

**PROPOSED ADDITIONS AT
58 CAREEL HEAD ROAD,
AVALON BEACH for
MR. N. and MRS. T. WILSON.**

Designed by: Living Architectural Planning.
P. O. Box 455, Wahroonga NSW 2076.

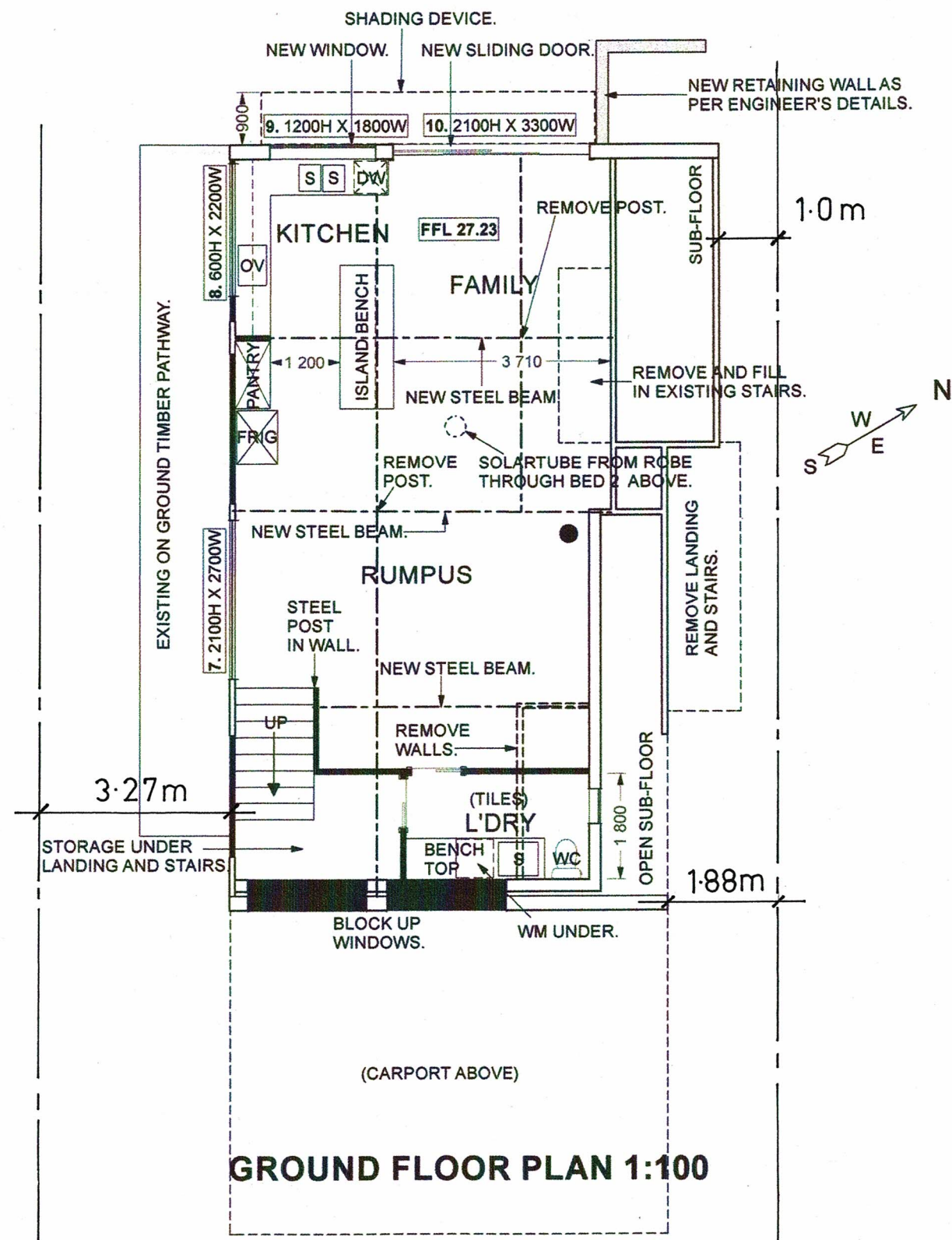
Date: October 2021

Reference: W1021

Issue: 'A'

Sheet 1 of 6.

