

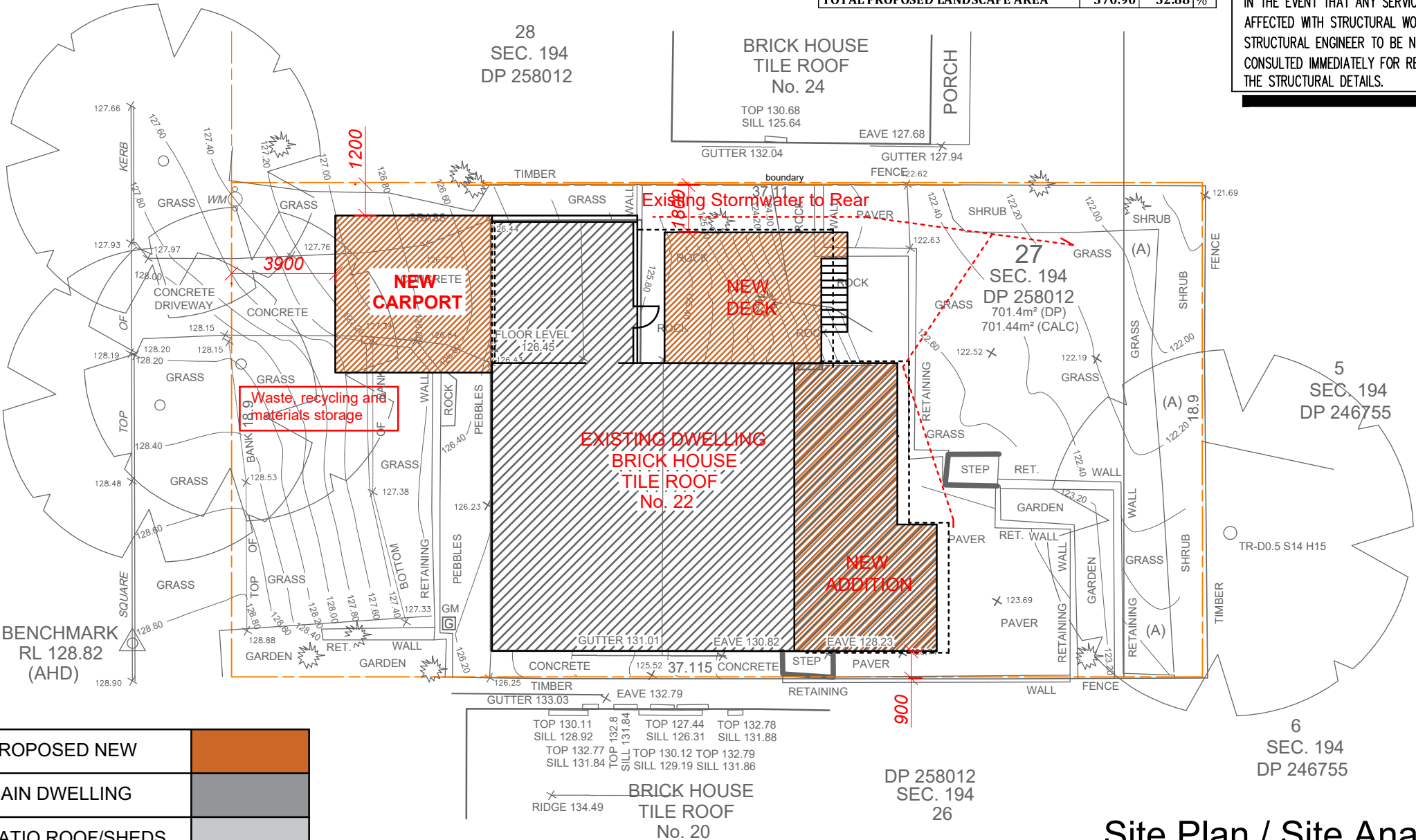
SEDIMENT FENCE DETAIL
NOT TO SCALE

- General Notes:**
1. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
 2. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
 3. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
 4. Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
 5. All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
 6. Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
 7. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

- Construction Notes:**
- * Check all steel posts & Beams, Floor Joist to structural engineer plans
 - * Articulation Joints to engineers plans
 - * Centre of kitchen Sink, Vanity, WC, Range Hood, to be confirmed with Owner & Manufacturer Details.
 - * All windows, Insulation requirements, lighting to comply with Basix Certificate.
 - * Structural slab to engineer details.
 - * Stairs to be confirmed with manufacturers details.
 - * Metre Box, Gas Metre to be confirmed with Builder on site.
 - * Downpipes to be confirmed with plumber on site.

