

129 UPPER CLONTARF STREET
CLONTARF, NSW 2096

LANDSCAPE WORKS PACKAGE
DEVELOPMENT APPLICATION
ISSUE: [A]

Drawing	Title	Scale
AD_000	Cover Sheet	NTS
AD_001	Site plan +Landscaped Areas Plan	1:200
AD_002	Landscape Works Plan	1:100
AD_003	Section Elevation	1:100
AD_004	Section Elevation	1:100
AD_005	Section Elevation	1:100
AD_006	South Elevation	1:100
AD_007	Planting plan + Schedule	1:200
AD_008	Erosion and Sediment Control Plan	1:200
AD_009	Schedule of Finishes	NTS
AD_010	Notes	NTS

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	129 UPPER CLONTARF ROAD, SEAFORTH NSW 2096			
LOT & DP				
SITE AREA	531.1M²			
CONTROLS	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
LEP				
LAND ZONING	R2 LOW DENSITY RESIDENTIAL			
FLOOR SPACE RATIO	0.45:1	0.37	0.40	YES
DCP				
RESIDENTIAL OPEN SPACE	AREA OS3			
TOTAL OPEN SPACE	55% OF SITE AREA OR 292.1SQM	283.7M²	292M²	YES
OPEN SPACE ABOVE GROUND	NO MORE THAN 25% OF TOTAL OPEN SPACE (71SQM)	42M²	70m²	YES
LANDSCAPE AREA	35% OF TOTAL OPEN SPACE OR 102.5SQM	N/A	229m²	YES



01 SITE CONTEXT

NTS

PROJECT:
UPPER CLONTARF DA

LOCATION
129 UPPER CLONTARF STREET
SEAFORTH, NSW
2096

CLIENT
JUSTIN + ROWENA

TITLE
COVER SHEET

SCALE NORTH

DATE
02.02.2020

JOB NO.
AD 1902

DRAWING NO. REV
AD 000 A

LEGEND

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LANDSCAPE AND GARDENS
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PROJECT:
UPPER CLONTARF DA

LOCATION
129 UPPER CLONTARF STREET
SEAFORTH, NSW
2096

CLIENT
JUSTIN + ROWENA

TITLE
DEMO PLAN +
SITE AREA CALCS

SCALE
1:200 @A3

DATE
02.02.2020

JOB NO.
AD 1902

DRAWING NO.
AD 001

REV
A

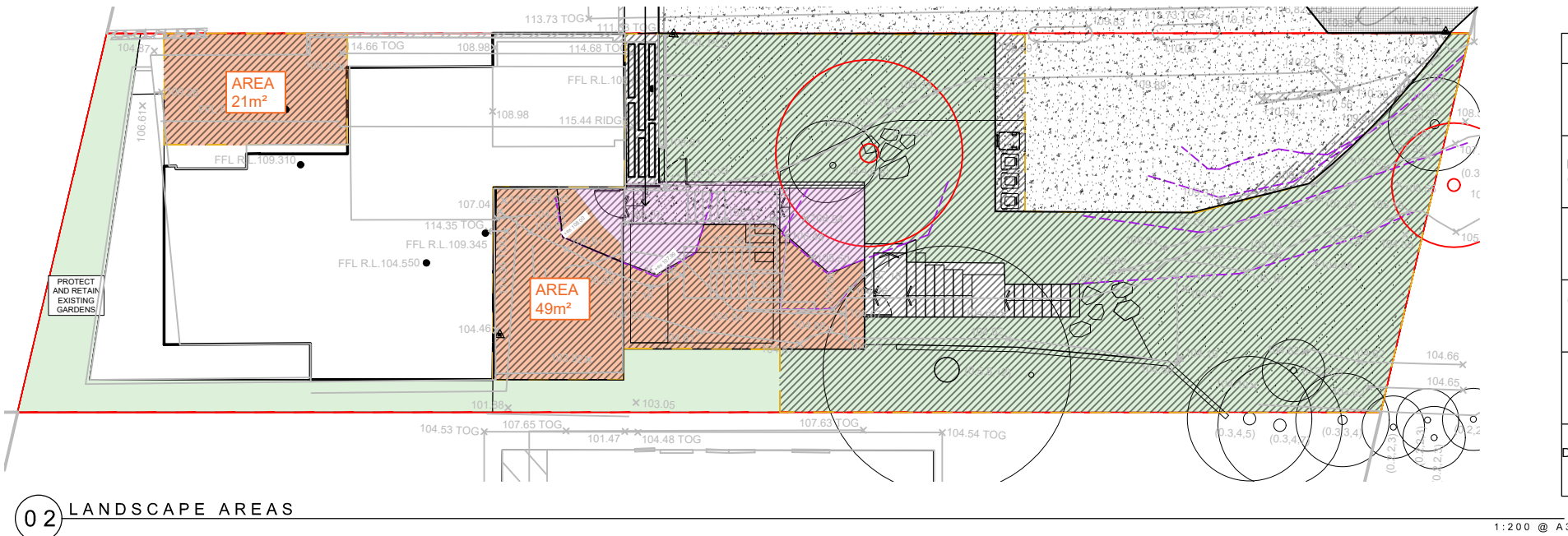
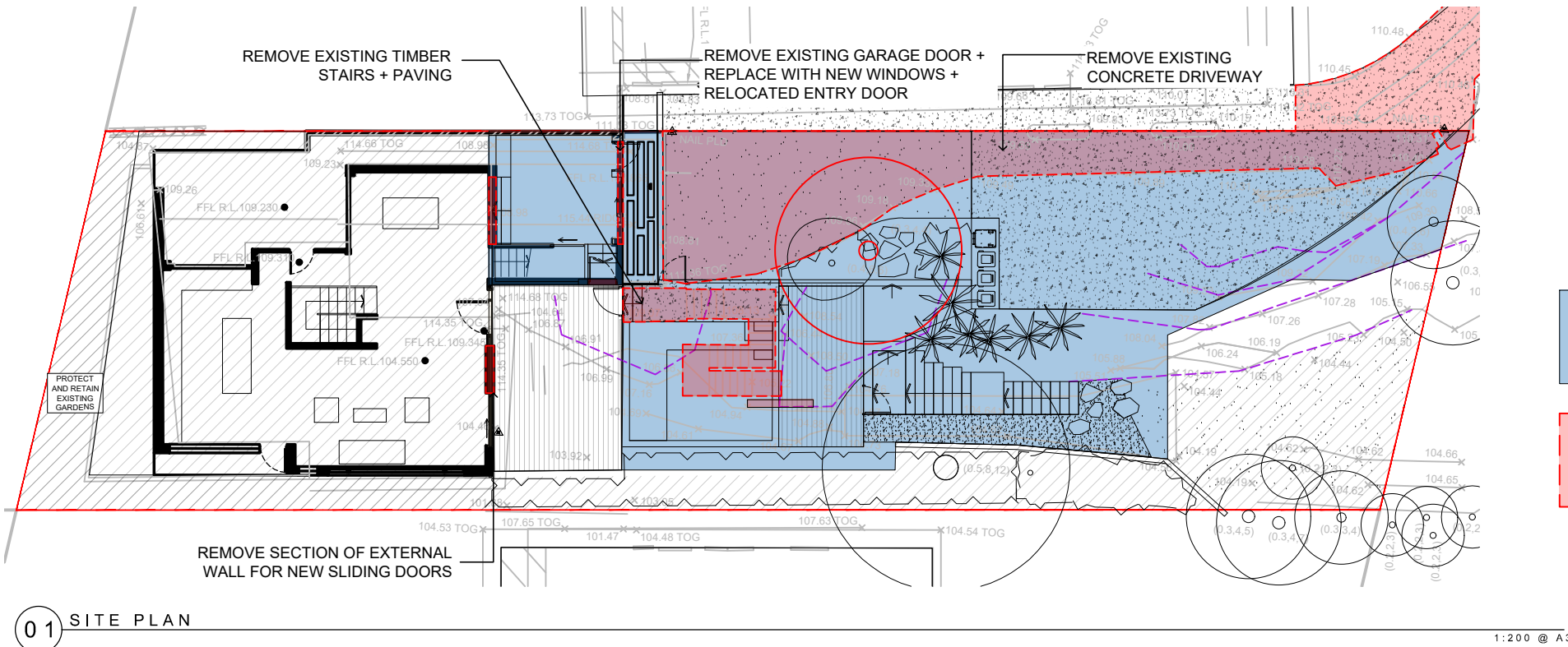
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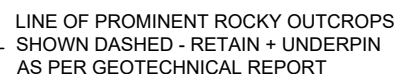
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PROJECT:
UPPER CLONTARF DA

LOCATION
129 UPPER CLONTARF STREET
SEAFORTH, NSW
2096

CLIENT
JUSTIN + ROWENA

TITLE
SECTION ELEVATION AA

SCALE
1:100 @A3

DATE
02.02.2020

JOB NO.
AD 1902

DRAWING NO.
AD 003

NORTH



REV
A

LEGEND

	Retain/ protect existing tree		Steel garden edging
	Existing tree removed Refer arborist report		Fence type 1 - 1.2M H Glazed pool fence
	Proposed tree Refer key & notes		Fence type 2 - 1.2m H Palisade pool fence
	Planted areas Refer key & notes		Fence type 3 - 1.0m H Balustrade
	Timber decking		Fence type 4 - 1.6m H Palisade Privacy screen
	Proposed works		Existing levels
	Existing stone wall		Proposed levels
	Turf areas		Stone steppers
	Paving		Concrete

