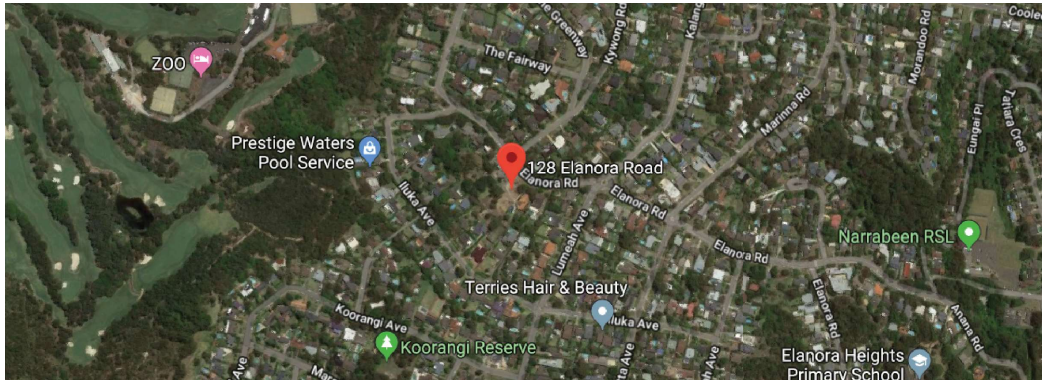


S4.55(2) APPLICATION



NTS LOCATION PLAN



INDEX	LAYOUT	DRAWING		UPDATED DATE
		ID	NAME	
APPLICATION PACKAGE				
	A0 COVER PAGE		LOCATION PLAN	26/11/2020 11:56 AM
	A0 COVER PAGE		DRAWING LIST	26/11/2020 12:09 PM
A1 SITE DRAWINGS				
	A1.1 SITE PLAN		SITE PLAN	26/11/2020 11:56 AM
	A1.2 SITE ANALYSIS		SITE ANALYSIS	26/11/2020 11:56 AM
	A1.3 JUNE SHADOW PLANS		SHADOW PLAN 21 JUN a...	26/11/2020 11:56 AM
	A1.3 JUNE SHADOW PLANS		SHADOW PLAN 21 JUN a...	26/11/2020 11:56 AM
	A1.3 JUNE SHADOW PLANS		SHADOW PLAN 21 JUN a...	26/11/2020 11:56 AM
	A1.4 DECEMBER SHADOW PLANS		SHADOW PLAN 21 DEC ...	26/11/2020 11:56 AM
	A1.4 DECEMBER SHADOW PLANS		SHADOW PLAN 21 DEC ...	26/11/2020 11:56 AM
	A1.4 DECEMBER SHADOW PLANS		SHADOW PLAN 21 DEC ...	26/11/2020 11:56 AM
A2 FLOOR PLANS				
	A2.1 LOWER GROUND FLOOR	0.	LOWER GROUND FLOOR	26/11/2020 11:56 AM
	A2.2 GROUND FLOOR	1.	GROUND FLOOR	26/11/2020 11:56 AM
	A2.3 ROOF PLAN	3.	ROOF PLAN	26/11/2020 11:56 AM
A3 ELEVATIONS				
	A3.1 NORTH/EAST	E	ELEVATION	26/11/2020 11:56 AM
	A3.1 NORTH/EAST	N	ELEVATION	26/11/2020 11:56 AM
	A3.2 SOUTH/WEST	S	ELEVATION	26/11/2020 11:56 AM
	A3.2 SOUTH/WEST	W	ELEVATION	26/11/2020 11:56 AM
A4 SECTIONS				
	A4.1 SECTION A-A & B-B	A	SECTION	26/11/2020 11:56 AM
	A4.1 SECTION A-A & B-B	B	SECTION	26/11/2020 11:56 AM
	A4.2 SECTION C-C & D-D	C	SECTION	26/11/2020 11:56 AM
	A4.2 SECTION C-C & D-D	D	SECTION	26/11/2020 11:56 AM
A5 OTHER PLANS				
	A5.1 LANDSCAPE PLAN		LANDSCAPE PLAN	26/11/2020 11:56 AM
	A5.2 EROSION & SEDIMENT CONTRO...		EROSION & SEDIMENT ...	26/11/2020 11:56 AM
	A5.3 EXCAVATION PLAN		EXCAVATION & FILL PLAN	26/11/2020 11:56 AM
	A5.4 DRIVEWAY PLAN & SECTION		DRIVEWAY PLAN	26/11/2020 11:56 AM
	A5.4 DRIVEWAY PLAN & SECTION	E	SECTION	26/11/2020 11:56 AM
A6 SCHEDULES				
	A6.1 OPENINGS SCHEDULE		WINDOW/SKYLIGHT SC...	26/11/2020 11:56 AM



SITE INFORMATION : Climate Zone 5 (AS 4055-2006)
 Wind Class Unconfirmed (AS 2870-2011)
 Soil Class N/A
 BIAL <300 (Figure 3,7,5,2 NCC 2016 Vol. 2)
 Alpine Area Medium (Table 3.5.1, 1a NCC 2016 Vol. 2)
 Corrosion Environment Nil
 Other Hazards Nil

Drawn/Checked P/L JKS
 Plot Date: 26/11/2020
 Lot/Sec./DP: Lot 1, DP 1237847



DRAWING TITLE :

20128ELA
 Lot 1, 128 Elanora Rd

PROJECT NAME :

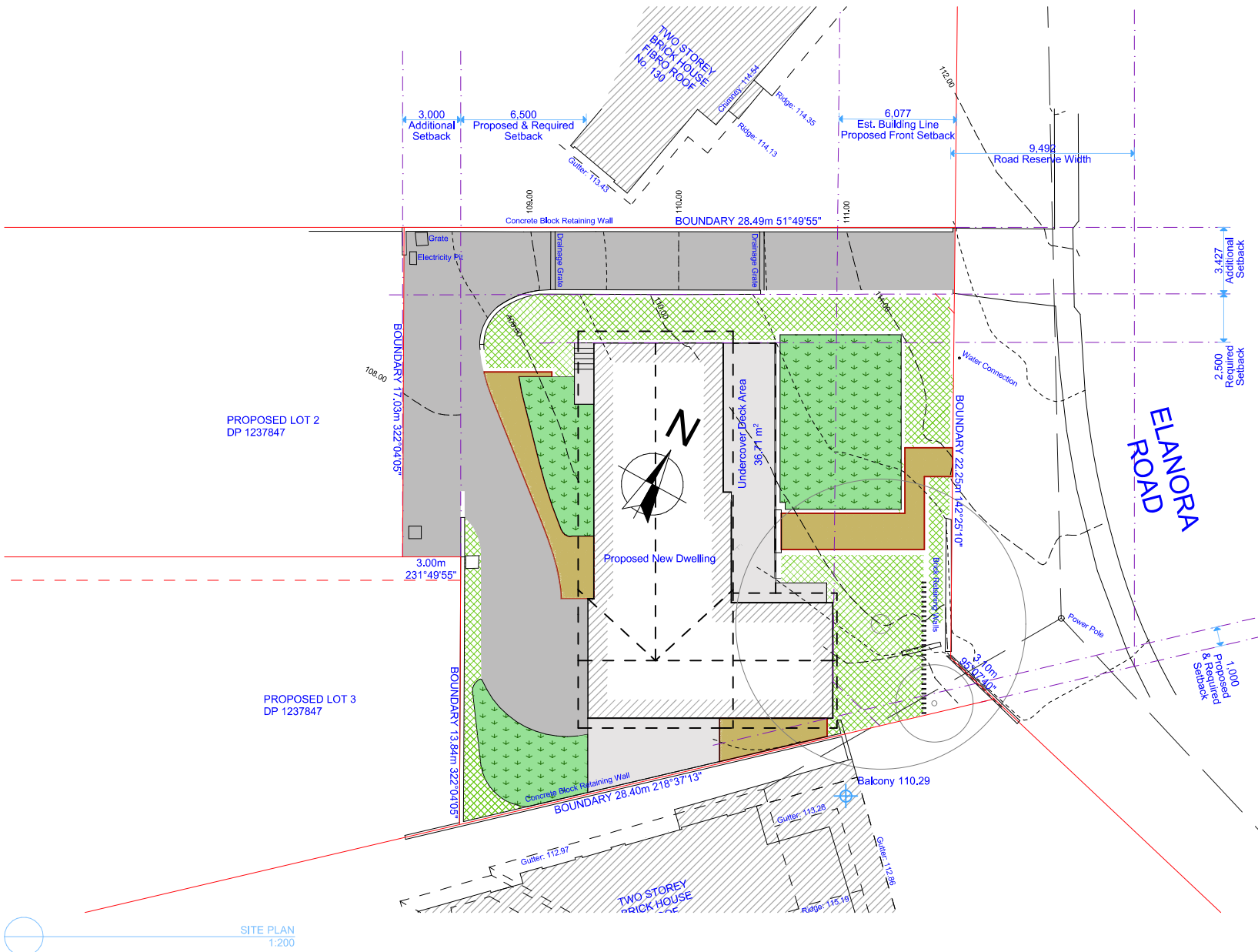
Elanora Passive

ISSUE NO.

05

DRAWING NO.

