

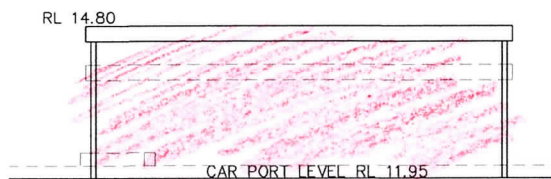


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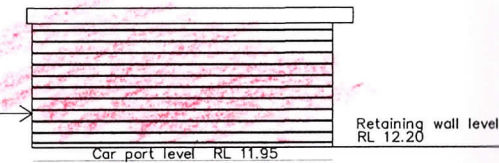
**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**MOD2021/0592**

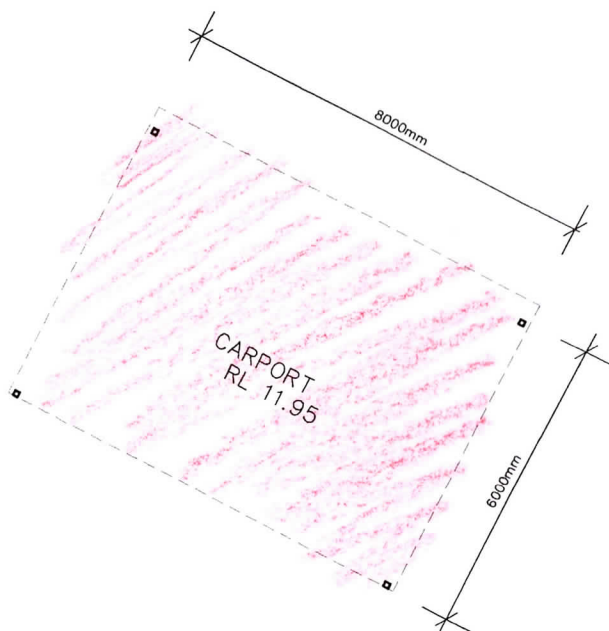
**modification  
F**



Non-combustable cladding



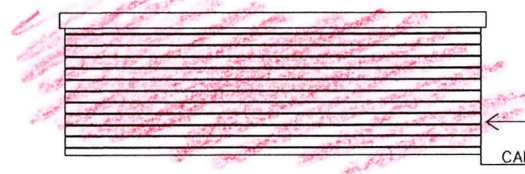
Retaining wall level  
RL 12.20



CAR PORT - PLAN



WEST ELEVATION

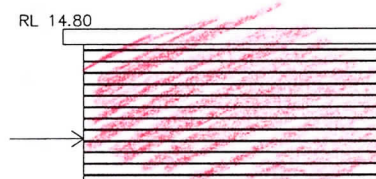


CAR PORT LEVEL RL 11.95

Non-combustable cladding



NORTH ELEVATION  
Viewed from Bellra Ave



RL 14.80



EAST ELEVATION



SOUTH ELEVATION

All Dimensions are in millimetres  
Written Dimensions preferred to scale  
All measurements to be checked on site  
All work to BCA and AS  
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Client  
MR. & MRS. M & J MIKALAUSKAS  
19 BELLARA AVENUE  
NORTH NARRABEEN NSW 2101

