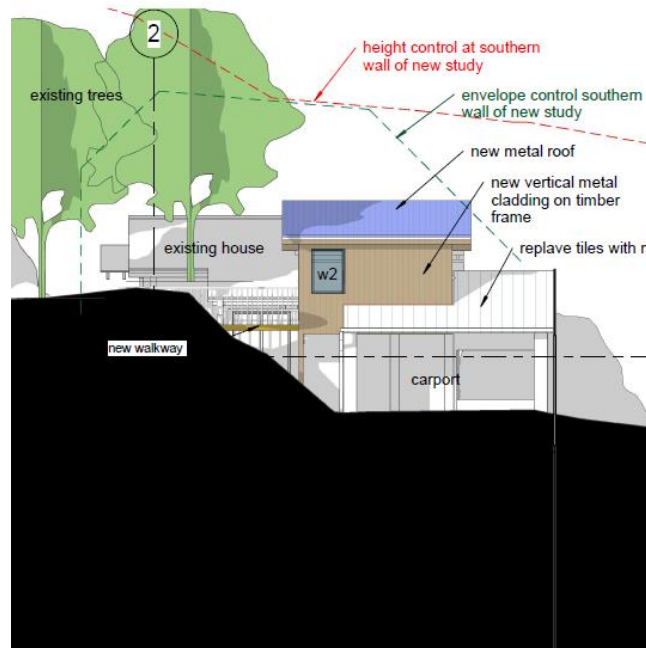


STATEMENT OF ENVIRONMENTAL EFFECTS

FOR ALTERATIONS AND A SMALL ADDITION OF A STUDY AND BATHROOM TO THE EXISTING DWELLING

At 32 Greystoke Street, Wheeler Heights



**Prepared for
Michael Robillard**

November 2024

Urban and Regional Planning, Environmental Planning and Statutory Planning
PO Box 251 Artarmon NSW 1570
Telephone: (02) 9416 9111 Email: admin@inghamplanning.com.au
A.C.N 106 713 768
www.inghamplanning.com.au

Contents

1.	INTRODUCTION	3
2.	THE SITE	4
3.	SURROUNDING ENVIRONMENT.....	6
4.	THE PROPOSAL.....	7
	4.1 Design Philosophy	7
	4.2 Summary of the proposal	7
5.	ZONING AND DEVELOPMENT CONTROLS	10
	5.1 Zoning	10
	5.2 Development Controls	11
6.	EVALUATION UNDER SECTION 4.15 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT (AMENDMENT) ACT, 1979.....	12
	6.1 Environmental planning instruments.....	12
	6.2 Draft environmental planning instruments	13
	6.3 Development control plans	13
	6.4 Any planning agreement that has been entered into under section 93F, or any draft planning agreement that a developer has offered to enter into under section 93F.15	
	6.5 Any matter prescribed by the regulations that apply to the land to which the development relates	15
	6.6 The likely impacts of that development.....	15
	6.7 The suitability of the site for the development	16
	6.8 Submission made in accordance with this Act or the regulations.....	16
	6.9 The public interest.....	16
7.	CONCLUSION	18

1. INTRODUCTION

This is a Statement of Environmental Effects (SEE) which forms part of a development application (DA) for alterations and a small addition to an existing dwelling.

The proposal largely involves the demolition of part of the existing roof forms of the carport and upper living level and the infilling of this area with a new study and bathroom. A new pitched metal roof form will sit over this additional floorspace. The proposal will allow for new study and bathroom within the footprint of the existing dwelling. Other small changes are sought to a section of the existing roof to change existing tiles to a metal roof. This will create a uniformed appearance to the roof of the dwelling. A new timber walkway and steps are proposed at the front of the site.

Given the scope of works, there is nothing proposed which will adversely affect any neighbouring properties. There is no change to the current use of the site.

Due to the topography of the site, a small section of the new roof will exceed the maximum height control, and a clause 4.6 variation accompanies the application.