A0



SITE PLAN LEGEND & NOTES

- Existing Relative Level
- Proposed Relative Level

Contour Interval = 0.5m
 NB: Contours are only shown on areas not cut or filled by the proposal. For cut and fill detail and further excavation information see A5.3 Excavation & Fill Plan

- Landscaped area calculations and further landscape details shown on A5.1 landscape plan
- For further Driveway details see A5.4 Driveway Plan & Section

SITE PLAN
1:200

0004643268-03 27 Nov 2020

4.9 NATIONAL HOUSE

Assessor: Tracy Cooks
 Accreditation No.: HERA10033
 Address: 128 Banora Road, Banora Heights, NSW, 2101

69.5 Mm

www.nshh.org.au

NOTE
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Project Partners
 Refer to consultant documentation when directed

- EPC Consultant - NIA
- Energy Efficiency Consultants - Efficient Living Pty Ltd
- Hydraulic Engineer - NY Civil Engineering
- Landscape Designer - NIA
- Mechanical Engineer - NIA
- Planning Consultant - NIA
- Services - NIA
- Structural Engineer - TPA
- Surveyor - Hammond Smeath & Co. Pty Ltd



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 info@rubixcollective.com

Rev/ID	CHD	Change Name	Date

Drawn | Checked
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project NO: 2019BELA
 Project Status: \$4,55(2) APPLICATION

Client Site: Clear & Peter Shilling
 Lot 1, 128 Elanora Rd Elanora
 Heights NSW 2101 Australia

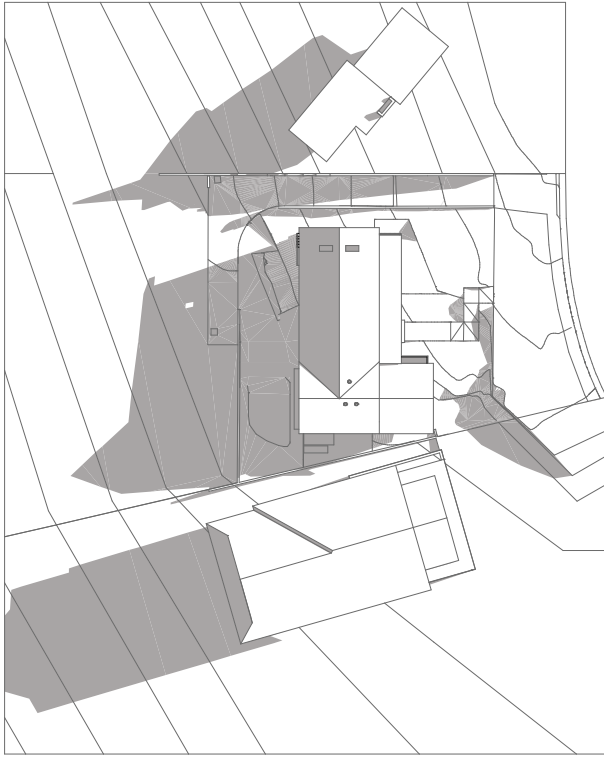


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 SITE DRAWINGS
SITE PLAN

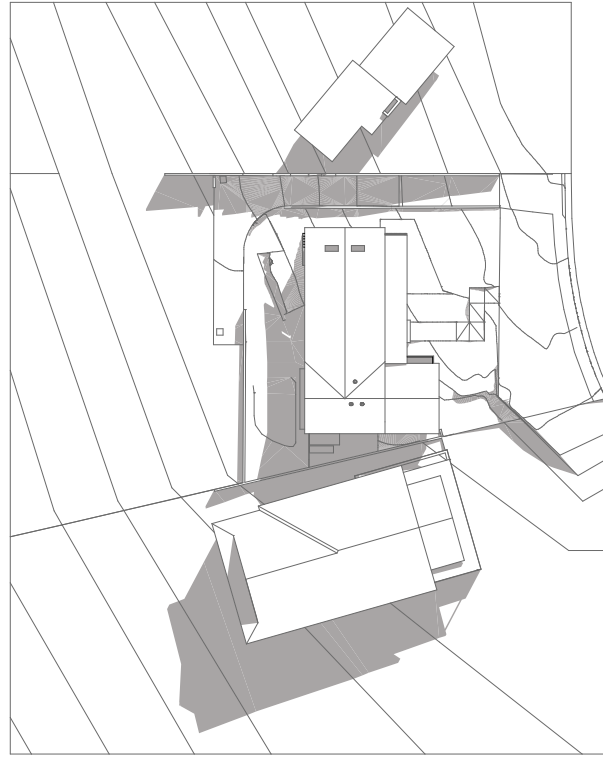
PROJECT NAME :
 Elanora Passive

ISSUE NO.
05

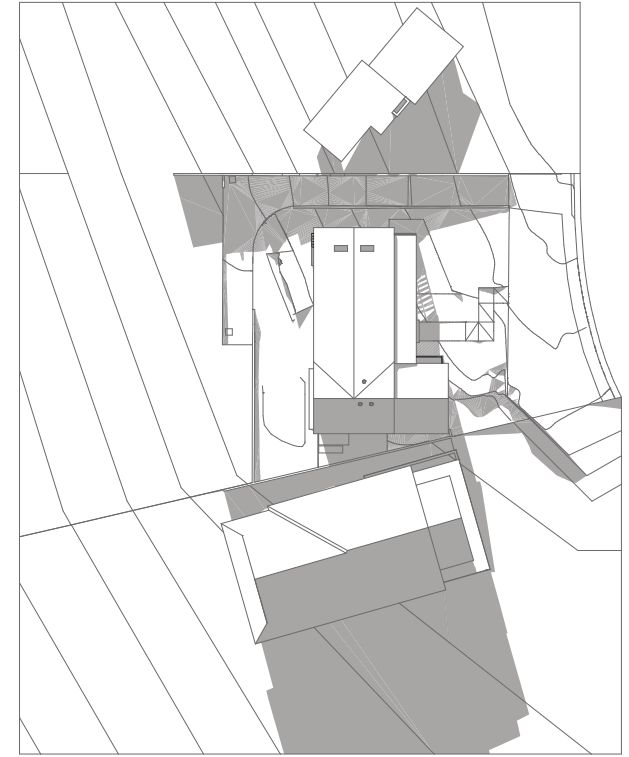
DRAWING NO.
A1.1



SHADOW PLAN 21 JUN at 09:00h
1:500



SHADOW PLAN 21 JUN at 12:00h
1:500



SHADOW PLAN 21 JUN at 15:00h
1:500



NOTE
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Project Partners
Refer to consultant documentation when directed
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 - Energy Efficiency Consultants - Efficient Living Pty Ltd
 - Hydraulic Engineer - NY Civil Engineering
 - Landscape Designer - NIA
 - Mechanical Engineer - NIA
 - Planning Consultant - NIA
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 - Surveyor - Hammond Smeeth & Co. Pty Ltd



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 office@rubixcollective.com

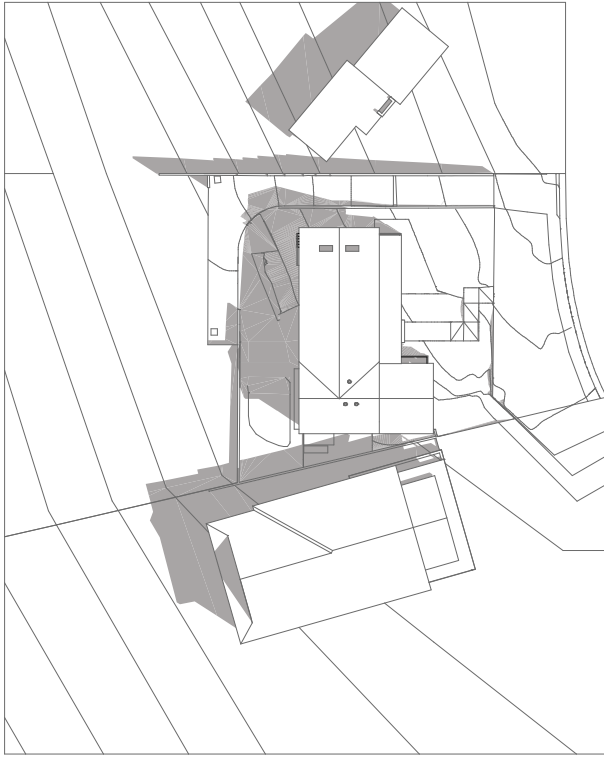
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Drawn | Checked | P.L. | K.S.
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project No: 2019BELA
 Project Status: S4,55(2) APPLICATION
 Client: Clear & Peter Shilling
 Site: Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia

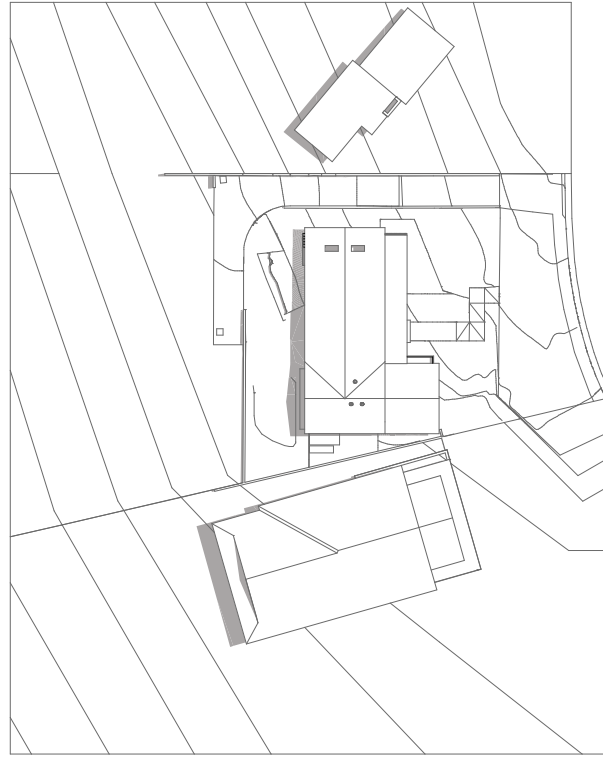


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 SITE DRAWINGS
JUNE SHADOW PLANS
PROJECT NAME :
Elanora Passive

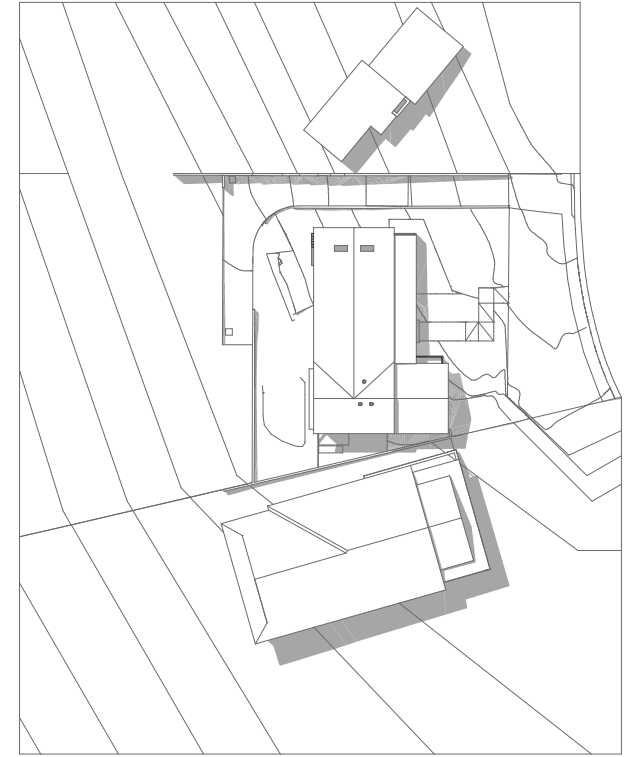
ISSUE NO.
05
 DRAWING NO.
A1.3



SHADOW PLAN 21 DEC at 0900h
1:500



SHADOW PLAN 21 DEC at 1200h
1:500



SHADOW PLAN 21 DEC at 1500h
1:500

0004643268-03 27 Nov 2020

Assessor Tracy Cooks
Accreditation No. HERA10033
Address 128 Banora Road, Banora Heights, NSW, 2101
www.nsthera.gov.au