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LANDSCAPE AND GARDENS

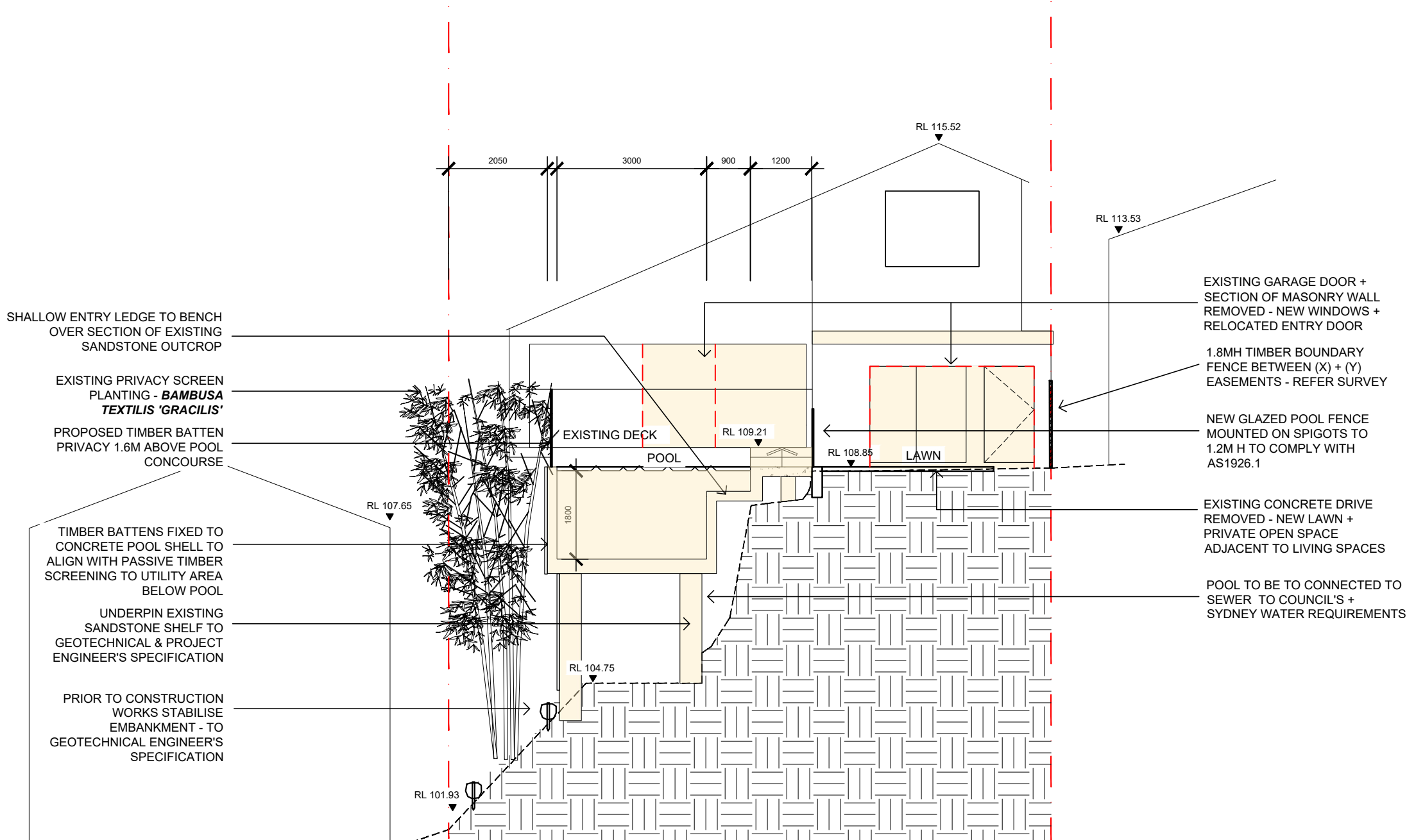
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2096

CLIENT
JUSTIN + ROWENA

TITLE
SECTION ELEVATION BB

SCALE
1:100 @A3

DATE
02.02.2020

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AD 1902

DRAWING NO.
AD 004

NORTH



LEGEND

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	Paving		Concrete

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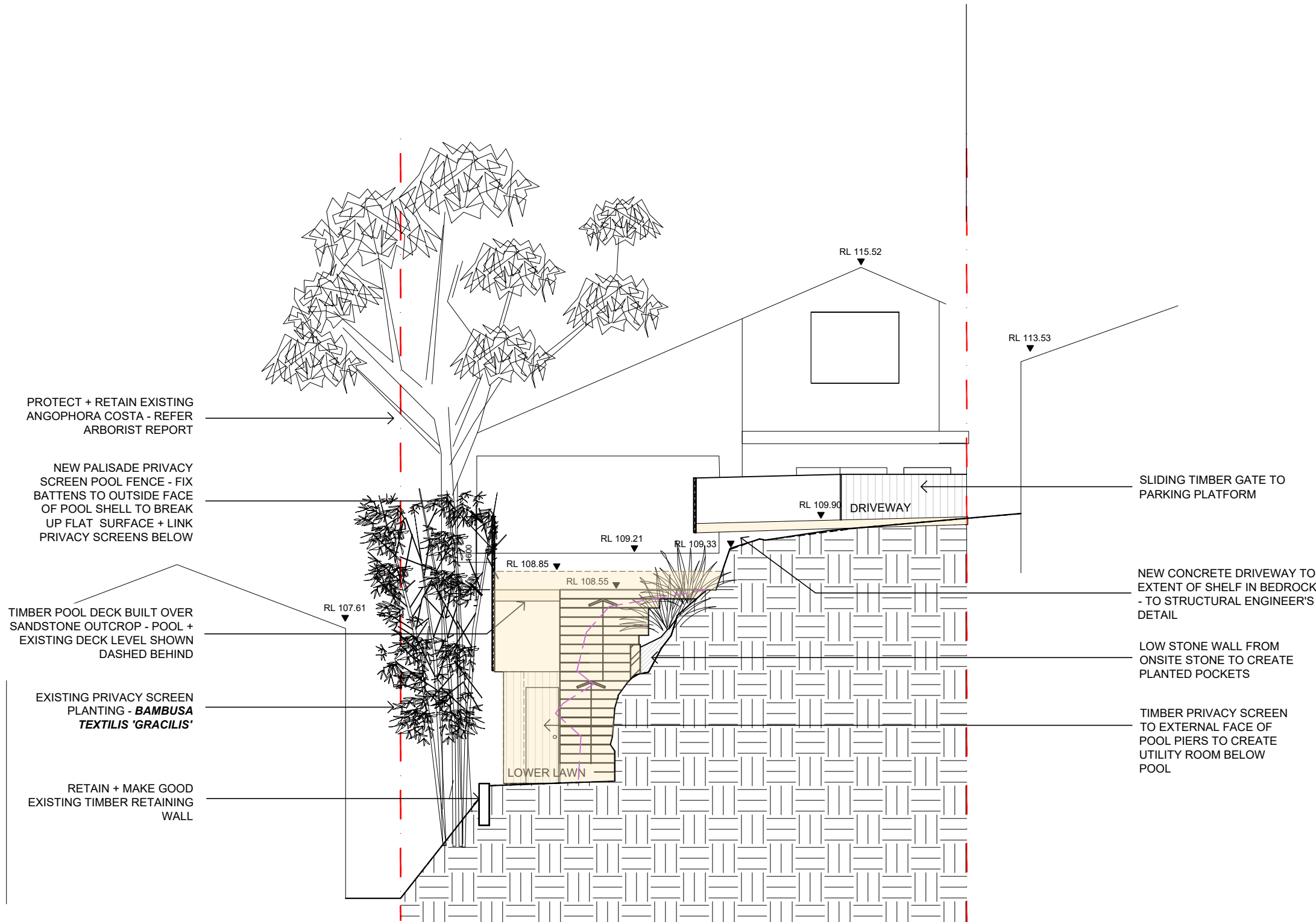
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2096

CLIENT
JUSTIN + ROWENA

TITLE
SECTION ELEVATION CC

SCALE
1:100 @A3

DATE
02.02.2020

JOB NO.
AD 1902

DRAWING NO.
AD 005

REV
A

LEGEND

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LANDSCAPE AND GARDENS

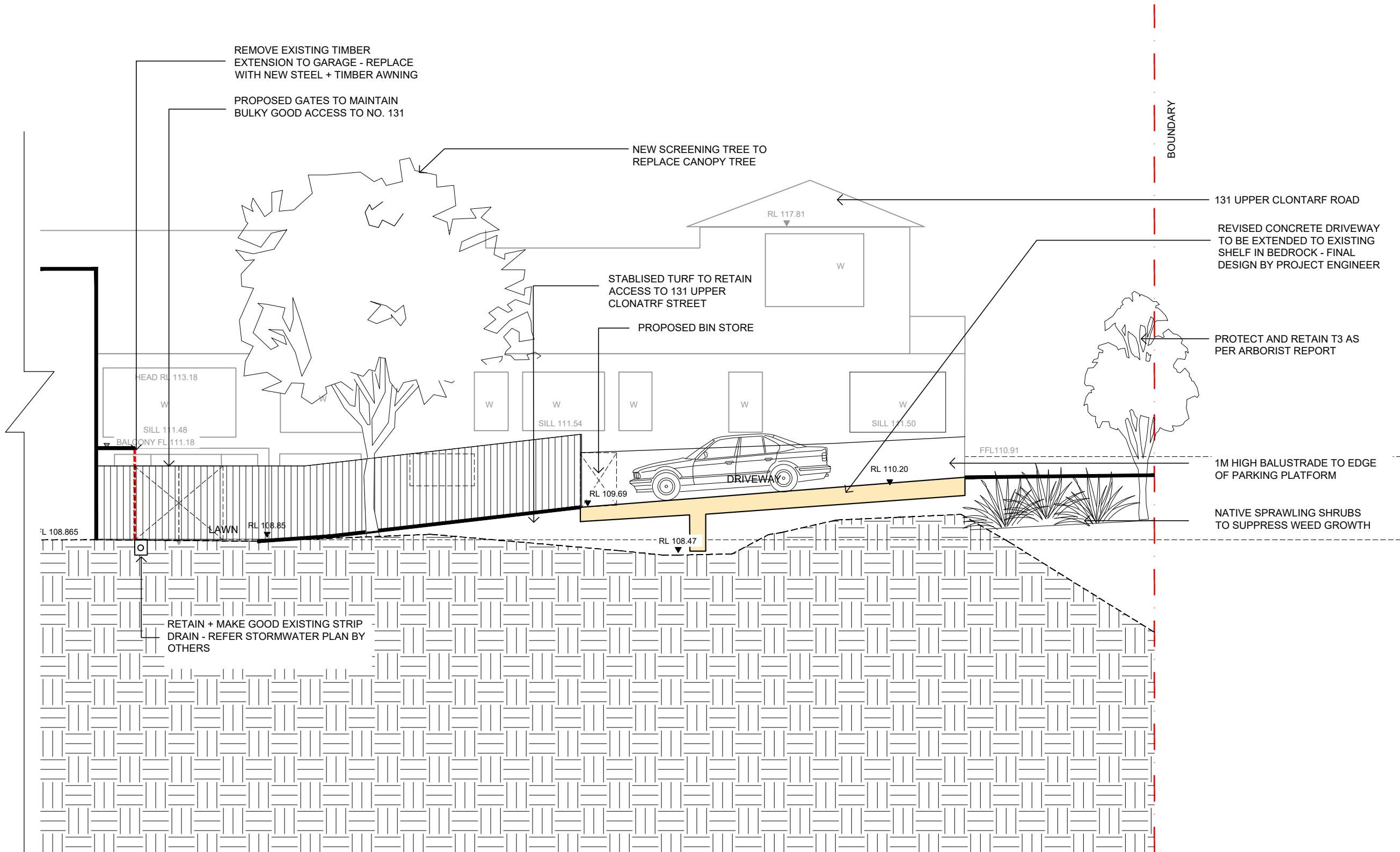
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2096