The SEE contains the following sections:

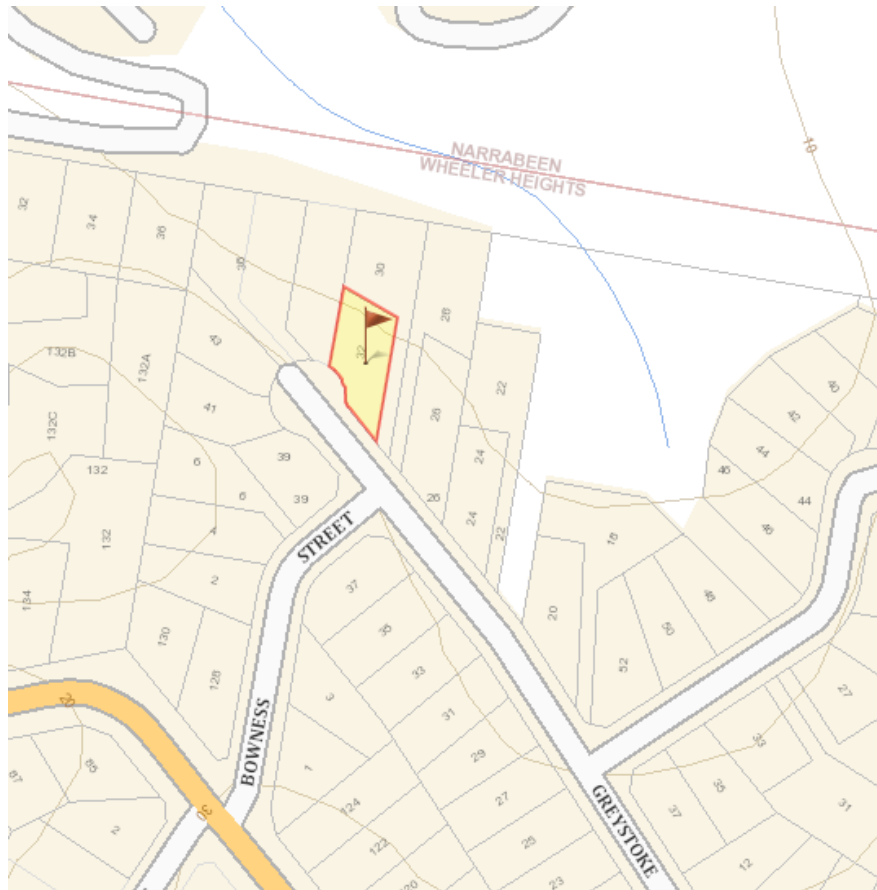
- **Section 2** examines the characteristics of the subject property;
- **Section 3** details the nature of the surrounding locality;
- **Section 4** provides a detailed description of the proposal;
- **Section 5** discusses the zoning and development controls relating to the land; and
- **Section 6** provides an assessment of the proposal in relation to the relevant matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act, 1979.

This SEE has been prepared with referenced to the following information:

- Plans prepared by Michael Robilliard (Hill and Spiller House 00-07 inclusive, view study plans, shadow diagrams and height diagrams).

2. THE SITE

The site is known as 32 Greystoke Street Wheeler Heights and is legally described as Lot 74 DP 209118 (see **Figure 1 – Location** and **Figure 2 – Aerial View of Site**). It has a total site area of 564.7sqm.



Source – Six Maps

Figure 1 - Location

The subject site consists of one (1) allotment located on the northern side of Greystoke Avenue at the cul de sac of the street (almost opposite the intersection of Bowness Street). The subject site is irregular in shape with a street frontage to Greystoke Street with a battle axe shaped allotment (No. 30) at the rear. This pattern of development is not uncommon in this area as No. 28 Greystoke Street is a battle axed shaped allotment which sits behind No. 26.

The site is located within the R2 Low Density Residential zone and is currently developed with a three (3) storey dwelling with a pitched roof form. Vehicle access is provided via an existing driveway from Greystoke Street into the carport (with tiled roof) at the front of the site.

Due to the topography of the site and northern side of Greystoke Street, the majority of the dwelling sits below street level with only part of the roof visible.