HALLORAN AVENUE

PROPOSED NEW	
MAIN DWELLING	
PATIO ROOF/SHEDS	
CONCRETE/PAVING	



TOTAL SITE AREA - m2 approx	701.40
EXISTING DWELLING - GROUND FLOOR	161.00
EXISTING OTHER STRUCTURES	29.00
EXISTING DRIVEWAY/PATHS	58.00
TOTAL EXISTING IMPERVIOUS	248.00
EXISTING HARD SURFACE BUILT OVER	58.00
BALANCE IMPERVIOUS AREA	190.00
PROPOSED ADDITIONS	140.50
TOTAL PROPOSED IMPERVIOUS AREA	330.50
TOTAL PROPOSED LANDSCAPE AREA	370.90

DIAL BEFORE YOU DIG

NOTES:
BUILDER TO ENSURE THE EXACT LOCATIONS OF THE SERVICES PRIOR TO THE START OF ANY CONSTRUCTION WORK. BUILDER MUST CALL 'DIAL BEFORE YOU DIG' TO THE TO CONFIRM THE THE LOCATIONS OF THE EXISTING SERVICES.

IN THE EVENT THAT ANY SERVICES MAY BE AFFECTED WITH STRUCTURAL WORK, STRUCTURAL ENGINEER TO BE NOTIFIED AND CONSULTED IMMEDIATELY FOR REVIEWING THE STRUCTURAL DETAILS.

Site Plan / Site Analysis

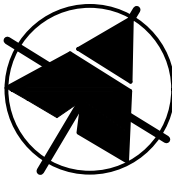
Site Plan: 1 : 200

Copyright © This Drawing remains the property of Connect Drafting until invoice for these plans are paid in full and may not be used or reproduced until invoice paid in full. DO NOT SCALE from Drawing. All dimensions are in millimeters and are to be verified onsite prior to construction.

AMENDMENT	ISSUE	PROPOSED	FOR
24/04/20	PRELIMINARY ISSUE	A	ADDITIONS
			AT SITE ADDRESS
			22 HALLORAN AVENUE, DAVIDSON
			DRAWING
			SITE PLAN/SITE ANALYSIS
			LOT NO/SECTION
			27/194
			DP
			258012
			DATE
			24/04/20
			SCALE
			1 : 200
			PROJECT NO
			CD-086/20
			DRAWING NO
			CD-086/20-V1
			SHEET NO
			1 OF 6

CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237
connectdrafting@gmail.com