CLIENT
JUSTIN + ROWENA

TITLE
SOUTH ELEVATION

SCALE
1:100 @A3

DATE
02.02.2020

JOB NO.
AD 1902

DRAWING NO.
AD 006

REV
A

LEGEND

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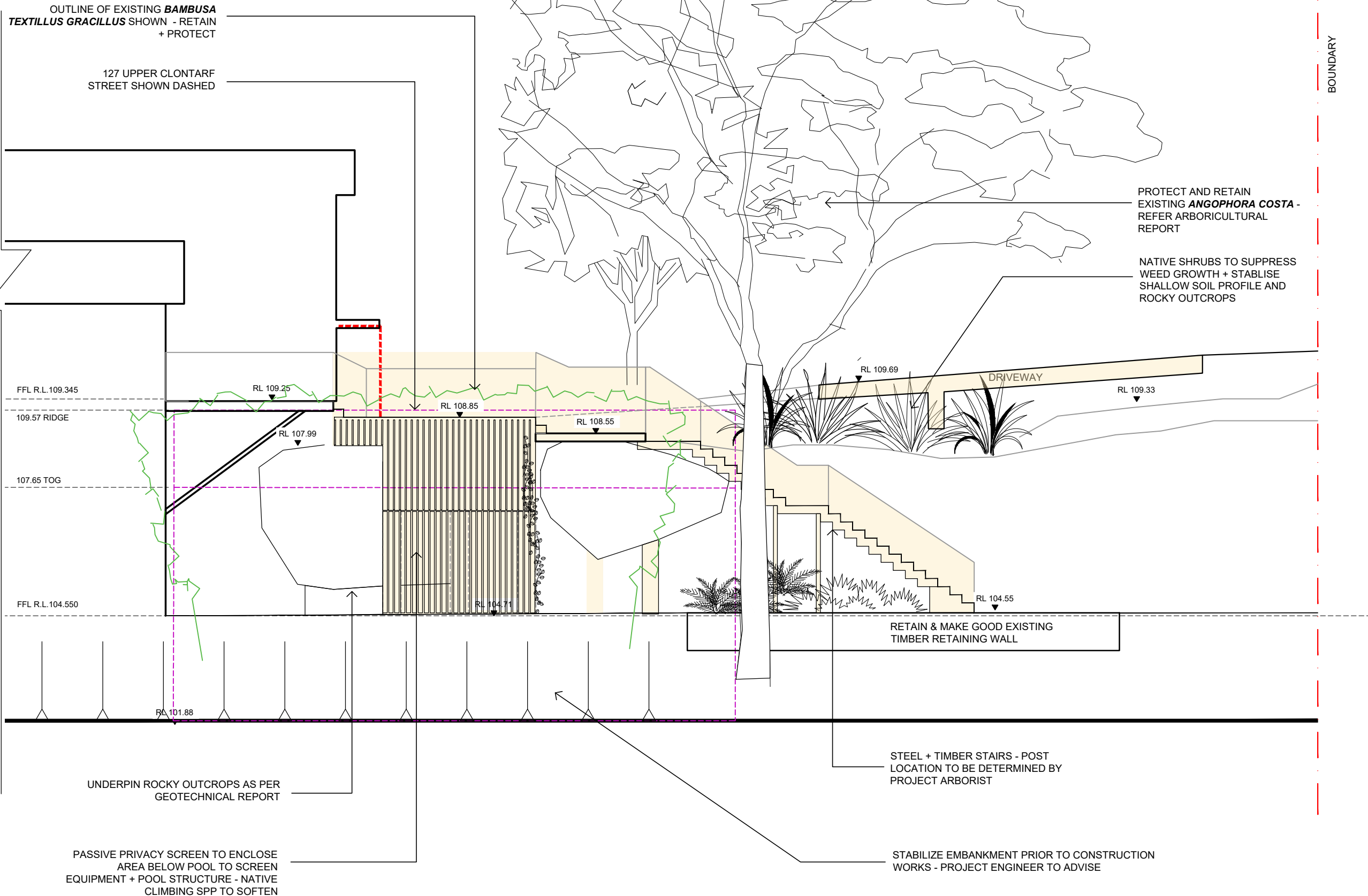
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TITLE
PLANTING PLAN &
SCHEDULE

SCALE
1:200 @A3








DATE
02.02.2020

JOB NO.
AD 1902

DRAWING NO.
AD 007

REV
A

LEGEND

-  STOCKPILE/ BIN
STORE AREA
-  STOCKPILE AREA
-  SILT FENCING
-  TREE PROTECTION
FENCING
-  TEMPORARY
SITE FENCING
-  SITE
BOUNDARY
-  SAND BAGS
SILT TRAP

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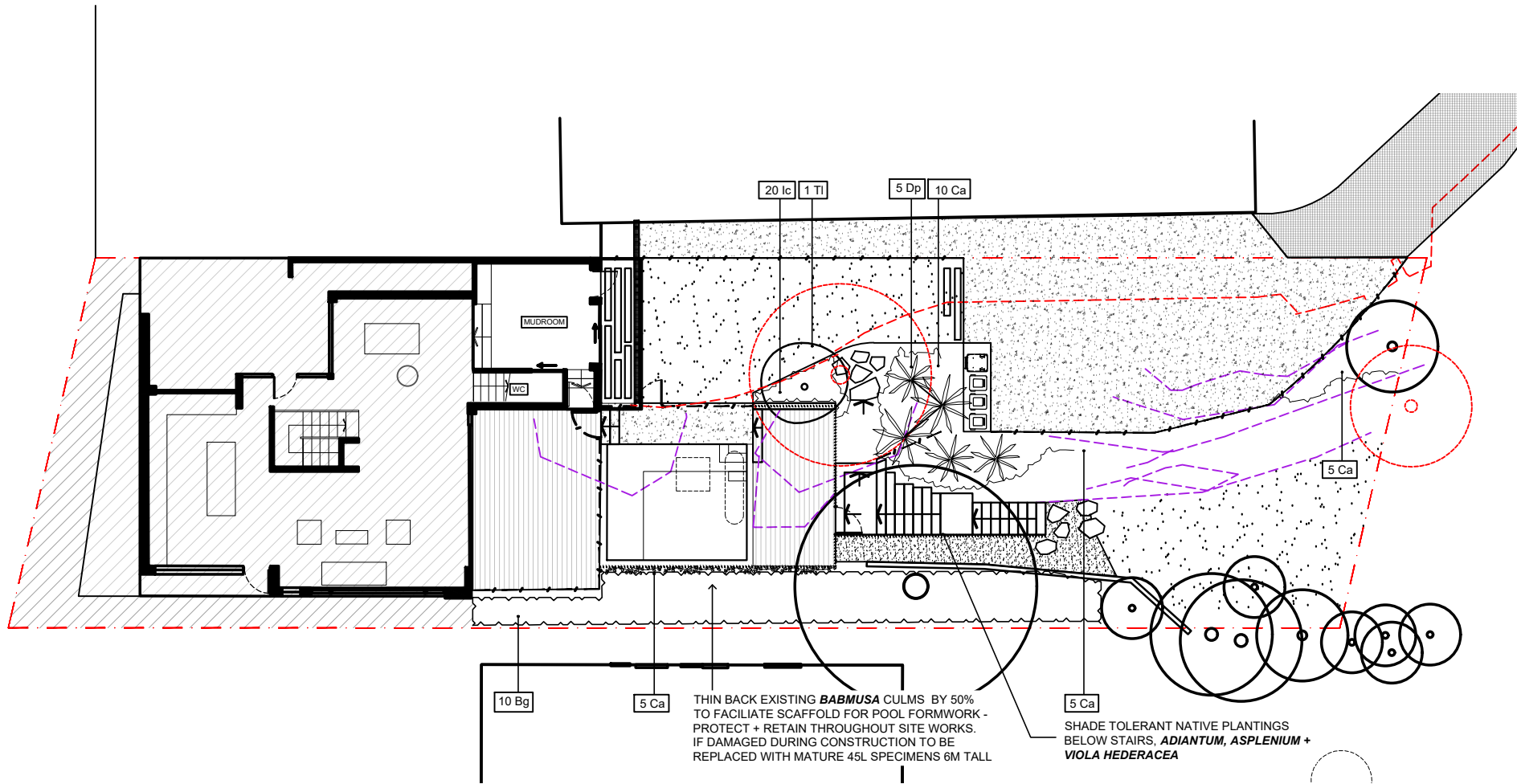
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01 PLANTING PLAN

1:200 @ A3

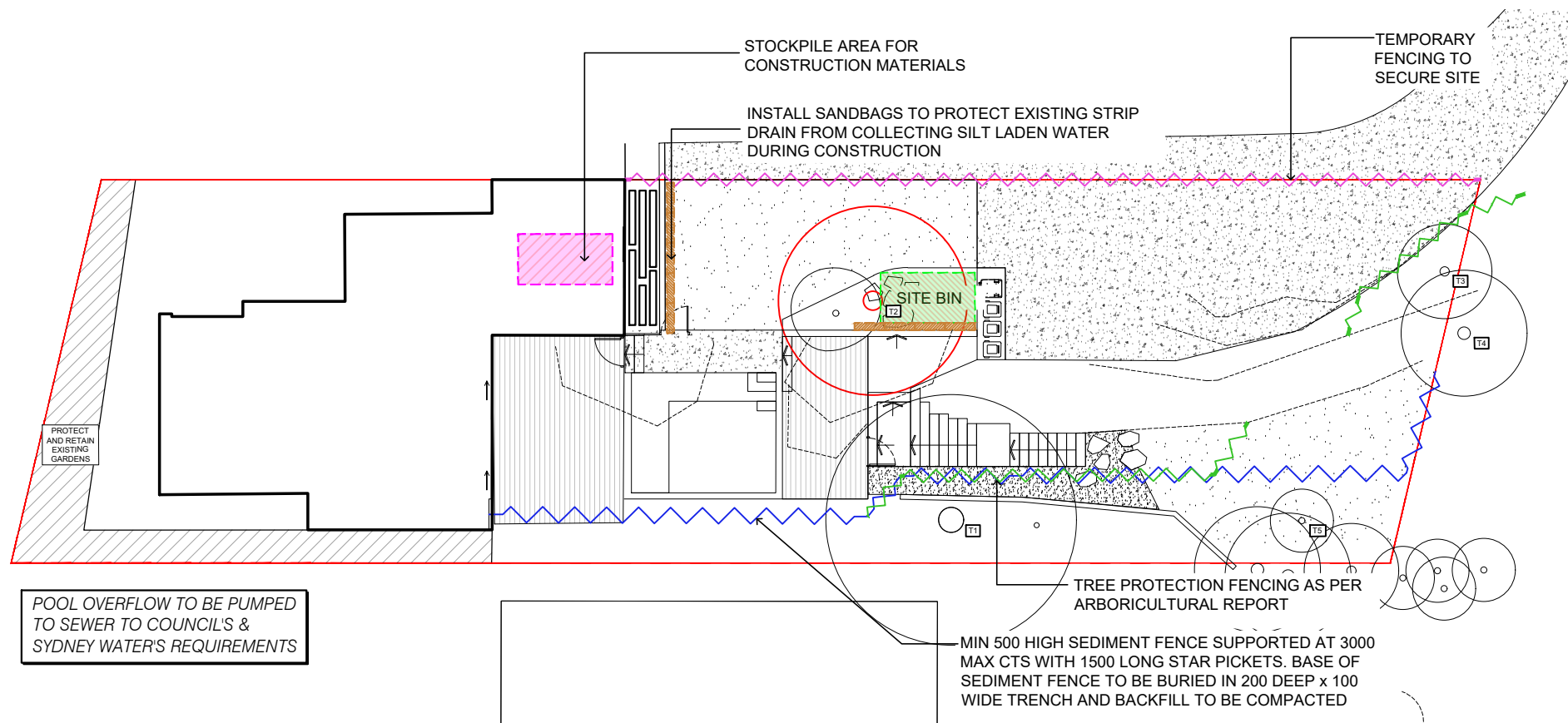
PROPOSED PLANT SCHEDULE							
QTY	KEY	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	SPACING
SCREENING/EDIBLE TREES							
tbc	As	* <i>Acmena smithii</i>	Lilly Pilly	5m	3m	45L	As Shown
10	Bg	<i>Bambusa textilis gracilis</i>	Slender Weaver's Bamboo	6-10m	2m	45L	As Shown
1	TI	* <i>Tristaniopsis laurina luscious</i>	Water Gum	6m	4m	75L	As Shown
GRASSES/ACCENTS							
5	Dp	* <i>Doryanthes palmeri</i>	Giant Spear Lily	3m	2m	400mm	As Shown
20		* <i>Imperata cylindrica</i>	Cogon grass	1m	spreading	200mm	6 PSQM
tbc	Aa	* <i>Asplenium australasicum</i>	Birds Nest Fern	1.3m	800mm	200mm	700mm
tbc	Bc	* <i>Blechnum cartilagineum</i>	Gristle fern	1m	1m	200mm	900mm
GROUNDCOVERS/CLIMBERS							
30	Ca	* <i>Cissus antarctica</i>	Kangaroo Vine	Climbing	Climbing	200mm	600mm
tbc	Ada	* <i>Adiantum aethiopicum</i>	Maidenhair Fern	300mm	300mm	100mm	400mm
40	Vh	* <i>Viola hederacea</i>	Native Violet	Spreading	Spreading	100mm	9 PSQM
40m2	Sts	<i>Stenotaphrum secundatum</i>	DNA Certified Sir Walter Buffalo	Spreading	Spreading	Turf Roll	As Shown

* Denotes local native plants.

