

Alterations & Additions for Matthew Colton at 14 Algona Street Bilgola Plateau NSW 2107

Sheet List			
Sheet Number	Sheet Name	Drawn By	Sheet Issue Date
A-00	Cover Page	JB	24 OCT 19
A-01	Basix Notes	JB	24 OCT 19
A-02	Site Plan	JB	24 OCT 19
A-03	Design Calculation Data	JB	24 OCT 19
A-04	Existing Lower Floor Plan	JB	24 OCT 19
A-05	Existing Ground Floor Plan	JB	24 OCT 19
A-06	Proposed Ground Floor	JB	24 OCT 19
A-07	Proposed First Floor	JB	24 OCT 19
A-08	Elevations	JB	24 OCT 19
A-09	Elevations	JB	24 OCT 19

Sheet List			
Sheet Number	Sheet Name	Drawn By	Sheet Issue Date
A-10	Section & Details	JB	24 OCT 19
A-11	Window & Door Schedule	JB	24 OCT 19
A-12	Window & Door Elevations	JB	24 OCT 19
A-13	Floor Framing Plan	JB	24 OCT 19
A-14	Drainage Plan	JB	24 OCT 19
A-15	Sediment & Erosion	JB	24 OCT 19
A-16	Construction Management Plan	JB	24 OCT 19
A-17	Shadow Diagrams	JB	24 OCT 19
A-18	Demolition Plan	JB	24 OCT 19
A-19	3D Views	JB	24 OCT 19
A-20	Notification Plan	JB	24 OCT 19

Basix Compliance Requirements

Project Details	
Project Name	Colton Proposed Addition
Street Address	14 Algona Street
Town or Suburb	Bilgola NSW 2107
Local Government Area	Northern Beaches Council
Project Type	
Project Type	Attached Dwelling House
Type of Alteration & Addition	Valued at more than \$50,000
Thermal Commitments	
First Floor - Framed	nil
External Walls -Brick Veneer	R1.30 (or R1.70 including construction)
Raked Ceiling, Pitched/Skillion Roof Flat Ceiling, Pitched/Skillion Roof	Ceiling: R2.5 (up), roof: foil/sarking Medium Solar absorbance 0.475 - 0.70
External Walls - Weathertex	R1.30 (or R1.70 including construction)
Energy Commitments	
Hot Water System	Gas instantaneous.
Artificial Lighting	min. 40% of new/existing fixtures fitted with LED lamps.
Fixtures	<p>New or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.</p> <p>New or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.</p> <p>New or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.</p>

GENERAL NOTES:

This drawing must be read in conjunction with all other consultant's drawings and the specification (if attached).

1. All dimensions shown in millimeters UNO.
2. DO NOT SCALE from drawing - use figured dimensions. If in doubt ask.
3. The Builder is to confirm all dimensions and levels on site prior to construction.
4. The Builder is to ensure that the structural integrity of any existing structure is maintained at all times during the conduct of the work.
5. Concrete slab & footings to be designed in accordance with AUSTRALIAN STANDARD AS2870.
6. All structural elements to be designed by a practicing structural engineer.
7. All timber used in the building shall be strictly in accordance with the provisions of AUSTRALIAN STANDARD AS1684 NATIONAL TIMBER FRAMING CODE, unless a certificate from a practicing structural engineer is submitted to council certifying that the building has been designed to withstand the most adverse combination of loads to which it will be subjected.

8. All wet areas to be waterproofed in accordance with AUSTRALIAN STANDARD AS3740.
9. Wall & Roof bracing is to be installed in accordance with AUSTRALIAN STANDARD AS1684.4
10. Construction of any stairways and balustrades shall comply with the requirements of the BUILDING CODE OF AUSTRALIA.
11. All plumbing and drainage work is to comply with the requirements of AUSTRALIAN STANDARD AS3500 NATIONAL PLUMBING AND DRAINAGE CODE and THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING AND DRAINAGE.
12. Protection of the building from attack by termites is to be carried out in accordance with the provisions of THE BUILDING CODE of AUSTRALIA and or AUSTRALIAN STANDARD AS3660.1 PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES.

13. All External Doors to have Weatherstrips.
14. Where any Exhaust Fan disposes air into the Roof Space, it shall be fitted with a Self Closing Damper. Provide Eave Vents adjacent to Exhaust Fan locations to provide necessary Roof Ventilation.
15. Where Evaporative Coolers are installed, Ceiling Registers shall be fitted with Self Closing Dampers within all habitable rooms.
16. Externally located Hot & Cold water service pipes shall be suitably insulated to resist the effects of extremes of ambient temperature in accordance with AUSTRALIAN STANDARD AS3500.4.
17. Heating & Cooling Ductwork and Fittings must be insulated & sealed against air loss.
18. All Masonry Brickwork to Comply with AUSTRALIAN STANDARD AS3700. Articulation Joints to be provided as defined by the Structural Engineer.

WORKING DRAWINGS ISSUE: A

No.	Revision Description	Date					OWNERS APPROVAL INITIAL: _____ DATE: __/__/____	DRAWING TITLE:	Basix Notes		Design	NJB	JOB #
									CLIENT PROJECT:	Matthew Colton	Drawn	JB	405
									ADDRESS:	14 Algona Street Bilgola Plateau NSW 2107	Date	24 October 2018	SHEET # A-01
											Scale	1 : 50	



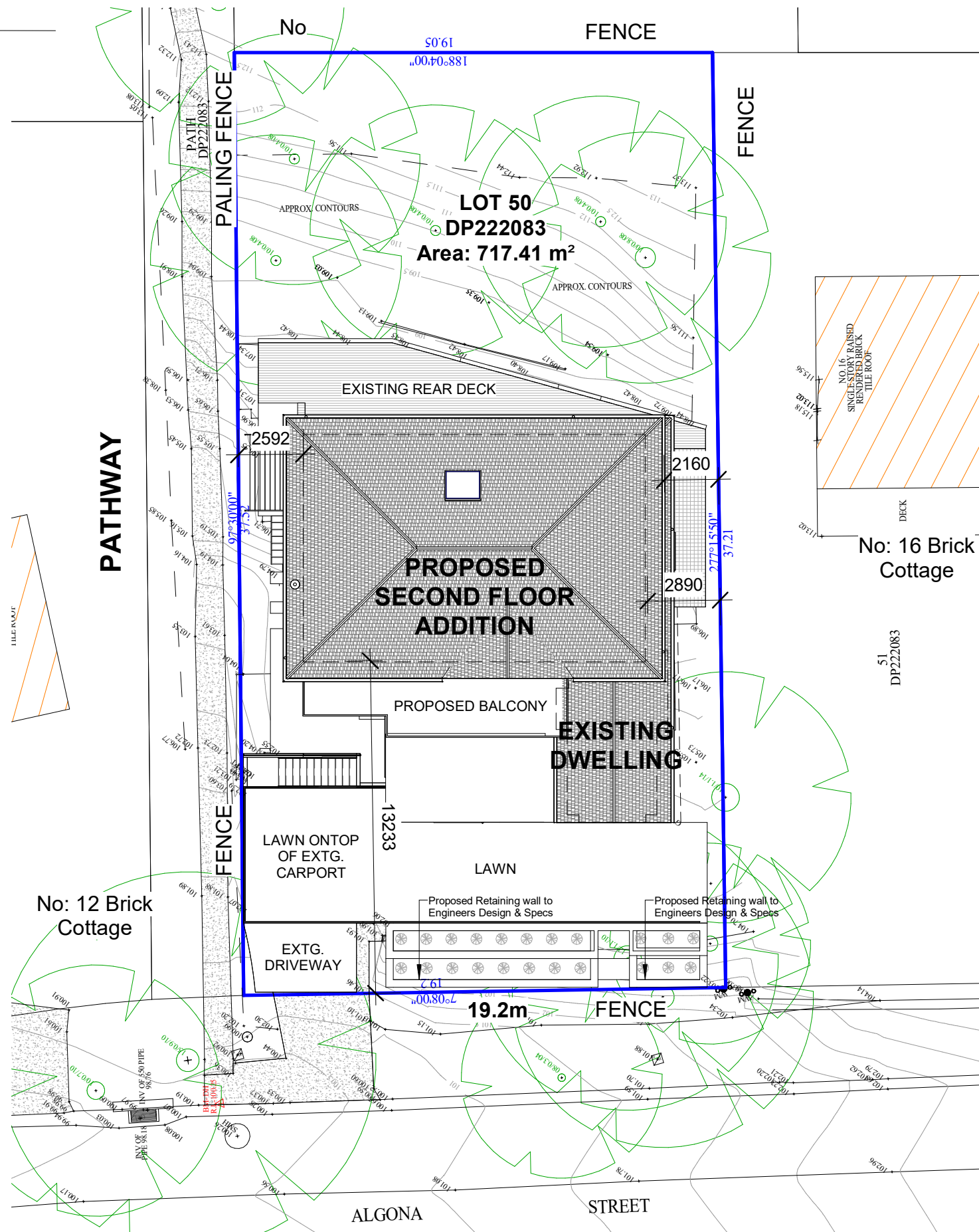
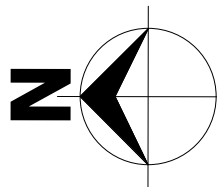
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ground lines are indicative only and must be verified on site before commencing any work.
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Sheet Size: A3