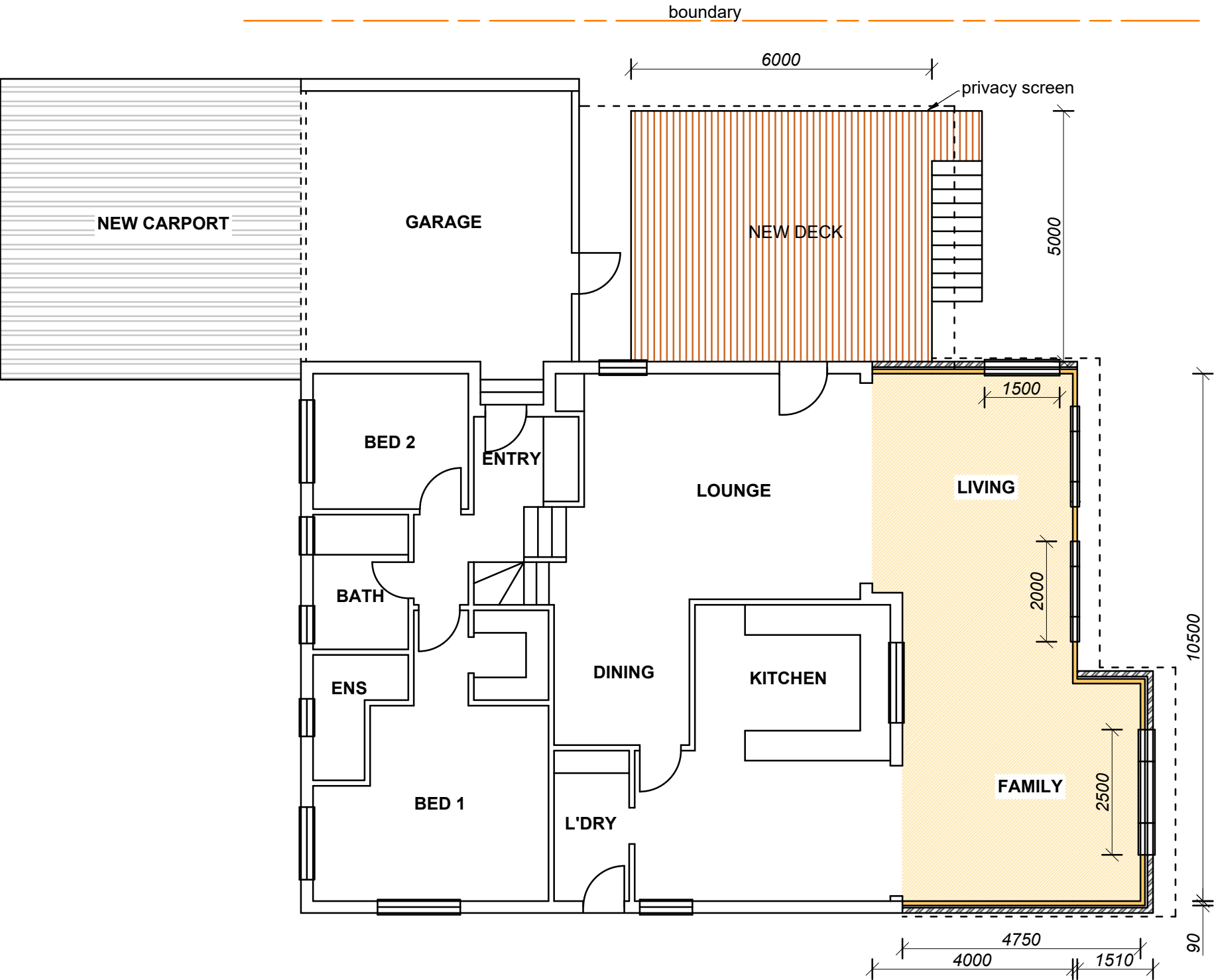
ALL WORK TO BE CARRIED OUT IN ACCORDANCE

WITH THE "BUILDING CODE OF AUSTRALIA - VOLUME 2" & TO COMPLY WITH THE FOLLOWING & ANY OTHER RELEVANT AUSTRALIAN STANDARD ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT

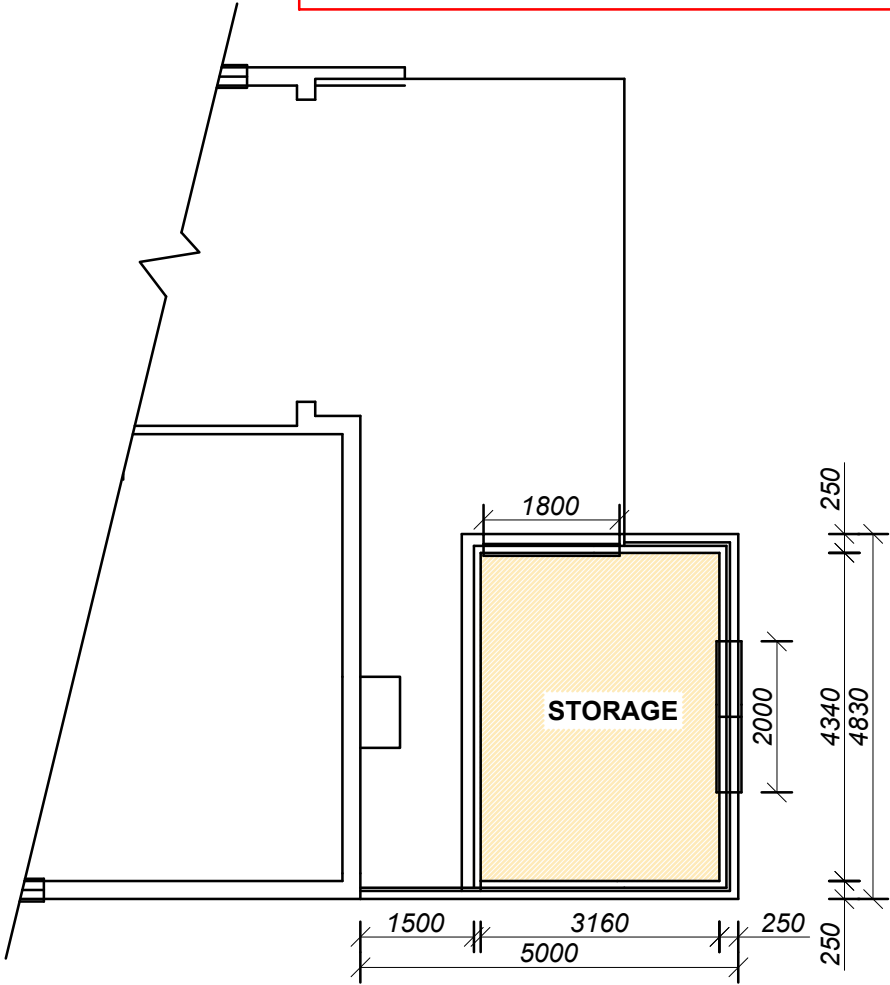
- TERMITE TREATMENT - Carried out in accordance with AS 3660.1 - 2000
- TIMBER FRAMING - Carried out in accordance with AS 1684
- STORMWATER - Carried out in accordance with AS/NZ 3500.3 - 2015
- WINDOWS/GLAZED DOORS - Supplied/Installed in accordance with AS 2047 - 2014
- SMOKE ALARMS - Supplied/Installed in accordance with AS 3786 - 1993
- CONCRETE - Supplied/Installed in accordance with AS 2870

BASIX INFORMATION

All Proposed Construction works shall be in accordance with Basix Certificate Issued
Note : Refer to BASIX drawing page for details