** Alternate native option to replace *Bambusa textilis gracilis*

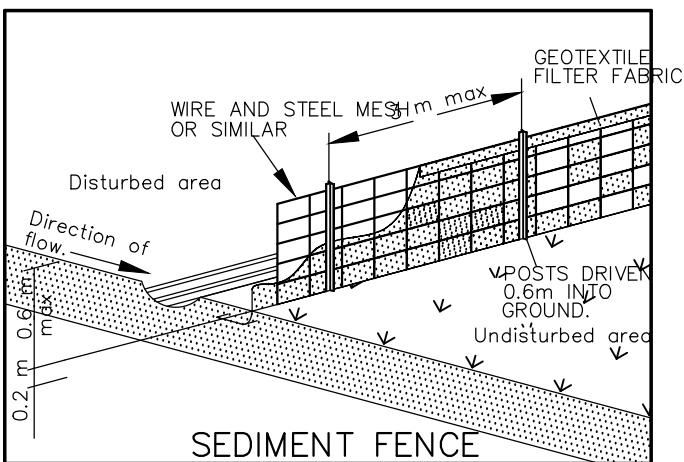
EXISTING TREE SCHEDULE			
KEY	BOTANICAL NAME	COMMON NAME	ACTION
T1	<i>Angophora costata</i>	Smooth Barked Apple	Retain/Protect
T2	<i>Angophora costata</i>	Smooth Barked Apple	Remove
T3	<i>Callistemon/Melaleuca spp</i>	Bottlebrush	Retain/Protect
T4	<i>Hakea spp.</i>	Hakea	Remove
T5	<i>Banksia integrifolia</i>	Coast Banksia	Retain/Protect

REFER TO ARBORICULTURAL IMPACT ASSESSMENT REPORT BY SEASONED TREE CONSULTING



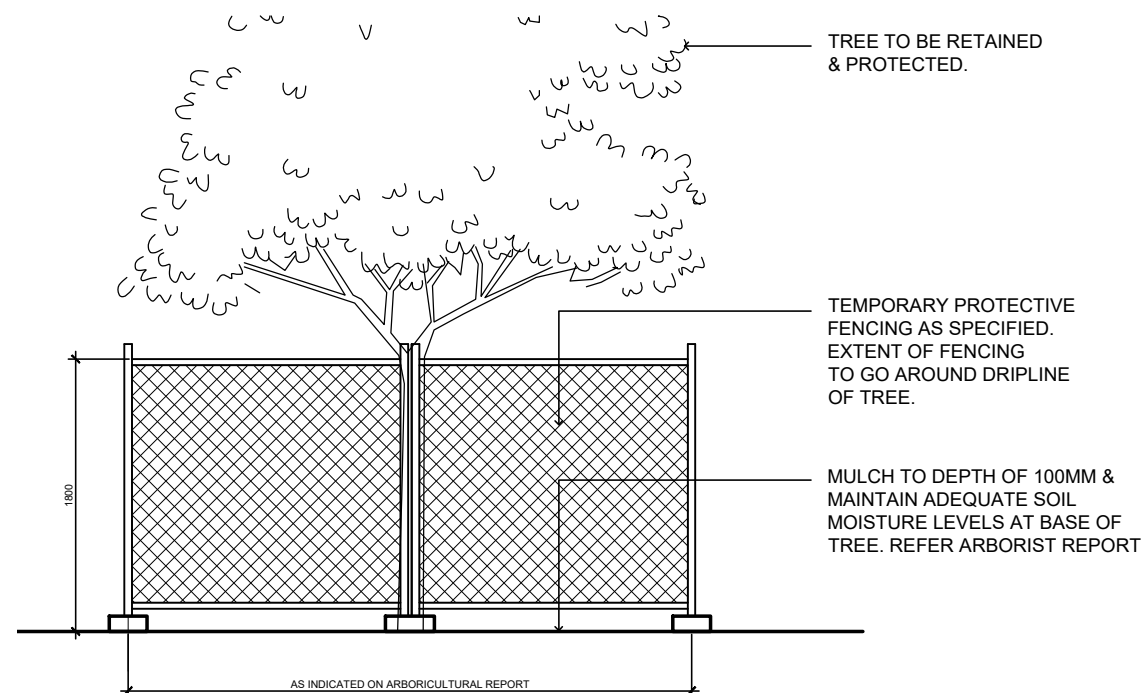
01 EROSION AND SEDIMENT CONTROL PLAN

1:200 @ A3



02 SEDIMENT FENCE DETAIL

NTS



03 TREE PROTECTION ZONE

NTS

EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION & SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH 'MANAGING URBAN STORMWATER, 3RD EDITION' PRODUCED BY THE NSW DEPARTMENT OF HOUSING.
- ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
- EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENTS, ETC.
- STABILISE/REVEGETATE ALL DISTURBED AREAS PROGRESSIVELY WHERE PRACTICAL.
- INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER.
- ADDITIONAL VEHICLES MUST PARK ON ROAD AND NOT FOOTPATH. PUBLIC FOOTPATH ADJACENT TO SITE MUST NOT BE OBSTRUCTED AND MUST BE SAFE FOR PEDESTRIAN ACCESS.
- ENSURE FENCE IS KEYED AT BOTH ENDS INTO GROUND, WITH BASE TURNED UPSLOPE.
- SEDIMENT FENCE FILTER CLOTH TO BE FASTENED SECURELY TO WIRE FENCE WITH TIES SPACED EVERY 600MM. OVERLAP ADJOINING FILTER CLOTH BY 150MM AND FOLDING OVER.
- DIVERT UPSLOPE WATER AROUND WORK SITE AND STABILISE CHANNELS.
- NOT WITHSTANDING DETAILS SHOWN, IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.

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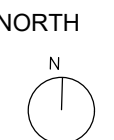
TITLE
EROSION AND SEDIMENT
CONTROL PLAN

SCALE
1:200 @A3

DATE
02.02.2020

JOB NO.
AD 1902

DRAWING NO.
AD 008



REV
A

LEGEND

- STOCKPILE/BIN STORE AREA
- STOCKPILE AREA
- SILT FENCING
- TREE PROTECTION FENCING
- TEMPORARY SITE FENCING
- SITE BOUNDARY
- SAND BAGS SILT TRAP

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CLIENT
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TITLE
SCHEDULE OF FINISHES

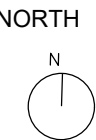
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DRAWING NO.
AD 009

REV
A



01 3D CONCEPTUAL RENDERS



DARK STEEL OR TIMBER BATTEN BALUSTRADE
DULUX FERRODOR 810 - NATURAL GREY OR EQU.



SELECTED HARDWOOD/ COMPOSITE BATTEN PRIVACY/SCREEN + POOL FENCE
NOM. 40X40 BATTEN ON GALVANISED STEEL FRAME



135MM WIDE SELECTED DECKING BOARD + CONCRETE POOL SURROUND TURFGRID DRIVEWAY APRON
ALLOW DECKING TO GREY NATURALLY



CONCRETE POOL SURROUND TURFGRID DRIVEWAY APRON



OVERHEAD TIMBER SCREEN BUILDING
DESIGN TO FUTURE DETAIL

LEGEND

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LANDSCAPE NOTES

1.0 GENERAL NOTES

DRAWING SET HAS BEEN COMPLETED TO DEVELOPMENT APPLICATION LEVEL ONLY. **NOT FOR CONSTRUCTION. ALL QUANTITIES AND MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING AND INSTALLATION OF PROPOSED WORKS. ALL PROPOSED STRUCTURAL WORKS TO BE APPROVED BY PROJECT ENGINEER/BCA CONSULTANT PRIOR TO CONSTRUCTION. ALTERRE DESIGN IS NOT THE CERTIFYING AGENT FOR ANY STRUCTURAL WORKS.**

2.0 DEMOLITION/ EXCAVATION

EXISTING ROCKY OUTCROPS ARE TO BE RETAINED + PROTECTED DURING WORKS. CONTRACTORS SHALL ADHERE TO PRESCRIBED EXCAVATION METHODS AS NOTED IN THE ATTACHED GEOTECHNICAL REPORT.

CONTRACTOR TO CHECK DIAL BEFORE YOU DIG FOR UNDERGROUND SERVICES PRIOR TO PROJECT COMMENCEMENT.

EXCAVATION BY HAND AROUND EXISTING SERVICES. SHOULD ANY ABORIGINAL SITES BE UNCOVERED DURING EARTHWORKS, WORKS SHOULD CEASE AND COUNCIL, THE NSW OFFICE OF ENVIRONMENT AND HERITAGE(OEH) AND THE METROPOLITAN LOCAL ABORIGINAL LAND COUNCIL SHOULD BE CONTACTED.

3.0 NEW SWIMMING POOL

TO BE FORMED, STEELED AND POURED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DRAWINGS.

ALL POOL FENCING TO COMPLY WITH AS19.26.1 AND NSW POOL FENCING LEGISLATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE, AND GAIN CERTIFICATION, TO BE COMPLIANT WITH THE ABOVE.

POOL EQUIPMENT TO BE LOCATED IN ACOUSTIC ENCLOSURE BELOW POOL

4.0 CONCRETE DRIVEWAY

NEW CONCRETE DRIVEWAY TO BE FORMED, STEELED AND POURED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DRAWINGS.

WHERE PRACTICAL PERMEABLE SURFACE TREATMENTS SHOULD BE UTILISED OVER FINISHED CONCRETE - DRIVEWAY APRON FROM PROPERTY BOUNDARY TO EXISTING COUNCIL CROSSOVER. PAVERS TO BE EQUAL TO TURFGRID UNIT AS AVAILABLE ABRI MASONRY - LAID OVER COMPACTED ROADBASE TO MANUFACTURE'S/ ENGINEERS SPECIFICATION

5.0 ACCESS STAIRS

PROPOSED ACCESS STAIRS SHALL BE HOT DIP GALVANISED STEEL FRAME WITH NON-REFLECTIVE FINISH.