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1 SITE PLAN
1 : 200

WORKING DRAWINGS ISSUE: A

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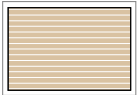


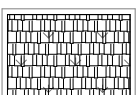


DRAWING TITLE:
Site Plan
CLIENT PROJECT:
Matthew Colton
ADDRESS:
14 Algona Street
Bilgola Plateau NSW 2107

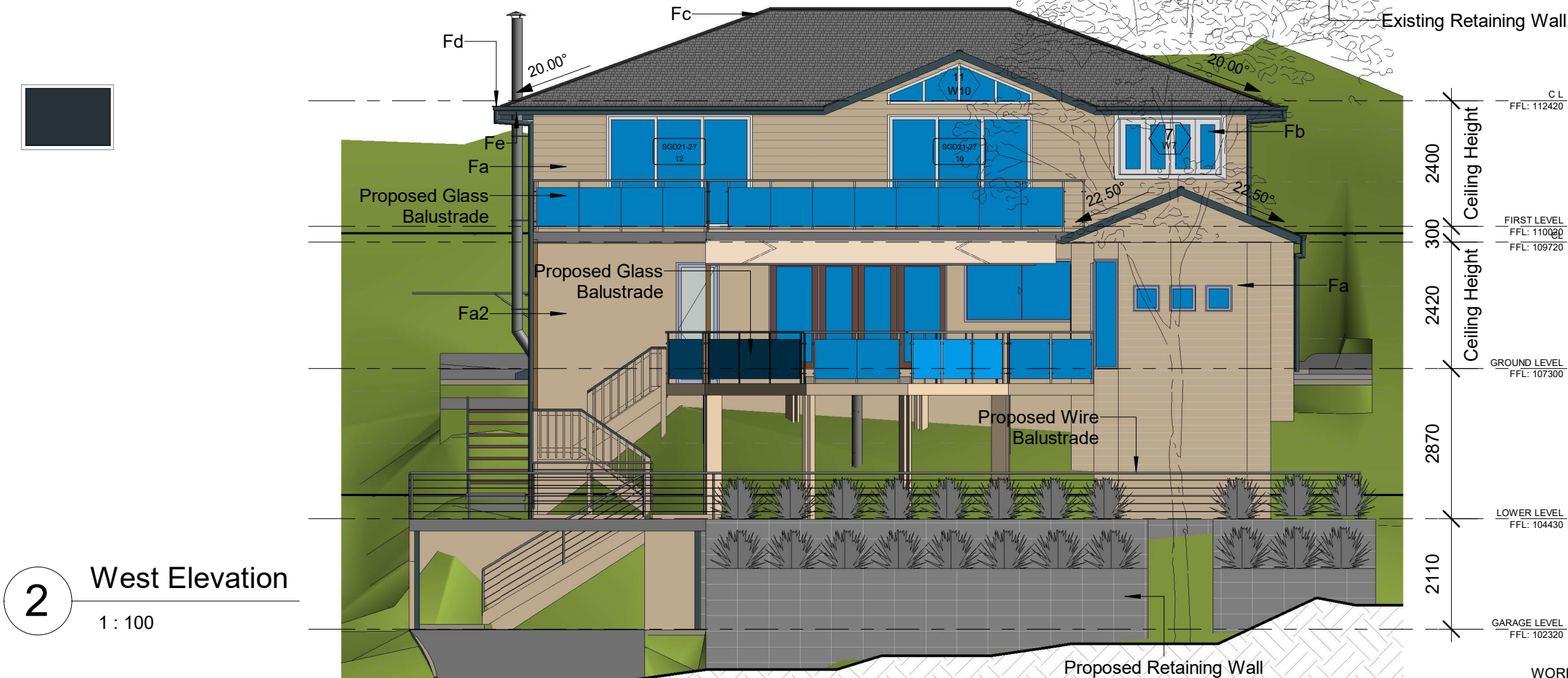
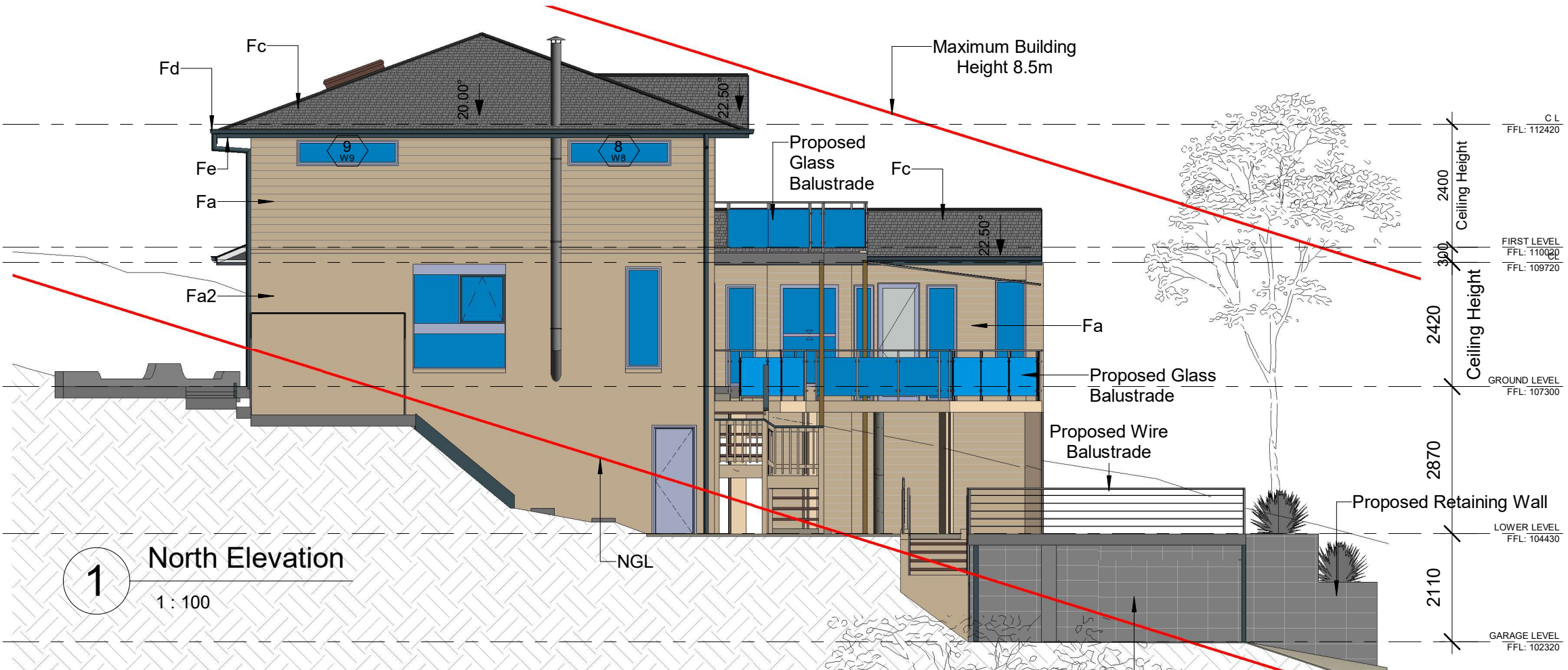
Design	NJB	JOB #
Drawn	JB	405
Date	24 October 2018	SHEET #
Scale	1 : 200	A-02

Sheet Size: A3

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MATERIAL COLOUR SCHEDULE

External wall Weatherboard Cladding	Fa	
External wall Render Finish	Fa2	
Windows / Doors Aluminium -	Fb	
Roof Centurion Roof Tiles	Fc	
Gutters / Downpipes Colorbond, metal - to match immediate wall colour	Fd	
Fascias Colorbond, metal -	Fe	



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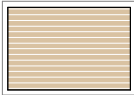