ISSUE 'B' FEB. 2022



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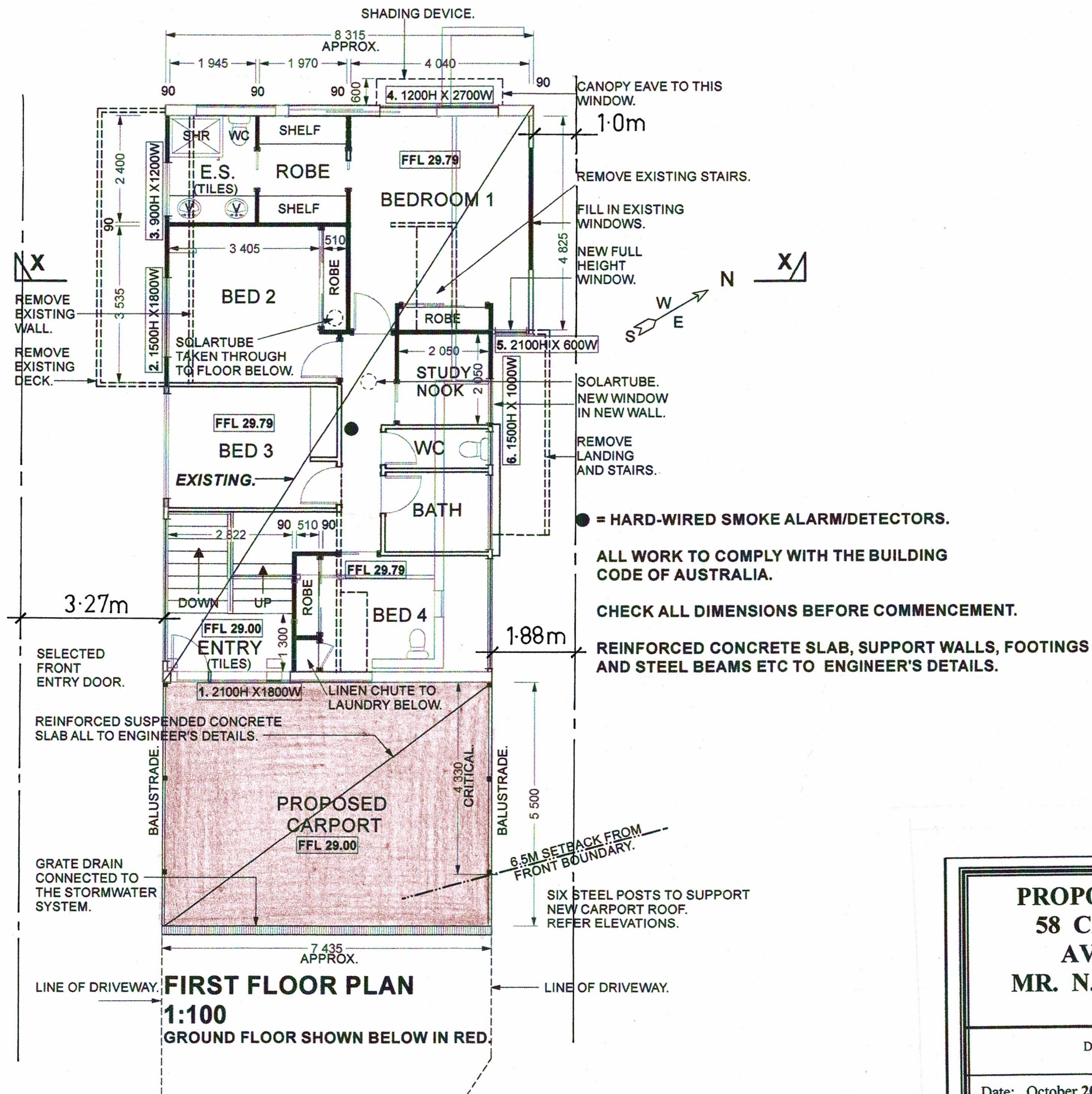
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