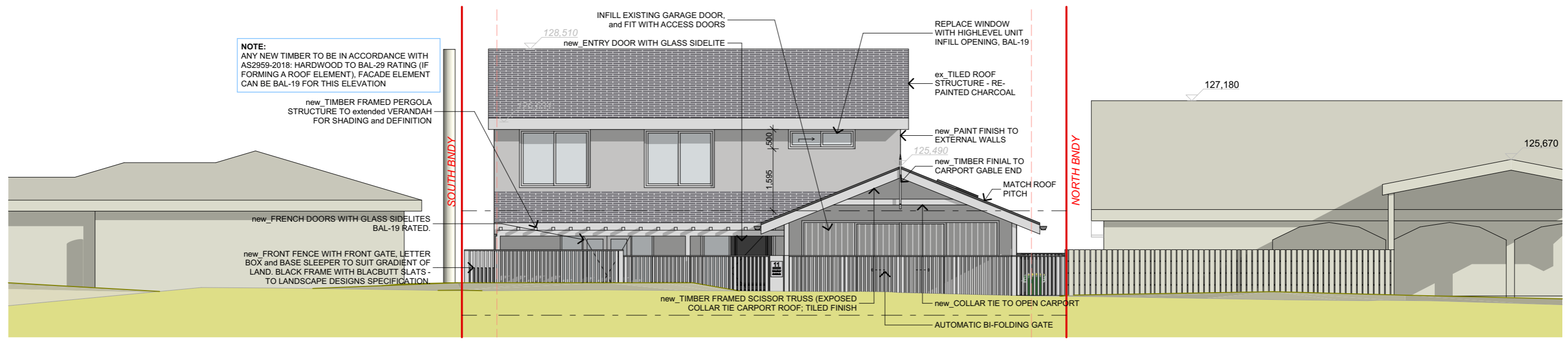
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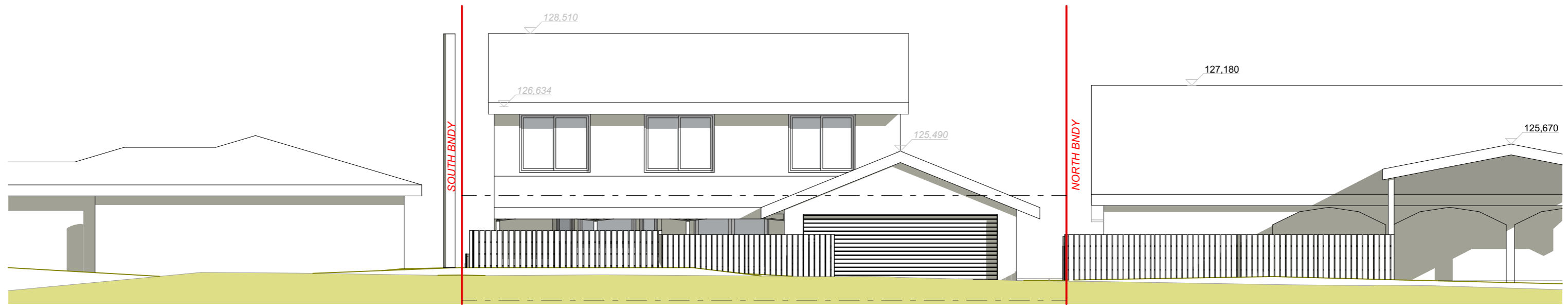


S.3 PROPOSED_SECTION_CARPOT 1:100 BAL 19 East Elevation

NOTE:
ANY NEW TIMBER TO BE IN ACCORDANCE WITH AS2959-2018: HARDWOOD TO BAL-29 RATING (IF FORMING A ROOF ELEMENT), FACADE ELEMENT CAN BE BAL-19 FOR THIS ELEVATION