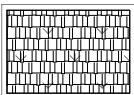


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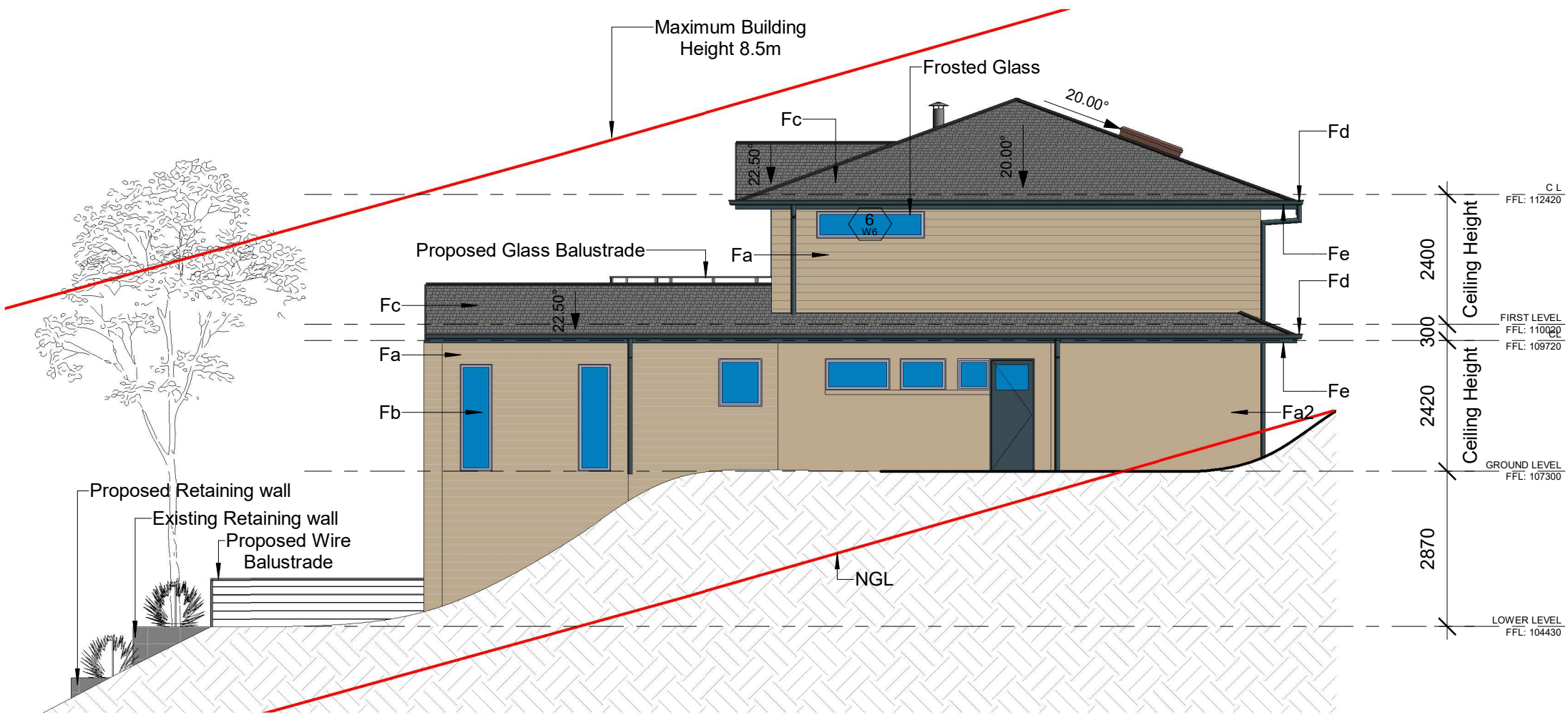
DRAWING TITLE:
CLIENT PROJECT:
ADDRESS:

Elevations
Matthew Colton
14 Algona Street
Bilgola Plateau NSW 2107

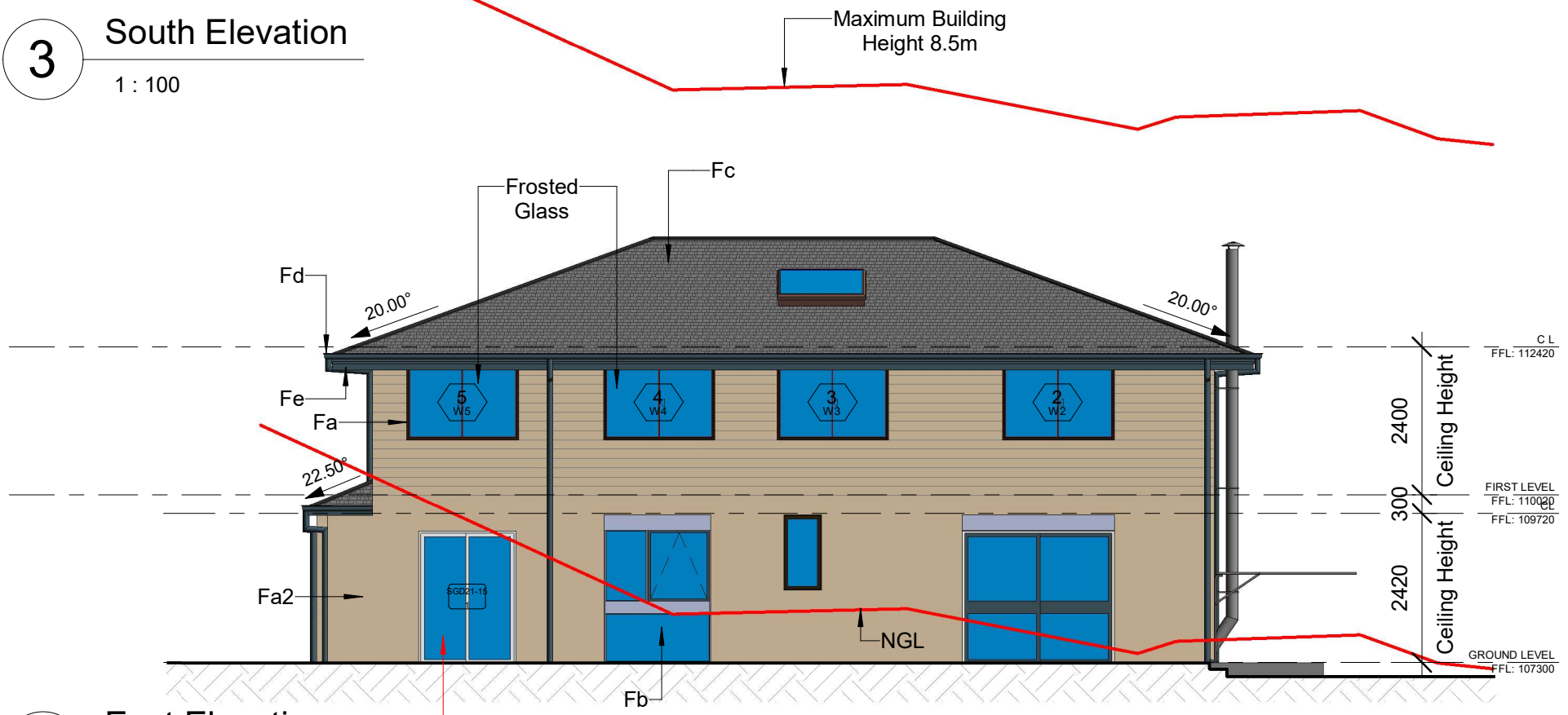
Design	NJB	JOB #
Drawn	JB	405
Date	24 October 2018	SHEET #
Scale	1:100	A-08

MATERIAL COLOUR SCHEDULE

External wall Weatherboard Cladding	Fa	
External wall Render Finish	Fa2	
Windows / Doors Aluminium -	Fb	
Roof Centurion Roof Tiles	Fc	
Gutters / Downpipes Colorbond, metal - to match immediate wall colour	Fd	
Fascias Colorbond, metal -	Fe	



3 South Elevation
1 : 100



4 East Elevation
1 : 100

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DRAWING TITLE:
CLIENT PROJECT: **Elevations**
ADDRESS: **Matthew Colton**
14 Algona Street
Bilgola Plateau NSW 2107

Design	NJB	JOB #
Drawn	JB	405
Date	24 October 2018	SHEET #
Scale	1 : 100	A-09

Window Schedule								
No.	Type	Window Style	Height	Width	Frame.	Glazing	Glass Area	Basix No
1	F0612	Fixed	1220	610	Std. Aluminium	Single Clear	0.7 m²	W1
2	SL1218	Sliding	1200	1810	Std. Aluminium	Single pyrolytic low-e	2.2 m²	W2
3	SL1218	Sliding	1200	1810	Std. Aluminium	Single pyrolytic low-e	2.2 m²	W3
4	SL1218	Sliding	1200	1810	Std. Aluminium	Single pyrolytic low-e	2.2 m²	W4
5	SL1218	Sliding	1200	1810	Std. Aluminium	Single pyrolytic low-e	2.2 m²	W5
6	F0520	Fixed	500	2000	Std. Aluminium	Frosted	1 m²	W6
7	BF 1120	Stacking	1100	2000	Std. Aluminium	Single pyrolytic low-e	2.2 m²	W7
8	F0520	Fixed	500	2000	Std. Aluminium	Single Clear	1 m²	W8
9	F0520	Fixed	500	2000	Std. Aluminium	Single Clear	1 m²	W9
10	F1214	Sky Light	1200	1400	Timber	low-e internal/argon fill	1.7 m²	S1
11	F0827	Fixed Triangle	785	2700	Std. Aluminium	Single pyrolytic low-e	1.0m²	W10

Door Schedule						
No.	Height	Width	Door Type	Glazing.	Glass Area - Doors	Basix No.
1	2100	1500	Sliding	Single Clear	3.4 m²	W11
2	2040	820	Timber Hinged			
3	2040	820	Timber Hinged			
4	2040	1640	Robe Slider			
5	2040	820	Timber Hinged			
6	2040	820	Timber Hinged			
7	2040	820	Timber Hinged			
8	2040	820	Timber Hinged			
9	2040	820	Cavity Slider			
10	2100	2700	Sliding	single pyrolytic low-e	5.9 m²	W12
11	2040	2610	Robe Slider			
12	2100	2700	Sliding	single pyrolytic low-e	5.9 m²	W13
13	2040	720	Timber Hinged			
14	2040	1640	Robe Slider			
15	2040	820	Timber Hinged			

WINDOWS, GLAZED DOORS AND SKYLIGHTS:

The applicant must install all windows, glazed doors and shading described in the table, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be for each window and glazed door.