PROJECT ARBORIST TO ADVISE ON FOOTING LOCATIONS ONSITE TO MINIMISE IMPACT TO T1 - REFER ARBORICULTURAL REPORT BY SEASONED TREE CONSULTING.

CLAD STEP-TREADS + LANDINGS WITH DECKING BOARDS 140MM X 19MM 'SPOTTED GUM' OR EQUAL TO SEASONED SUSTAINABLE HARDWOOD TO APPROPRIATE EXTERIOR GRADES. ALL BOARDS TO BE SCREWED FIXED WITH STAINLESS STEEL FIXINGS, FIT FOR PURPOSE. ONCE CUT, ALLOW BOARDS TO LEACH ON SITE PRIOR TO INSTALLATION TO PREVENT STAINING OF SURROUNDING HARDSTAND FINISHES. ALLOW TIMBERS TO NATURALLY SILVER BEFORE OIL TREATMENT IS APPLIED.

ALL STRUCTURAL FRAMING TO BE FIT FOR PURPOSE

6.0 FENCING

F1: FENCING TYPE 1 - 1.2M H FRAMELESS GLASS POOL FENCING ON SPIGOTS TO AS 1926.1

F2: FENCING TYPE 2 - 1.2M H HARDWOOD TIMBER BATTEN POOL FENCE, NOM. SIZE 40X40MM PRE-MADE PANELS. ALL FENCING TO COMPLY WITH AS.1926.1

F3 FENCING TYPE 3 - 1.0M H HARDWOOD TIMBER BATTEN BALUSTRADE, NOM. SIZE 40X40MM PRE-MADE PANELS.

F4 FENCING TYPE 4 - 1.6M H TIMBER BATTENS SCREEN - 42X19 HARDWOOD BATTENS ON EDGE FIXED TO GALVANIZED STEEL SUBFRAME TO ENGINEERS DETAIL. TO COMPLY WITH AS1926.1

7.0 GARDEN EDGING

SE: STEEL EDGING - GALVANISED MILD STEEL EDGING-SIZE: 100 X 4MM NOMINAL SECTION SIZE IN COMPLETE LONG LENGTHS. PEGS: ROUND BAR DOWELS@200MM LONG, 16MM@ MIN. 1M CTS- FILLET WELDED TO EDGING. PRIME ALL CUTS WHERE NECESSARY.

8.0 DRAINAGE

CONTRACTOR TO ALLOW FOR SUB-SURFACE AGLINE DRAINS BEHIND ALL NEW RETAINING WALLS AND BELOW LAWN AREAS - CONNECT TO EXISTING STORMWATER + DISCHARGE - ALL DRAINAGE DETAILS AS PER STORMWATER CONCEPT PLAN PREPARED BY NORTHERN BEACHES CONSULTING ENGINEERS

9.0 SOFTSCAPE ELEMENTS

9.1 SOIL AND GARDEN BED PREPARATION ALL PLANTINGS ON GRADE ARE TO BE A MIX OF CULTIVATED SITE SOILS AND IMPORTED ORGANIC MIX. CONTRACTOR TO ALLOW FOR APPLICATION OF PELLETISED ORGANIC FERTILISER SUCH AS 'ORGANIC LIFE' AND 'BLOOD AND BONE' OR SIMILAR AT TIME OF PLANTING WORKS.

9.2 MULCHING ALL PLANTING AREAS, UNLESS OTHERWISE SPECIFIED, TO BE MULCHED WITH ANL (OR EQUIVALENT) 'FOREST BLEND' TO 50MM DEEP WITH CATCHMENT DISH TO BE LEFT AROUND BASE OF PLANT

9.3 PLANTS SUPPLY PLANTS IN ACCORDANCE WITH THE LANDSCAPE DRAWINGS AND SCHEDULES, WHICH HAVE THE FOLLOWING CHARACTERISTICS: LARGE HEALTHY ROOT SYSTEMS, WITH NO EVIDENCE OF ROOT CURL, RESTRICTION OR DAMAGE, VIGOROUS, WELL ESTABLISHED, FREE FROM DISEASE AND PESTS, OF GOOD FORM

CONSISTENT WITH THE SPECIES OR VARIETY, HARDENED OFF, NOT SOFT OR FORCED, AND SUITABLE FOR PLANTING IN THE NATURAL CLIMATIC CONDITIONS PREVAILING AT THE SITE. TREES, UNLESS REQUIRED TO BE MULTI-STEMMED, SHALL HAVE A SINGLE LEADING SHOOT

9.4 TURF TURF TO BE 'SIR WALTER" BUFFALO SUPPLIED BY ACTIVE TURF - 1800 757 658

LAY MIN. 100MM BASE LAYER OF 80/20 TURF UNDERLAY MIX BY ANL OR EQUIVALENT FOR LEVELING PRIOR TO INSTALL OF TURF ROLLS.

9.5 IRRIGATION

AUTOMATIC DRIP IRRIGATION WATERING SYSTEM TO BE SELECTED AND INSTALLED TO EXTEND TO ALL LANDSCAPED AREAS INCLUDED IN WORKS.

THE LANDSCAPE CONTRACTOR IS TO LIAISE WITH COUNCIL AS NECESSARY, TO ENSURE THAT THE IRRIGATION SYSTEM CONFORMS WITH ALL WATER BOARD, COUNCIL & AUSTRALIAN STANDARDS AND REGULATIONS. CONTRACTOR IS TO USE EXISTING IRRIGATION INFRASTRUCTURE WHEREVER POSSIBLE. CONFIRM ON SITE.

PROJECT:
UPPER CLONTARF DA

LOCATION
129 UPPER CLONTARF STREET
SEAFORTH, NSW
2096

CLIENT
JUSTIN + ROWENA

TITLE
LANDSCAPE NOTES

SCALE
1:200 @A3
DATE
02.02.2020

NORTH



JOB NO.
AD 1902

DRAWING NO.
AD 010

REV
A

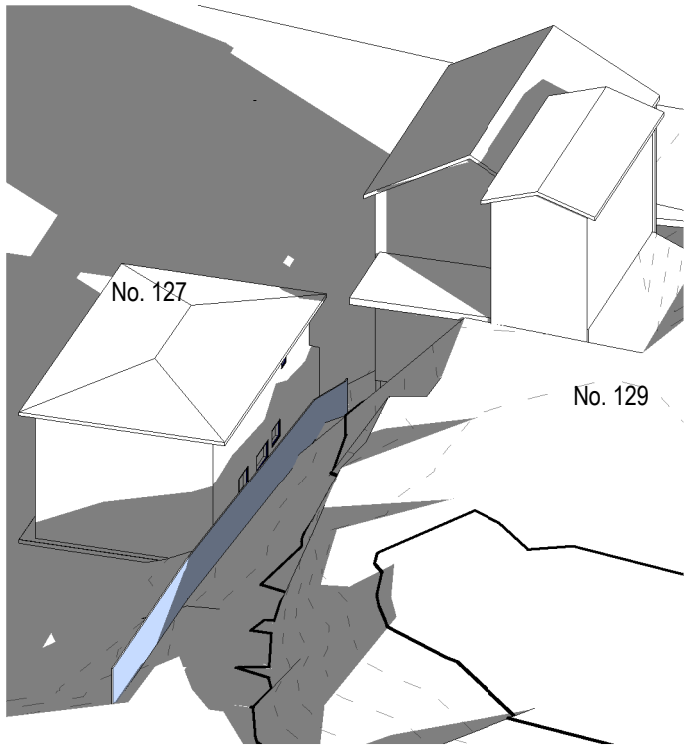
LEGEND

alterre design
LANDSCAPE AND GARDENS
ABN 75290602582
DAN@ALTERRE.COM.AU
www.alterre.com.au

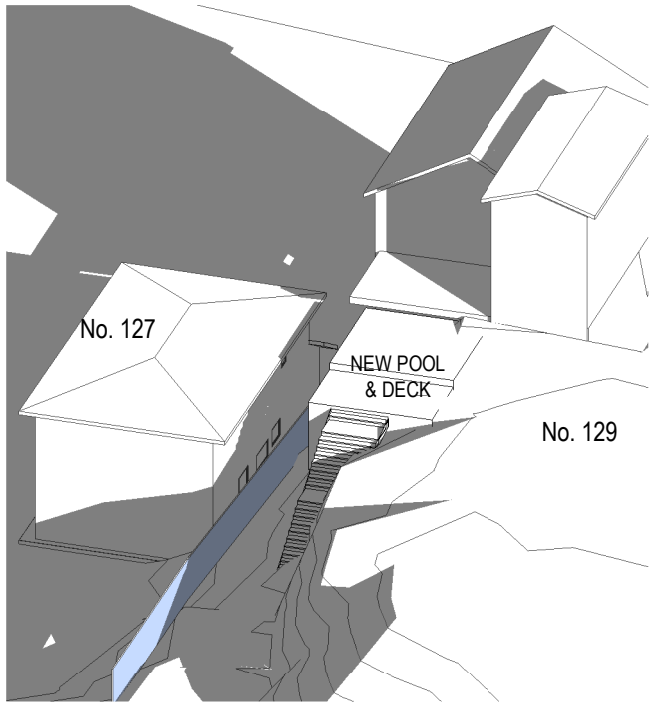
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CONTRACTOR TO CHECK AND VERIFY ALL WORK ONSITE. ANY DISCREPANCIES TO BE REPORTED TO LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORKS.

