

LEGEND

REVISION А в

DESCRIPTION DEVELOPMENT APPLICATION DEVELOPMENT APPLICATION

DATE 08.07.2024 05.02.2025

Check all dimensions on site and report any discrepancies immediately before proceeding with the works. Do not scale from drawings. Accuracy of dimensions on site are the responsibility of the contractor. This draw:

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ADDRESS: 47 THE CORSO MANLY NSW 2095

PAGE: DEMO FLOOR PLANS

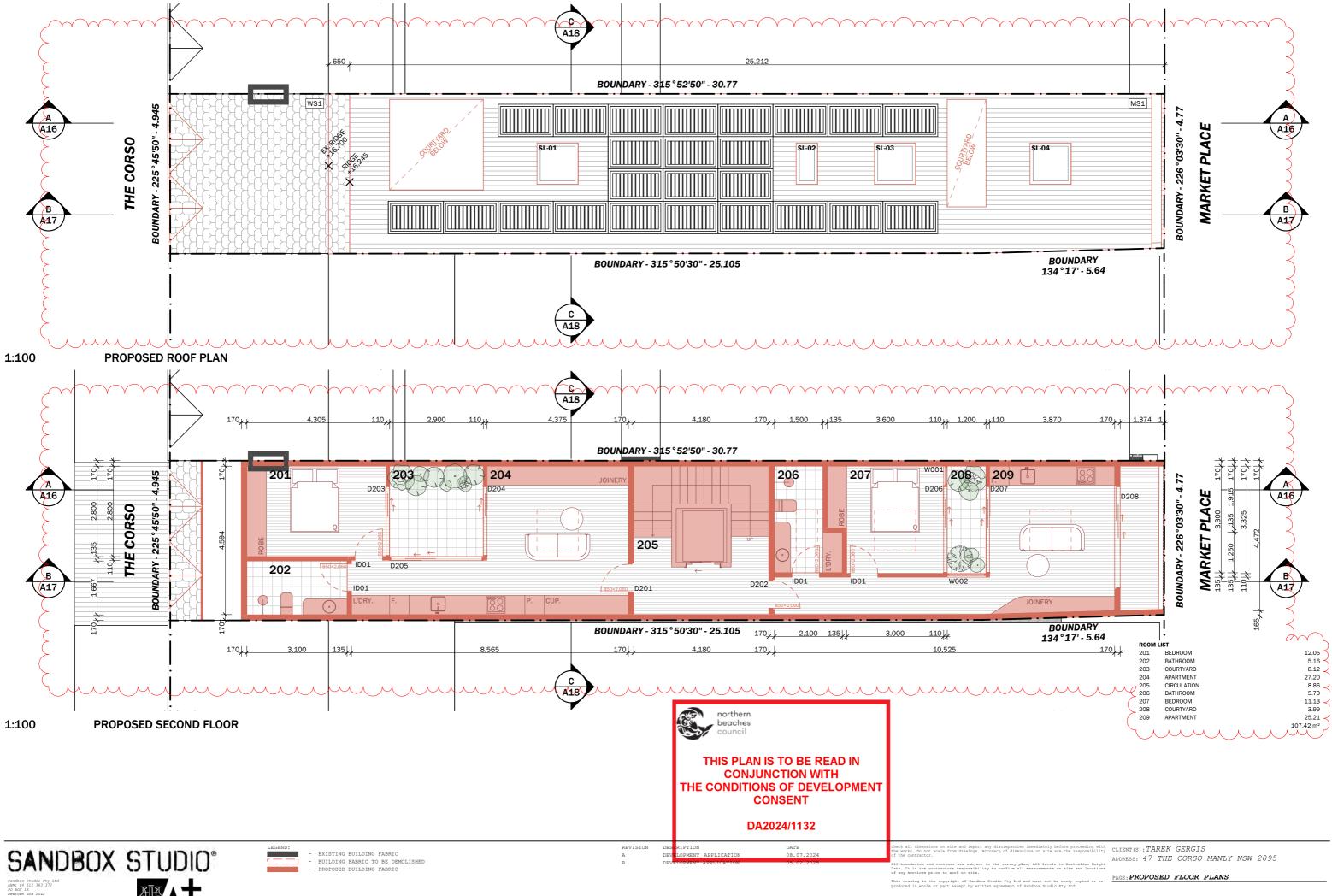








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DEVELOPMENT APPLICATION в

05.02.2025

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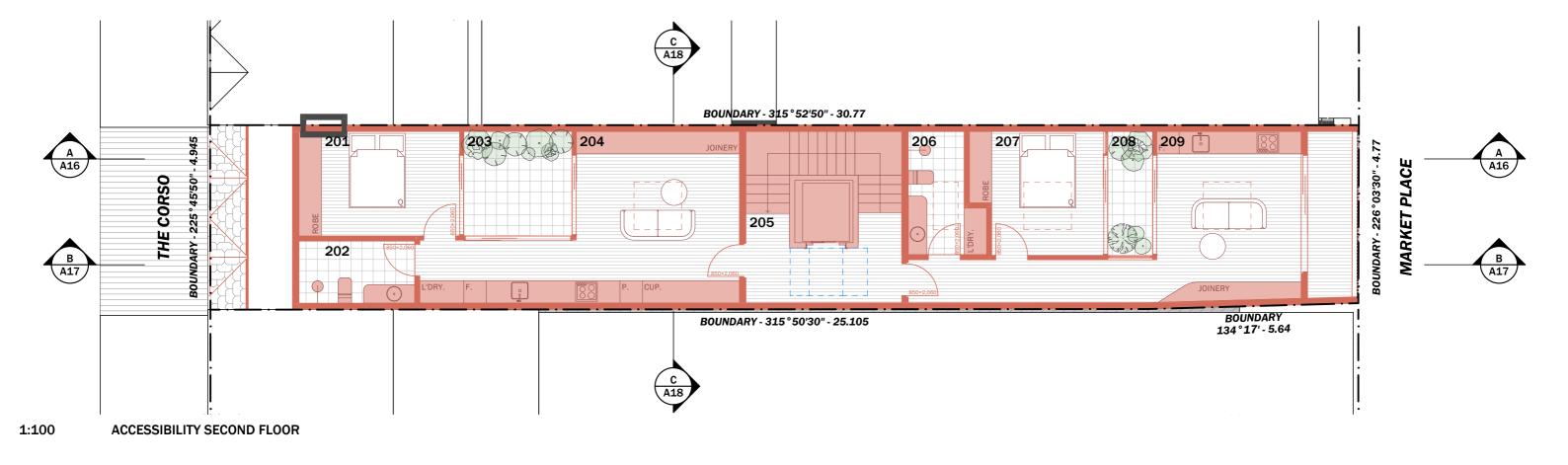














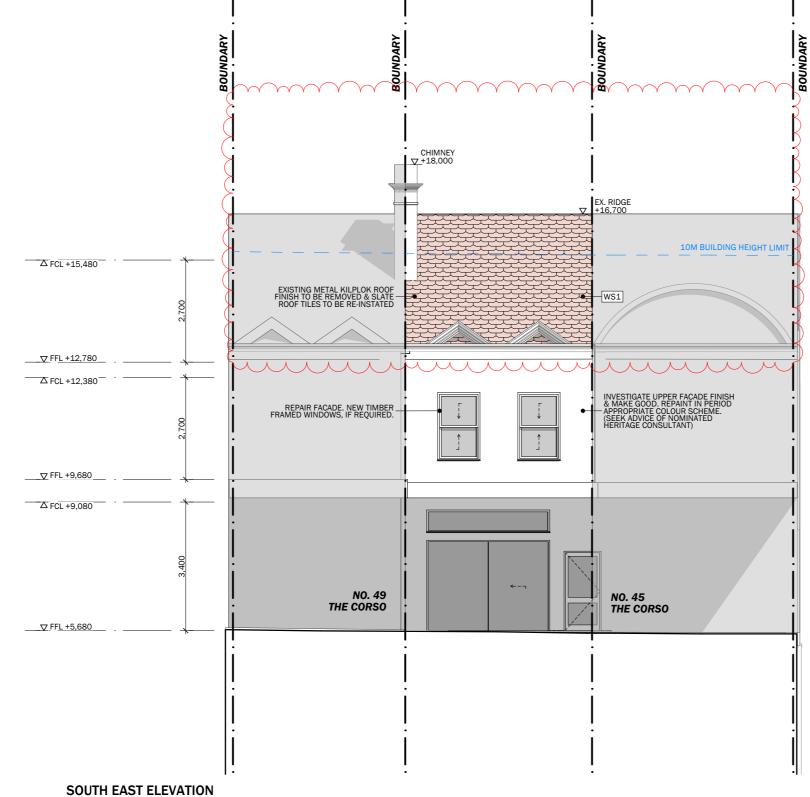
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NO. **A11** PAGE SIZE. **A3** 



