

# MIXED USE DEVELOPMENT

396 - 402 SYDNEY ROAD BALGOWLAH NSW 2217

TQMDC

DRAWING LIST	
SHEET NO.	SHEET NAME
000	COVERSHEET
010	BASEMENT PLANS
012	FLOOR PLANS
013	FLOOR PLANS
014	FLOOR PLANS
020	SECTIONS
050	GFA PLAN

PROJECT INFORMATION	
396 Sydney Rd, Balgowlah	
Site Area (m²)	813 sqm
Zoning	B2 - Local Centre
Height Control	12.5m
FSR Control	2:1
Admissible GFA	1629 sqm
Proposed GFA	1624.00 sqm (1629 sqm)
Proposed FSR	2.003:1
Ground Floor Commercial	20%
	415 sqm

UNIT MIX				
Level	Bed 1	Bed 2	Bed 3	Total
GROUND				
LEVEL 1	1	4		5
LEVEL 2	1	→ 4	→ 2	→ 5
LEVEL 3		1	2	3
TOTAL	→ 2 25%	→ 9 69.2%	→ 2 25%	→ 13

CAR PARKING / BICYCLE REQUIREMENTS				
	Rate	No. of Units / Area	Required (min.)	Proposed
Commercial	1 / 40m²	415	10	10
Residential				
1 Bed	1	→ 2	→ 2	
2 Bed	1	→ 9	→ 9	
3 Bed	1	→ 2	→ 2	
			→ 13	20
Visitor	0.16 space / dw	12	2	2
Accessible	1 per accessible unit		→ 4	3
				Forms part of residential total
TOTAL CAR SPACE			24	32
	Rate	No. of Units	Required (min.)	Proposed
Bicycle	1 bicycle space per 3 carspaces		12	12
TOTAL BICYCLE			49	49

OTHER REQUIREMENTS			
	DDP / ADD Req	Required	Proposed
Solar Access	70% of total number of apartments	8.4	9 (79%)
Cross Ventilation	80% of total number of apartments	7.2	11 (80%)
Commercial Open Space (m²)	25% of site area	203.3	100
Adaptable Housing	20% of all dwellings	→ 4	→ 4
Usable	20% of all dwellings	→ 4	→ 3
Accessible Parking (minimum)	1 for every accessible dwelling	→ 4	→ 4

## DISCLAIMER

Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not for sale or suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

REF.	DATE	AMENDMENT
A	01.11.2022	CLIENT REVIEW
B	11.11.2022	CLIENT REVIEW
C	17.11.2022	S4.55 SUBMISSION
D	31.01.2023	S4.55 ADDITIONAL INFORMATION

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Sydney  
Level 10, 6 Mount  
Olympus Boulevard,  
Wooli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: TQMDC  
MIXED USE DEVELOPMENT  
ADDRESS: BALGOWLAH  
DRAWING NAME: COVERSHEET