4.9
NATIONWIDE HOUSE
69.5
18-03-128 hstar.com.au

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Project Partners
Refer to consultant documentation when directed
- R2C2 Consultant - NIA
- Energy Efficiency Consultants - Efficient Living Pty Ltd
- Hydraulic Engineer - NY Civil Engineering
- Landscape Designer - NIA
- Planning Consultant - NIA
- Surveyor - NIA
- Structural Engineer - TPA
- Surveyor - Hammond Smeeth & Co. Pty Ltd



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RevID	CHD	Change Name	Date

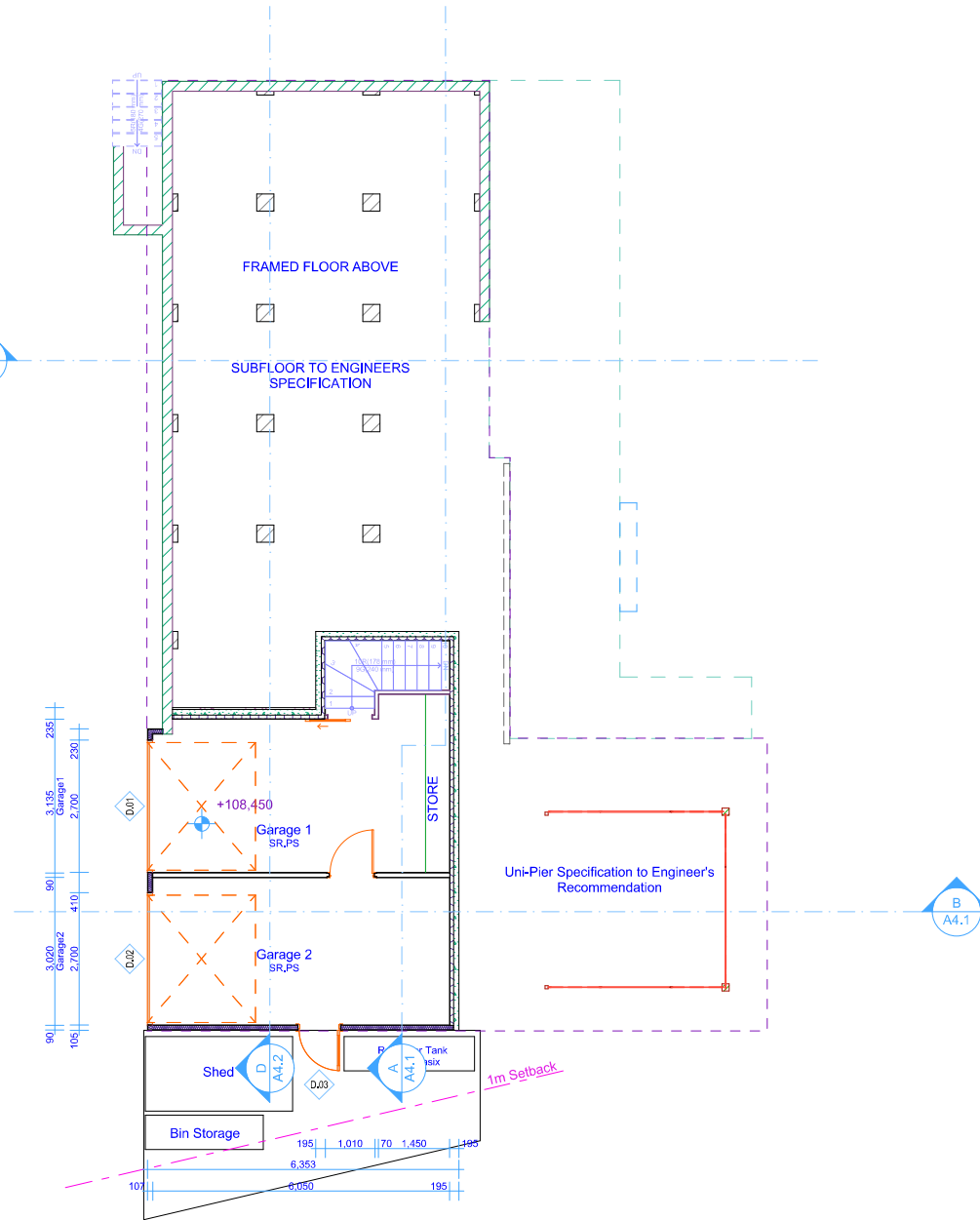
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Sheet Size: A3
Project NO: 2019BELA
Project Status: \$4,55(2) APPLICATION



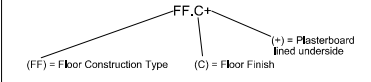
Client: Clear & Peter Shilling
Site: Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia

DRAWING TITLE : SITE DRAWINGS
DECEMBER SHADOW PLANS
PROJECT NAME : Elanora Passive

ISSUE NO.
05
DRAWING NO.
A1.4



FLOOR PLAN LEGEND & NOTES



FLOOR CONSTRUCTION TYPE QUICK REF.

FF	Framed Floor
SR	Stiffened Raft Slab
SS	Suspended Slab
SP	Structurally Insulated Panel
CL	Cross Laminated Timber

FLOOR FINISH REFERENCE

CT	Ceramic Floor Tile - Dry Area
CW	Ceramic Floor Tile - Wet Area
PT	Porcelain Floor Tile - Dry Area
PW	Porcelain Floor Tile - Wet Area
HT	Hardwood Floorboards
EF	Engineered Floating Floorboards
FL	Laminate Floating Floorboards
PS	Polished Slab
SC	Sealed Concrete Slab
C	Carpet w/ Underlay

DP Downpipe
 - In case of conflict, all structural details on this plan are superseded by the Structural Engineer's Drawings.



NOTE
 The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the designer, prior to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. The drawing reflects a design by The Rubix Collective and is to be used only for work when authorised in writing by The Rubix Collective.
 All boundaries and contours are subject to survey drawing as provided by Hammond Smeeth & Co. Pty Ltd. All levels to Australian Height Datum. It is the contractor's responsibility to confirm all measurements on site and locations of any services prior to work on site.
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Project Partners
 Refer to consultant documentation when directed
 eS&K Consultant - N/A
 - Energy Efficiency Consultants - Efficient Living Pty Ltd
 - Hydraulic Engineer - NY Civil Engineering
 - Landscape Designer - N/A
 - Mechanical Engineer - N/A
 - Planning Consultant - N/A
 - Structural Engineer - TPA
 - Surveyor - Hammond Smeeth & Co. Pty Ltd



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 office@rubixcollective.com

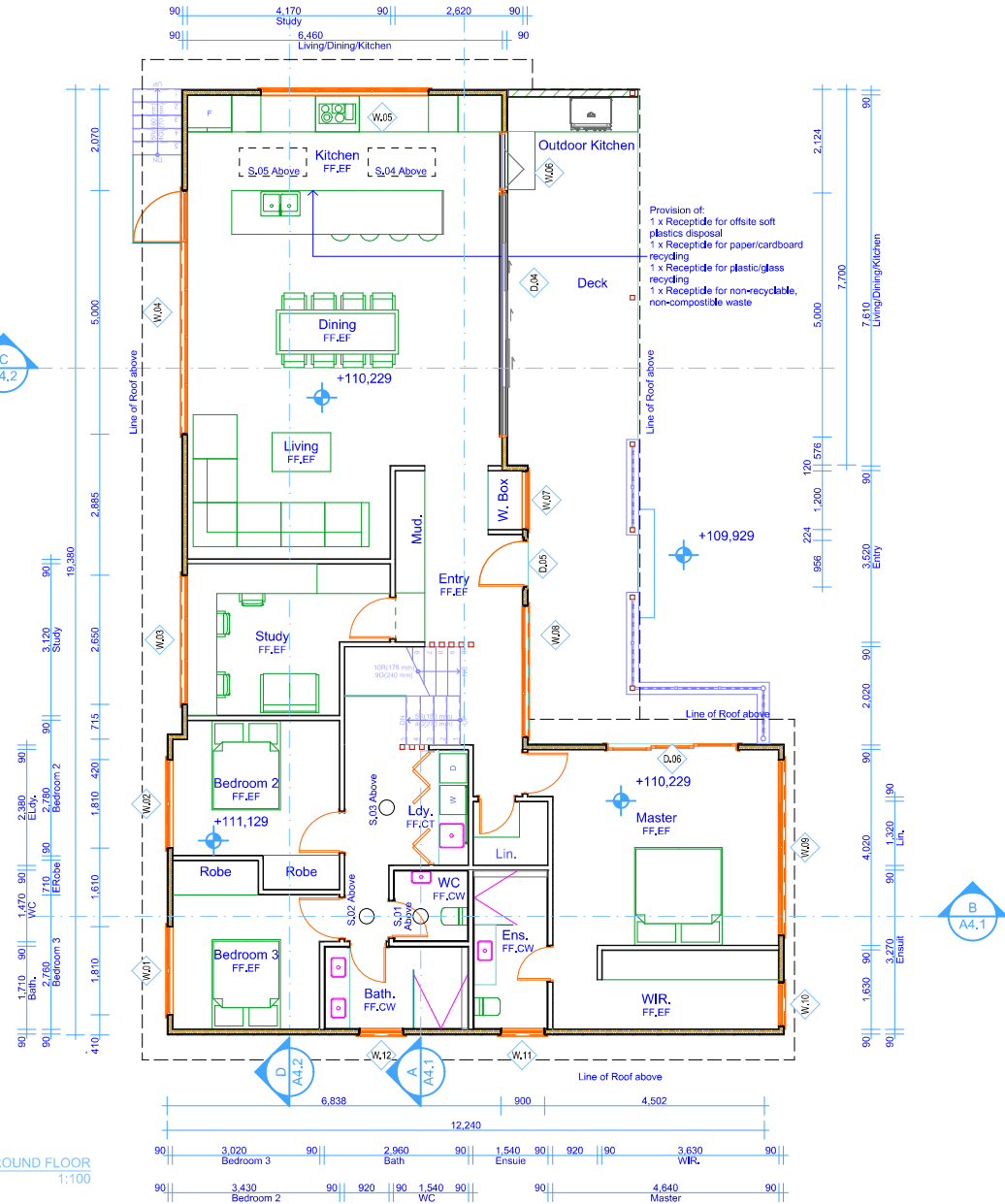
Rev#	CHD	Change Name	Date

Drawn | Checked | P.L. | K.S.
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project NO: 2019BELA
 Project Status: \$4,55(2) APPLICATION
 Client: Clear & Peter Shilling
 Site: Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia

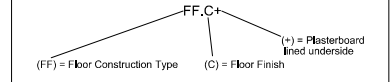


DRAWING TITLE : FLOOR PLANS
LOWER GROUND FLOOR
PROJECT NAME : Elanora Passive

ISSUE NO.
05
 DRAWING NO.
A2.1



FLOOR PLAN LEGEND & NOTES



FLOOR CONSTRUCTION TYPE QUICK REF.