E.1 PROPOSED_BROOKER AVE ELEVATION (EAST) 1:100 BAL 19 East Elevation



E.1 EXISTING_BROOKER AVE ELEVATION (EAST) 1:100

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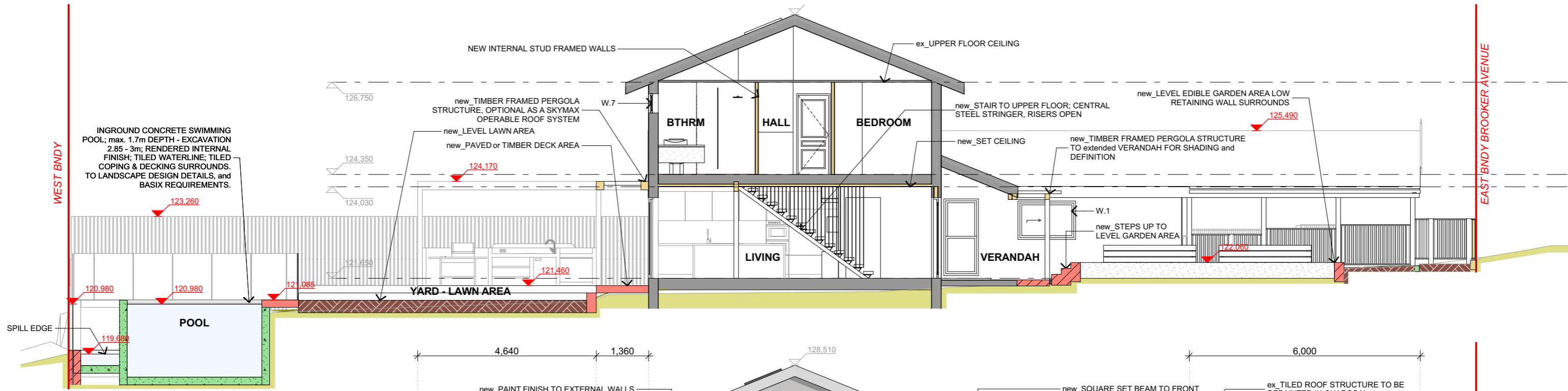
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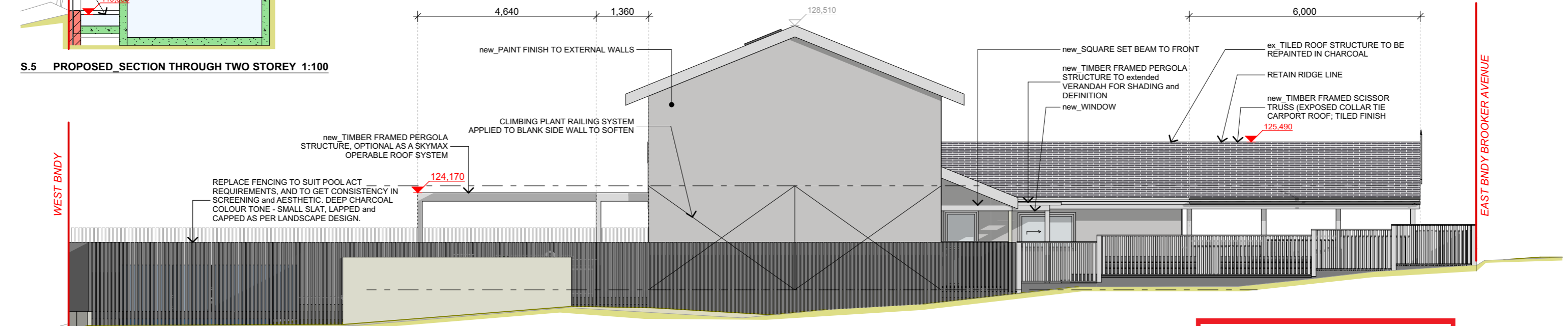
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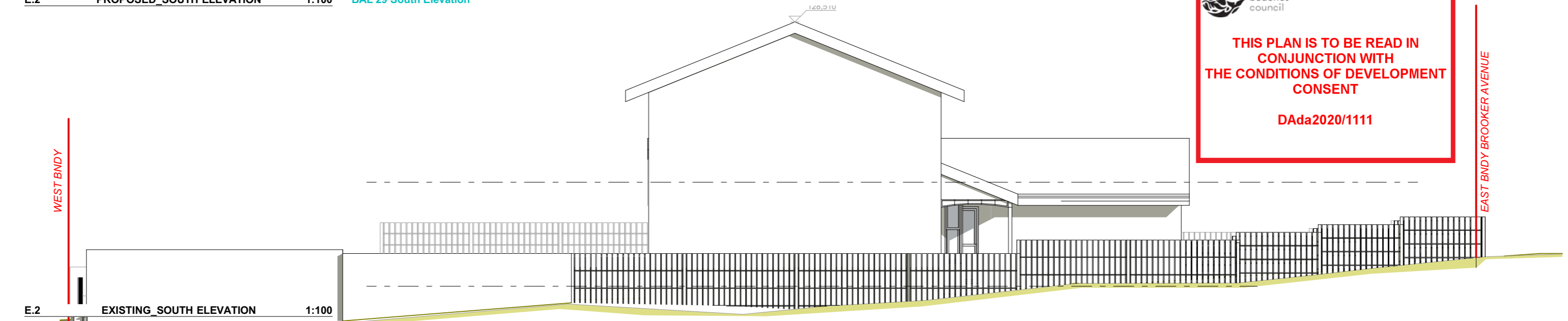
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S.5 PROPOSED_SECTION THROUGH TWO STOREY 1:100