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**MOD2022/0664**

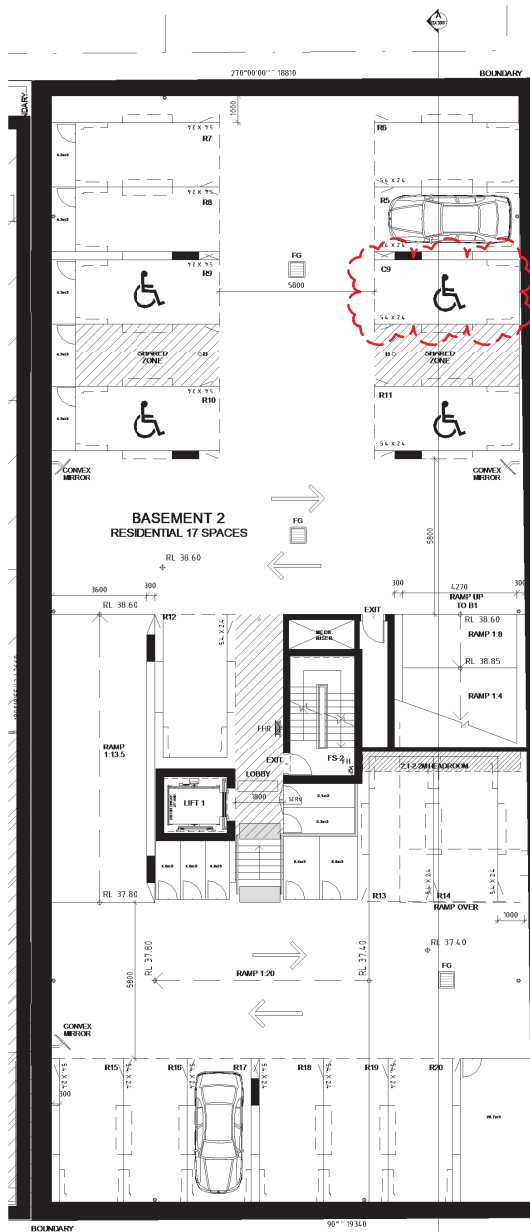


**NOTE:**  
APPROVED PHOTOMONTAGE AS  
PREPARED BY 'PBD ARCHITECTS'  
FOR ORIGINAL DA APPLICATION.

DISCIPLINE	CONSULTANTS	CONTACT	PH.	EMAIL.
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PROJECT CO-ORDINATOR	DESIGN WORKSHOP AUSTRALIA	DHRUMIL MEHTA	02 4227 1661	dhrumil@designworkshop.com.au

**S 4.55 SUBMISSION**

ISSUE DATE: 31.01.2023	PROJECT No. <b>2450</b>
DRAWN: DM	DWG No.
SCALE:	Rev.
QA: RG	<b>000 D</b>



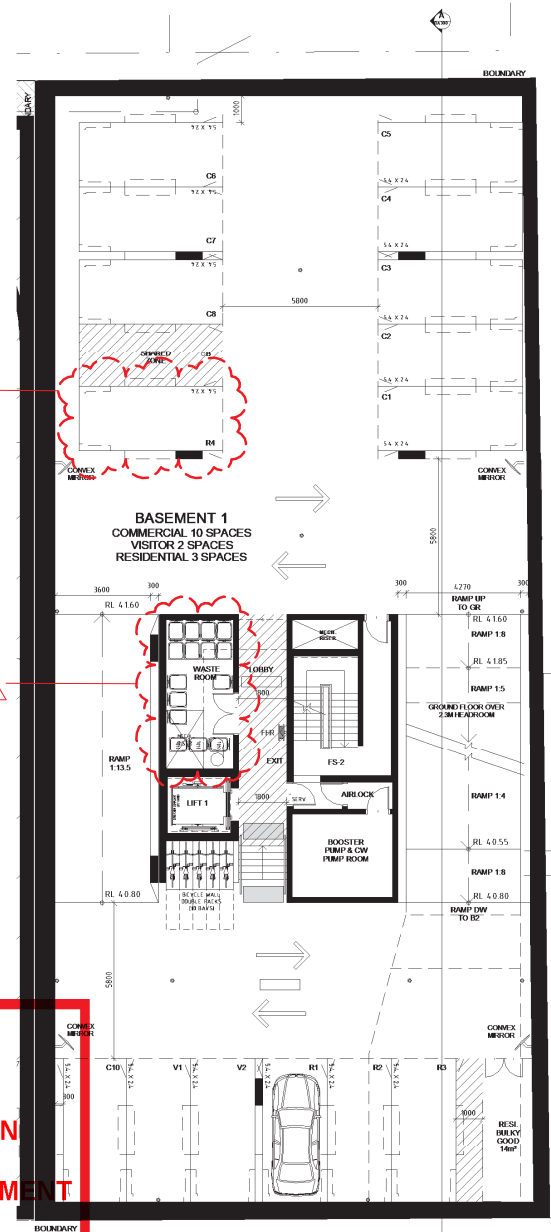
BASEMENT 2

1 : 200



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MOD2022/0664



BASEMENT 1

1 : 200

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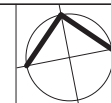


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Olympus Boulevard,  
Woll Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: TQMD  
MIXED USE DEVELOPMENT  
ADDRESS: BALGOWLAH  
DRAWING NAME: BASEMENT PLANS

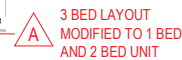
SCALE BAR:



ISSUE DATE: 31.01.2023  
DRAWN: DM  
SCALE: 1:200  
QA: FG

PROJECT No. 2450  
DWG No. 010  
Rev. D





INTERNAL LAYOUT  
MODIFIED TO AN  
ADAPTABLE UNIT.