Source – Northern Beaches Council 2024

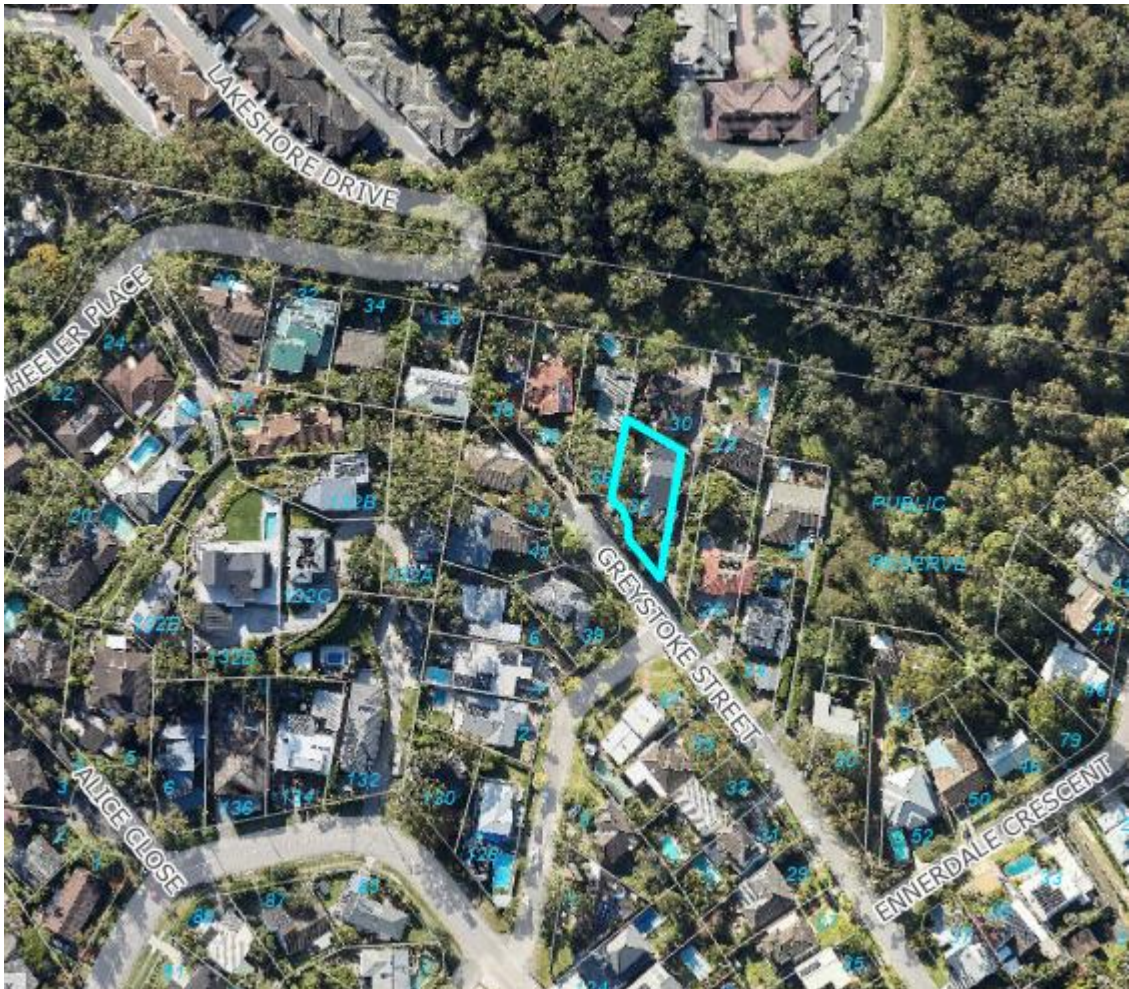
Figure 2 – Aerial photo of site

Previous Development Approvals related to the Land:

A search of Council's online DA Tracker showed no recent approvals for this site.

3. SURROUNDING ENVIRONMENT

As shown on the aerial view at **Figure 2** above and **Figure 3** Below, the site is typical of the locality where there is a combination of both original and more contemporary detached dwellings. The dwellings on the northern side of the street are set below the street level while the dwellings on the southern side are set higher above the street level to optimise district views of the bushland surroundings. Dwellings in the immediate area are typically 2 and 3 storeys in height.