GROUND LEVEL



LOWER LEVEL

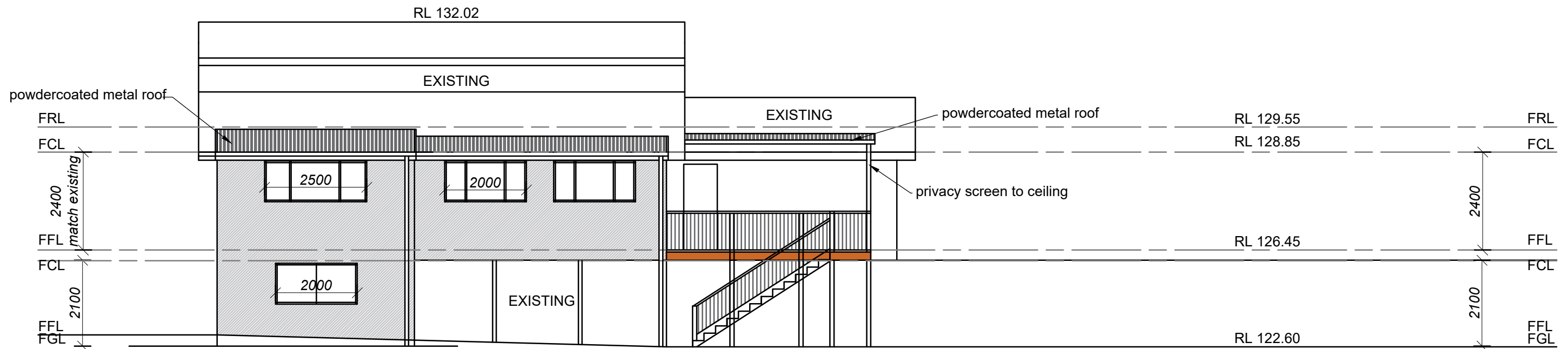
Copyright © This Drawing remains the property of Connect Drafting until invoice for these plans are paid in full and may not be used or reproduced until invoice paid in full. DO NOT SCALE from Drawing. All dimensions are in millimeters and are to be verified onsite prior to construction.

24/04/20	PRELIMINARY ISSUE	A	PROPOSED		FOR		
DATE	FINAL ISSUE		ADDITIONS/ALTERATIONS				
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES DIAL BEFORE YOU DIG IS RECOMMENDED			AT SITE ADDRESS				
			22 HALLORAN AVENUE, DAVIDSON				
			DRAWING			LOT NO/SECTION	DP
			FLOOR PLAN			27/194	258012
			DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
24/04/20	1:100	CD-086/20	CD-086/20-V1	2 OF 6			

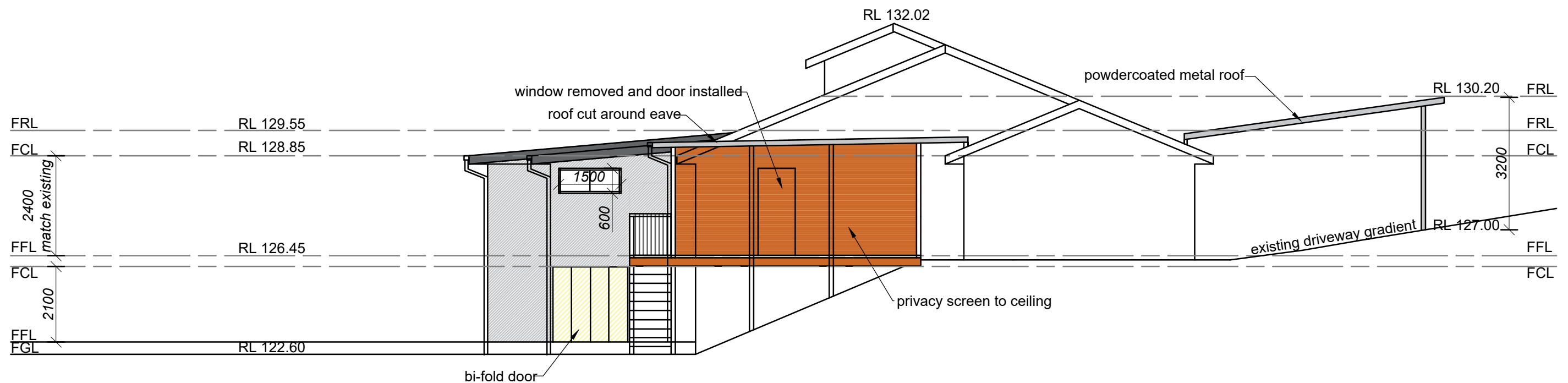
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES
DIAL BEFORE YOU DIG IS RECOMMENDED

CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237
connectdrafting@gmail.com



