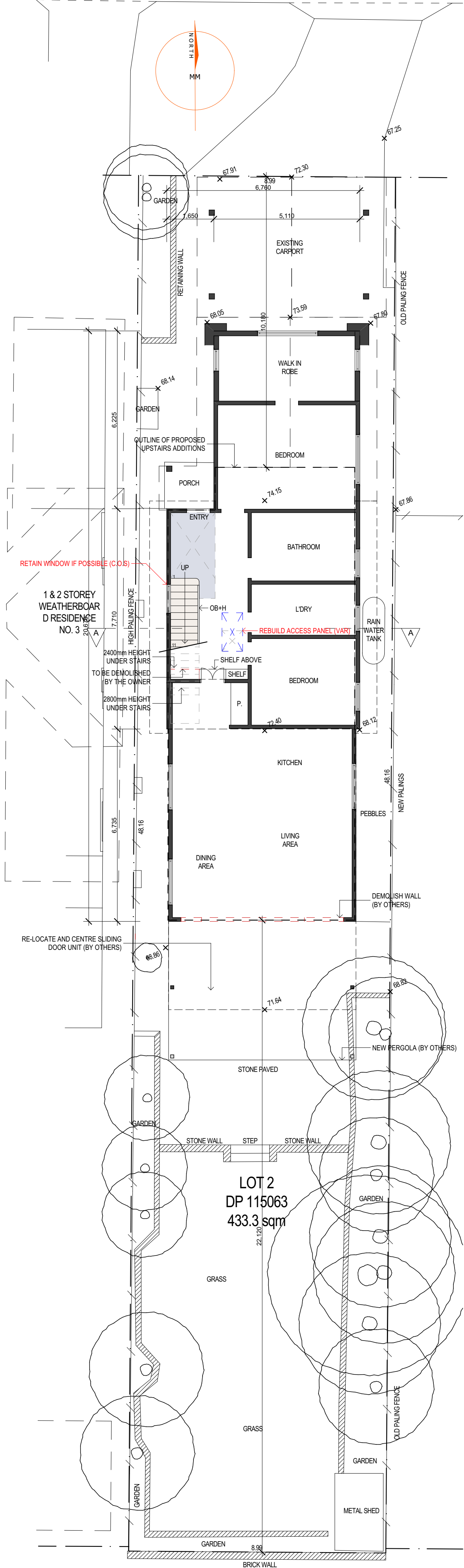


PEACOCK STREET

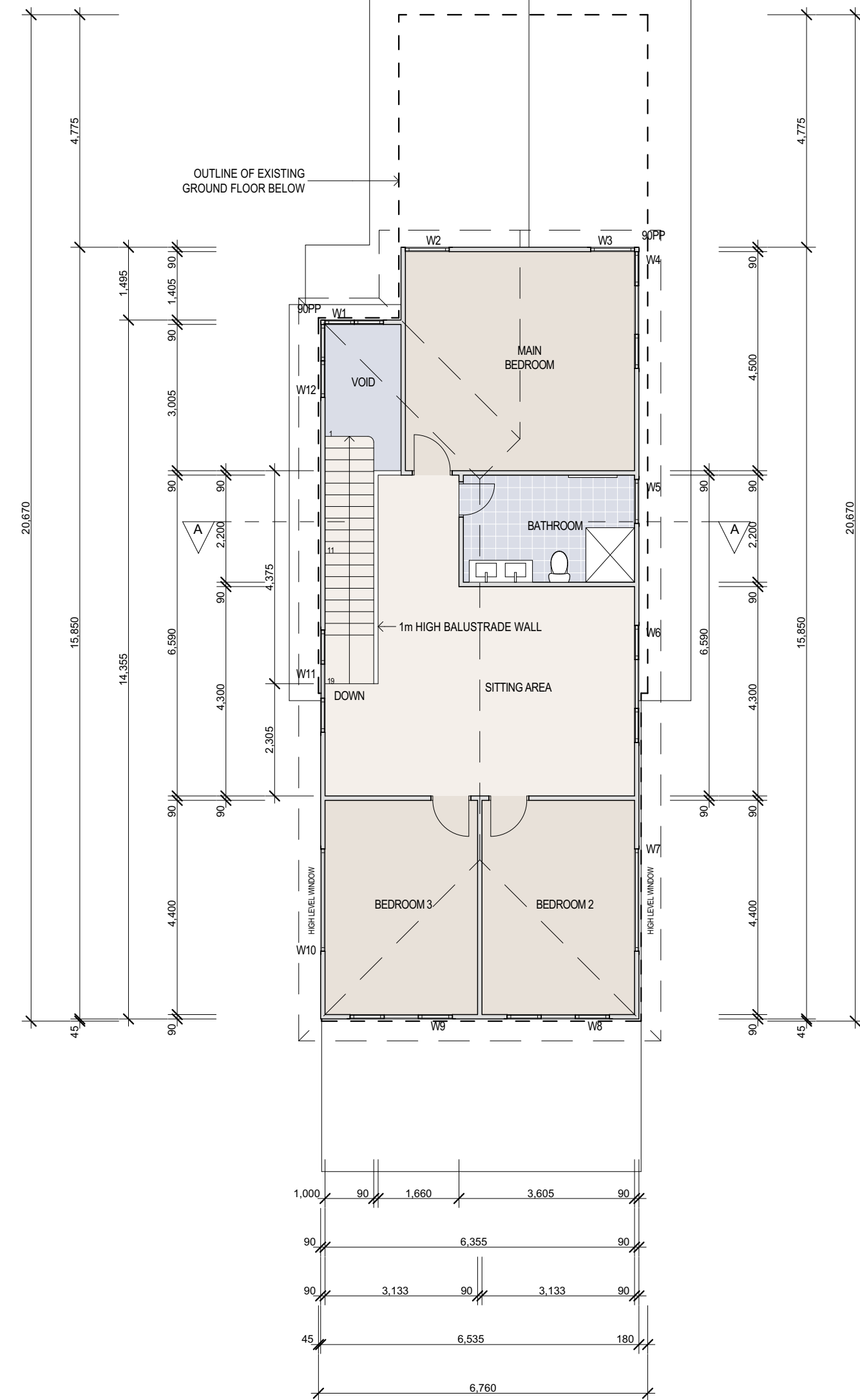


OPEN SPACE CALCULATIONS			
SITE AREA	433.3 sqm		
EXIST. IMPERVIOUS AREA	291.4 sqm	67%	
PROPOSED IMPERVIOUS AREA	261.4 sqm	60%	
EXIST. LANDSCAPED AREA	171.9 sqm	40%	
PROPOSED LANDSCAPED AREA	171.9 sqm	40%	
EXISTING FLOOR AREA	112.9 sqm		
PROPOSED FLOOR AREA	197.9 sqm		
TOTAL FLOOR AREA			
FSR	0.45:1		
NO CHANGE TO EXISTING FOOTPRINT OR LANDSCAPE			