Source – Six Maps

Figure 3 – Location within neighbourhood

4. THE PROPOSAL

4.1 Design Philosophy

The proposed design has come about after taking into consideration the following constraints and opportunities:

- The desire of the clients to an additional study and bathroom within the existing footprint.
- To minimise the height of the new roof element.
- To upgrade the exterior appearance of the dwelling by upgrading all roofing cladding to metal.
- The necessity to consider the environmental impact of any disturbance of the natural environment including local flora and fauna. Therefore, all work is contained within the existing footprint.
- To allow for the retention of mature canopy trees.

4.2 Summary of the proposal

The proposal includes the following:

Demolition

- A small amount of the roof of the garage and upper level roof will be demolished as shown on the plans

Front garden

- New timber walkway and steps.

Lower Level of Dwelling

- No

Middle Floor of Dwelling

- No Changes

Upper Level of Dwelling

- As shown in the extract of the plans below, the new floorspace infills the area between the existing garage roof form and the upper level roof form. Part of the existing garage roof will be demolished and will part of the upper level roof. The location of the new floorspace is shown below on extracts from the plans. A new pitched metal

roof form will be constructed over the study and bathroom. Exterior walls are painted villa board. Vertical metal cladding on the front façade.

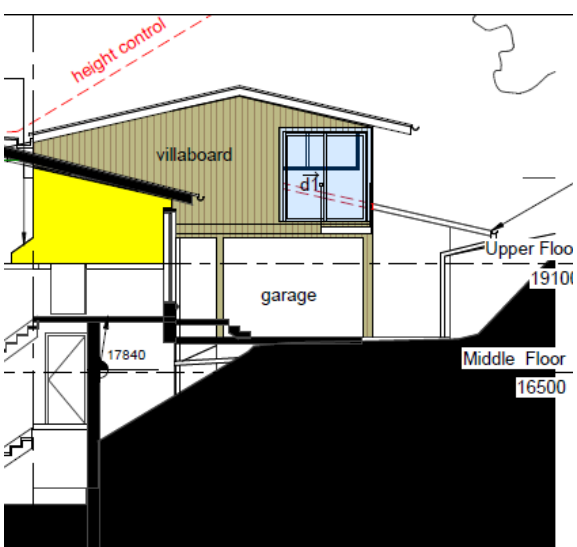
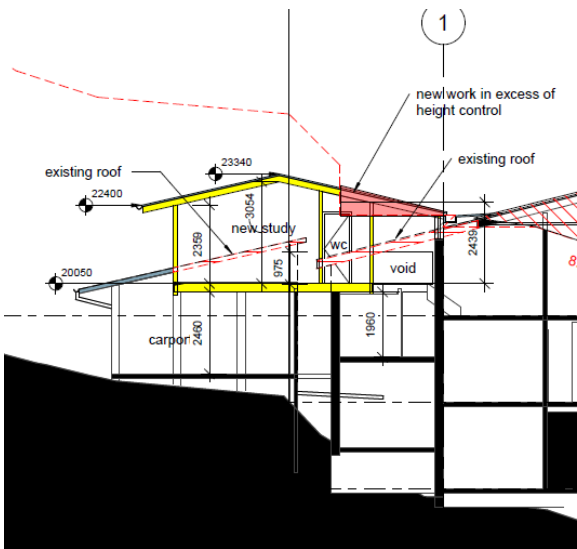
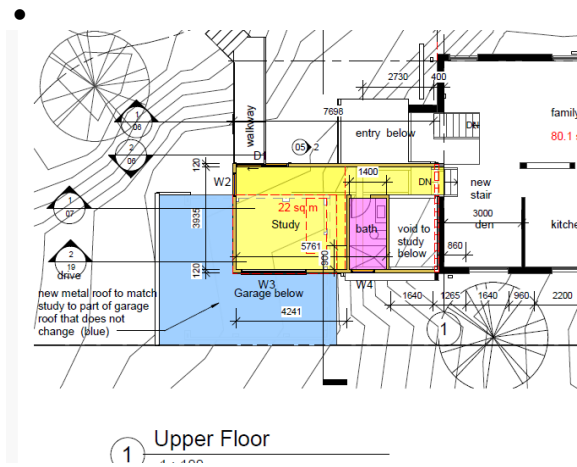


Figure 4: Extracts of Plans showing the location of the new floorspace

Roof

- As shown below, the roof will be modified to incorporate the new floorspace and all roof cladding will be metal. This will ensure that the roof of the building is one material which will improve the overall appearance of the dwelling from the street.