NORTH EAST ELEVATION



NORTH WEST ELEVATION

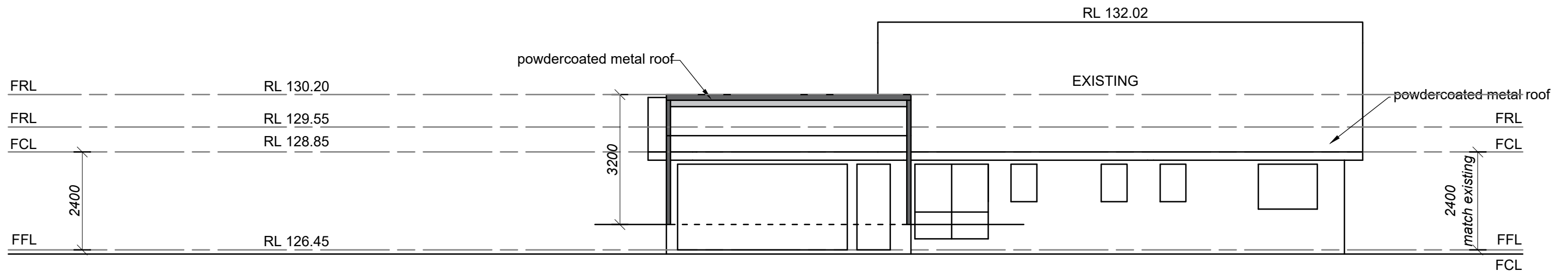
Copyright © This Drawing remains the property of Connect Drafting until invoice for these plans are paid in full and may not be used or reproduced until invoice paid in full. DO NOT SCALE from Drawing. All dimensions are in millimeters and are to be verified onsite prior to construction.

24/04/20	PRELIMINARY ISSUE	A	PROPOSED	FOR
DATE	FINAL ISSUE		ADDITIONS/ALTERATIONS	
AT SITE ADDRESS				
22 HALLORAN AVENUE, DAVIDSON				
DRAWING		LOT NO/SECTION		DP
ELEVATIONS-1		27/194		258012
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
24/04/20	1:100	CD-086/20	CD-086/20-V1	3 OF 6

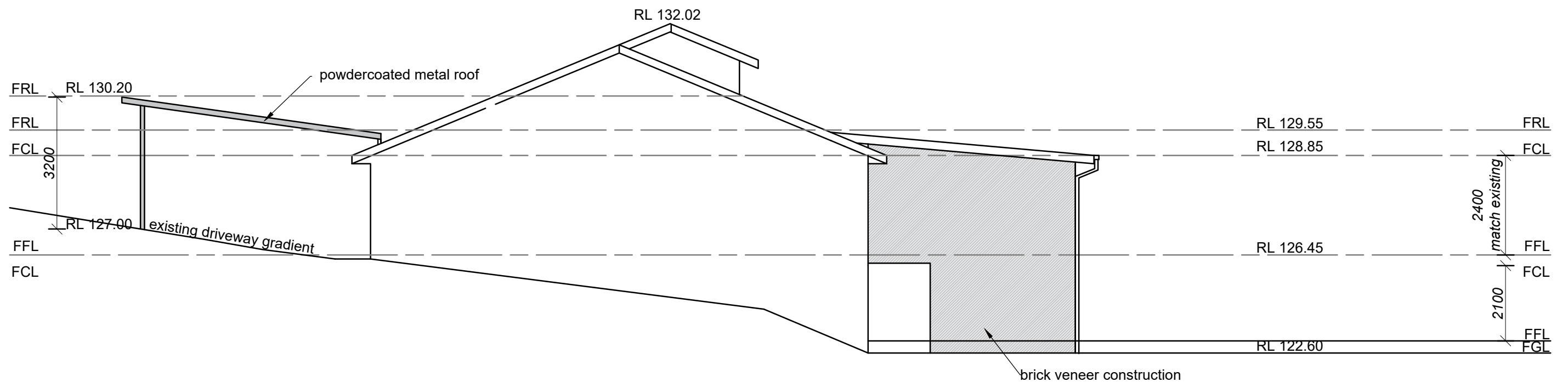
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES
DIAL BEFORE YOU DIG IS RECOMMENDED

CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237
connectdrafting@gmail.com



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION

Copyright © This Drawing remains the property of Connect Drafting until invoice for these plans are paid in full and may not be used or reproduced until invoice paid in full. DO NOT SCALE from Drawing. All dimensions are in millimeters and are to be verified onsite prior to construction.