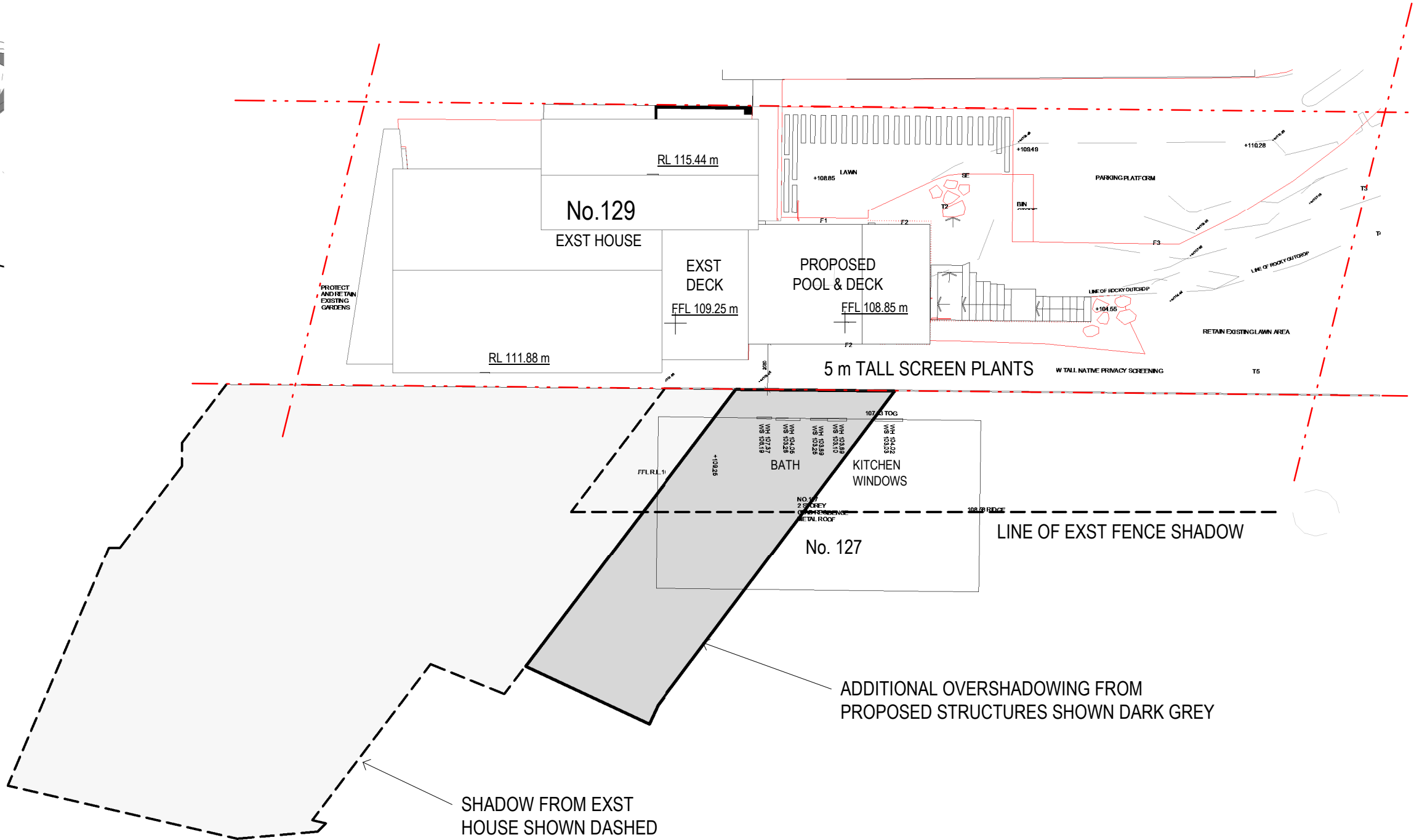
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3 WINTER 9 am EXST
SCALE



2 WINTER 9 am PROPOSED
SCALE



1 SHADOW DIAGRAM 21 JUNE 9 am
SCALE 1 : 200

NOTE
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A	DEVELOPMENT APPLICATION	04.02.20
ISSUE	DESCRIPTION	DATE

PROJECT ADDRESS: 129 UPPER CLONTARF ST, SEAFORTH
APPLICANT: JUSTIN CARUANA
STAGE: DEVELOPMENT APPLICATION
PROJ No: --
SCALE: 1 : 200

TITLE: SHADOW DIAGRAM - 21 JUNE 9am

DRAWING No: SD01 ISSUE: A

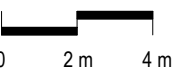
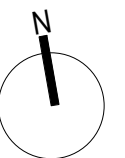
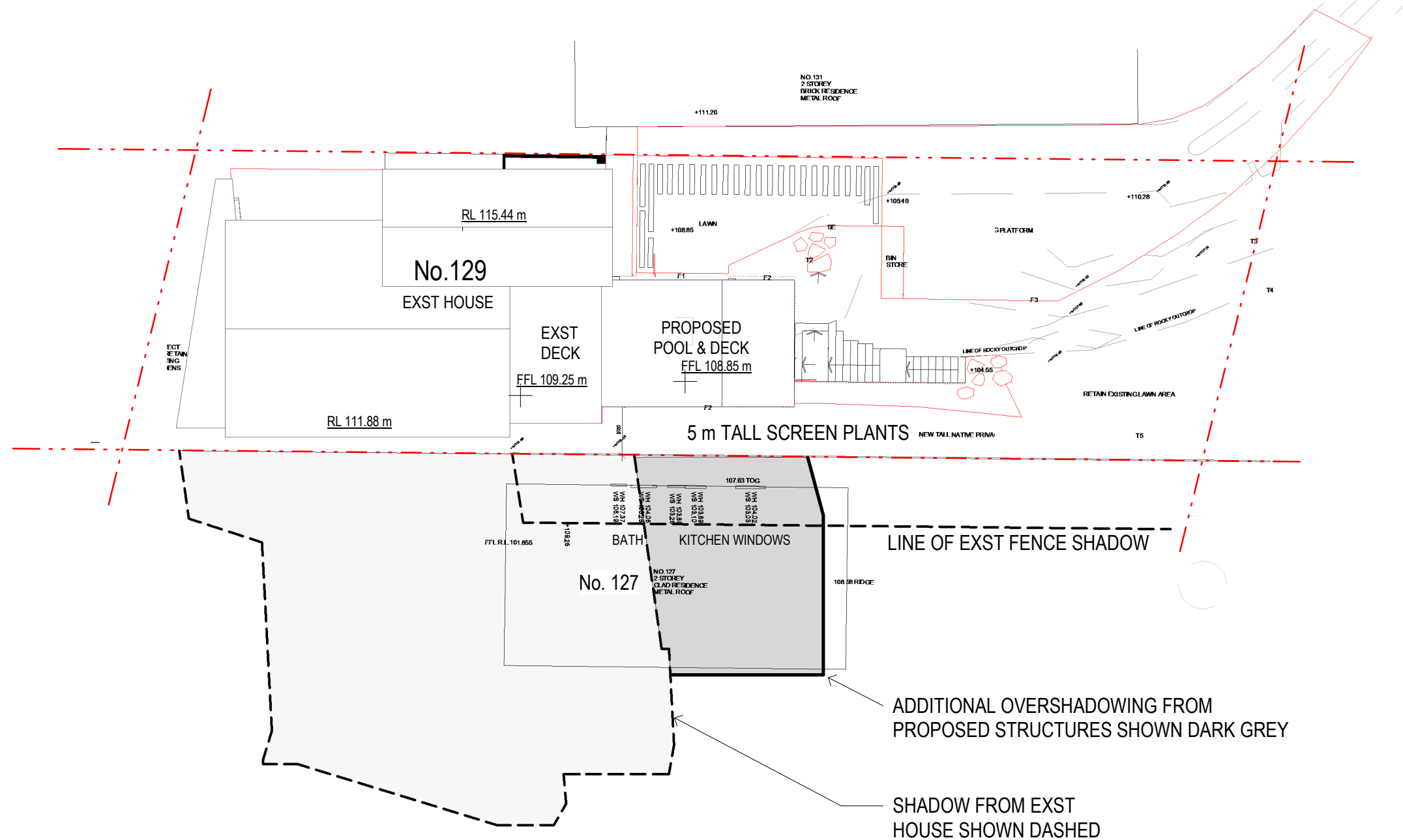
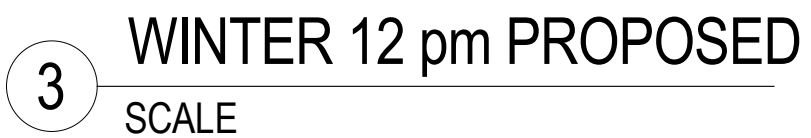
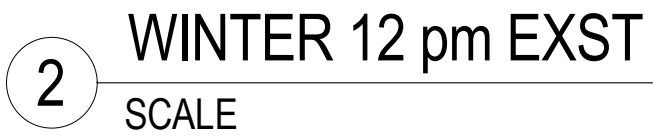


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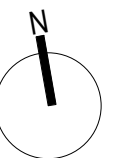
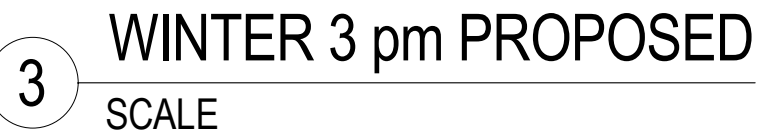
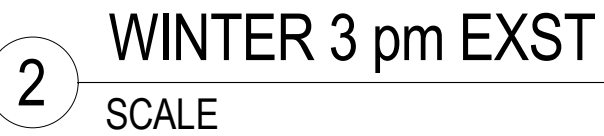
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ISSUE	DESCRIPTION	DATE

APPLICANT: JUSTIN CARUANA
STAGE: DEVELOPMENT APPLICATION
PROJ No: --
SCALE: 1 : 200

DRAWING No: **SD02** ISSUE: **A**



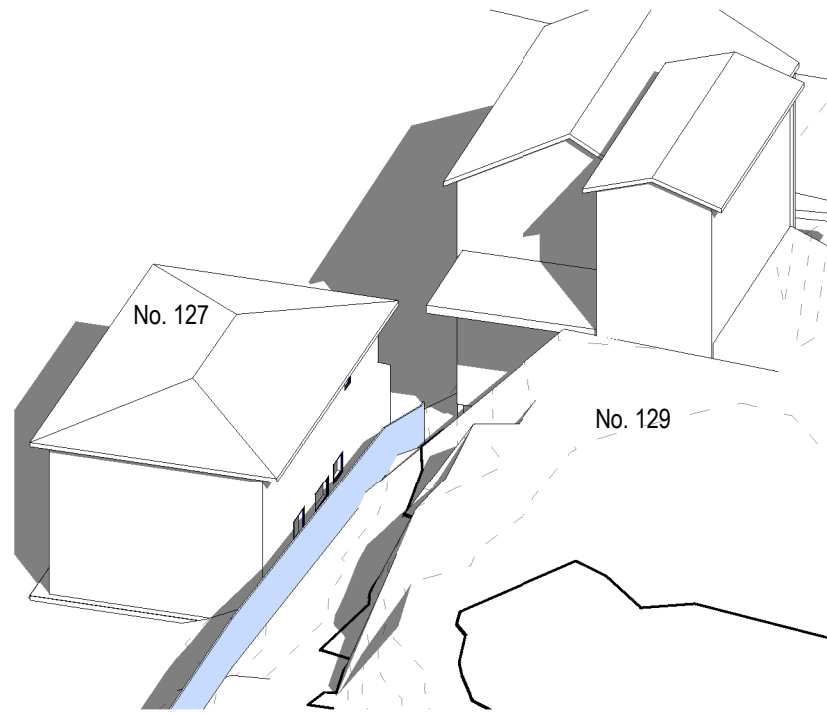
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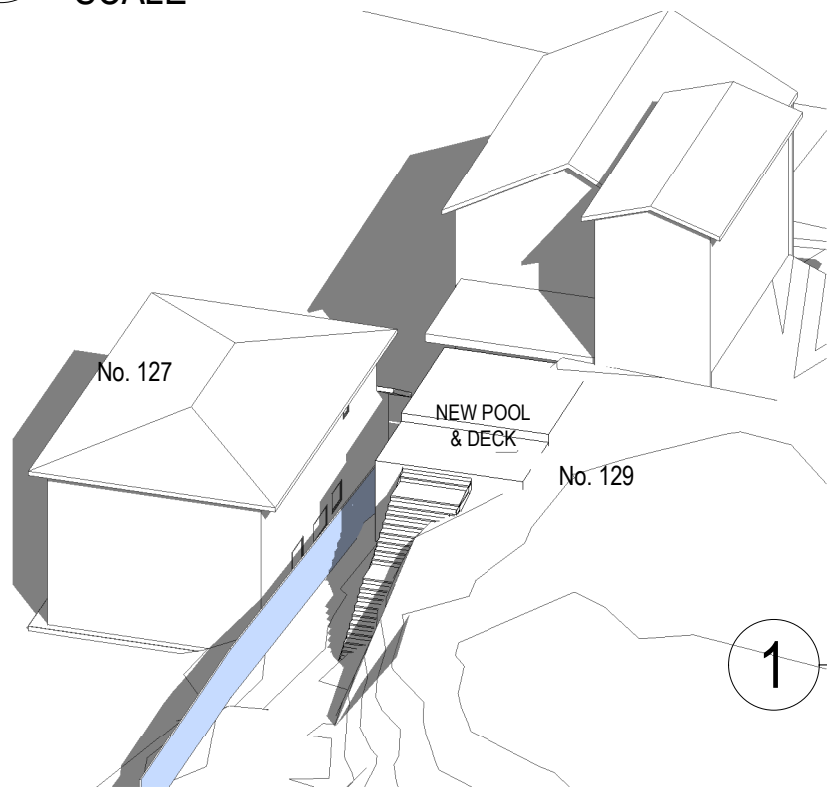
A	DEVELOPMENT APPLICATION	04.02.20
ISSUE	DESCRIPTION	DATE