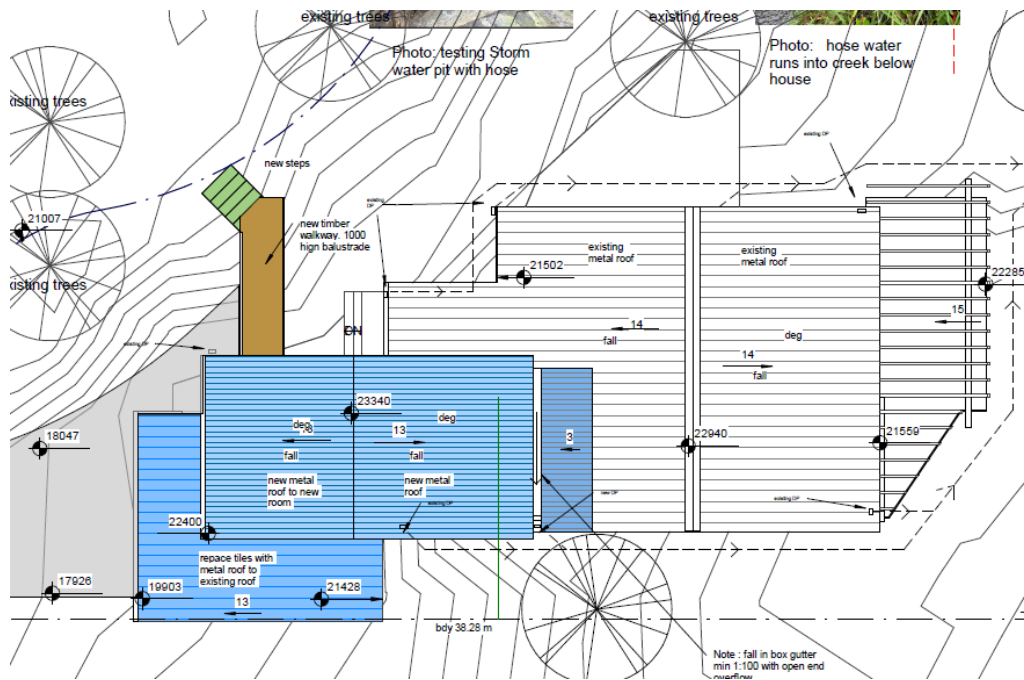


Figure 5 – Extract of Roof Plan

Rear garden area

- No Changes, retention of all landscaped areas.

5

Zoning and Development Controls

5. ZONING AND DEVELOPMENT CONTROLS

5.1 Zoning

Pursuant to the provisions of Warringah Local Environmental Plan 2011 ('WLEP2011) the subject site is zoned R2 Low Density Residential (see **Figure 6.**) Dwelling houses are permitted with consent in the R2 zone.

The proposal has been assessed against the objectives of the zone and this instance the proposal satisfies the objectives as detailed below.

To provide for housing needs of the community within a low density residential environment.

Comment: The proposed alterations and additions provide for the housing needs of the existing residents through increased living space (study and bathroom).

To enable other land uses that provide facilities or services to meet the day to day needs of residents.

Comment: N/A

To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.

Comment: The proposed alterations and additions do not require the removal of any significant vegetation due to the new floorspace being located on the existing footprint. The walkway does not necessitate the removal of any significant vegetation.