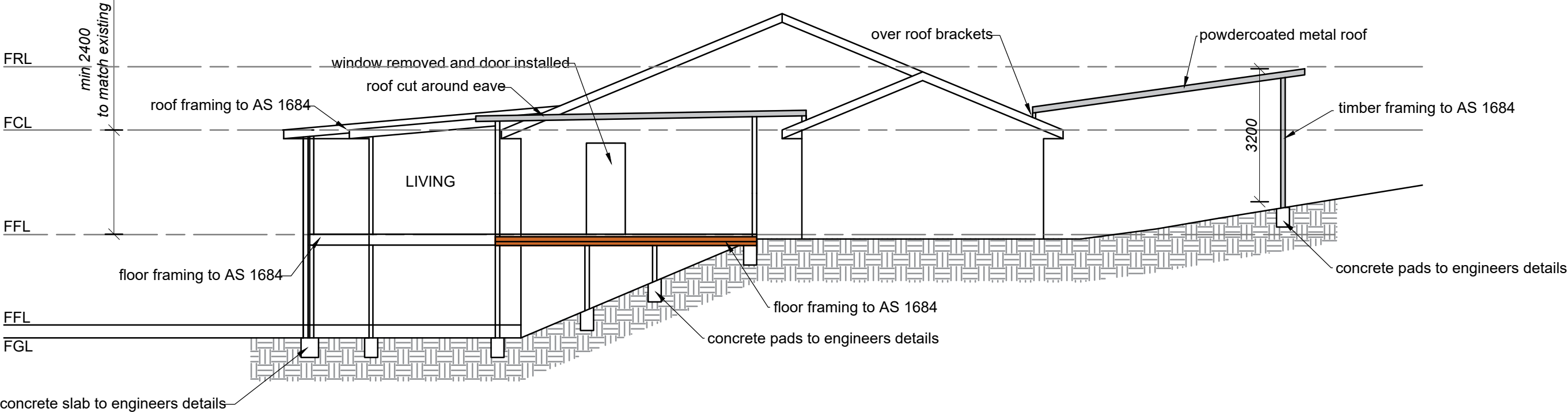
Copyright © This drawing remains the property of Connect Drafting until invoice for these plans are paid in full and may not be used or reproduced after invoice paid in full. DO NOT SCALE from drawing.

24/04/20	PRELIMINARY ISSUE	A	PROPOSED	FOR			
DATE	FINAL ISSUE		ADDITIONS/ALTERATIONS				
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES DIAL BEFORE YOU DIG IS RECOMMENDED			AT SITE ADDRESS				
			22 HALLORAN AVENUE, DAVIDSON				
			DRAWING		LOT NO/SECTION	DP	
			ELEVATIONS-2		27/194	258012	
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO			
24/04/20	1:100	CD-086/20	CD-086/20-V1	4 OF 6			





NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES
DIAL BEFORE YOU DIG IS RECOMMENDED

CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237
connectdrafting@gmail.com



SECTION AA

SCHEDULE FINISHES/COLOURS			
ROOFING	METAL	GREY	
WALLS	MASONRY/ FIBRE CEMENT	GREY	
GUTTER	METAL	GREY	
WINDOWS	ALUMINIUM	WHITE	

Copyright © This Drawing remains the property of Connect Drafting until invoice for these plans are paid in full and may not be used or reproduced until invoice paid in full. DO NOT SCALE from Drawing. All dimensions are in millimeters and are to be verified onsite prior to construction.

24/04/20	PRELIMINARY ISSUE	A	PROPOSED			FOR				
DATE	FINAL ISSUE		ADDITIONS/ALTERATIONS			MEADAN HOMES				
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES DIAL BEFORE YOU DIG IS RECOMMENDED			AT SITE ADDRESS							
			22 HALLORAN AVENUE, DAVIDSON							
			DRAWING				LOT NO/SECTION		DP	
			SECTION				27/194		258012	
DATE		SCALE		PROJECT NO		DRAWING NO		SHEET NO		
24/04/20		1:100		CD-086/20		CD-086/20-V1		5 OF 6		

CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237
connectdrafting@gmail.com

Alterations and Additions

Certificate number: A381452

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 06, July 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	DAVIDSON-ADDITIONS
Street address	22 HALLORAN Avenue DAVIDSON 2085
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP258012
Lot number	27
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Connect Drafting
ABN (if applicable): 44533486441

BASIX Certificate number: A381452

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A381452

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)		
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, flat roof: framed	ceiling: R2.08 (up), roof: foil backed blanket (55 mm)	dark (solar absorptance > 0.70)	

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A381452

page 4 / 5

Glazing requirements		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.		✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓		
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.			✓	✓		
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.			✓	✓		
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W1	NE	2.88	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	NE	2.52	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	NE	2.52	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	NE	2.52	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	NW	0.9	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

Copyright © This Drawing remains the property of Connect Drafting until invoice for these plans are paid in full and may not be used or reproduced until invoice paid in full. DO NOT SCALE from Drawing. All dimensions are in millimeters and are to be verified onsite prior to construction.