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

MOD2022/0664

BALCONY CURVE  
RADIUS REVISED

**NOTE:**  
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APPLICATION.

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C	17.11.2022	\$4.55 SUBMISSION
D	31.01.2023	\$4.55 ADDITIONAL INFORMATION
E	27.03.2023	\$4.55 ADDITIONAL INFORMATION

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U	<p><b>Sydney</b></p> <p>Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205</p> <p>Nominated Architect: Robert Gizzi (Reg. 8286)</p>
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CLIENT:	TQMDC MIXED USE DEVELOPMENT
ADDRESS:	BALGOWLAH
DRAWING NAME:	FLOOR PLANS

SCALE BAR:

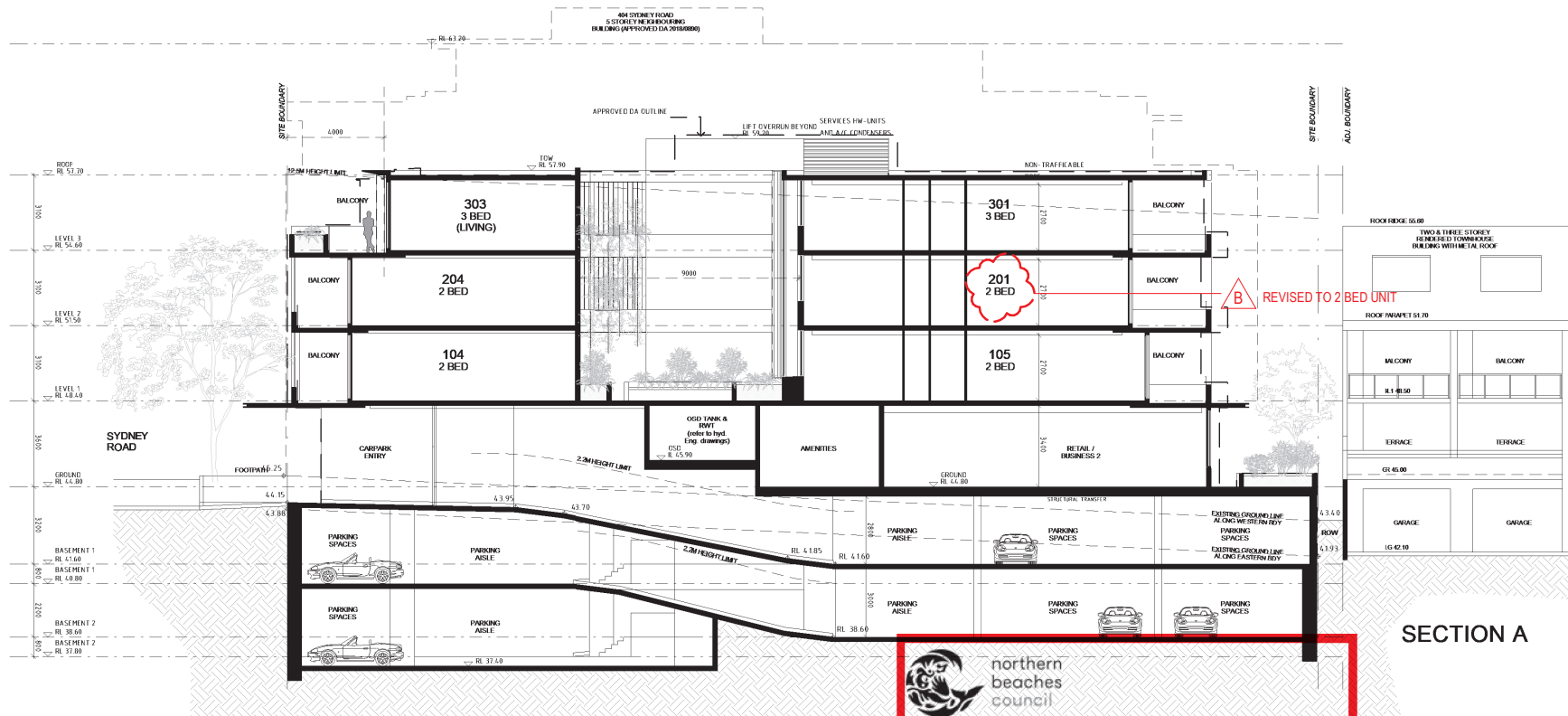


0 2.5 5 7.5 10m

ISSUE DATE: 27.03.2023	PROJECT No. <b>2450</b>	
DRAWN: DM	DWG No.	Rev.
SCALE: 1:200	<b>013</b>	<b>E</b>
QA: RG		

## S 4.55 SUBMISSION





SECTION AA

1 : 200

SECTION A



**THIS PLAN IS TO BE READ IN  
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**MOD2022/0664**

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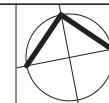
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CLIENT: TMDC  
MIXED USE DEVELOPMENT  
ADDRESS: BALGOWLAH  
DRAWING NAME: SECTIONS



ISSUE DATE: 31.01.2023	PROJECT No. <b>2450</b>
DRAWN: DM	DWG No.
SCALE:	Rev.
QA: RG	<b>020</b>
	<b>D</b>