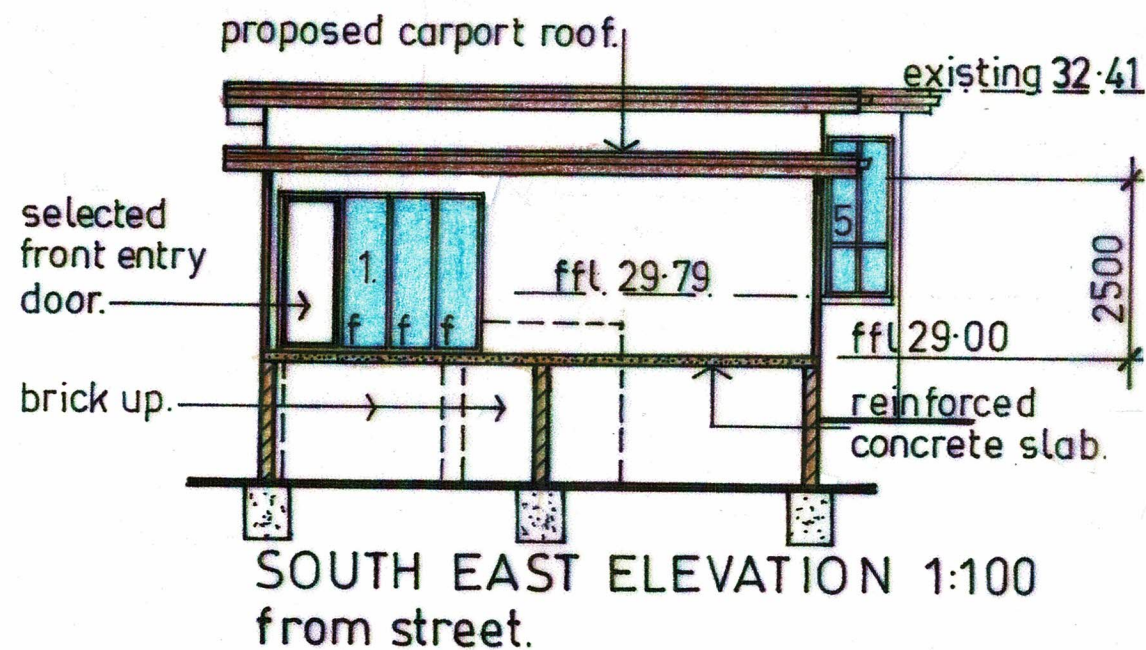
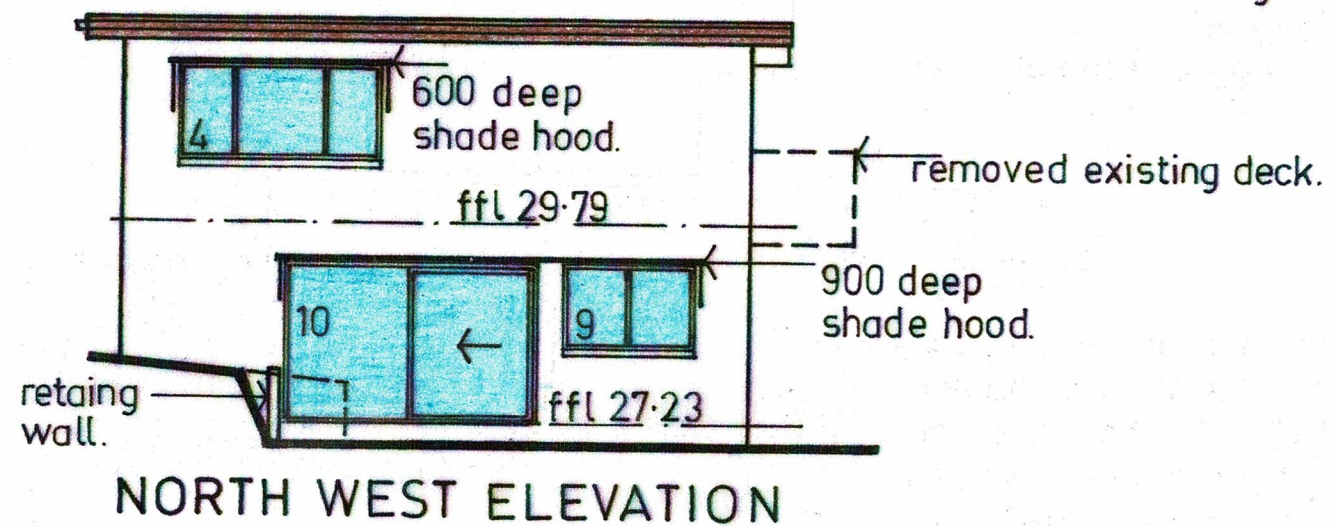
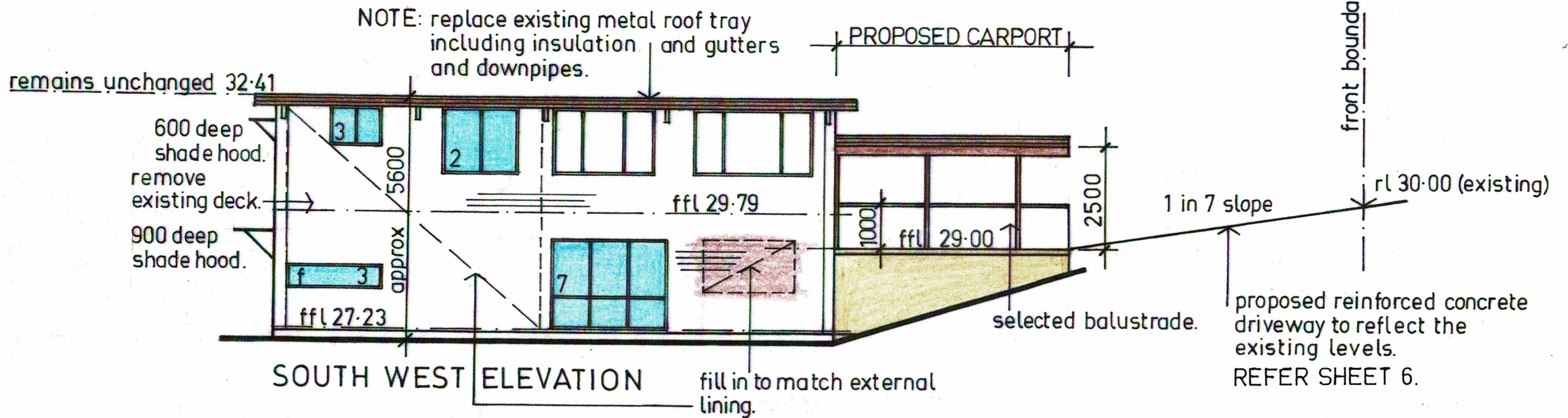
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Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.80 (down) (or R1.30 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R2.08 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)