24/04/20	PRELIMINARY ISSUE	A	PROPOSED	FOR
DATE	FINAL ISSUE		ADDITIONS/ALTERATIONS	MEADAN HOMES
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES DIAL BEFORE YOU DIG IS RECOMMENDED			AT SITE ADDRESS	
			22 HALLORAN AVENUE, DAVIDSON	
			DRAWING	LOT NO/SECTION
			BASIX	27/194
			DP	258012
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
24/04/20	1:100	CD-086/20	CD-086/20-V1	6 OF 6

CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237
connectdrafting@gmail.com

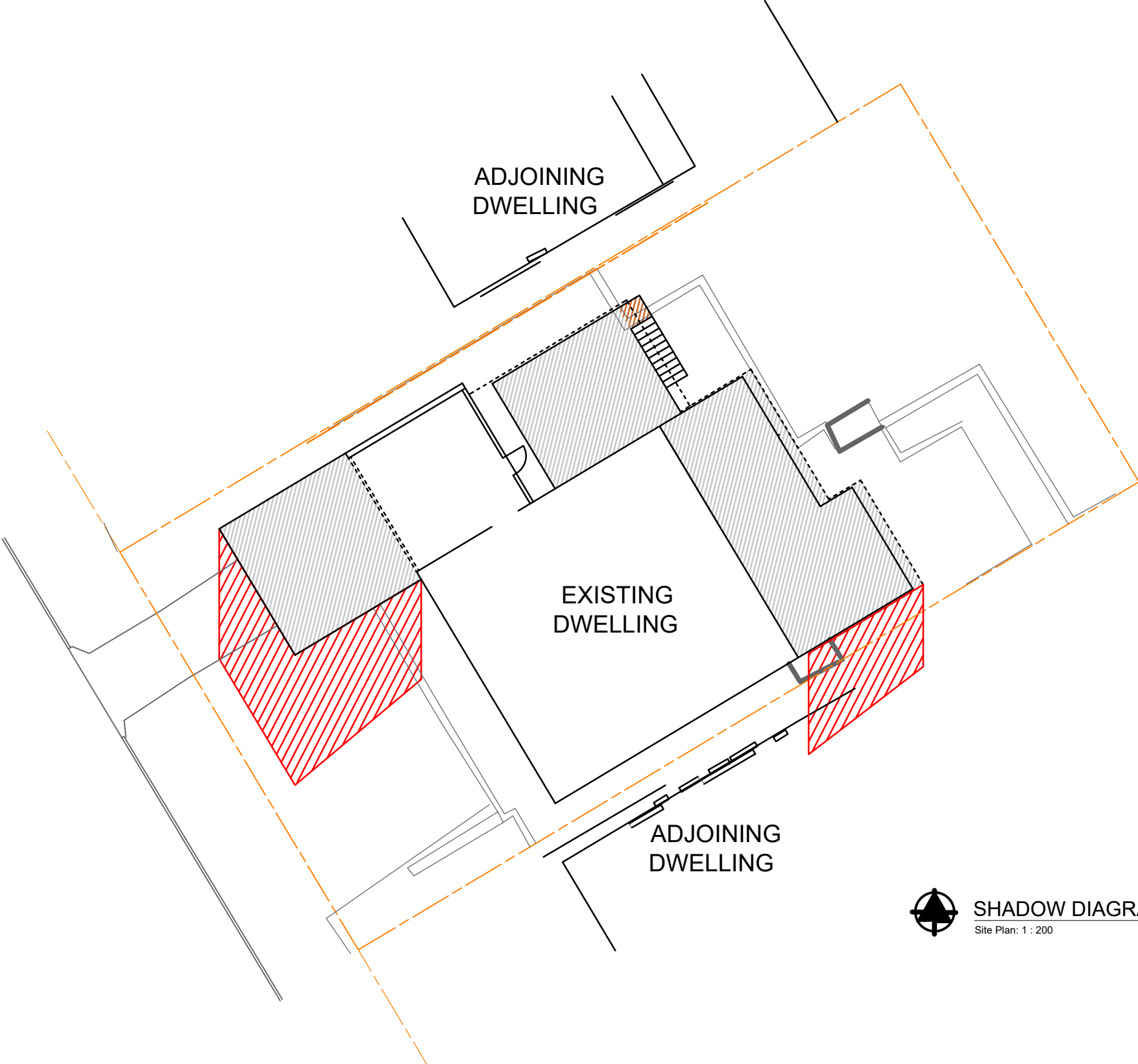


SHADOW DIAGRAM: 9 AM
Site Plan: 1 : 200

	AMENDMENT	ISSUE	PROPOSED	FOR
27/06/20	PRELIMINARY ISSUE	A	ADDITIONS/ALTERATIONS	
			AT SITE ADDRESS	
			22 HALLORAN AVENUE, DAVIDSON	
			DRAWING	LOT NO
			SHADOWS - 9AM	27/194
			DATE	DP
			27/06/20	258012
			SCALE	DRAWING NO
			1 : 200	CD-086/20-V1
			PROJECT NO	SHEET NO
			CD-086/20	1 OF 3

CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237
connectdrafting@gmail.com