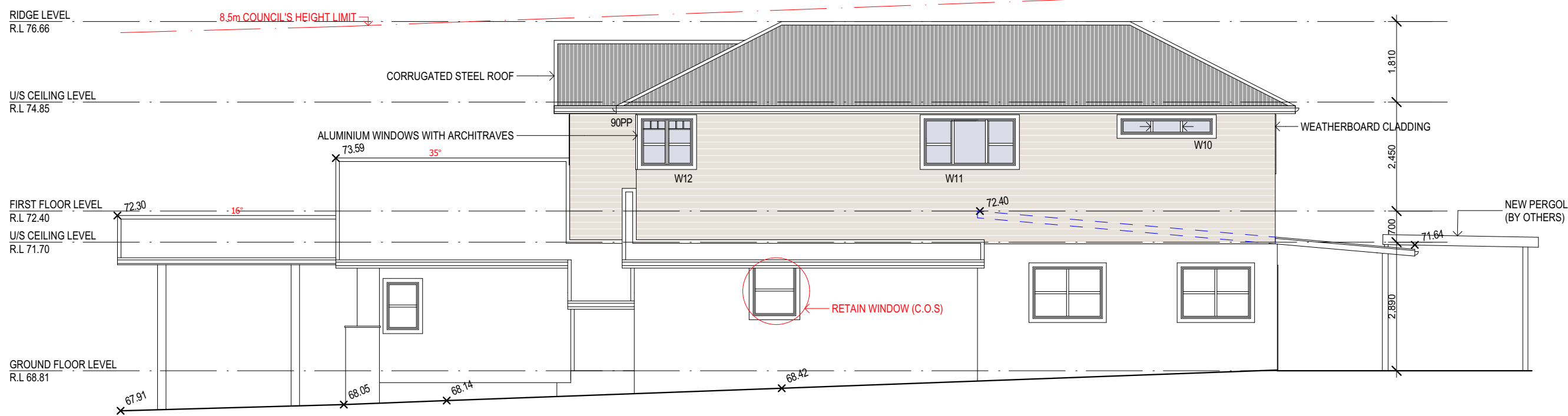
BASIX REQUIREMENTS	
- 40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED.	
- BATHROOM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.	
- EXTERNAL WALL TO HAVE R1.70 OR GREATER INSULATION	
- FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm)	
- IMPROVED ALUMINIUM WINDOWS	
- W4, W5, W6, W10, W11, W12, D1, AND D2 TO HAVE PYRO LOW-E GLASS (NO GREATER THAN U-VALUE OF 4.48 AND SHGC OF 0.46)	

LEGEND & GENERAL NOTES	
VAR.	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
90°	90 x 90 TIMBER POST
S.L.	SKY LIGHT
SHW	SHOWER ENCLOSURE
V	VANITY UNIT
WC	TOILET SUITE (WATER CLOSET)
ST	STONE
CDS	TO BE CHECKED ON SITE
OPT.	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
CPAS	DOWNPIPE AND SPREADER
NOTE 1	ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.
CONSTRUCTION LEVELS	SUBCONTRACTOR TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLIED WITH
CONSTRUCTION LEVELS	SUBCONTRACTOR TO CONFIRM DA LEVELS COMPLIANCE WITH TMH HOOKS BEFORE FINALISING FLOOR STRUCTURE

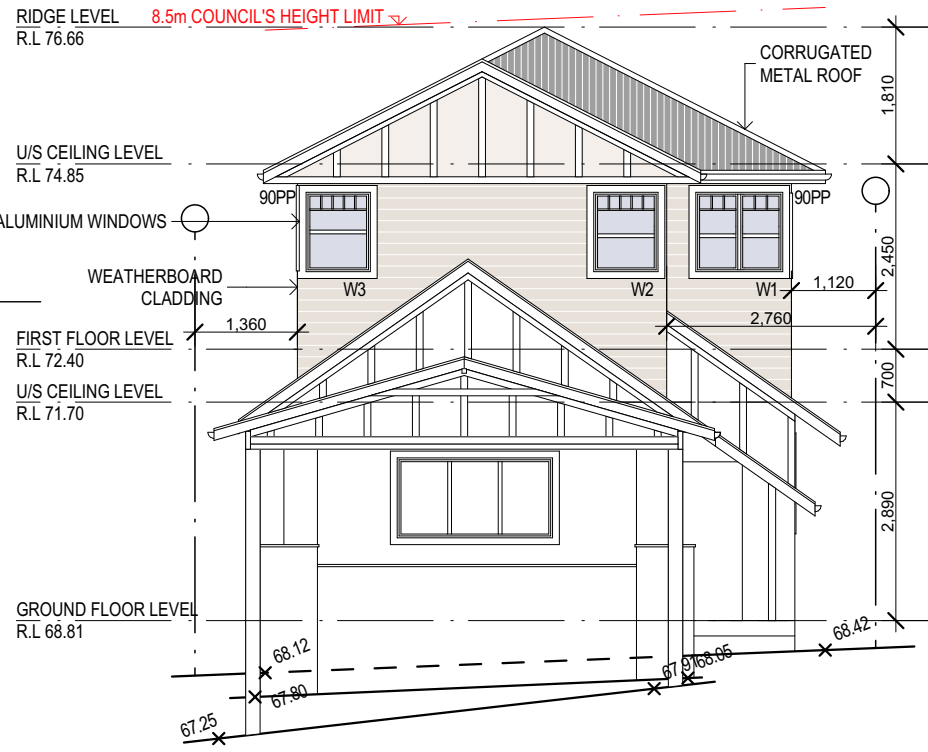
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT  
DA2020/1316