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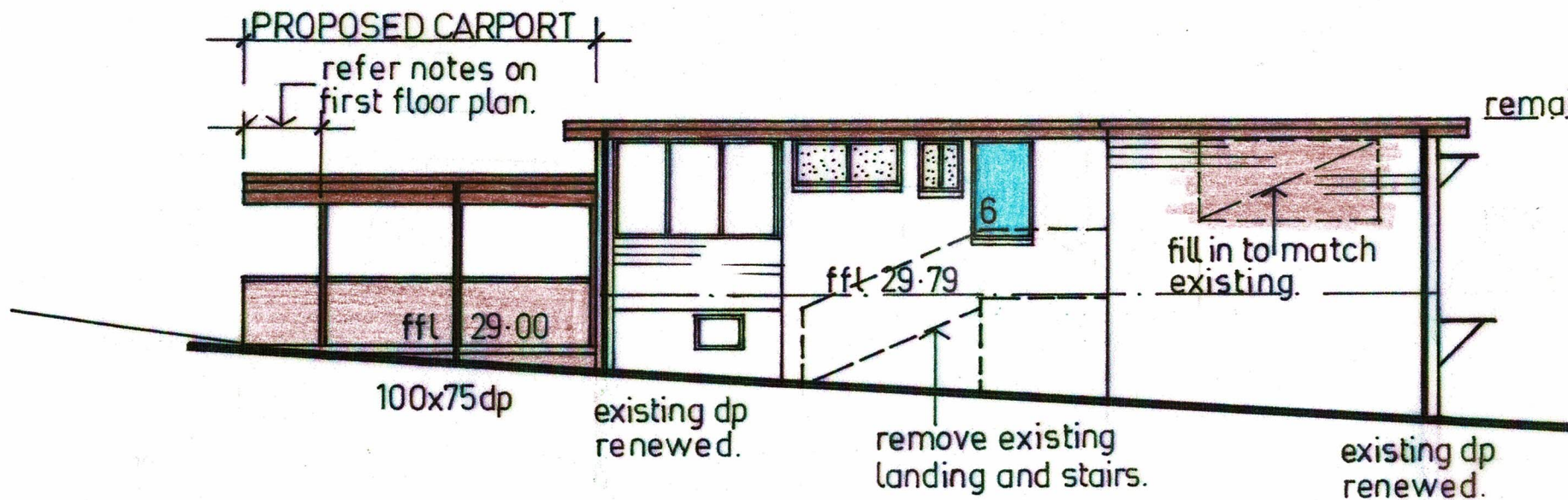
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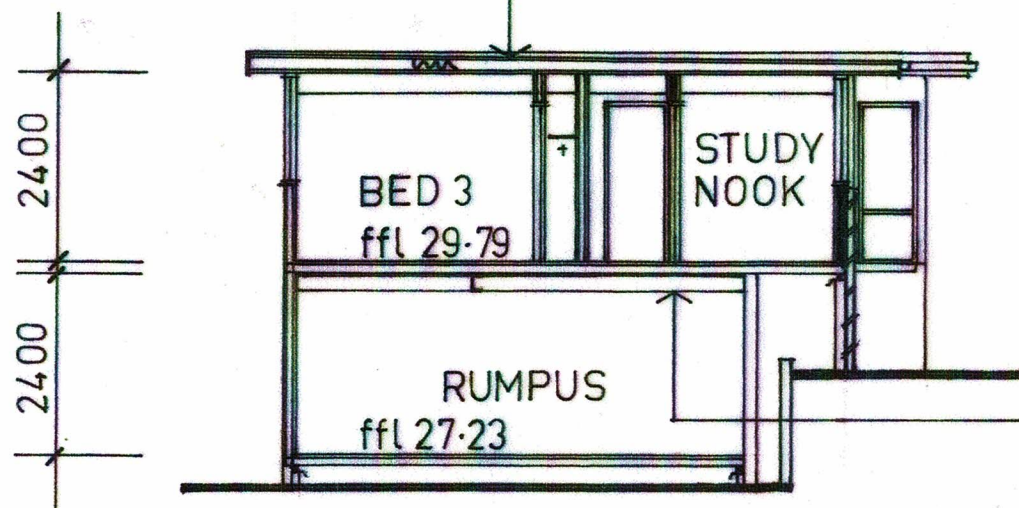
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NORTH EAST ELEVATION 1:100