E.2 PROPOSED_SOUTH ELEVATION 1:100 BAL 29 South Elevation



E.2 EXISTING_SOUTH ELEVATION 1:100

 northern beaches council
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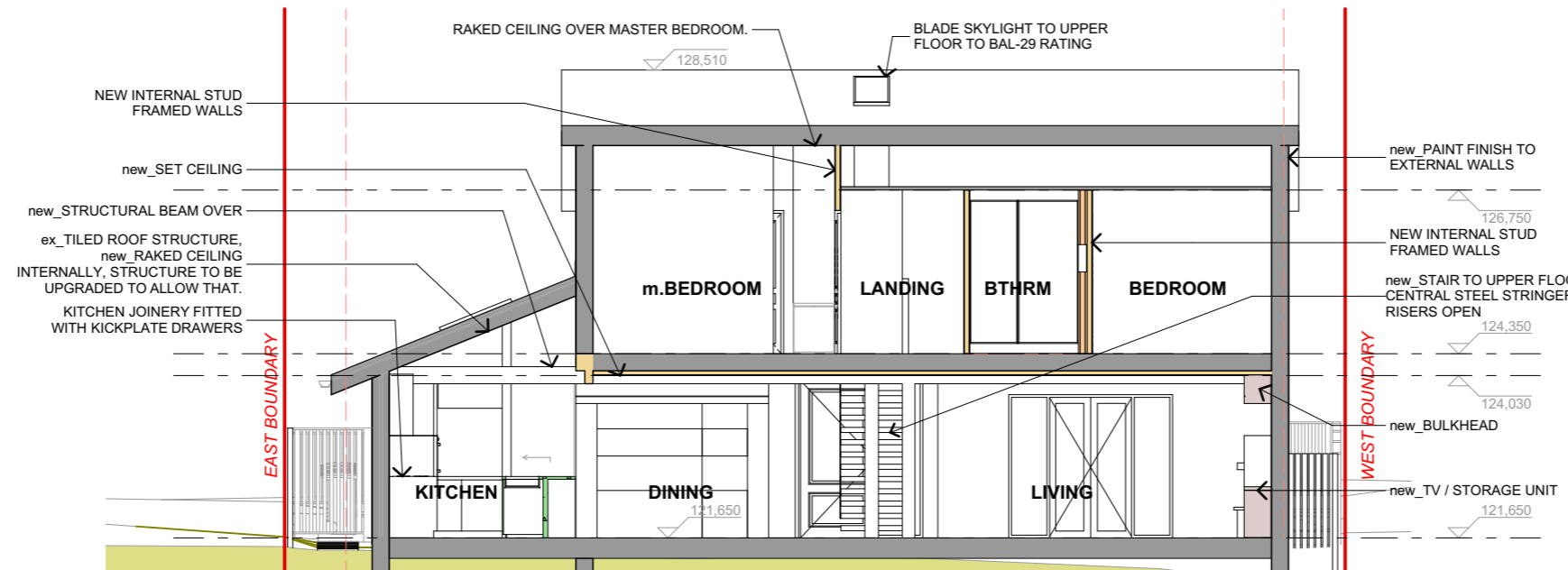