Project  
ALTERATION AND ADDITIONS  
19 BELLARA AVENUE  
NORTH NARRABEEN NSW 2101

Drawing  
ELEVATIONS

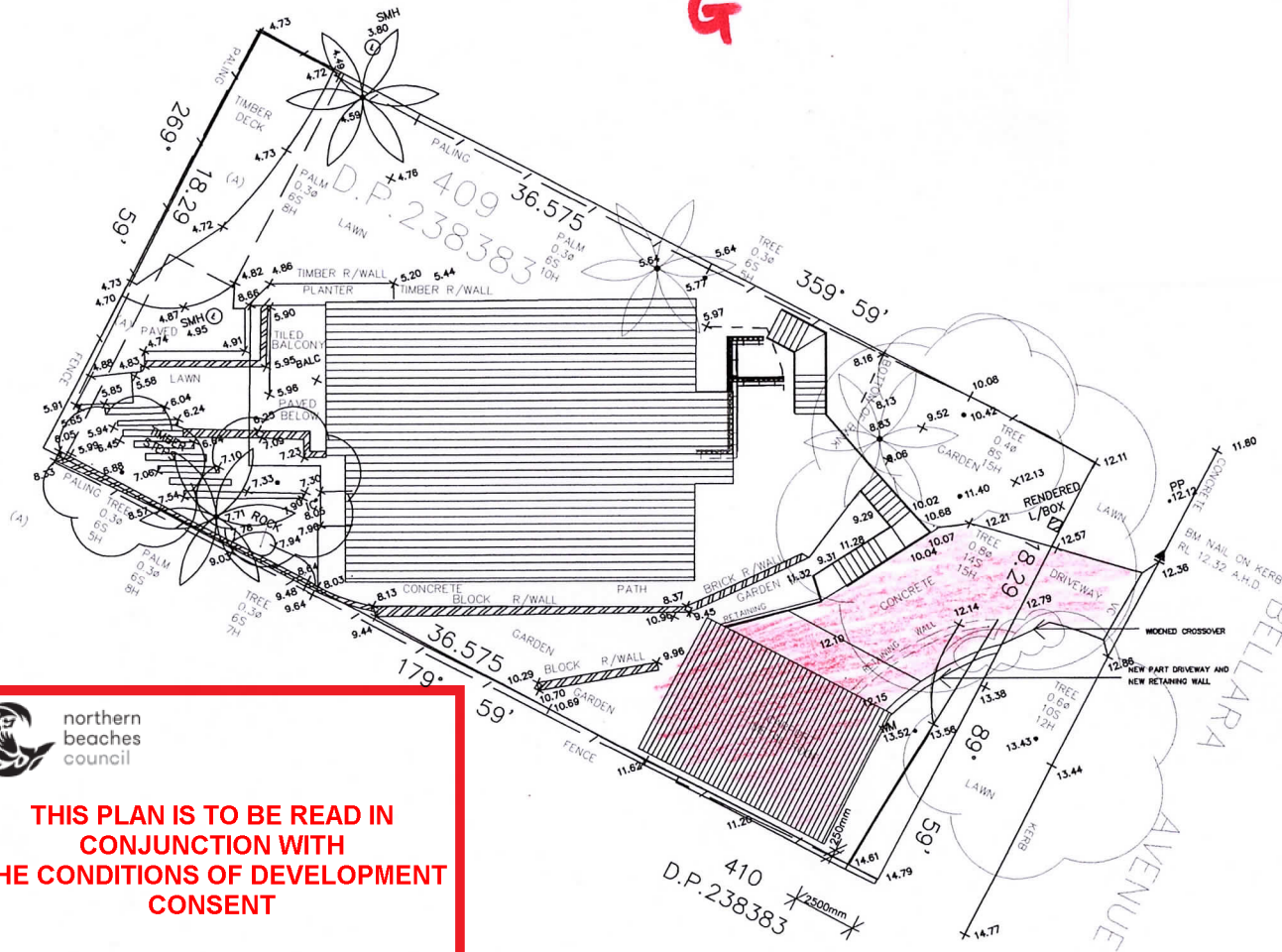
MODIFICATION APPLICATION

PETER PRINCI architects  
ABN 14 115 485 578  
Registrations No. 7048  
P.O. Box 615  
Frenchs Forest NSW 1580  
Email: peter@peterprinci.com.au  
www.peterprinci.com.au  
Ph: (02) 9452 5661  
Fax: (02) 9452 5662  
Mobile: 0410 100 002

Drawn PP	Job No.
Checked PP	Date Mar '19
Scale 1:100	Issue A

Drawing  
MO

# Modification G



SITE CALCULATIONS	
SITE AREA	668.90m <sup>2</sup>
EXISTING FLOOR AREA	125.0m <sup>2</sup>
PROPOSED FLOOR AREA	182.0m <sup>2</sup>
EXISTING IMPERVIOUS AREA	170.0m <sup>2</sup>
PROPOSED IMPERVIOUS AREA	230.0m <sup>2</sup>
EXISTING LANDSCAPED AREA	530.0m <sup>2</sup> 65%
PROPOSED LANDSCAPED AREA	500.0m <sup>2</sup> 55%

BASIX SPECIFICATION	
Please refer to Basix Certificates for detailed information	
EXTERNAL WALLS Light weight - Paint finish - Light Colour - R 1.7 insulation	
INTERNAL WALLS Timber studs with plasterboard over	
FLOOR Ground Floor - existing concrete floor Upper floor - existing timber floor	
WINDOWS UPVC Double Glazed as per report	Timber Door D 03
CEILING-Flat Plasterboard - R 2.50 insulation	
ROOF Existing - R 2.5	
HOT WATER Existing	
FIXTURES Showerheads must have a minimum rating of 3 star Taps with a minimum rating of 3 star to kitchen and bathrooms Toilets to have a minimum rating of 3 star	
LIGHTING 40 % of new or altered lighting to be LED or Compact Fluorescent	

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**MOD2021/0592**

**SITE PLAN**

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NORTH NARRABEEN NSW 2101

Project  
ALTERATION AND ADDITIONS  
19 BELLARA AVENUE  
NORTH NARRABEEN NSW 2101

Drawing  
SITE PLAN

MODIFICATION APPLICATION

**PETER PRINCI architects**  
ABN 34 315 485 678  
Registration No. 7048  
P.O. Box 615  
Frenchs Forest NSW 1580  
Email: peter@peterprinci.com.au  
www.peterprinci.com.au  
Ph: (02) 9452 5661  
Fax: (02) 9452 5662  
Mobile: 0418 166 002

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PP  
Checked  
PP  
Scale  
1:100  
Date  
Mar '19  
Issue  
A