The dwelling may have 1 skylight (less than 0.7 square meters) and up to 2 windows/glazed doors (less than 0.7 square meters) which are not listed in the table.

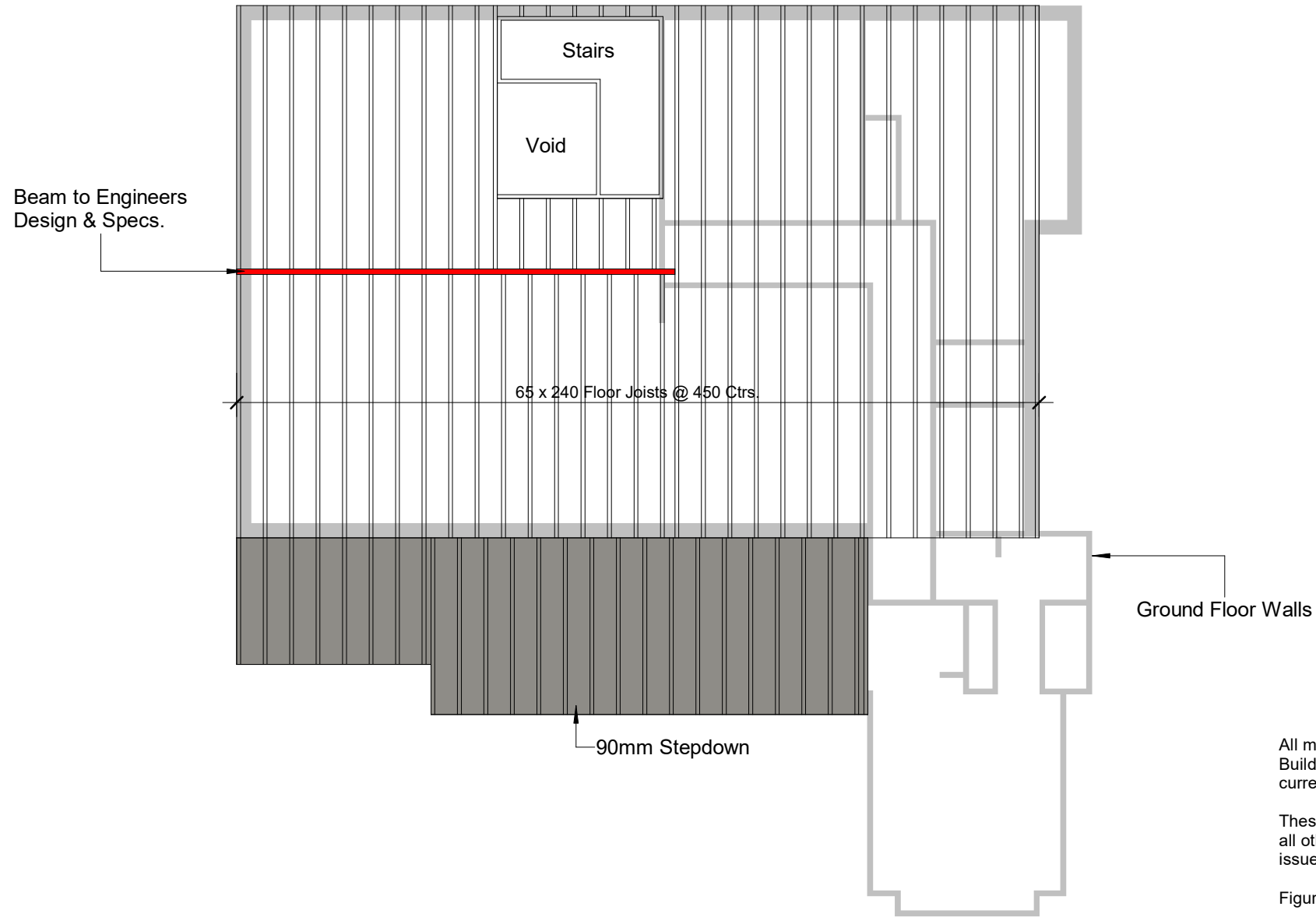
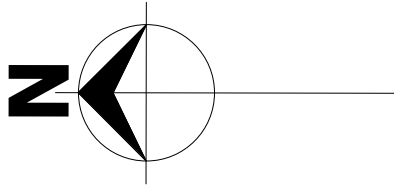
The following requirements must also be satisfied in relation to each window and glazed door:

Except where the glass is "single clear" or "single toned" the U-Value and SHGC for all windows and glazed doors must be calculated in accordance with Australian National Average Conditions (ANAC).

The leading edge of each eaves, pergola, verandah balcony or awning must be no more than 500 millimeters above the head of the window or glazed door, except that a projection greater than 500mm and up to 1500mm above the head must be twice the value.

Pergolas with Polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50mm.

WORKING DRAWINGS ISSUE: A



1 First Floor Framing Plan
1 : 100

All materials and work practices shall comply with, but not limited to the Building Regulations 2015, the Building Code of Australia and all relevant current Australian Standards (as amended) referred to therein.

These drawings shall be read in conjunction with all relevant structural and all other consultants drawings / details and with any other written instructions issued in the course of the contract.

Figured dimensions take precedence over scaled dimensions.

The Builder and Subcontractors shall check and varify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any work. Report all discrepancies to Green Homes Australia for clarification.

Sheet Size: A3

No.	Revision Description	Date



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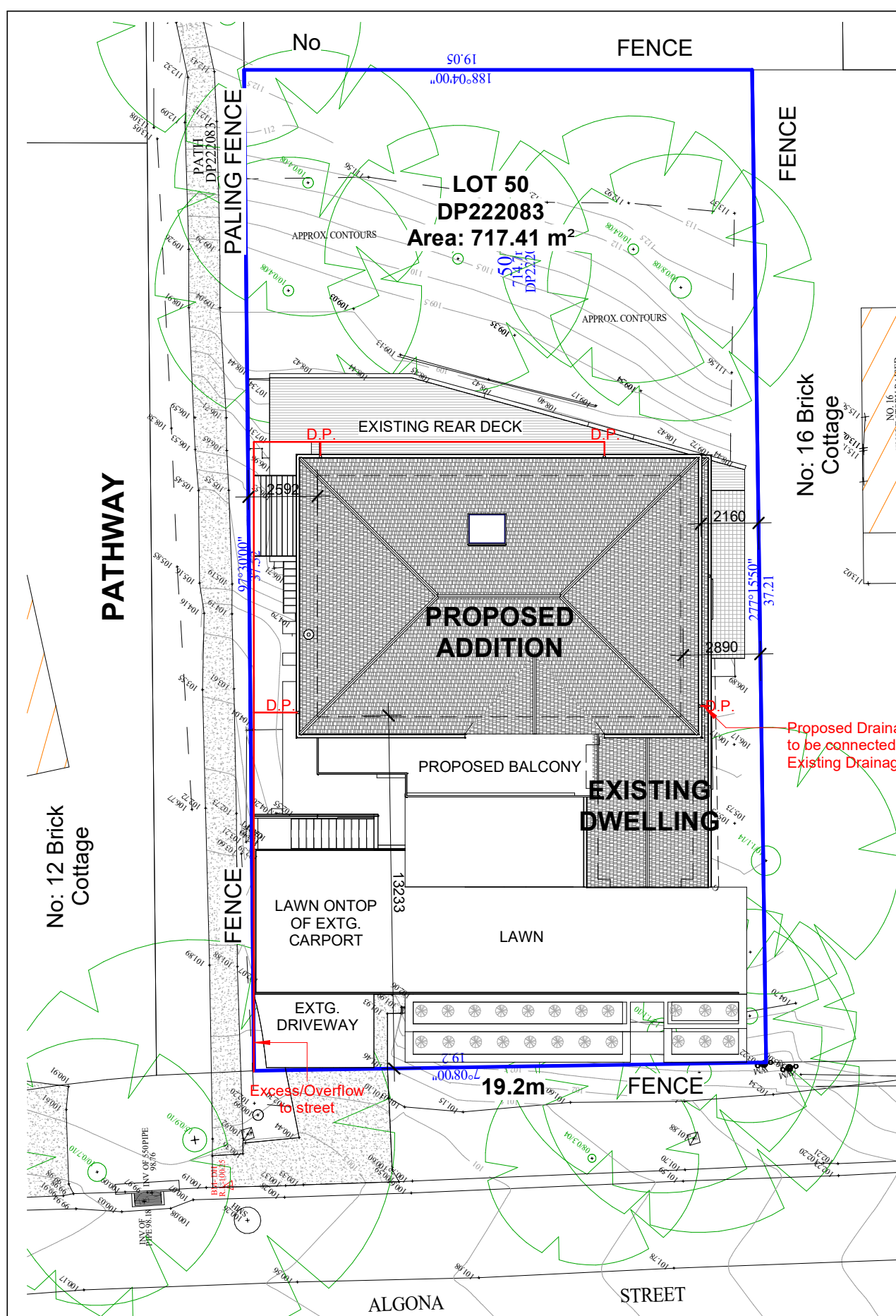