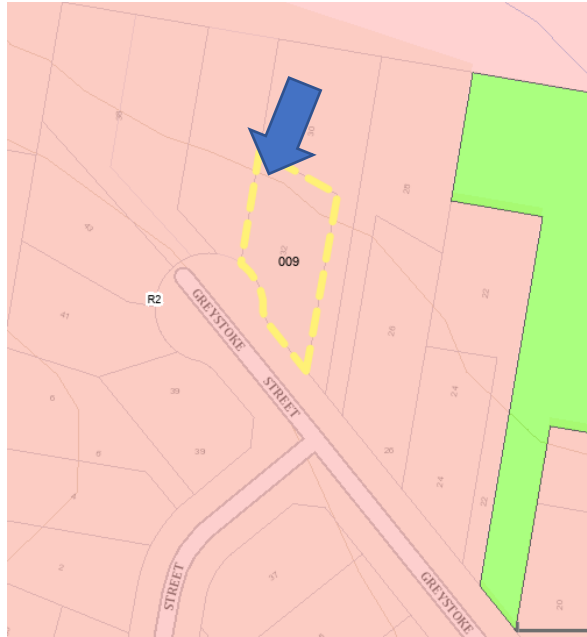


Figure 6 – extract from zoning map of WLEP 2011 (site marked with arrow)

Source – NSW Legislation

5.2 Development Controls

The following planning documents are relevant to the assessment of the subject DA:

- State Environmental Planning Policy (Biodiversity and Conservation) 2021
- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Sustainable Buildings) 2022
- SEPP (Transport and Infrastructure) 2021
- Warringah Local Environmental Plan 2011
- Warringah Development Control Plan
- Bushfire Controls

6. EVALUATION UNDER SECTION 4.15 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT (AMENDMENT) ACT, 1979

6.1 Environmental planning instruments

6.1.1 State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 Vegetation in non-rural areas

Comment: The proposal does not result in the removal of any significant vegetation.

6.1.2 State Environmental Planning Policy (Resilience and Hazards) 2021

Comment: Remediation of Land and in particular Sub-section 4.6 (1)(a) of Chapter 4 requires that a consent authority must not grant consent to the carrying out of any development on land unless it has considered whether the land is contaminated. Given the history of residential use of the land, the site is suitable for the proposed works.

6.1.3 State Environmental Planning Policy (Sustainable Buildings) 2022

Comment: A BASIX certificate is provided as part of the application.

6.1.4 SEPP Transport and Infrastructure (2021)

Comment: Council must consider Section 2.48 of Chapter 2 of the SEPP prior to determination and notify Ausgrid accordingly.

6.1.5 Warringah Local Environmental Plan 2011

The proposed development is permissible in the R2 zone. The proposal complies with the aims of the WLEP2011 and the specific objectives of the R2 zone. In addition to the zoning discussed above the following clauses of the LEP are relevant to this application.

Clause 4.3 Height of Buildings – the maximum height of a building is 8.5m. There is no change to the maximum height of the building however part of the new addition, by virtue of the slope of the land, exceeds the height standard.

While a small portion of the proposed dwelling does not comply with the maximum building height permitted on the site, the extent of the non-compliance is considered to be minor and will not result in unreasonable built form or amenity impact to adjacent properties or the public domain.

Refer to the submitted Clause 4.6 Variation.

Clause 6.4 Development on sloping land – the site is identified as Area D and Area E. The proposal does not involve any change to the slope of the land and no excavation is required as the new rooms are wholly contained over the existing footprint of the dwelling.

Clause 7.1 Acid Sulfate Soils – the site is identified as containing Class 5 acid sulfate soils. Only minor excavation is proposed to accommodate footings for the walkway.

Clause 7.2 Earthworks – Minor earthworks are required to facilitate the new timber walkway works however this is ordinarily associated with a timber walkway within the garden.

6.2 Draft environmental planning instruments

A draft instrument is applicable to the proposal. It is known as Draft Northern Beaches LEP and has been notified. It is a new comprehensive Northern Beaches Local Environment Plan (LEP) that covers the whole of region.

The zoning for this site remains as R2. The dLEP introduces new height and FSR controls to some areas of Wheeler Heights and increases landscaped areas for larger sites.

It appears that the proposed height limit for the subject site is retained at 8.5m. A clause 4.6 variation would still be required.

The proposed FSR at Area 1 A4 is identified as 0.45:1.