replace existing metal roof tray (colorbond) including insulation, gutters and downpipes.



SECTION X-X 1:100

gyprock to walls and ceilings where required.
insulation to walls and ceilings as per Basix.
timber flooring to match where required.
new windows and sliding

steel beams to engineer's details.

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glazing (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SE	3.78	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	SW	2.7	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	SW	1.08	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	NW	3.24	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	SE	1.26	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	NE	1.5	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	SW	5.67	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	SW	1.32	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	NW	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	NW	6.93	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

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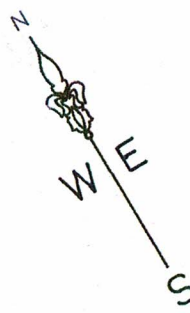
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CALCULATIONS:

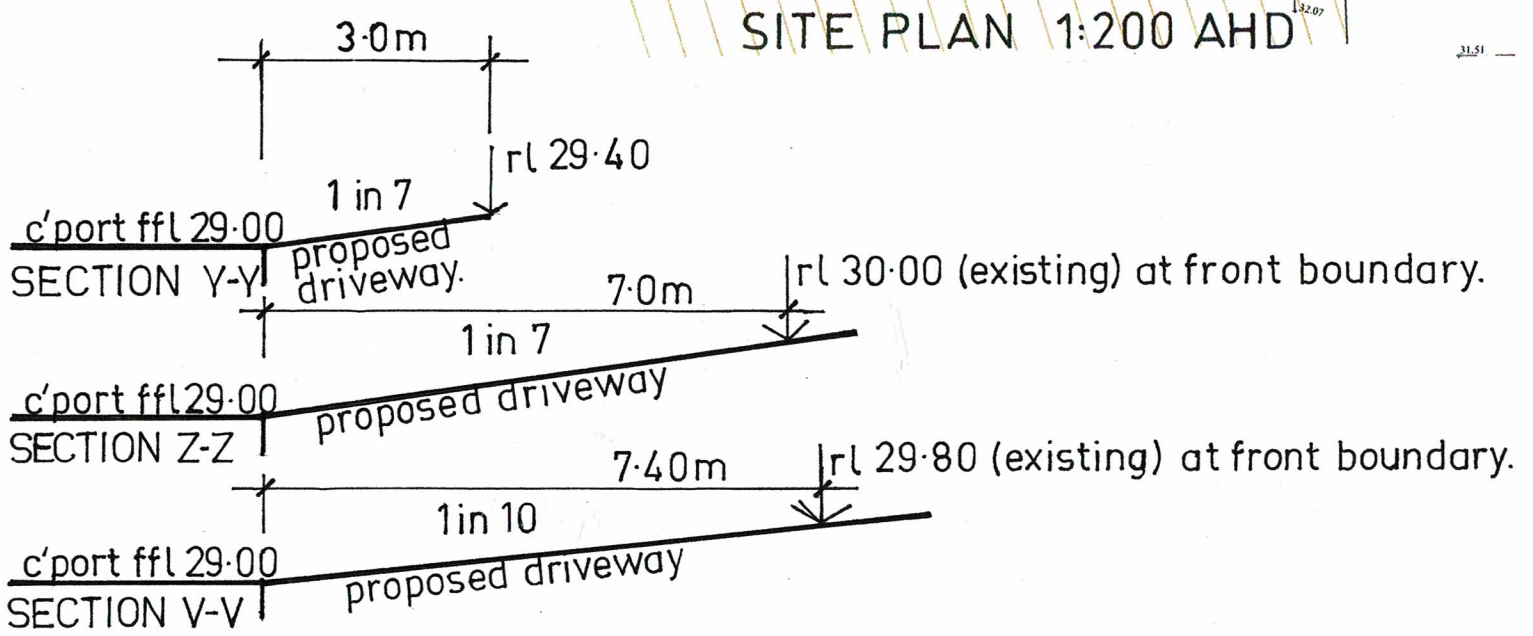
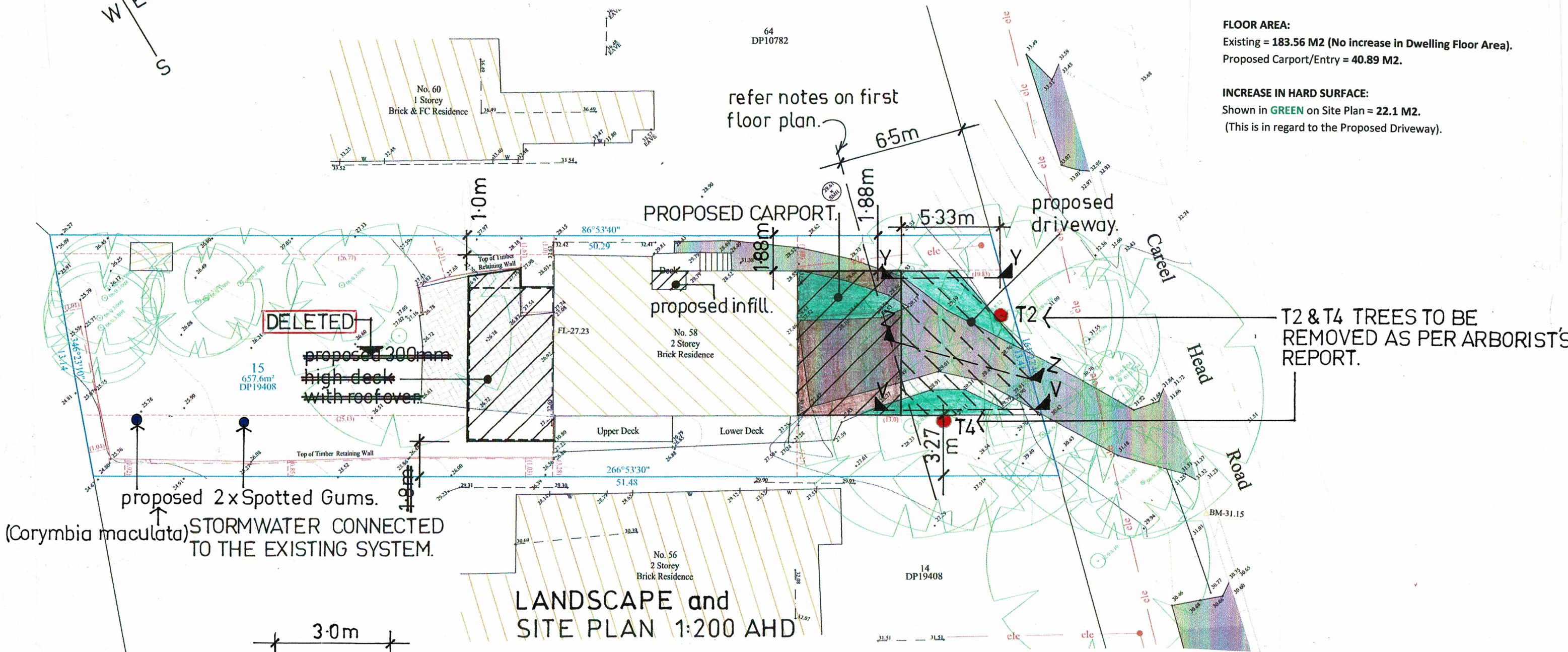
Site Area = 657.60 M2.

FLOOR AREA:

Existing = 183.56 M2 (No increase in Dwelling Floor Area).
Proposed Carport/Entry = 40.89 M2.

INCREASE IN HARD SURFACE:

Shown in **GREEN** on Site Plan = 22.1 M2.
(This is in regard to the Proposed Driveway).



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