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DRAWING TITLE: CLIENT PROJECT: ADDRESS:	Floor Framing Plan			Design	NJB	JOB #
	Matthew Colton			Drawn	JB	405
	14 Algona Street Bilgola Plateau NSW 2107			Date	24 October 2018	SHEET # A-13
				Scale	1 : 100	

WORKING DRAWINGS ISSUE: A

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1 Stormwater Plan
1 : 200

Plumbing Notes:

A Acceptable Construction Manual

3.5.2.0 Performance Requirement
P2.2.1 is satisfied for gutter and downpipes if they are designed and constructed in accordance with
AS3500.3 - Stormwater drainage installations

B Acceptable Construction Practice

3.5.1.2 Materials

Gutters, downpipes and flashings must be manufactured in accordance with-
(a) AS2179.1 for metal; and
(b) AS1273 for UPVC components; and
(c) Be compatible with all upstream roofing materials in accordance with
3.5.1.3(c)

3.5.2.4 Installation of Gutters

- (a) gutters must be installed with a fall not less than-
(i) 1:500 for eaves gutters, unless fixed to metal fascias; and
(ii) 1:100 for box gutters
- (b) Eaves gutters must be supported by brackets securely fixed at stop ends and at not more than 1.2m cts.
- (c) Valley gutters on a roof pitch-
(i) more than 12.5 degrees must have a width of not less than 400mm and to be wide enough to allow the roof covering to overhang not less than 150mm each side of the gutter; or
(ii) not more than 12.5 degrees must be designed as a box gutter. 3.5.2.5 downpipes - size and installation

Stormwater:

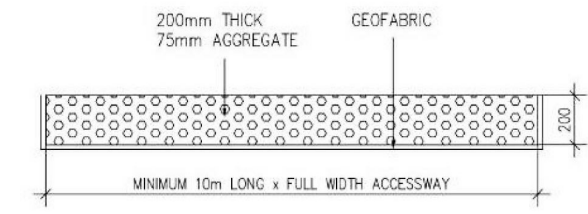
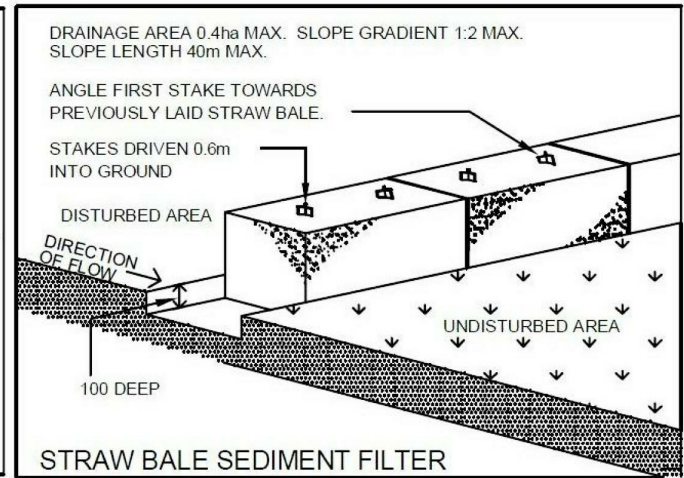
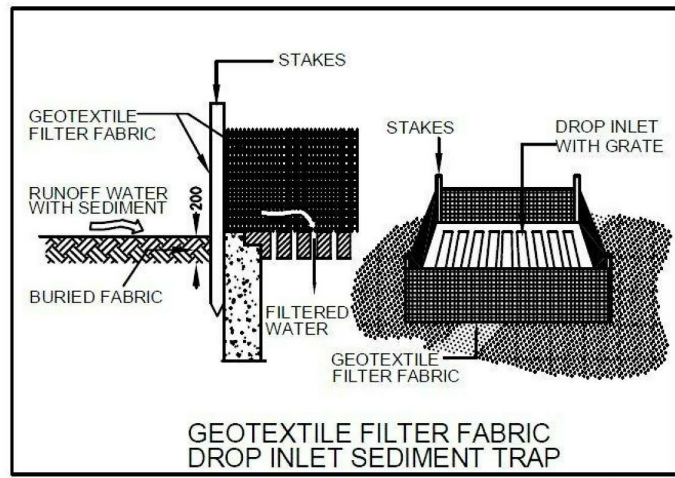
100mm Dia. Class 6 UPVC stormwater laid to a minimum grade of 1:100 and connected to a legal point of stormwater discharge.

The cover to underground stormwater drains shall be not less than-
100mm - Under soil
50mm - Under paved or concrete areas
100mm - Under reinforced concrete or paved driveways
75mm - Under reinforced concrete driveways

- (a) downpipes must be securely fixed to walls
(b) the spacing between downpipes must not be more than 12m.
(c) downpipes must be fixed as close as possible to valley gutters and, if the downpipe is more than 12m from the valley, provision for overflow must be made.
(d) downpipes must-
(i) be compatible with other roofing materials used in the roofing system in accordance with 3.5.1.3. (c)
(ii) be selected in accordance with appropriate eaves gutter section as shown in table 3.5.2.2.

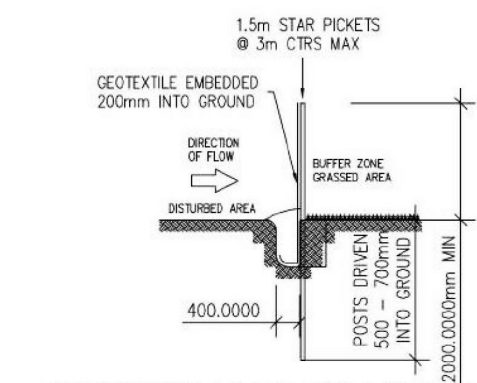
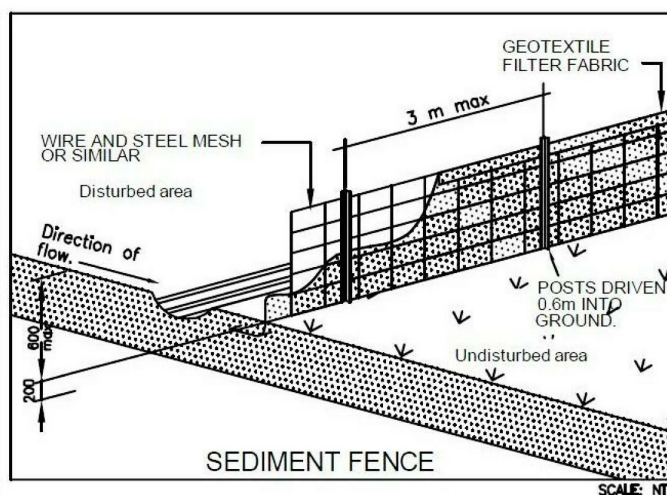
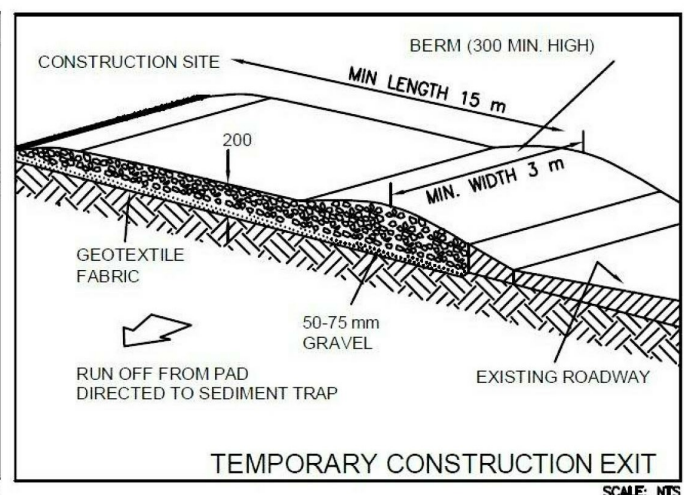
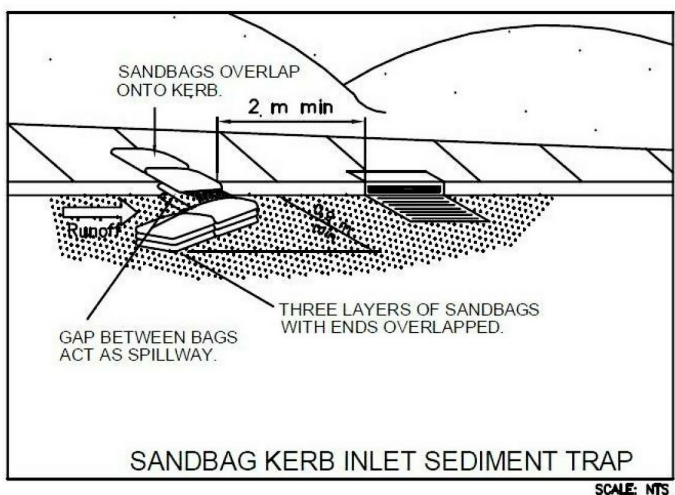
Drainage Legend:

100mm UPVC Stormwater Pipe
dp. 100 DIA. COLORBOND DOWNPIPE AT 12.0m MAX CTS.