The proposed FSR is $80.1 + 90.5 + 86 = 256.6\text{sqm}$ plus $22\text{sqm} = 278.6$. the site @ 564.7sqm would have a FSR of 0.45:1 applied to development. The current FSR is approximately 0.45:1. The new floor area of 22sqm would increase the FSR to 0.49:1 and once gazetted would require the submission of a Clause 4.6 Variation. The small area of new floorspace over the existing floorplate which avoids any excavation and decrease in landscaped area and is satisfactory in its bulk, scale and form for the reasons as discussed within this report is satisfactory.

Landscaped area is retained and currently complies with the required 40% control in the DCP. This is increased to 45% in the dLEP.

6.3 Development control plans

6.3.1 Warringah Development Control Plan 2011

B1 Wall Height – No, exceeds 7.2m. Refer to plans which identify wall height exceedance.

Description of non-compliance

This clause requires that walls do not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building.

With regard to the consideration for a variation, the development is considered against the underlying Objectives of the Control as follows:

To minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes.

Comment: Notwithstanding the non-compliance, the proposed development is considered to be appropriately sited to minimise visual impacts caused by the proposed wall heights. The walls of the small addition are well setback from both side boundaries which will assist in reducing the visual dominance of the dwelling when viewed from the adjacent property.

To ensure development is generally beneath the existing tree canopy level

Comment: The height of the proposed development remains below the tree canopy level.

To provide a reasonable sharing of views to and from public and private properties.

Comment: The proposed development will not result in any unreasonable view impacts.

To minimise the impact of development on adjoining or nearby properties.

Comment: The extent of impacts are considered to be reasonable in the context of the site and adjacent properties.

To ensure that development responds to site topography and to discourage excavation of the natural landform.

Comment: The development is sited to avoid any further excavation on the site.

To provide sufficient scope for innovative roof pitch and variation in roof design.

Comment: The proposed roof form is pitched and is considered appropriate within the locality.

B3 Side Boundary Envelope - No, outside envelope. Refer to plans which identify the building envelope.

Description of non-compliance

The control requires that a building must be sited within the building envelope which is determined by projecting planes at 45° from a height of 4.0m above the ground level at the side boundary.

With regard to the consideration for a variation, the development is considered against the underlying Objectives of the Control as follows:

To ensure that development does not become visually dominant by virtue of its height and bulk.

Comment: The proposed non-compliance with the building envelope control is not found to cause any unreasonable visual impacts. While a small portion of the roof exceeds the maximum permissible building height at the rear of the additional floorspace, the dwelling is appropriately setback from the side boundaries and is sufficiently articulated to satisfy the objective. The overall built form is generally consistent with that of surrounding development.

To ensure adequate light, solar access and privacy by providing spatial separation between buildings.

Comment: The application has demonstrated that the proposal will not have an unreasonable impact with regards to solar access. The adjoining properties will maintained solar access in accordance with the DCP requirements.

To ensure that development responds to the topography of the site.

Comment: The proposed development does not require alteration to the natural topography of the site.

B5 Side boundary setbacks – No change, retained.

B7 Front boundary setback – No change, retained.

B9 Rear boundary setback – No change, retained.

D1 Landscaped Open Space (LOS) and Bushland Setting - Yes, all landscaped area retained.

Northern Beaches Section 7.12 Contributions Plan 2019

If the cost of the development is greater than the threshold of \$100,001, the proposal is subject to a contribution.

6.4 Any planning agreement that has been entered into under section 93F, or any draft planning agreement that a developer has offered to enter into under section 93F

There are no planning agreements or draft planning agreements that are of relevance to the proposal.

6.5 Any matter prescribed by the regulations that apply to the land to which the development relates

There are no regulations of specific relevance to the proposal.

6.6 The likely impacts of that development

The potential impacts of the proposal have been generally addressed in **Section 6.1** and **Section 6.3** of this report.