PROJ No: --
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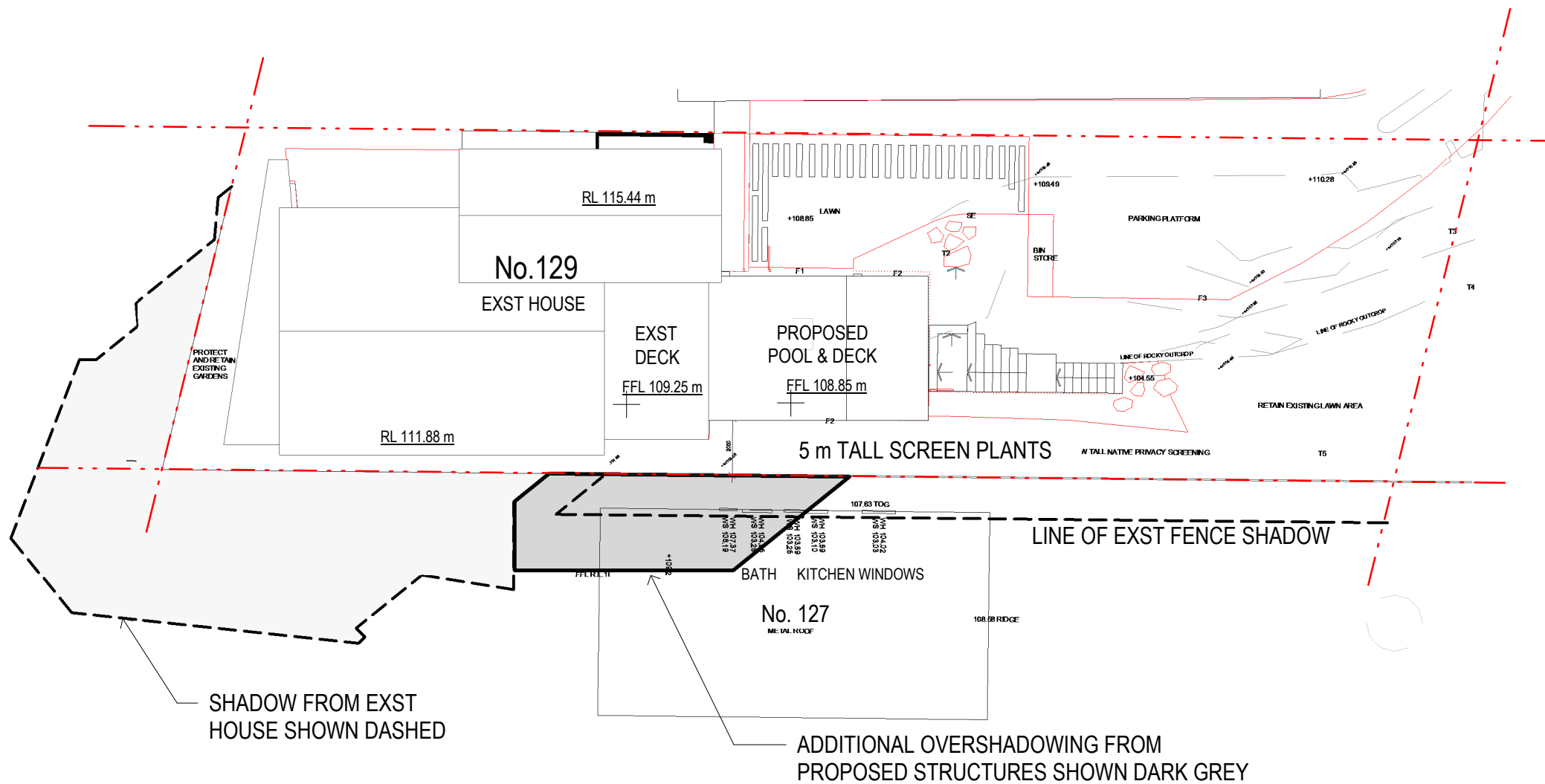
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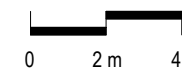
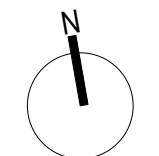
2 EQUINOX 9 am EXST
SCALE



3 EQUINOX 9 am PROPOSED
SCALE



1 SHADOW DIAGRAM EQUINOX 9 am
SCALE 1 : 200



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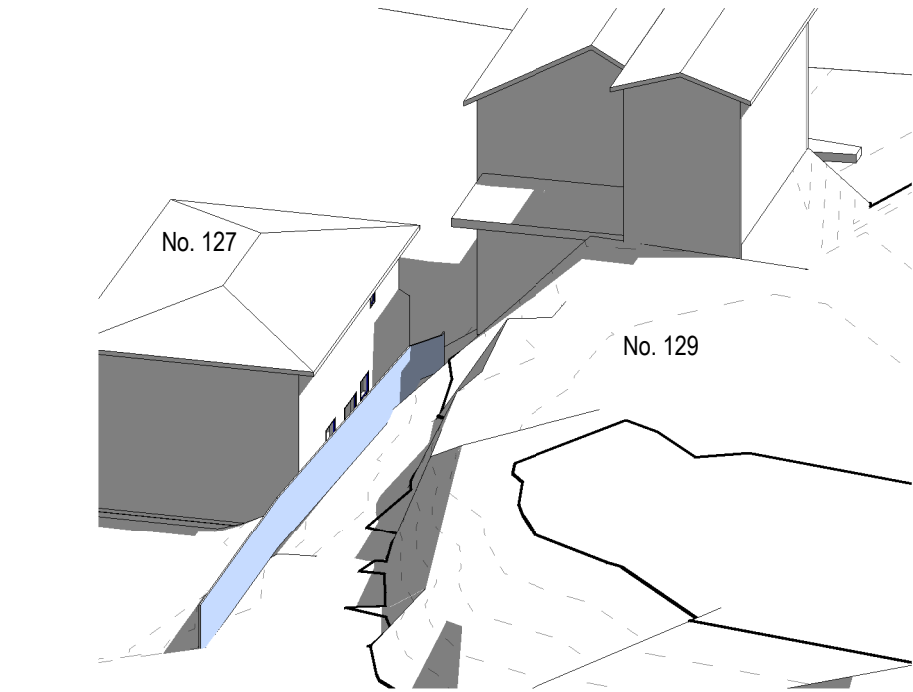
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ISSUE	DESCRIPTION	DATE

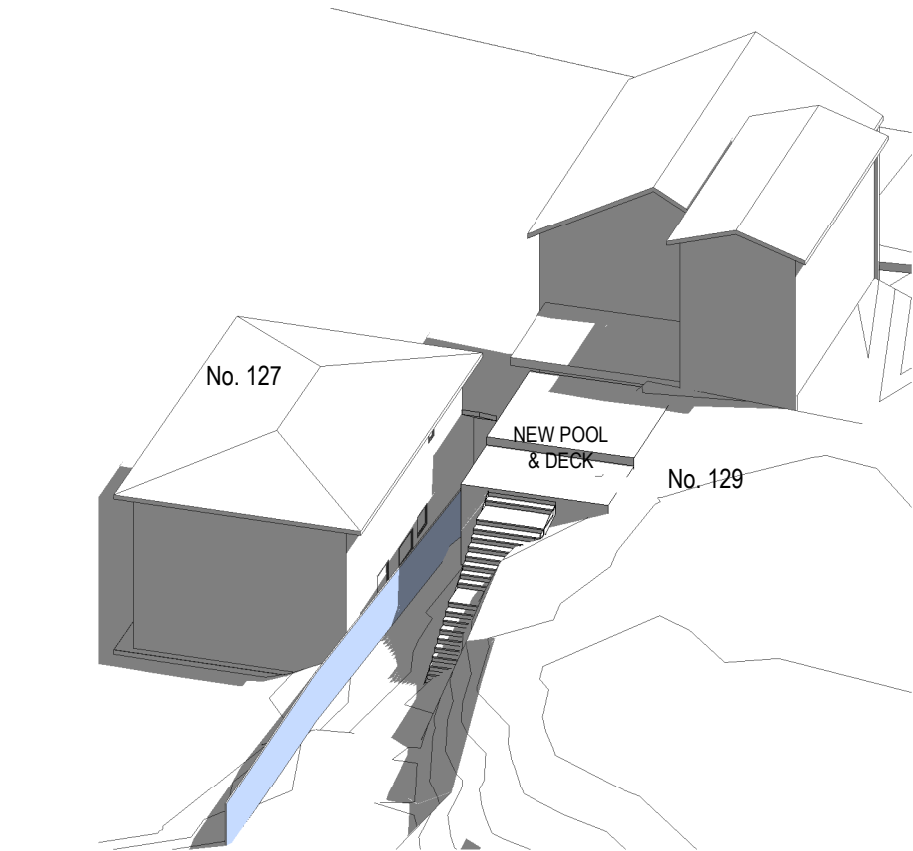
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APPLICANT: JUSTIN CARUANA
STAGE: DEVELOPMENT APPLICATION
PROJ No: --
SCALE: 1 : 200