DETAIL OF STABILISED SITE ACCESS
SCALE 1:100 HORIZONTAL
SCALE 1:20 VERTICAL

Detail Of Stabilised Site Access



GEOFABRIC LINED SILT FENCE (STRUCTURE TYPE A)
SCALE 1:20

Geofabric Lined Silt Fence

Sediment Control

WORKING DRAWINGS ISSUE: A

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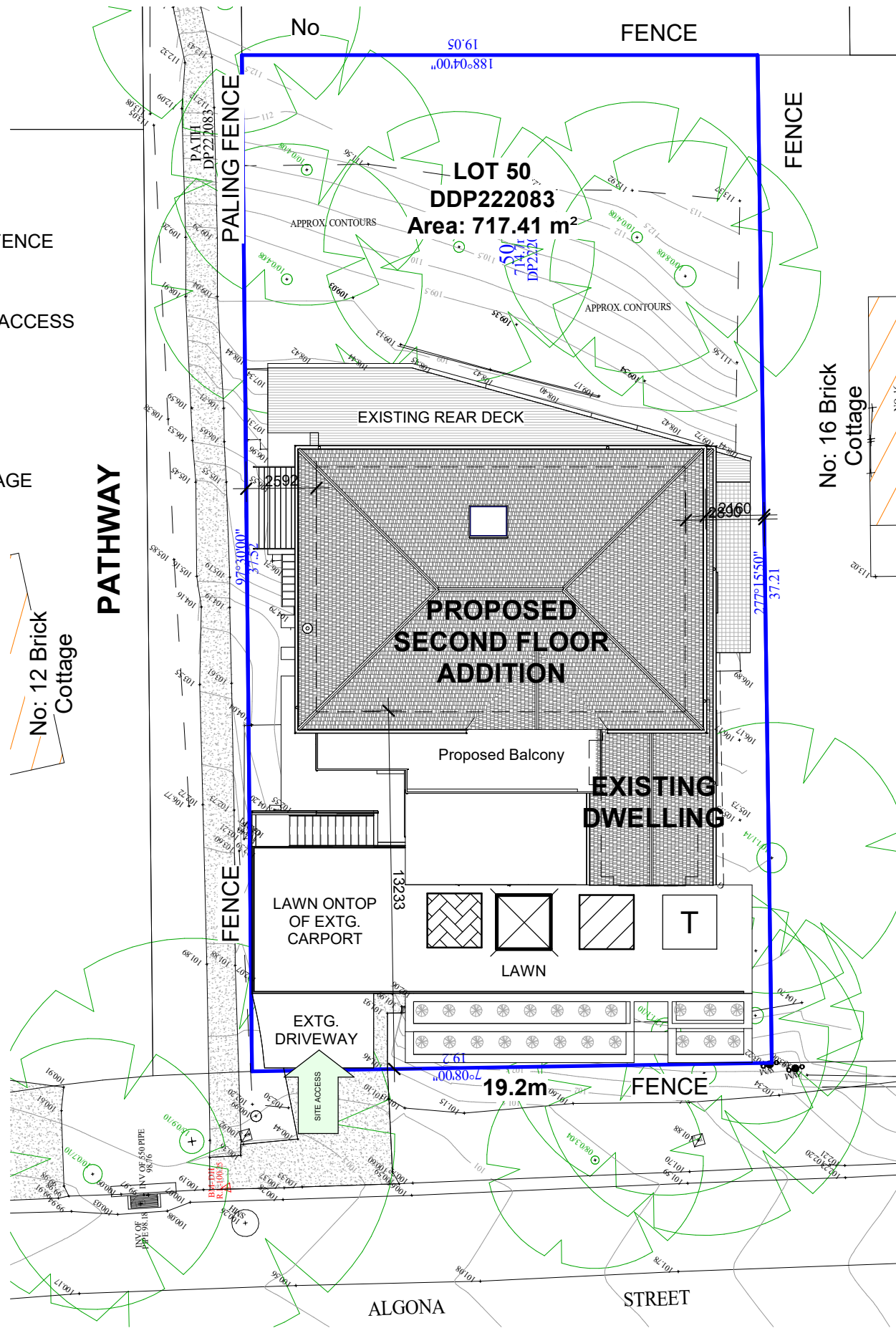
DRAWING TITLE:
CLIENT PROJECT:
ADDRESS:

Sediment & Erosion
Matthew Colton
14 Algona Street
Bilgola Plateau NSW 2107

Design	NJB	JOB #
Drawn	JB	405
Date	24 October 2018	SHEET #
Scale	1 : 200	A-15

Legend

- SEDIMNET 1.8M FENCE
- STABLISED SITE ACCESS
- SITE SHED
- MATERIAL STORAGE
- SITE TOILETS
- SITE ACCESS



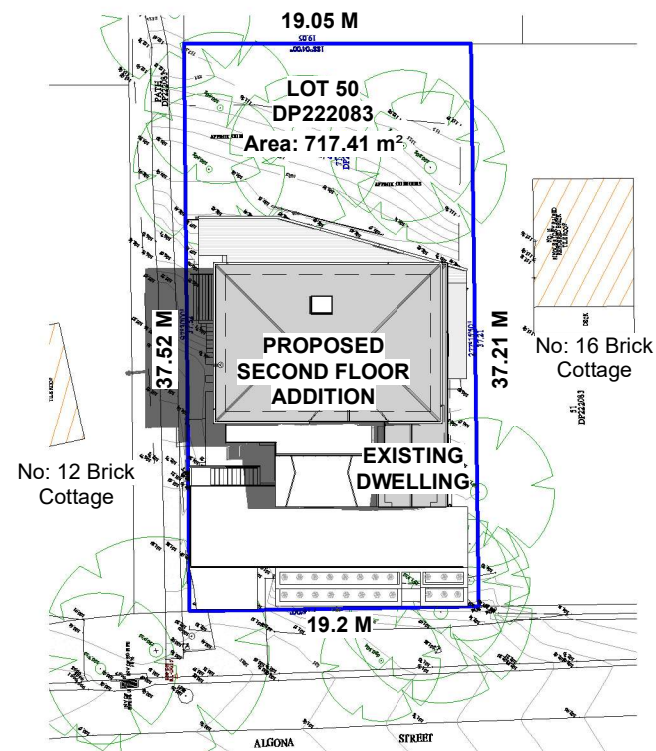
ANY DAMAGE TO EXISTING &/OR ADJOINING PROPERTY &/OR SERVICES IS TO BE MADE GOOD WITH MINIMAL IF ANY INCONVENIENCE TO ALL PROPRIETORS. IF ANY DAMAGE IS DUE TO NEGLIGENCE, IT IS TO BE RECTIFIED AT THE COST OF THE NEGLIGENT PARTY WHICH CAUSED THAT DAMAGE.
METHOD OF SUPPORT OF EXCAVATION ADJACENT TO ADJOINING PROPERTIES TO ENG'S DETAILS AND IT IS TO BE CERTIFIED BY A CERTIFIER ACCREDITED IN CIVIL ENGINEERING

- B1. THIS PLAN TO BE READ IN CONJUNCTION WITH SEDIMENT AND EROSION. CONTROL DETAILS AS ATTACHED.
B2. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT. CONTROL MEASURES AS NECESSARY AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF AND DURING CONSTRUCTION. NO DISTURBANCE TO THE SITE SHALL BE PERMITTED OTHER THAN IN THE IMMEDIATE AREA OF THE WORKS AND NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT COUNCIL'S APPROVAL. ALL SEDIMENT AND EROSION CONTROL DEVICES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH STANDARDS OUTLINED IN NSW DEPARTMENT OF HOUSING'S "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTIONS".
B3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPIRED LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY, (I.E. ALL FOOTPATHS, BATTERS, SITE REGARDING AREAS, BASINS AND CATCHDRAINS). TOPSOIL SHALL NOT BE RESPIRED ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SILT LADEN RUNOFF.
B4. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES SUCH THAT MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
B5. LAY TURF STRIP (MIN 300mm WIDE) ON 100mm TOPSOIL. WITH 1.0m LONG RETURNS EVERY 6.0m BEHIND ALL KERB AT THE TOP OF ALL BATTERS AND AROUND STRUCTURES IMMEDIATELY AFTER BACKFILLING OR FORMATION.
B6. THE CONTRACTOR SHALL GRASS SEED ALL DISTURBED AREAS WITH AN APPROVED MIX AS SOON AS PRACTICABLE AFTER COMPLETION OF EARTHWORKS AND REGRADING.
B7. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO NOMINATED STABILISED ACCESS POINTS.
B8. WHEN ANY DEVICES ARE TO BE HANDED OVER TO COUNCIL THEY SHALL BE B8. IN CLEAN AND STABLE CONDITION.
B9. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL BY REGULAR WETTING DOWN. (BUT NOT SATURATING) DISTURBED AREA.
B10. PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENT IS REVEGETATED OR PAVED.
B11. REVEGETATE ALL TRENCHES IMMEDIATELY UPON COMPLETION OF BACKFILLING.
B12. ALL DRAINAGE PIPE INLETS TO BE CAPPED UNTIL :
A) DOWNPIPES CONNECTED
B) PITS CONSTRUCTED AND PROTECTED WITH SILT BARRIER - BA