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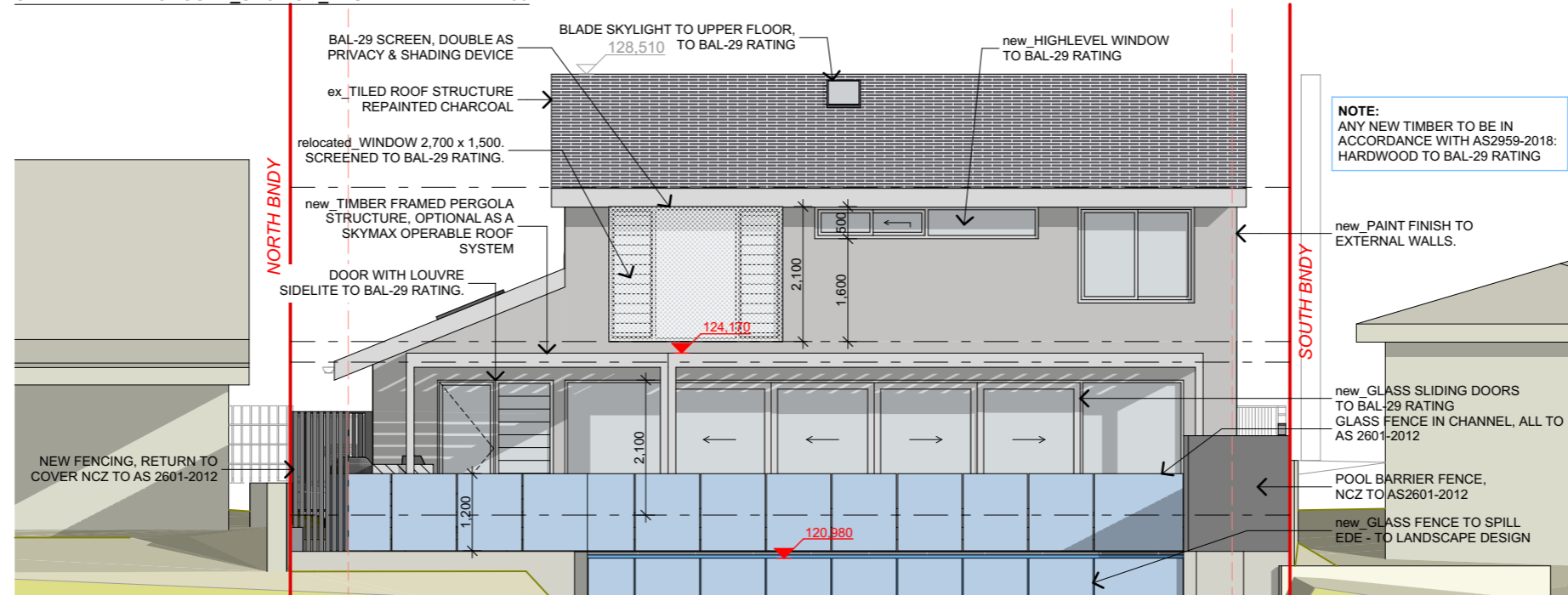
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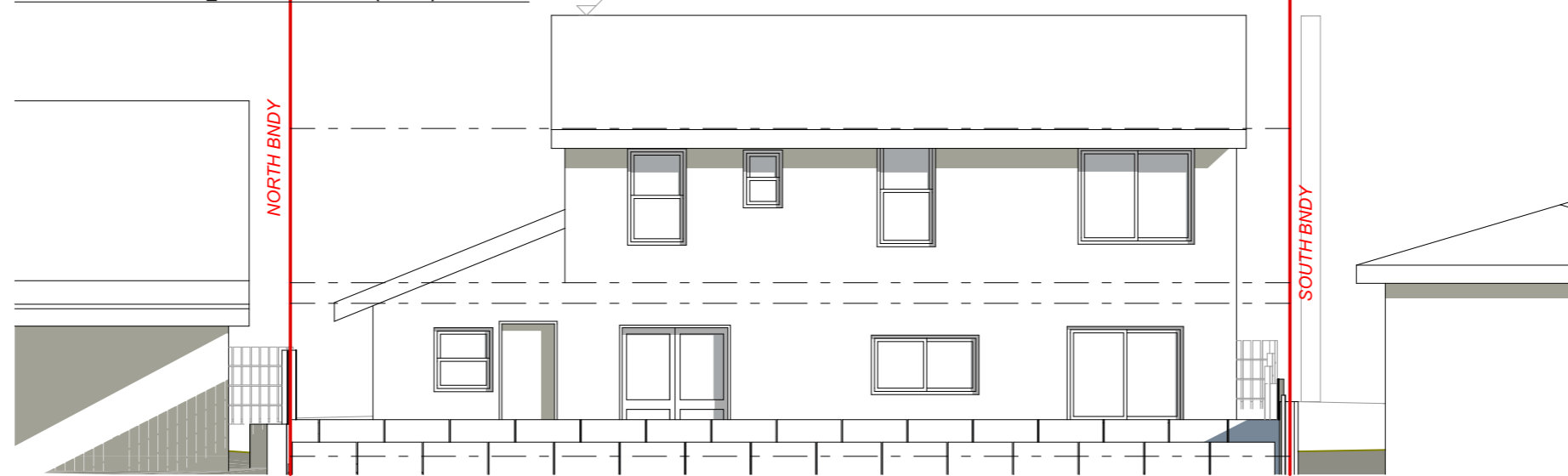
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S.4 PROPOSED_SECTION_LAUNDRY 1:100