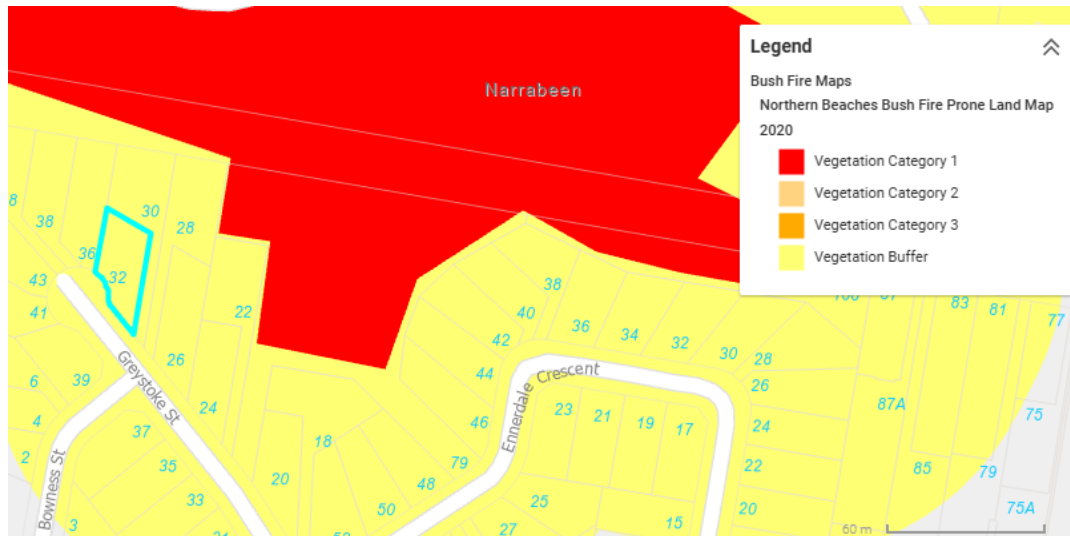
(i) Environmental Impact The environmental impacts of the proposed development on the natural and built environment are addressed under the Warringah Development Control Plan section in this report.

(ii) Social Impact The proposed development will not have a detrimental social impact in the locality considering the character of the proposal.

(iii) Economic Impact The proposed development will not have a detrimental economic impact on the locality considering the nature of the existing and proposed land use.

(iv) Bushfire

The site is not identified as bushfire prone land. As shown below it is Vegetation Buffer.



(iv) Threatened Species, Populations or Ecological Communities

The proposal will not significantly affect threatened species, populations or ecological communities, or their habitats.

(v) Crime Prevention Through Environmental Design

The proposal is consistent with the principles of Crime Prevention Through Environmental Design and will increase casual surveillance of the front of the site, the road and nearby public spaces.

6.7 The suitability of the site for the development

The proposal is modest addition to an existing dwelling including a new study within the footprint of the dwelling. The site will continue to be used as a single dwelling and therefore the site is considered suitable for the development.

6.8 Submission made in accordance with this Act or the regulations

This is a matter for Council to consider and any submission will be reviewed by the applicant however the proposal has been designed to minimise impacts on surrounding development.

6.9 The public interest

The proposal is in the public interest as it complies with the main provisions and objectives of the LEP and DCP. The only exception to this that due to the slope of the land and existing building platform, the proposal doesn't comply with some height requirements including the 8.5 metre height limit. It will however maintain, enhance and improve the visual quality of the locality by maintaining the overall bulk and scale of the dwelling and its relationship with neighbouring buildings. The landscaped areas around the building remain intact, maintaining the existing topography and natural features of the site.

The environmental impact of the proposal has been assessed and it has been concluded that there is no significant impact upon the surrounding lands or the amenity which is currently enjoyed by the nearest neighbours.

7. CONCLUSION

The proposal proposes minor alterations and additions to the existing dwelling. The proposal largely involves a new pool study and bathroom over the existing carport at the front of the site. Works are contained within the existing building footprint and give no rise to concern.

In consideration of the proposal and the merit consideration of the development, the proposal is considered to be:

Consistent with the objectives of the relevant EPIs

Consistent with the objects of the Environmental Planning and Assessment Act 1979

Consistent with the zone objectives of the LEP

Consistent with the aims of the LEP

Consistent with the objectives of the DCP

We believe the development provides a quality planning outcome for the site and seek Council's support for the proposal.