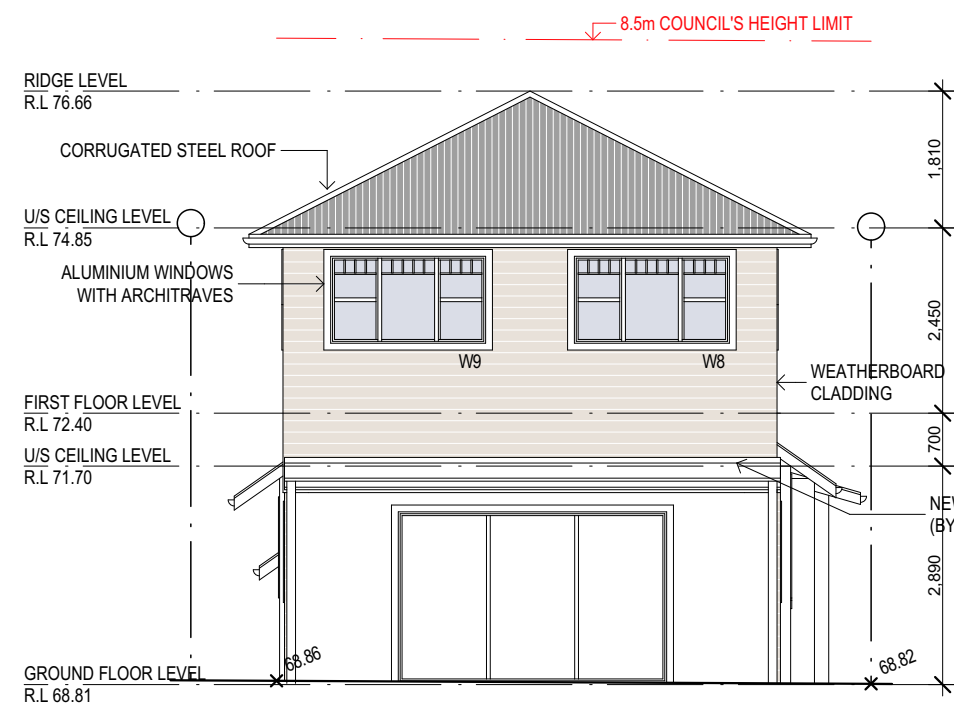
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



ARTIST'S IMPRESSION  
FOR ILLUSTRATION PURPOSES ONLY, NOT TO BE READ AS A WORKING DRAWING

FRAMING NOTES.	
ROOF PITCH	NEW: 27° TO BE CHECKED
FRAME HEIGHT	2450mm
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT	2130mm
INTERNAL DOOR	2110mm
DOOR AND WINDOW NEBS	90mm MIN UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRES	600mm
DOOR STUD OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED

SECTION A-A

PROJECT TITLE.  
FIRST FLOOR ADDITION AT  
1 PEACOCK STREET SEAFORTH 2092

B FOR COUNCIL	28/08/20	GK
A FOR PLAN MEETING	20/07/20	GK
NO. REVISION	DATE	BY
SCALE: 1:100	DATE: 28/08/20	
DRAWN BY: GK	CHECKED: CW	
TITLE: PLANS, ELEVATIONS AND SECTIONS		
DRAWING NO. 9293 DA 1	ISSUE B	



ADD-STYLE HOME ADDITIONS  
5/319 CONDOMINE STREET  
MANLY VALE 2093  
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