E.3 PROPOSED_REAR ELEVATION (WEST) 1:100 BAL 29 West Elevation



E.3 EXISTING_REAR ELEVATION (WEST) 1:100

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Lot & DP
LOT 2, DP 238751

North

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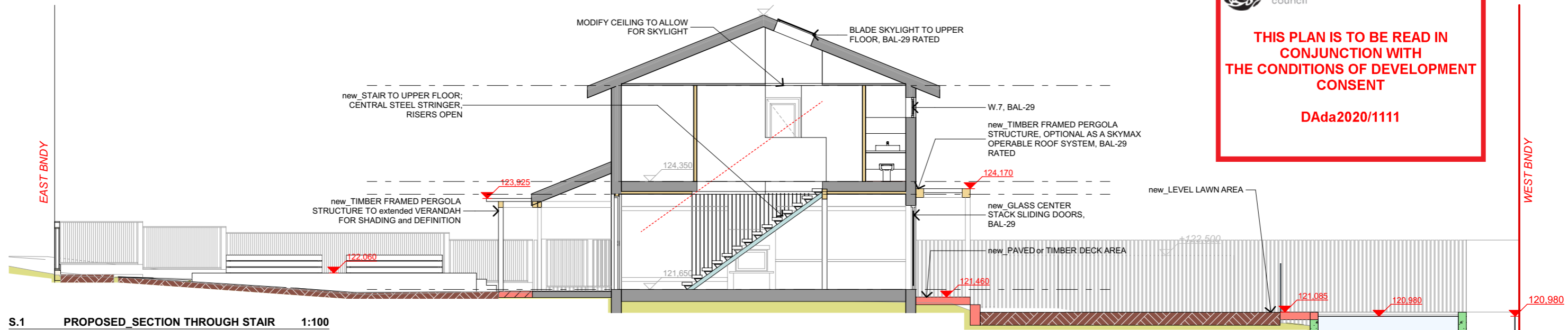
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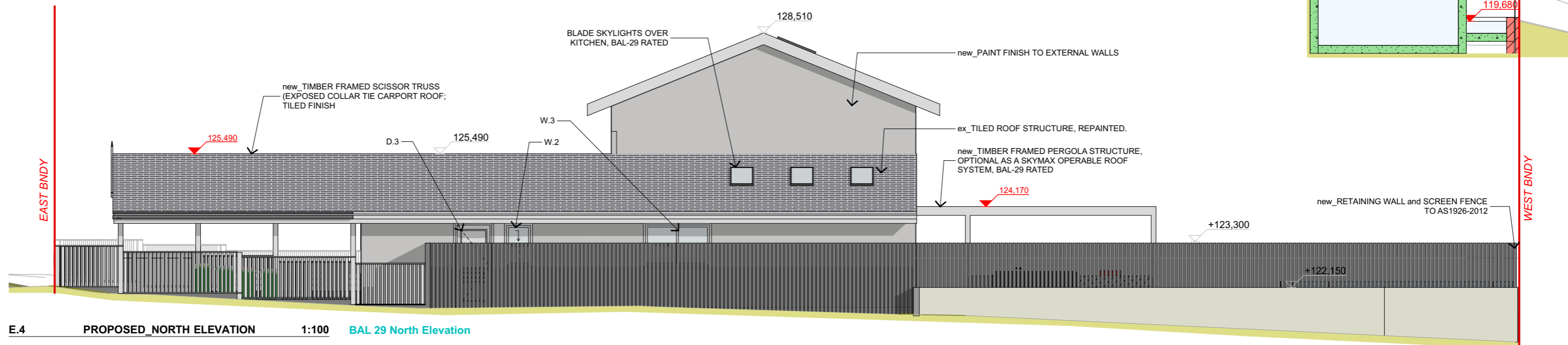
Project		Designer	
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Client	JOHN and JENNIFER WHYTE	Date	MAY 2020