FF	Framed Floor
SR	Stiffened Raft Slab
SS	Suspended Slab
SP	Structurally Insulated Panel
CL	Cross Laminated Timber

FLOOR FINISH REFERENCE

CT	Ceramic Floor Tile - Dry Area
CW	Ceramic Floor Tile - Wet Area
PT	Porcelain Floor Tile - Dry Area
PW	Porcelain Floor Tile - Wet Area
HT	Hardwood Floorboards
EF	Engineered Floating Floorboards
FL	Laminate Floating Floorboards
PS	Polished Slab
SC	Sealed Concrete Slab
C	Carpet w/ Underlay

DP Downpipe

- In case of conflict, all structural details on this plan are superseded by the Structural Engineer's Drawings.

1. GROUND FLOOR
1:100



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Project Partners
Refer to consultant documentation when directed
 -B2B Consultant - N/A
 -Energy Efficiency Consultants - Efficient Living Pty Ltd
 -Hydraulic Engineer - NY Civil Engineering
 -Landscape Designer - N/A
 -Mechanical Engineer - N/A
 -Planning Consultant - N/A
 -Structural Engineer - TBA
 -Surveyor - Hammond Smeeth & Co. Pty Ltd



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 office@rubixcollective.com

RevID	CHD	Change Name	Date

Drawn | Checked | PLO | KS
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project NO: 2019BELA
 Project Status: S4,S5(2) APPLICATION

Client: Clear & Peter Shilling
 Site: Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia



DRAWING TITLE :
 FLOOR PLANS
GROUND FLOOR

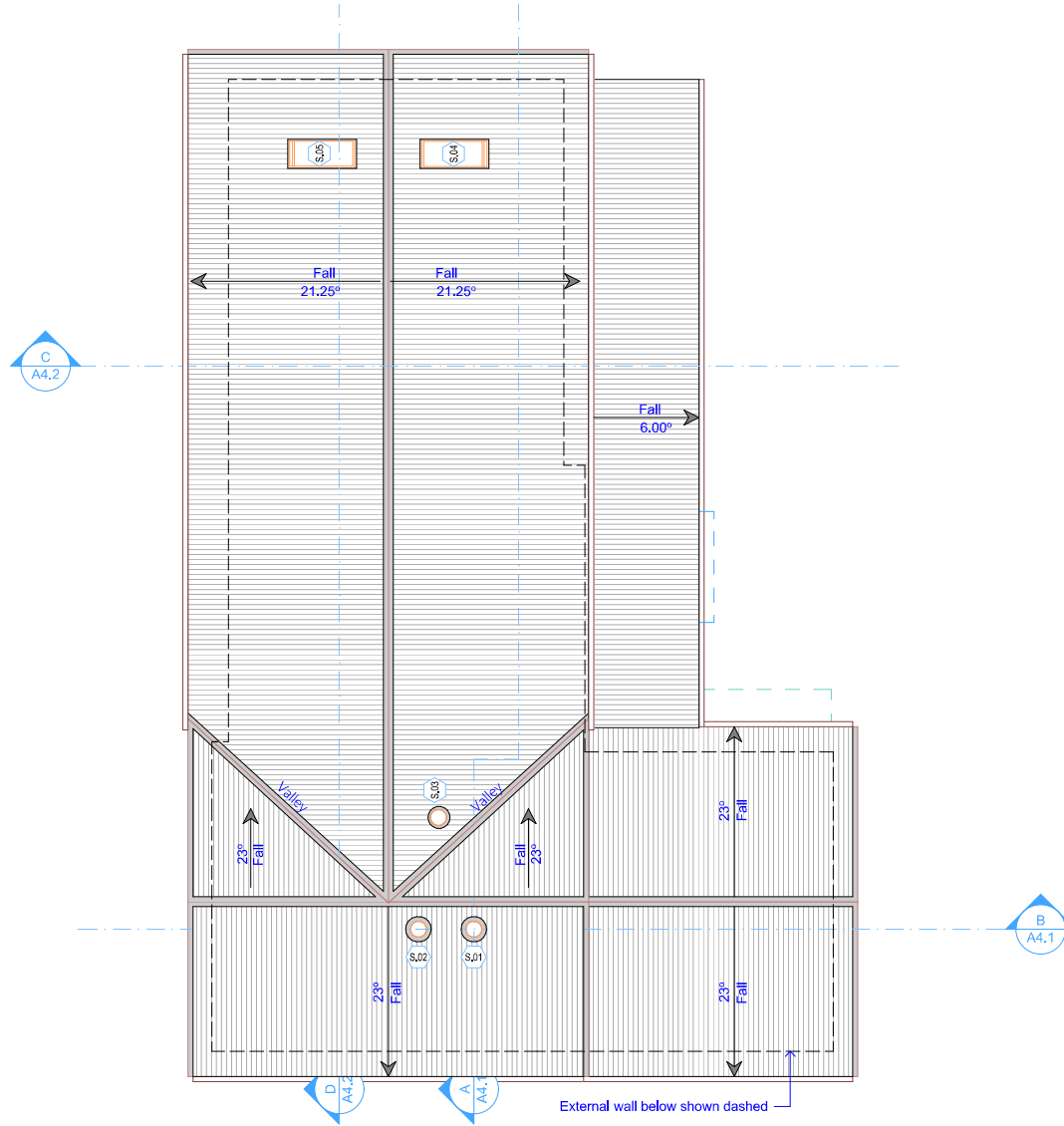
PROJECT NAME :
Elanora Passive

ISSUE NO.
05

DRAWING NO.
A2.2

GENERAL ROOF PLAN LEGEND & NOTES

- Downpipes must not serve more than 12m of gutter length for each downpipe.
- Roof cladding to comply with AS 1562.1.
- Roof drainage must comply with:
 - Plumbing Code of Australia Part D1
 - AS/NZS 3500.3
 - BCA Volume 2 parts 3.1,2 and 3.5,2 (Deemed to Satisfy provisions)
- In case of conflict, all roof drainage and stormwater details on this plan are superseded by the Hydraulic Engineers Stormwater Plan.



External wall below shown dashed

3.

ROOF PLAN
1:100

0004643268-03 27 Nov 2020

4.9 Assessor Tracy Cooks
Accreditation No. HERA10033
Address
128 Banora Road, Banora Heights, NSW, 2101
www.nsthera.gov.au

NOTE
The Rubix shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the designer, Rubix in writing, dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. The drawing reflects a design by The Rubix Collective and is to be used only for work when authorised in writing by The Rubix Collective.
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Project Partners
Refer to consultant documentation when directed
- BCA Consultant - NIA
- Energy Efficiency Consultants - Efficient Living Pty Ltd
- Hydraulic Engineer - HY Civil Engineering
- Landscape Designer - NIA
- Mechanical Engineer - NIA
- Planning Consultant - NIA
- Services - NIA
- Structural Engineer - TBA
- Surveyor - Hammond Smeeth & Co. Pty Ltd



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Gordon NSW 2012
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office@thehubcollective.com

RevID	CHD	Change Name	Date

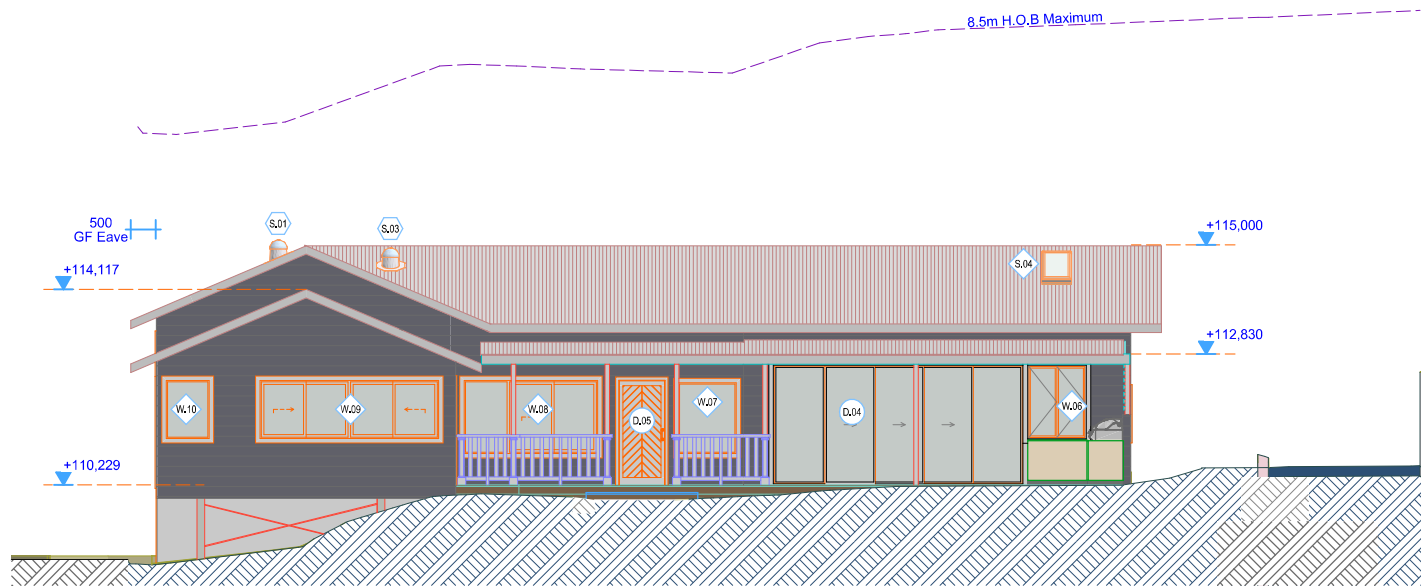
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Plot Date: 28/11/2020
Sheet Size: A3
Project NO: 2019BELA
Project Status: S4,55(2) APPLICATION
Client: Clear & Peter Shilling
Site: Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia