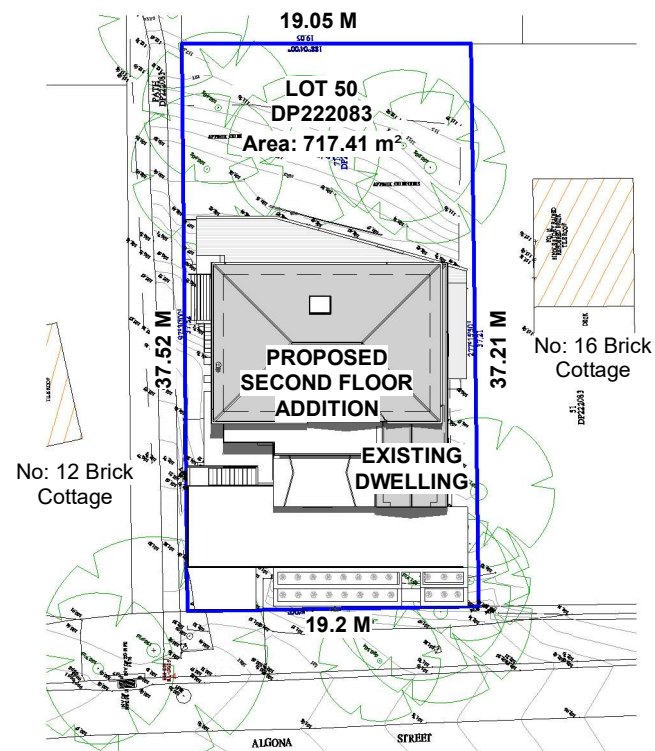
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Sheet Size: A3

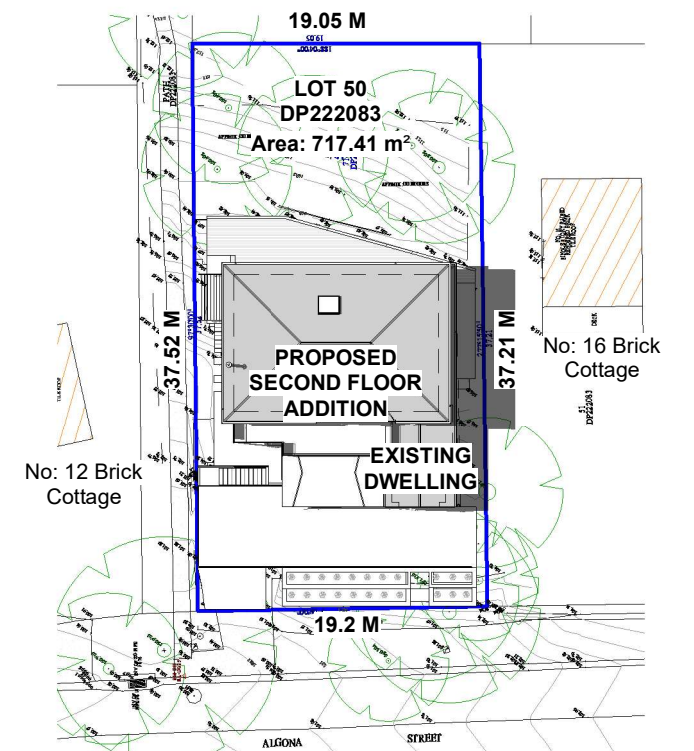
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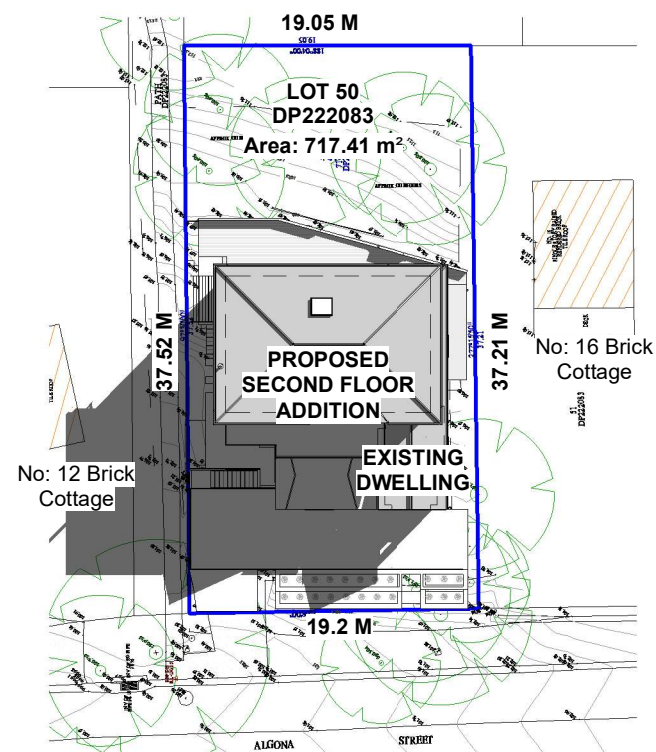
1 9am Summer
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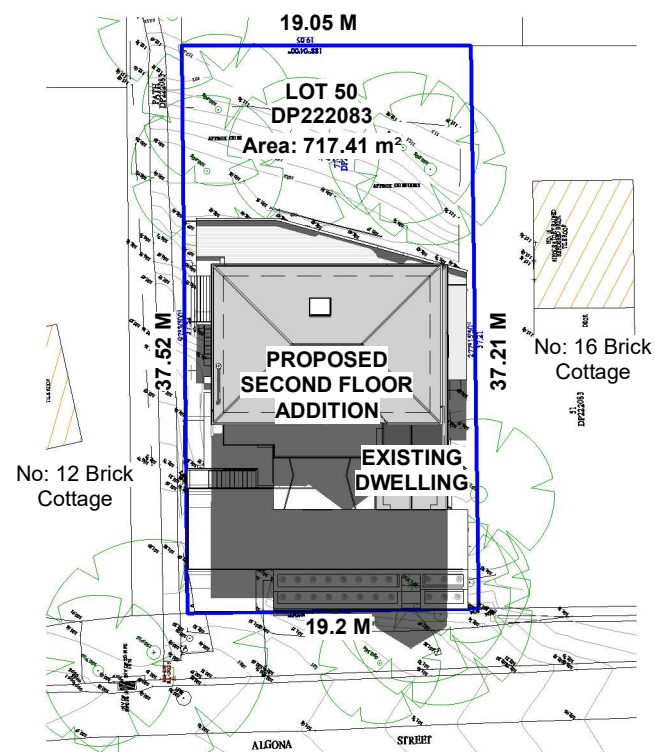
2 12pm Summer
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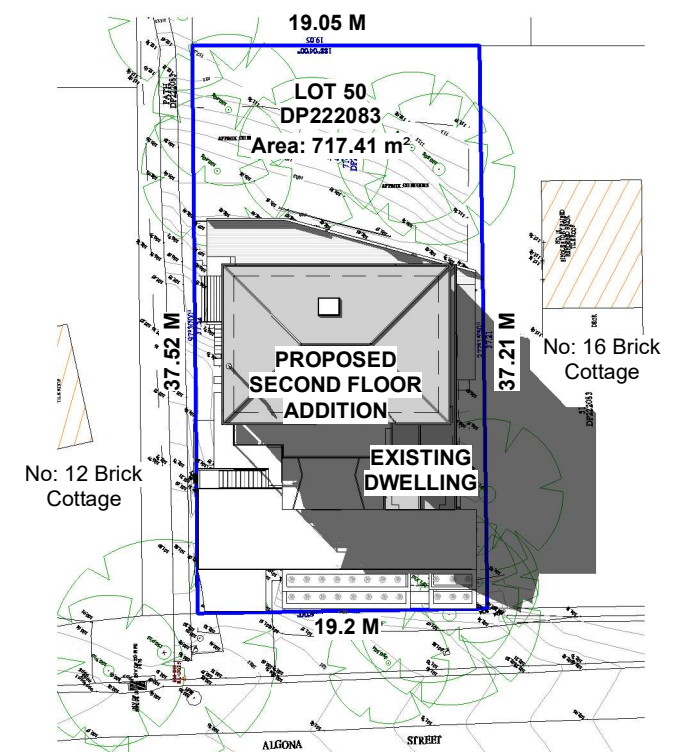
3 3pm Summer
1 : 500