Scale	AS NOTED @ A3	Title	ELEVATIONS & SECTIONS - sheet 3
Drawn	R.P	Sheet No	DA-112
		Issue	E

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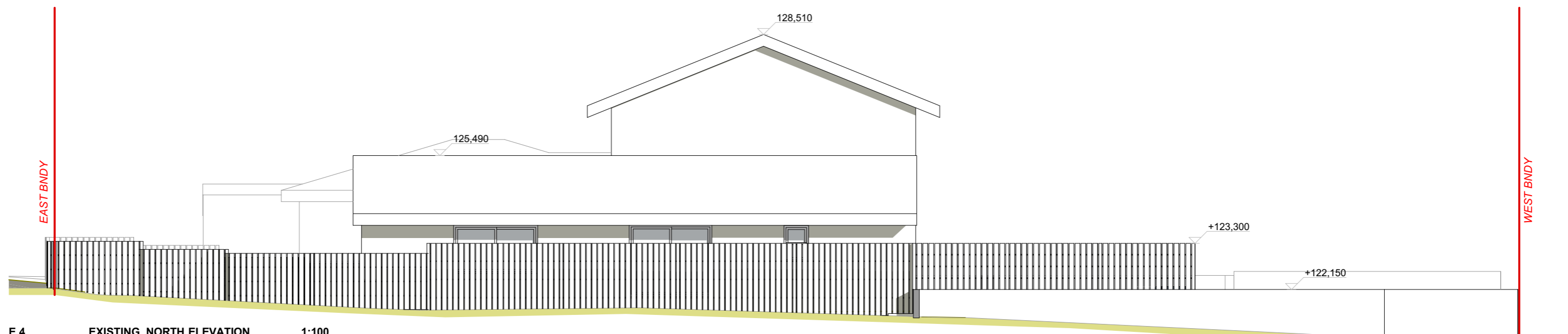
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S.1 PROPOSED_SECTION THROUGH STAIR 1:100



E.4 PROPOSED_NORTH ELEVATION 1:100 BAL 29 North Elevation



E.4 EXISTING_NORTH ELEVATION 1:100

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Sheet No: **DA-113** Issue: **E**