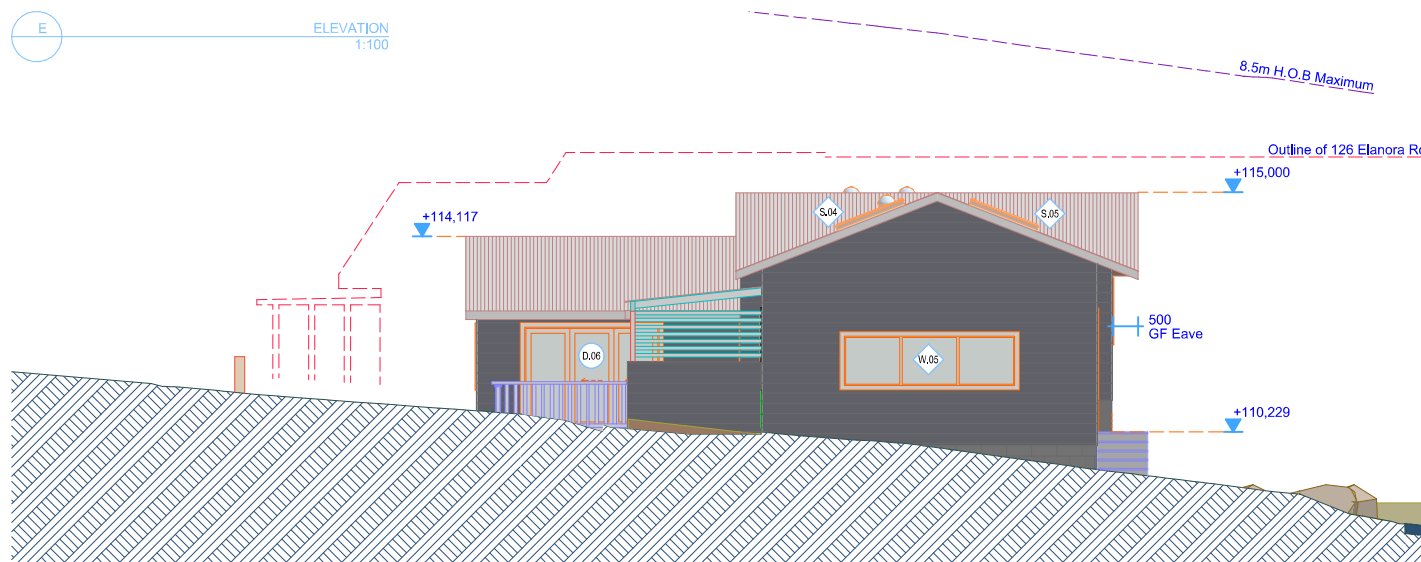
DRAWING TITLE :
FLOOR PLANS
ROOF PLAN

PROJECT NAME :
Elanora Passive

ISSUE NO.
05
DRAWING NO.
A2.3



E ELEVATION 1:100



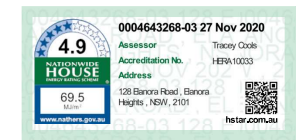
N ELEVATION 1:100

ELEVATION LEGEND & NOTES

CJ Control Joint
 DP Downpipe
 - For window details and opening types see Opening Schedule

FINISHES SCHEDULE (INDICATIVE ONLY)

	200mm Weatherex Smooth Classic - Painted Dark Grey
	Windspray Colorbond Roofing
	Render Paint - Dark Grey



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Project Partners
 Refer to consultant documentation when directed
 - SPA Consultant - NIA
 - Energy Efficiency Consultants - Efficient Living Pty Ltd
 - Hydraulic Engineer - NY Civil Engineering
 - Landscape Designer - NIA
 - Structural Engineer - NIA
 - Planning Consultant - NIA
 - Surveyor - NIA
 - Surveyor - TPA
 - Surveyor - Hammond Smead & Co. Pty Ltd



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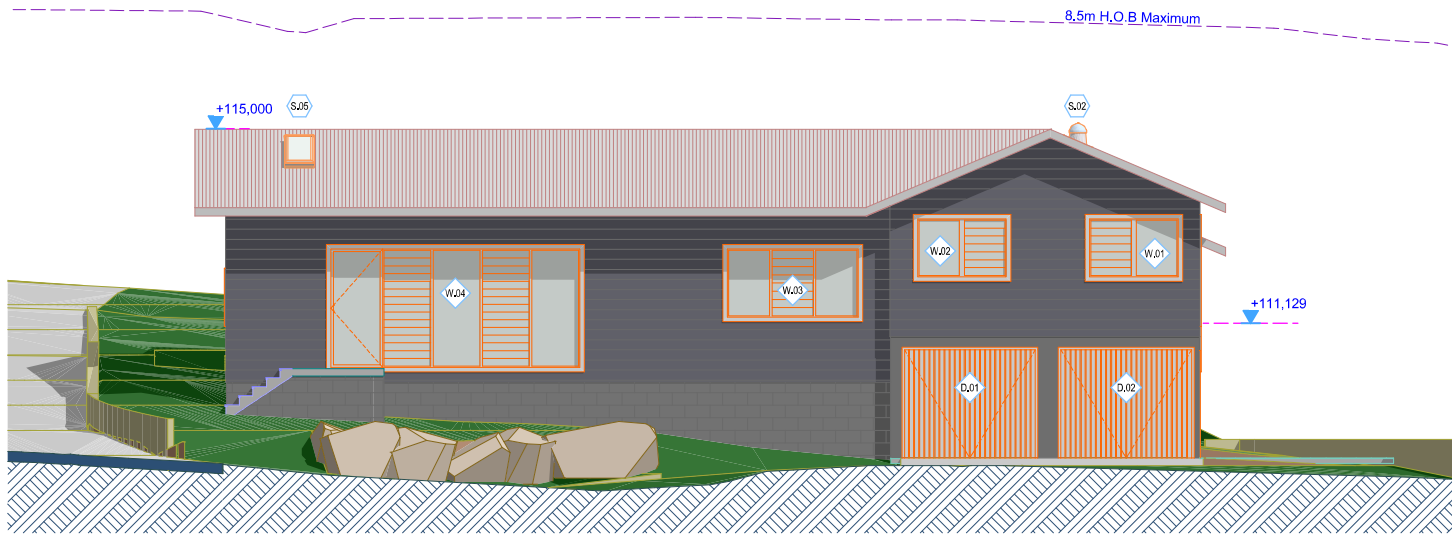
Rev#	CHD	Change Name	Date

Drawn | Checked
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project NO: 2019BELA
 Project Status: S4,55(2) APPLICATION
 Client Site: Clear & Peter Shilling
 Lot 1, 128 Elanora Rd Elanora
 Heights NSW 2101 Australia



DRAWING TITLE :
ELEVATIONS NORTH/EAST
PROJECT NAME :
Elanora Passive

ISSUE NO.
05
 DRAWING NO.
A3.1



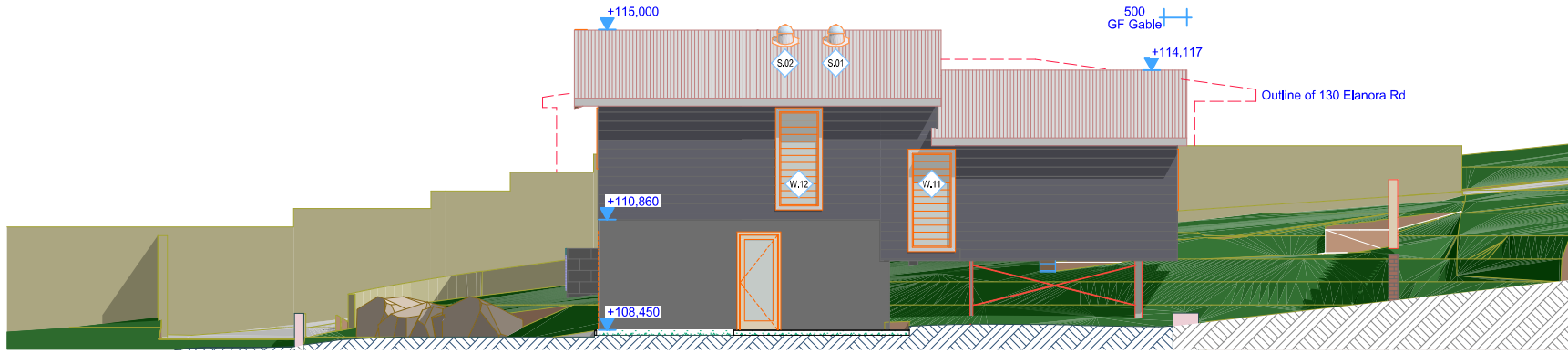
W
ELEVATION
1:100

ELEVATION LEGEND & NOTES

CJ Control Joint
 DP Downpipe
 - For window details and opening types see Opening Schedule

FINISHES SCHEDULE (INDICATIVE ONLY)

	200mm Weatherex Smooth Classic - Painted Dark Grey
	Windspray Colorbond Roofing
	Render Paint - Dark Grey



S
ELEVATION
1:100

NOTE
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Project Partners
 Refer to consultant documentation when directed
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 -Energy Efficiency Consultants - Efficient Living Pty Ltd
 -Hydraulic Engineer - MFC Engineering
 -Landscape Designer - NIA
 -Structural Engineer - NIA
 -Planning Consultant - NIA
 -Surveyor - NIA
 -Structural Engineer - TGA
 -Surveyor - Hammond Smeeth & Co. Pty Ltd