Drawing No.  
MOD01

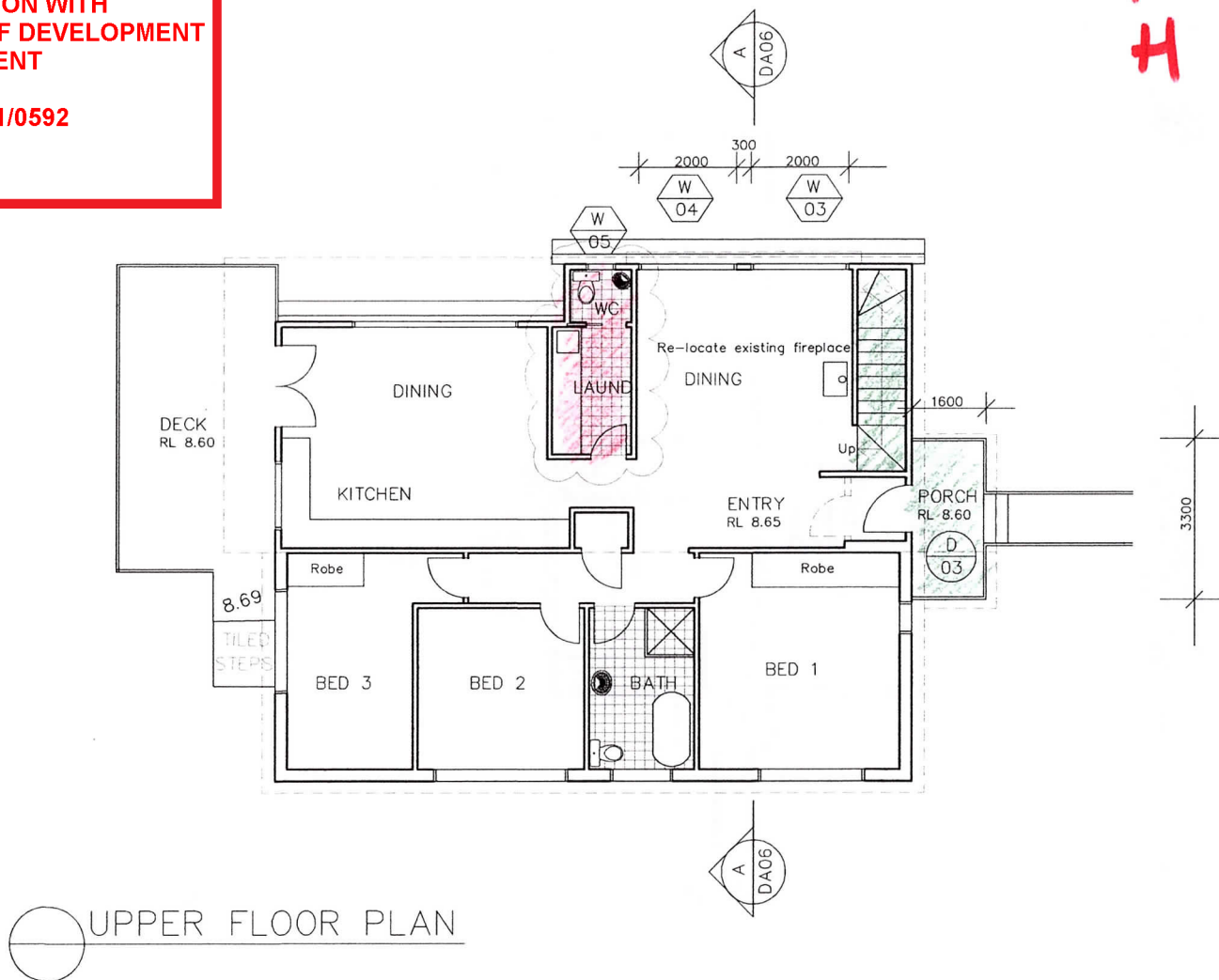


northern  
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council

THIS PLAN IS TO BE READ IN  
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CONSENT

MOD2021/0592

modification  
H



UPPER FLOOR PLAN

All Dimensions are in millimetres  
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19 BELLARA AVENUE  
NORTH NARRABEEN NSW 2101

Project  
ALTERATION AND ADDITIONS  
19 BELLARA AVENUE  
NORTH NARRABEEN NSW 2101

Drawing  
PROPOSED UPPER FLOOR PLAN

MODIFICATION APPLICATION

PETER PRINCI architects  
ABN 34 315 485 678  
Registration No. 7048  
P.O. Box 615  
Fremantle Western NSW 1640  
Email: peter@peterprinci.com.au  
www.peterprinci.com.au  
Ph: (02) 9452 5661  
Fax: (02) 9452 5662  
Mobile: 0418 166 002

Drawn	Job No
PP	
Checked	Draw
PP	Mar '19
Scale	Issue
1:100	A

Drawing No  
MOD03