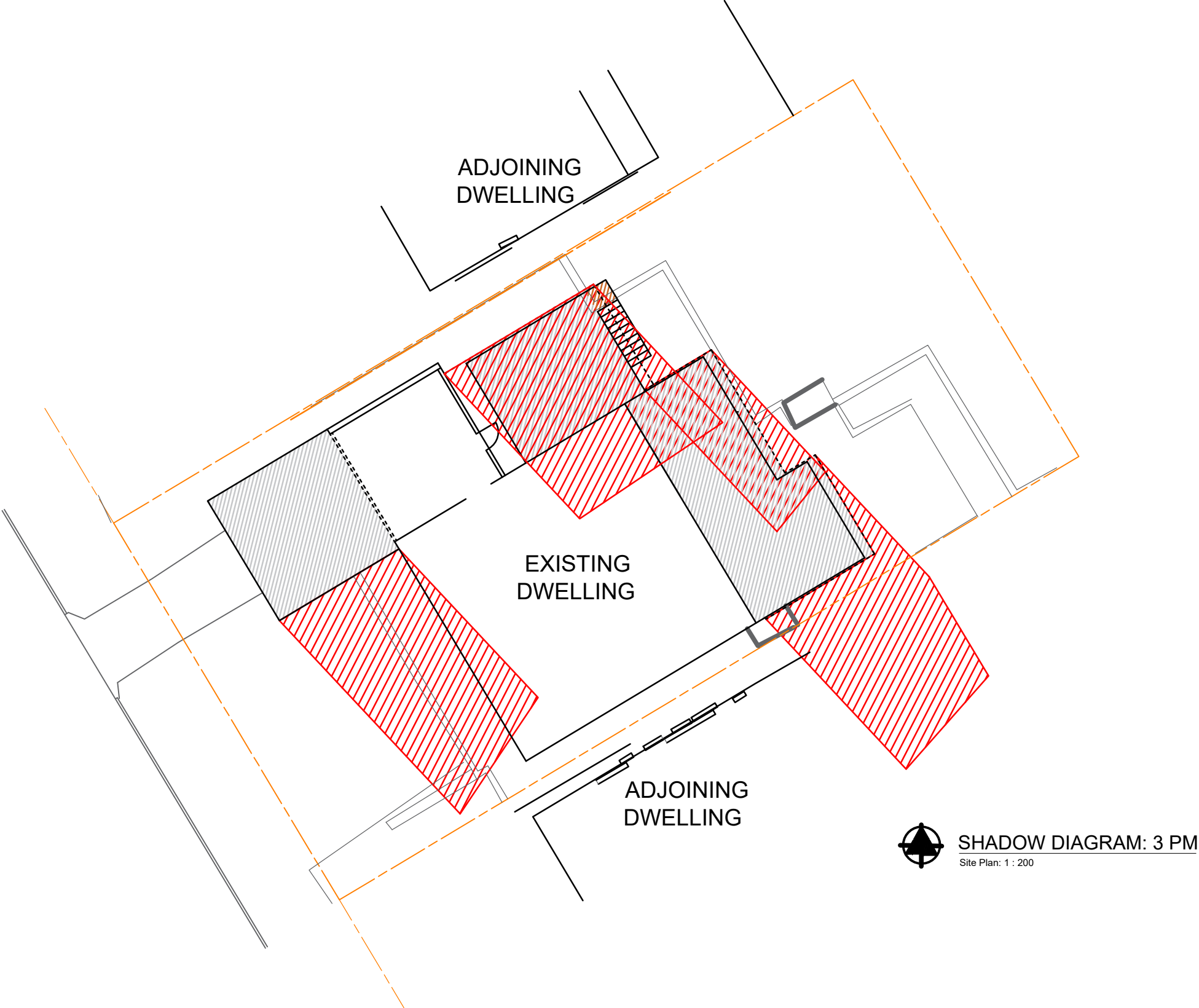


SHADOW DIAGRAM: 12 NN
Site Plan: 1 : 200

	AMENDMENT	ISSUE	PROPOSED			FOR	
27/06/20	PRELIMINARY ISSUE	A	ADDITIONS/ALTERATIONS				
			AT SITE ADDRESS				
			22 HALLORAN AVENUE, DAVIDSON				
			DRAWING			LOT NO	DP
			SHADOWS - 12NN			27/194	258012
			DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
			27/06/20	1 : 200	CD-136/18	CD-136/18-V1	2 OF 3

CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237
connectdrafting@gmail.com



	AMENDMENT	ISSUE	PROPOSED			FOR	
27/06/20	PRELIMINARY ISSUE	A	ADDITIONS/ALTERATIONS				
			AT SITE ADDRESS				
			22 HALLORAN AVENUE, DAVIDSON				
			DRAWING			LOT NO	DP
			SHADOWS - 3PM			27/194	258012
			DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
			27/06/20	1 : 200	CD-086/20	CD-086/20-V1	3 OF 3

CONNECT DRAFTING

ABN : 15 634 029 342 OFFICE : GLENHAVEN - Mob : 0416 931 237
connectdrafting@gmail.com