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 office@rubixcollective.com

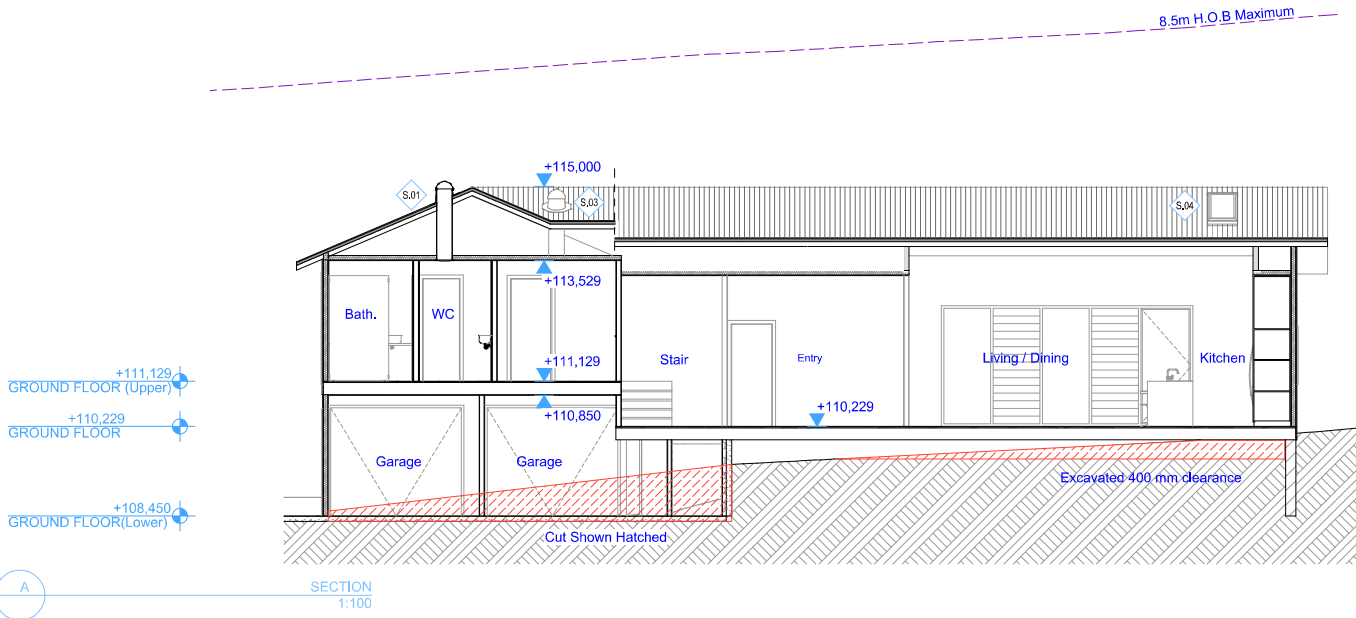
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Drawn / Checked: P/L JKS
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project NO: 2019BELA
 Project Status: \$4,55(2) APPLICATION
 Client: Clear & Peter Shilling
 Site: Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia



DRAWING TITLE :
 ELEVATIONS
SOUTH/WEST
PROJECT NAME :
 Elanora Passive

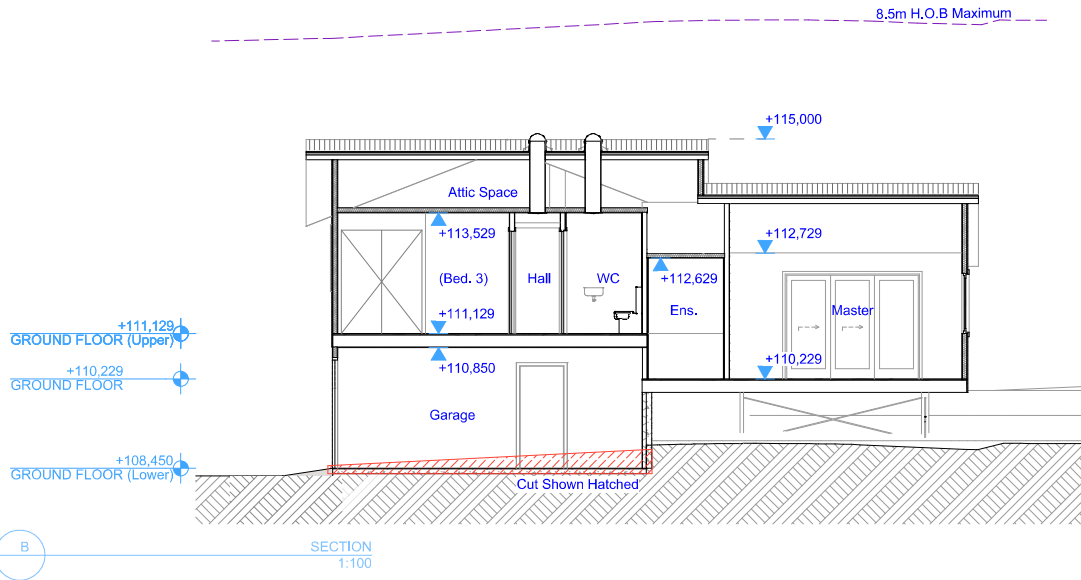
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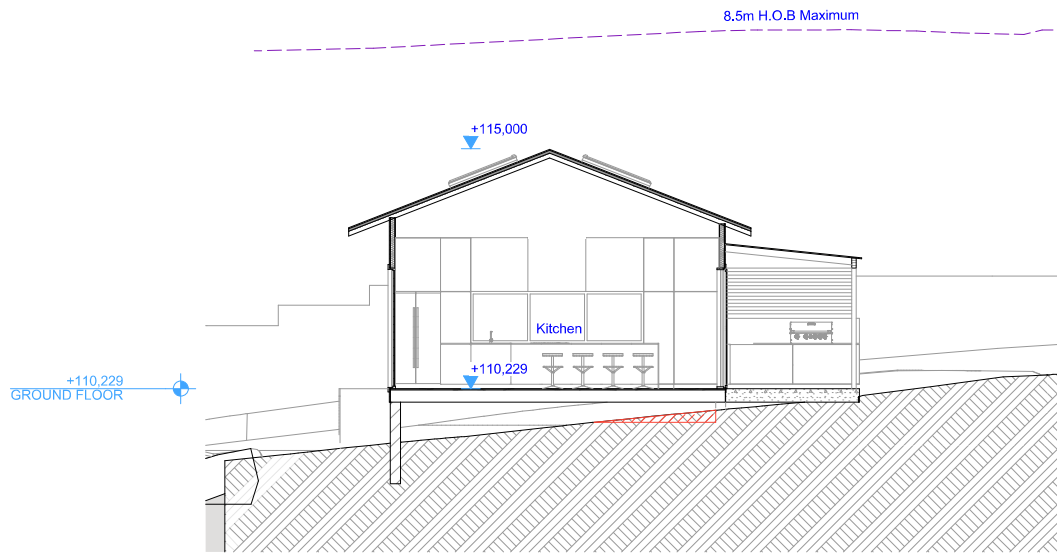
SECTION LEGEND & NOTES

▼ FFL Finished Floor Level
 ▲ FCL Finished Ceiling Level

- New Footings/Foundations: New footings and foundations are indicative only. The associated structural engineer's footing and foundation specifications and drawings will always take precedent over the architectural drawings.



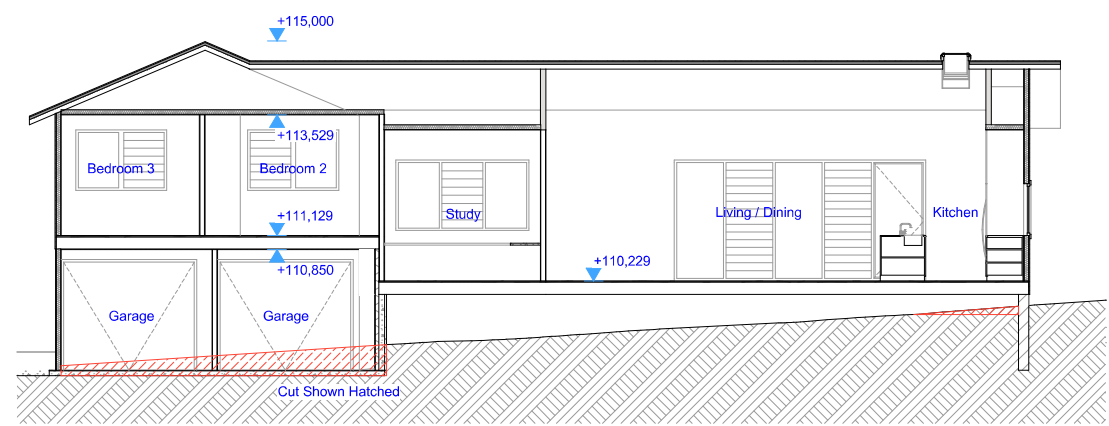
Thermal Comfort & BASIX inclusions	
Floors	Concrete slab on ground with R3 insulation or R1.4 insulation equivalent Suspended Timber with R5.0 insulation (insulation only value) Timber between levels, no insulation required where habitable rooms are above and below Timber between garage and habitable rooms above with R3.0 insulation (insulation only)
Walls	Concrete block walls with R2.7 bulk insulation (insulation value only) to stairs on lower ground Lightweight cladding on framed walls with Anti-glare foil and R2.7 bulk (insulation value only) Note: No insulation is required to external garage walls External Colour: Dark (SA>0.7) Walls within dwellings Plasterboard on studs, no insulation required Plasterboard on studs, R2.0 insulation between garage and stairs
Windows	Performance glazing to Living/dining/kitchen only U-value: 5.40 (equal to or lower than) SHGC: 0.49 (±5%) Remainder Aluminium framed single clear glazing: U-Value: 6.70 (equal to or lower than) SHGC: 0.70 (±5%) Given values are AFRC, total window system values (glass and frame)
Skylights	Skylights Double glazed Skytube systems (single clear)
Ceilings	Plasterboard ceiling with R5.0 insulation (insulation only value) Ceiling Penetrations Sealed LED downlights as per NatHERS certificate
Roof	Metal roof with foil backed blanket R1.3 insulation value only External colour: Medium (SA 0.58)
Floor Coverings	Tiles to bathrooms and laundry, floorboards elsewhere.
External shade	As per drawings.
Hot water system	Electric Heat Pump 26 to 30 STCs or better
Rainwater Tank	Size: 2,000L – Collecting from 80m ² of roof. Connected to outdoor taps, all toilets and clothes washer
Fixtures	3 Star – Medium flow shower heads (>7.5 <=9L/min)
Cooling & Heating	1 phase air conditioning in living & bedrooms for cooling and heating mode. Heating 2.5-3.0 EER & Cooling 3.0-3.5 EER
Alternative Energy	Min. 1kw Photovoltaic system
Other	Gas cooktop & Electric oven Outdoor clothes drying line