4 9am Winter
1 : 500



5 12pm Winter
1 : 500



6 3pm Winter
1 : 500

WORKING DRAWINGS ISSUE: A

No.	Revision Description	Date



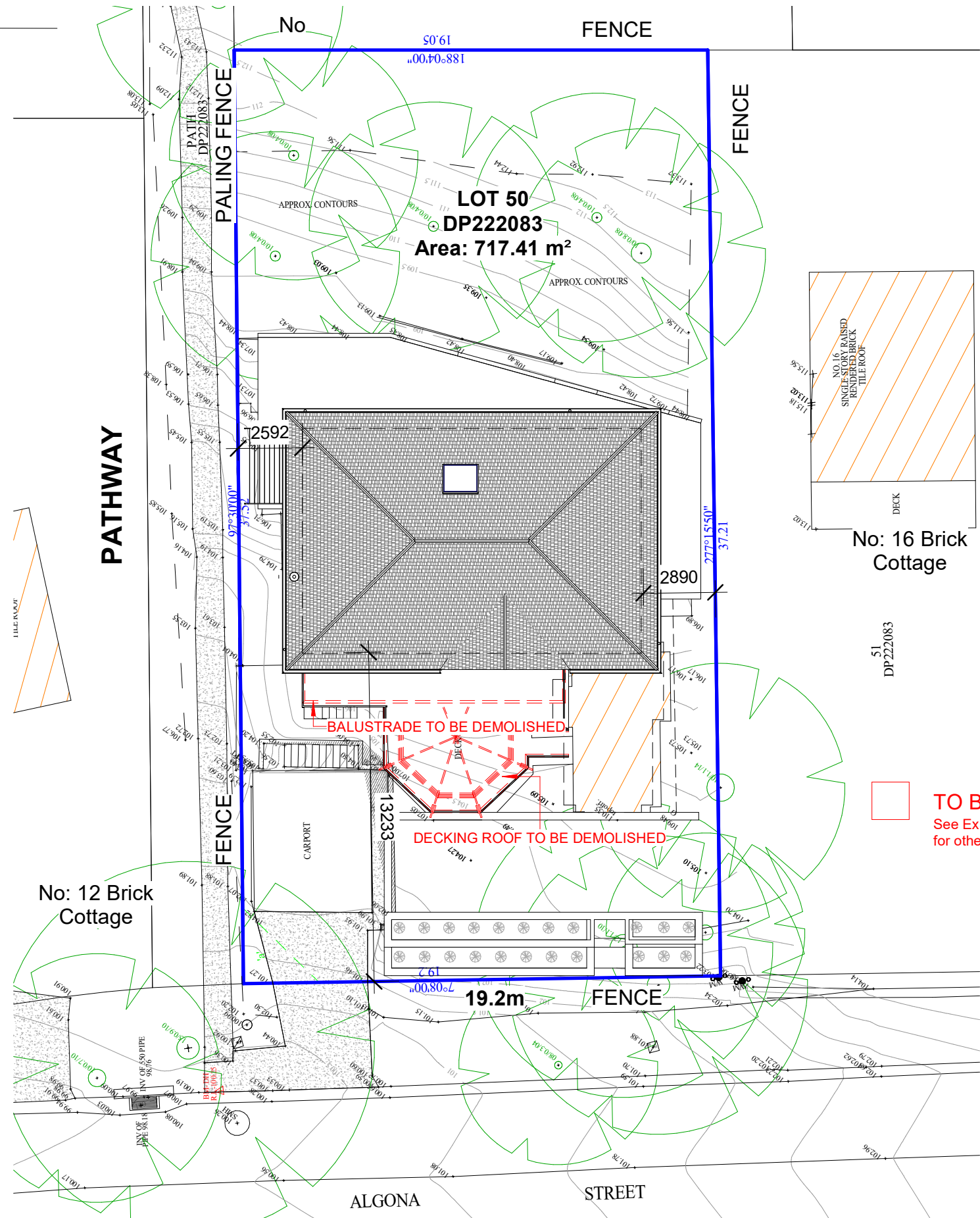
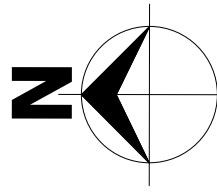
DUPLEX BUILDING DESIGN
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OWNERS APPROVAL
INITIAL: _____ DATE: ____/____/____
- Figured dimensions shall be used in preference to scaling of drawings.
- All materials and workmanship to be in strict accordance with current manufacturers printed instructions, local regulations and SSA codes. All construction work to be in accordance with the BCA and relevant codes.
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- The information as shown on these drawings is correct at the time of the documentation. Duplex Building Design accepts no responsibility for errors or omission in this drawing set.

DRAWING TITLE:
CLIENT PROJECT: **Shadow Diagrams**
ADDRESS: **Matthew Colton**
14 Algona Street
Bilgola Plateau NSW 2107

Design	NJB	JOB #
Drawn	JB	405
Date	24 October 2018	SHEET #
Scale	1 : 500	A-17



1 Demolition Plan
1 : 200

WORKING DRAWINGS ISSUE: A

No.	Revision Description	Date



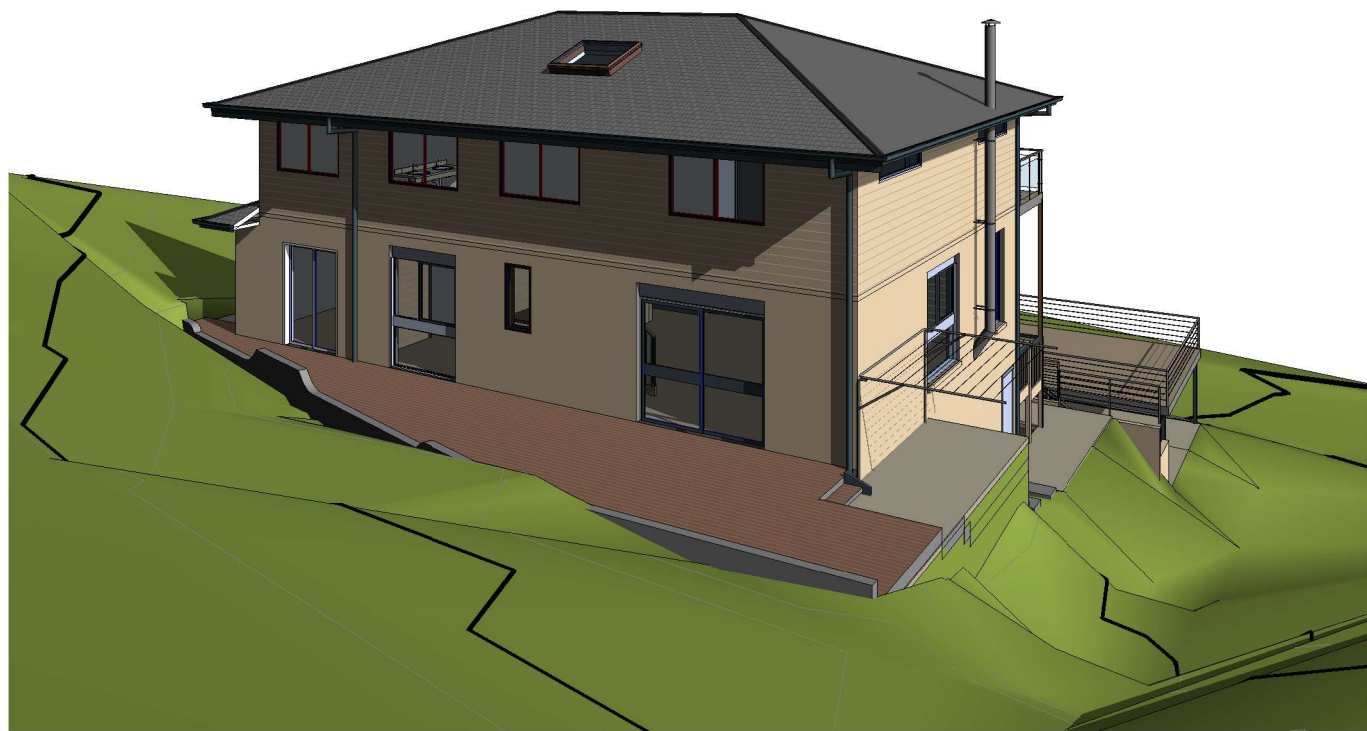
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DRAWING TITLE:
CLIENT PROJECT: **Demolition Plan**
ADDRESS: **Matthew Colton**
14 Algona Street
Bilgola Plateau NSW 2107

Design	NJB	JOB #
Drawn	JB	405
Date	24 October 2018	SHEET #
Scale	1 : 200	A-18



2 3D View 2



1 3D View 1

No.	Revision Description	Date



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<small>* Figured dimensions shall be used in preference to scaling of drawings. * All materials and workmanship to be in strict accordance with current manufacturers printed instructions, local regulations and SSA codes. All construction work to be in accordance with the BCA and relevant codes. * Any discrepancy found in the drawing set, dimensions etc. are to be reported to Duplex Building design before proceeding with any construction. * Ground lines are indicative only and must be verified on site before commencing any work. * The information as shown on these drawings is correct at the time of the documentation. Duplex Building Design accepts no responsibility for errors or omission in this drawing set.</small>

DRAWING TITLE:	3D Views
CLIENT PROJECT:	Matthew Colton
ADDRESS:	14 Algona Street Bilgola Plateau NSW 2107

WORKING DRAWINGS		ISSUE: A
Design	NJB	JOB #
Drawn	JB	405
Date	24 October 2018	SHEET #
Scale		
		A-19