TITLE: SHADOW DIAGRAM EQUINOX 9 am

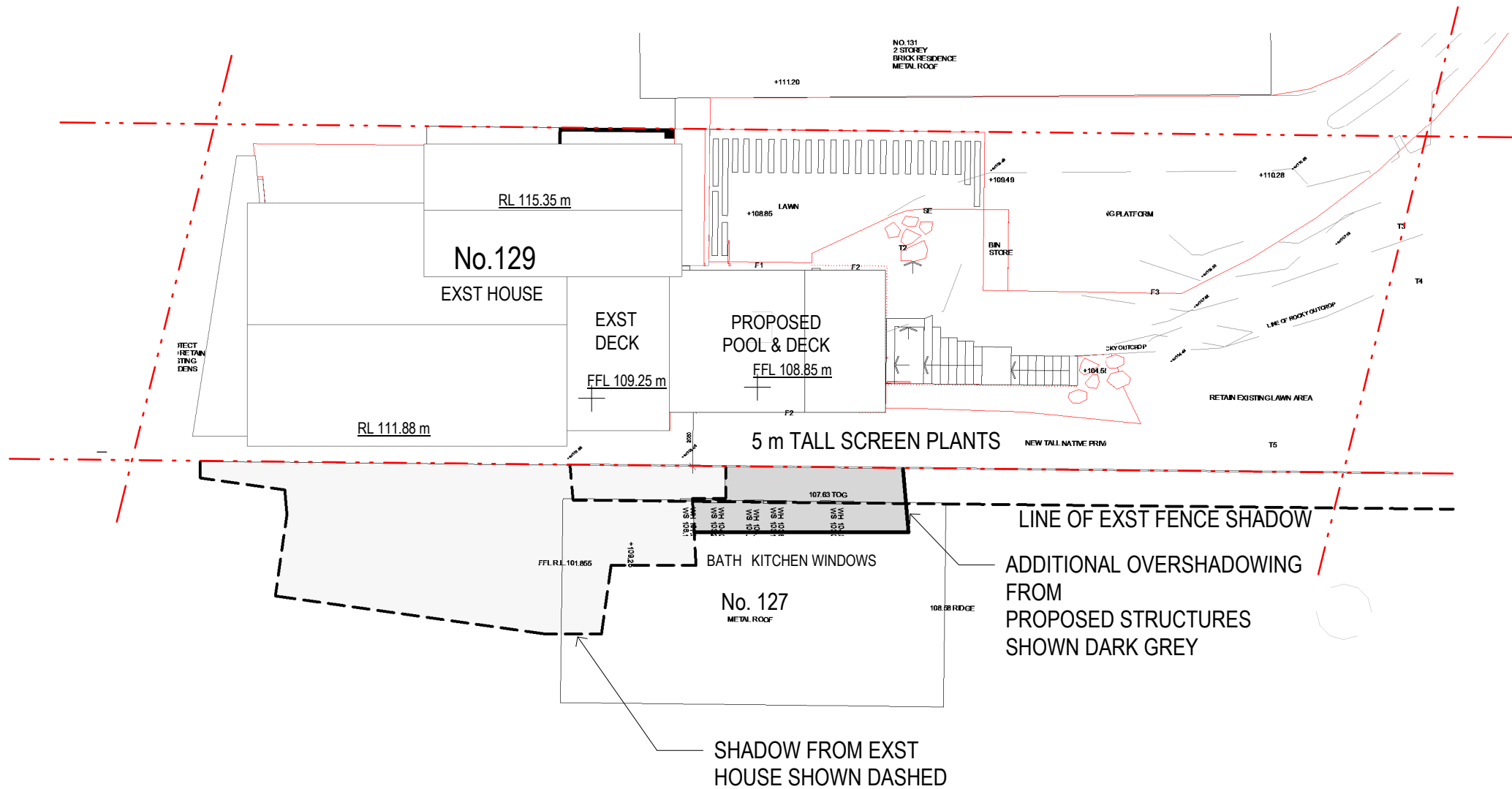
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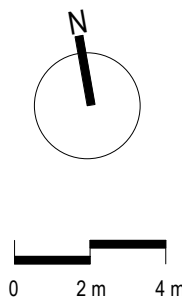
2 EQUINOX 12 pm EXST
SCALE



3 EQUINOX 12 pm PROPOSED
SCALE



1 SHADOW DIAGRAM EQUINOX 12 pm
SCALE 1 : 200



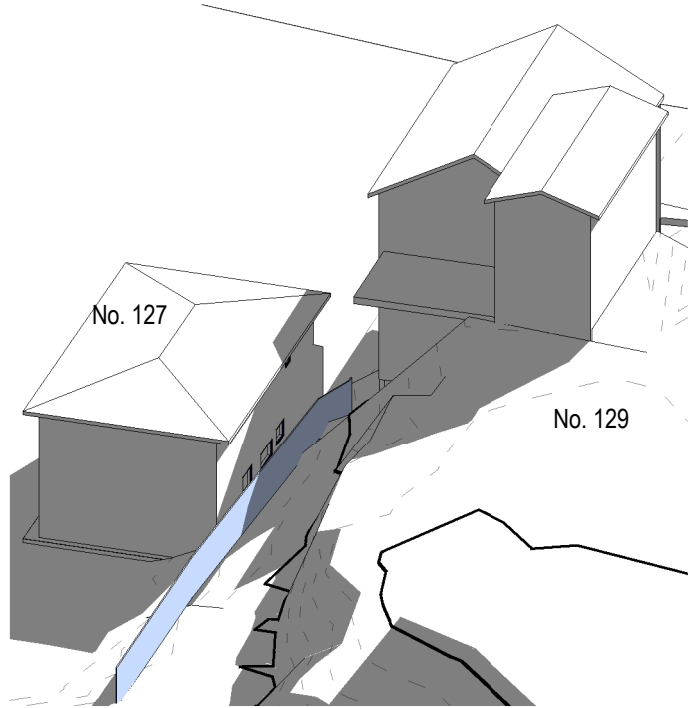
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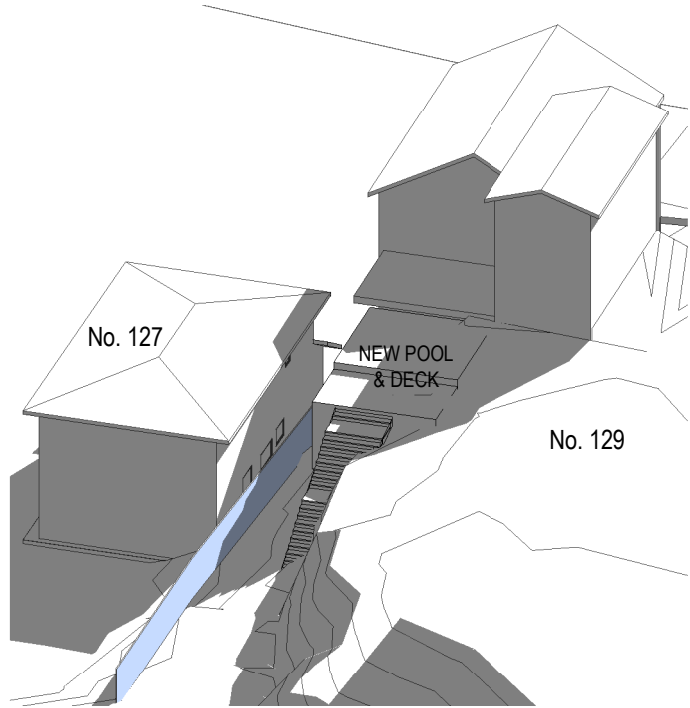
PROJECT ADDRESS: 129 UPPER CLONTARF ST, SEAFORTH
APPLICANT: JUSTIN CARUANA
STAGE: DEVELOPMENT APPLICATION
PROJ No: --
SCALE: 1 : 200

TITLE: SHADOW DIAGRAM EQUINOX 12 pm
DRAWING No: SD05 ISSUE: A



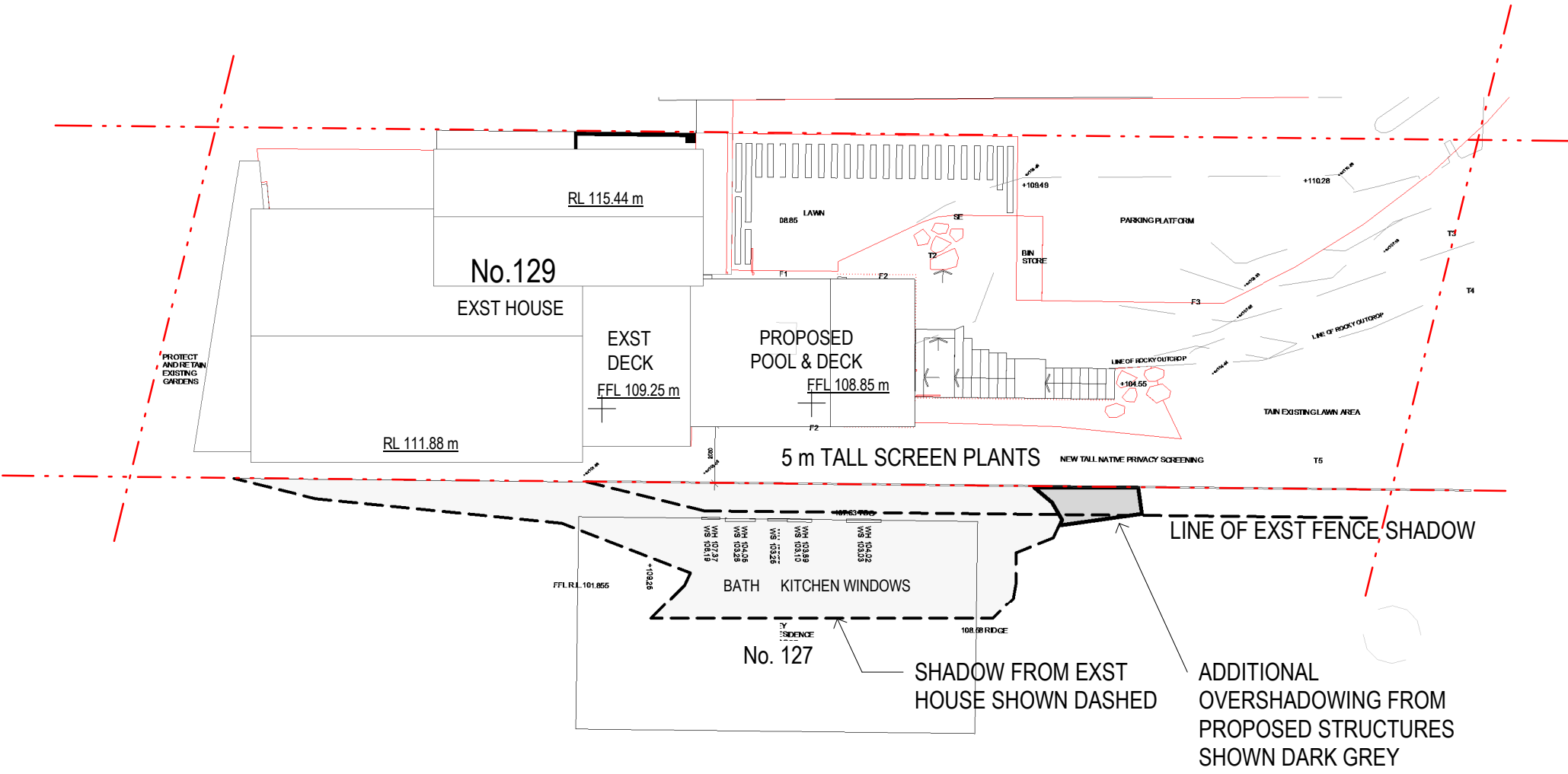
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EQUINOX 3 pm EXST
SCALE



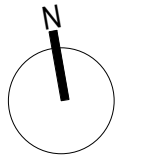
3

EQUINOX 3 pm PROPOSED
SCALE



1

SHADOW DIAGRAM EQUINOX 3 pm
SCALE 1 : 200



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A	DEVELOPMENT APPLICATION	04.02.20
ISSUE	DESCRIPTION	DATE

PROJECT ADDRESS: 129 UPPER CLONTARF ST, SEAFORTH
APPLICANT: JUSTIN CARUANA
STAGE: DEVELOPMENT APPLICATION
PROJ No: --
SCALE: 1 : 200

TITLE: SHADOW DIAGRAM EQUINOX 3 pm

DRAWING No: SD06 ISSUE: A