C

SECTION
1:100

8.5m H.O.B Maximum



D

SECTION
1:100

SECTION LEGEND & NOTES

▼ FFL Finished Floor Level
 ▲ FCL Finished Ceiling Level

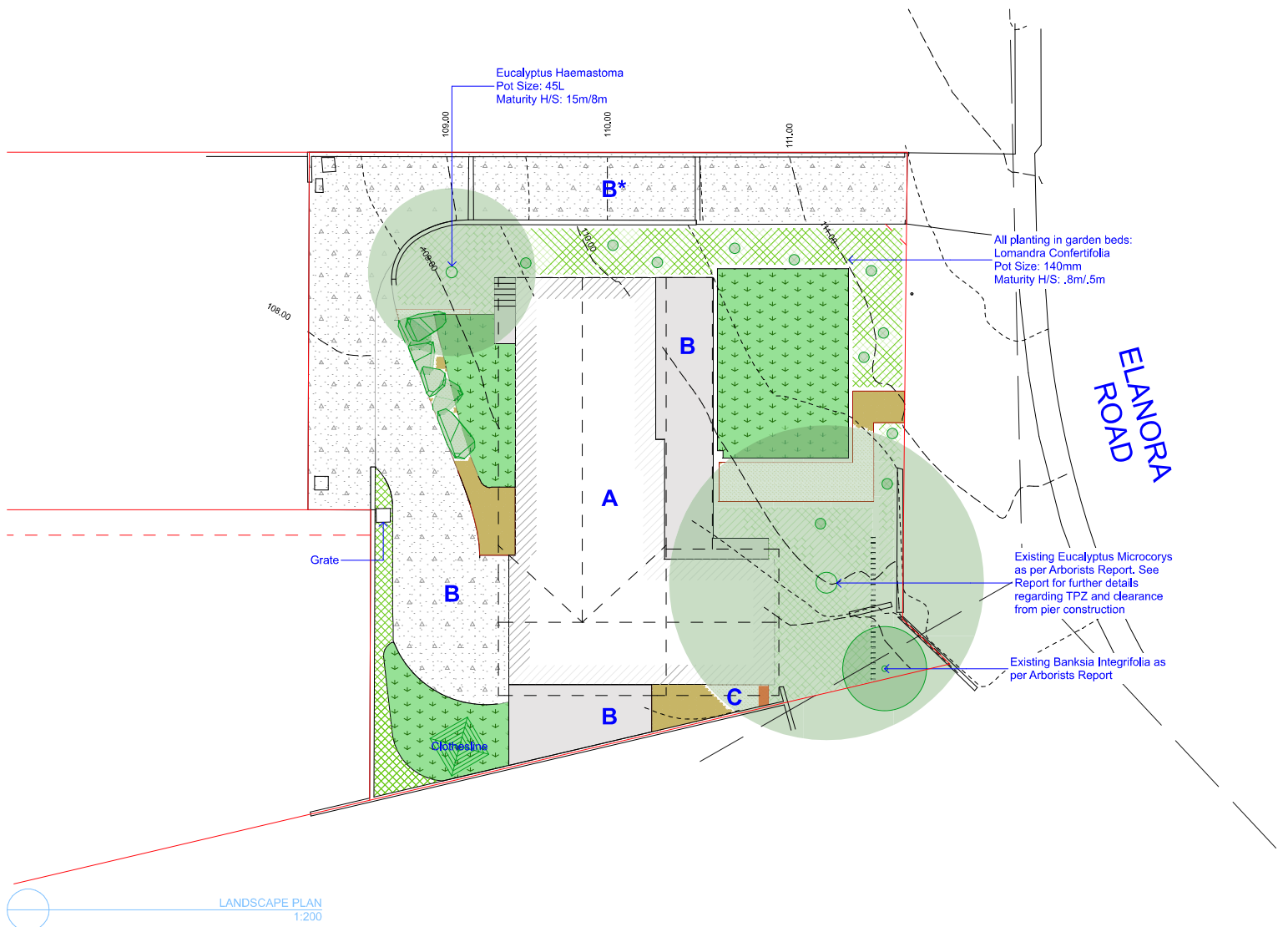
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0004643268-03 27 Nov 2020

4.9
 NATIONWIDE HOUSE
 69.5
 www.nwh.com.au

Assessor Tracy Cooks
 Accreditation No. HERA10033
 Address 128 Banora Road, Banora Heights, NSW, 2101
 hstar.com.au

LANDSCAPE CALCULATIONS	
Minimum Landscaped Open Space Required	60% (457,56m ²)
Proposed Landscaped Open Space:	42,2% (321,49m ²)
Hard Surface Calculation	
A: Dwelling - 167,83m ²	
B*: Shared Communal Driveway servicing rear lots - 141,6m ²	
B: Driveway, Impervious Paths & Other hard surfaces - 131,54m ²	
C: Areas <1m wide & Other - 0,44m ²	
SUBTOTAL:	441,11m²
Landscape Calculation	
Landscaped Open Area:	321,49m ²
TOTAL	100% (762,60m ²)
For further ground level information, see 5.4 Driveway Plan & Section and 5.3 Excavation and Fill Plan	



LANDSCAPE LEGEND	
Lawn	
Crushed Stone/Gravel	
Mulch/Garden Bed	

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0004643268-03 27 Nov 2020

Assessor Tracy Cooks
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18.03.128 hstar.com.au

LANDSCAPE PLAN
1:200

NOTE
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All boundaries and contours are subject to survey drawing as provided by Hammond Smedley & Co. Pty Ltd. All levels to Australian Height Datum. It is the contractor's responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents herein are subject to Australian Copyright Laws.

Project Partners
Refer to consultant documentation when directed

- RPA Consultant - NIA
- Energy Efficiency Consultants - Efficient Living Pty Ltd
- Hydraulic Engineer - NY Civil Engineering
- Landscape Designer - NIA
- Mechanical Engineer - NIA
- Planning Consultant - NIA
- Structural Engineer - TPA
- Surveyor - Hammond Smedley & Co. Pty Ltd



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Rev#	CHD	Change Name	Date

Drawn | Checked
Plot Date: 28/11/2020
Sheet Size: A3
Project NO: 2019BELA
Project Status: S4,S5(2) APPLICATION

Client: Clear & Peter Shilling
Site: Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia

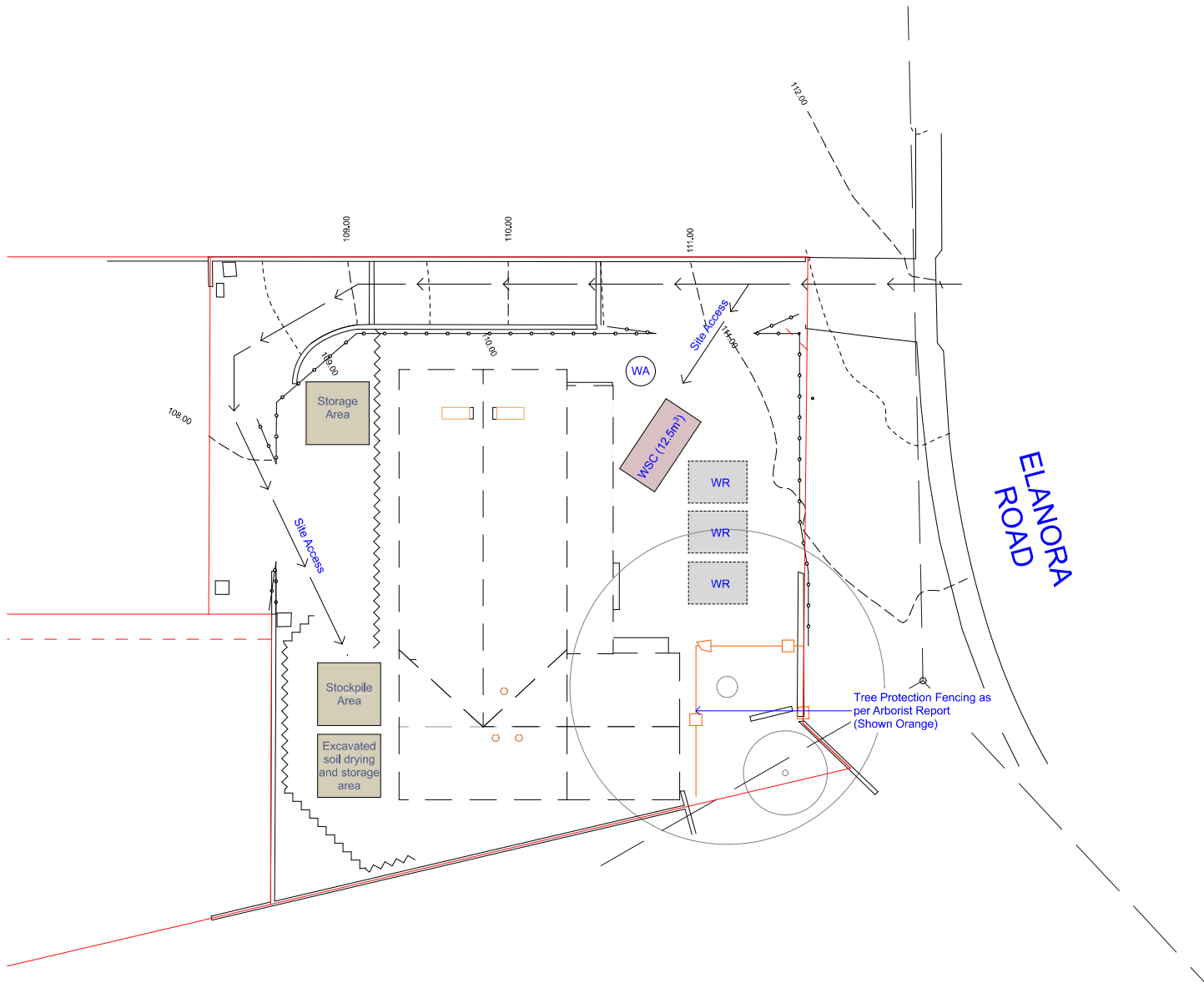


DRAWING TITLE :
OTHER PLANS
LANDSCAPE PLAN

PROJECT NAME :
Elanora Passive

ISSUE NO.
05

DRAWING NO.
A5.1



E & S CONTROL PLAN LEGEND & NOTES

SA Stockpile Area
 WA Wash Area
 STA Storage Area
 WSC Waste Storage Container
 WR Waste Recycling
 Sediment Control Fence

SEDIMENT CONTROL FENCE EXAMPLE

Copyright: Caitlin McGee & Chris Reardon, 2017
 YourHome, 5th Edition

EROSION & SEDIMENT CONTROL PLAN
 1:200

0004643268-03 27 Nov 2020

4.9
 NATIONAL
 HOUSE
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 128 Elanora Road, Elanora Heights, NSW, 2101
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NOTE
 The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the designer, in writing, within 14 days of commencement of construction. Drawings shall not be used for construction purposes until issued for construction. The drawing reflects a design by The Rubix Collective and is to be used only for work when authorised in writing by The Rubix Collective.

All boundaries and contours are subject to survey drawing as provided by Hammond Searle & Co. Pty Ltd. All levels to Australian Height Datum. It is the contractor's responsibility to confirm all measurements on site and locations of any services prior to work on site.

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 Refer to consultant documentation when directed
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 -Energy Efficiency Consultants - Efficient Living Pty Ltd
 -Hydraulic Engineer - NY Civil Engineering
 -Landscape Designer - NIA
 -Mechanical Engineer - NIA
 -Planning Consultant - NIA
 -Structural Engineer - TPA
 -Surveyor - Hammond Searle & Co. Pty Ltd



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Rev#	CHD	Change Name	Date

Drawn | Checked | P.L. | K.S.
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project NO: 2019BELA
 Project Status: \$4,55(2) APPLICATION

Client Site: Clear & Peter Shilling
 Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia

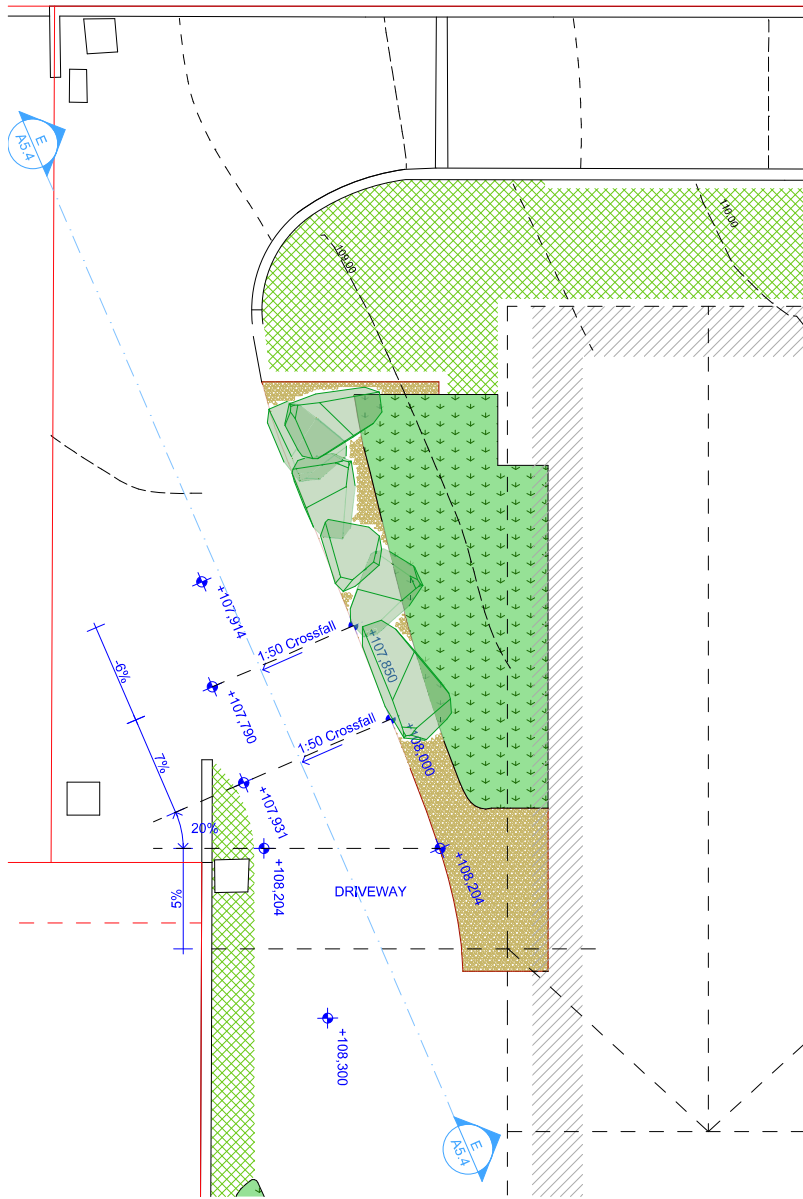


DRAWING TITLE : OTHER PLANS
EROSION & SEDIMENT CONTROL PLAN

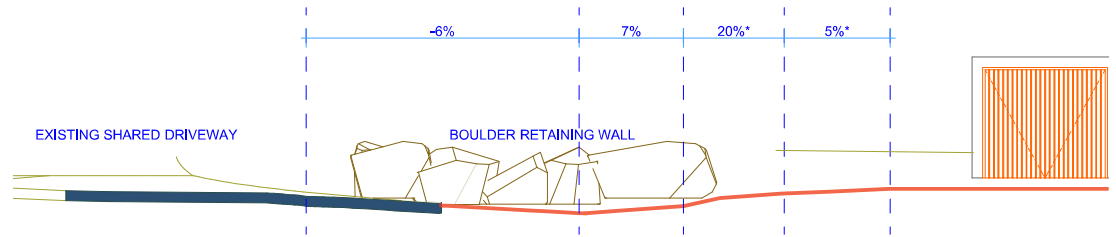
PROJECT NAME : Elanora Passive

ISSUE NO.
05

DRAWING NO.
A5.2



DRIVEWAY PLAN
1:100



* Section line is not parallel to these grades therefore slope may appear less steep in section. Grades are specified at their steepest location

E SECTION
1:100

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Project Partners
Refer to consultant documentation when directed
- R2A Consultant - N/A
- Energy Efficiency Consultants - Efficient Living Pty Ltd
- Hydraulic Engineer - NY Civil Engineering
- Landscape Designer - N/A
- Structural Engineer - TPA
- Surveyor - Hammond Smeeth & Co. Pty Ltd

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Rev/ID	CHD	Change Name	Date

Drawn | Checked | PL | KS
Plot Date: 28/11/2020
Sheet Size: A3
Project NO: 2019BELA
Project Status: \$4,55(2) APPLICATION

Client:
Site: Clear & Peter Shilling
Lot 1, 128 Elanora Rd Elanora
Heights NSW 2101 Australia



DRAWING TITLE : OTHER PLANS
DRIVEWAY PLAN & SECTION

PROJECT NAME : Elanora Passive

0004643268-03 27 Nov 2020

Assessor: Tracy Cooks
Accreditation No: HERA10033
Address: 128 Banora Road, Banora Heights, NSW, 2101

69.5
Mars

www.nsthera.gov.au

18.03.128 hstar.com.au

ISSUE NO.
05

DRAWING NO.
A5.4

OPENING LIST

ID	D.01	D.02	D.03	D.04	D.05	D.06	S.01	S.02	S.03	S.04	S.05	W.01	W.02
Width	2,700	2,700	876	5,000	956	2,700	310	310	310	550	550	1,810	1,810
Height	2,200	2,200	2,100	2,400	2,100	2,100	310	310	310	1,400	1,400	1,200	1,200
Elevation to Project Zero	108,450	108,450	108,450	110,229	110,229	110,229	113,475	113,475	113,262	113,262	113,262	112,029	112,029
Manufacturer	TBA	TBA	TBA	TBA	TBA	TBA	SOLATUBE	SOLATUBE	SOLATUBE	VELUX	VELUX	TBA	TBA
Model	Sectional Panel Lift	Sectional Panel Lift	Hung Door	Sliding Stackler (Check Track Width)	Solid Core Door	Sliding Stackler	-	-	-	-	-	Fixed /150 Louvre	150 Louvre / Fixed
Serial No. (Or Similar as per Basix)							160 DS	160 DS	160 DS	TBA	TBA		
2D Plan Preview													
View from Interior													

OPENING LIST

ID	W.03	W.04	W.05	W.06	W.07	W.08	W.09	W.10	W.11	W.12
Width	2,650	5,000	3,440	1,200	1,200	2,700	3,600	900	900	900
Height	1,400	2,400	1,030	1,500	1,458	1,500	1,200	1,200	2,100	2,100
Elevation to Project Zero	111,229	110,229	111,129	111,129	110,829	110,829	111,129	111,129	110,225	111,129
Manufacturer	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA
Model	Fixed / 150 Louvre / Fixed	Fixed / 150 Louvre / Fixed / Hung Door	Fixed	Bi-fold	Fixed	Fixed / Sliding / Fixed	Sliding / Fixed / Fixed / Sliding	Fixed & Opaque	150 Louvre Opaque	150 Louvre Opaque
Serial No. (Or Similar as per Basix)										
2D Plan Preview										
View from Interior										

WINDOW/SKYLIGHT SCHEDULE
1:1



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Project Partners
Refer to consultant documentation when directed
-BIM Consultant - NIA
-Energy Efficiency Consultants - Efficient Living Pty Ltd
-Hydraulic Engineer - NY Civil Engineering
-Landscape Designer - NIA
-Mechanical Engineer - NIA
-Planning Consultant - NIA
-Structural Engineer - TBA
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DRAWING TITLE :
SCHEDULES
OPENINGS SCHEDULE
PROJECT NAME :
Elanora Passive

ISSUE NO.
05
DRAWING NO.
A6.1