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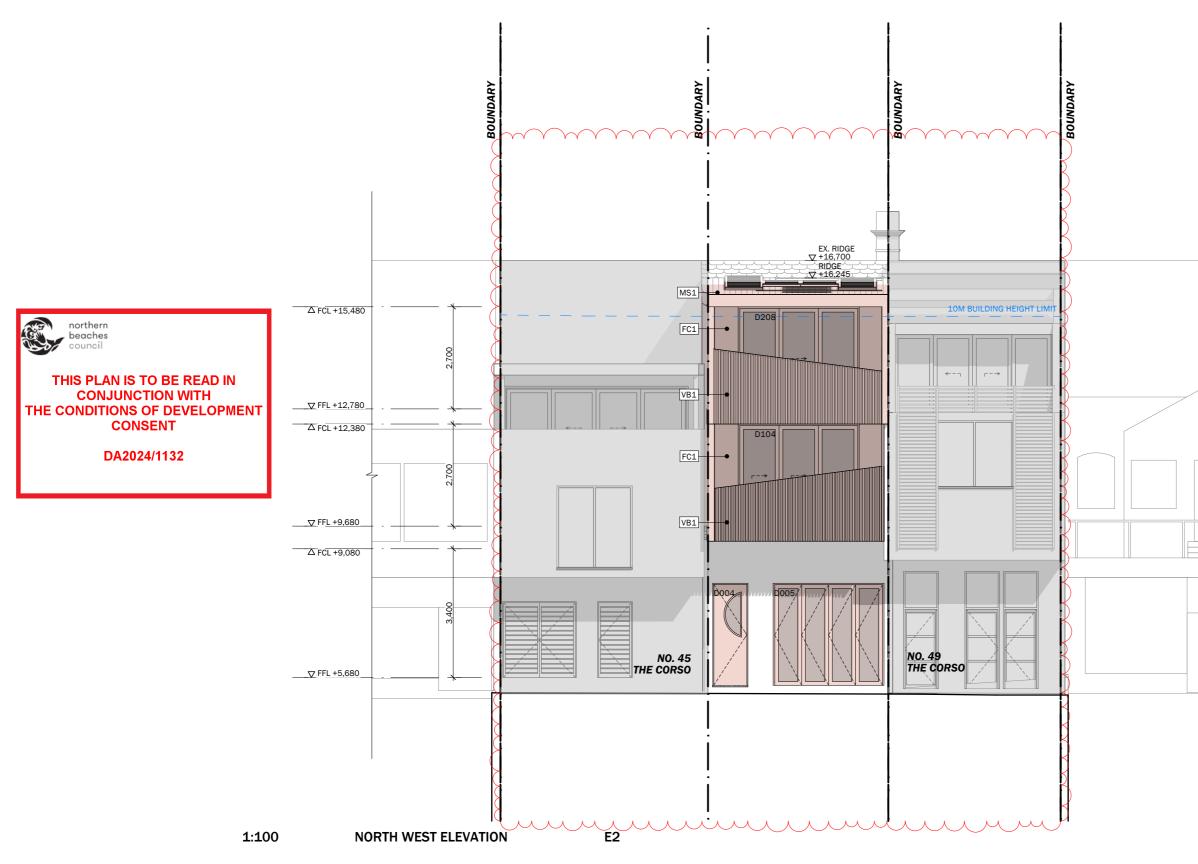
ADDRESS: 47 THE CORSO MANLY NSW 2095

PAGE: SOUTH EAST ELEVATION





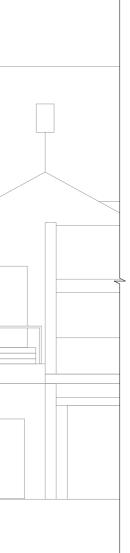






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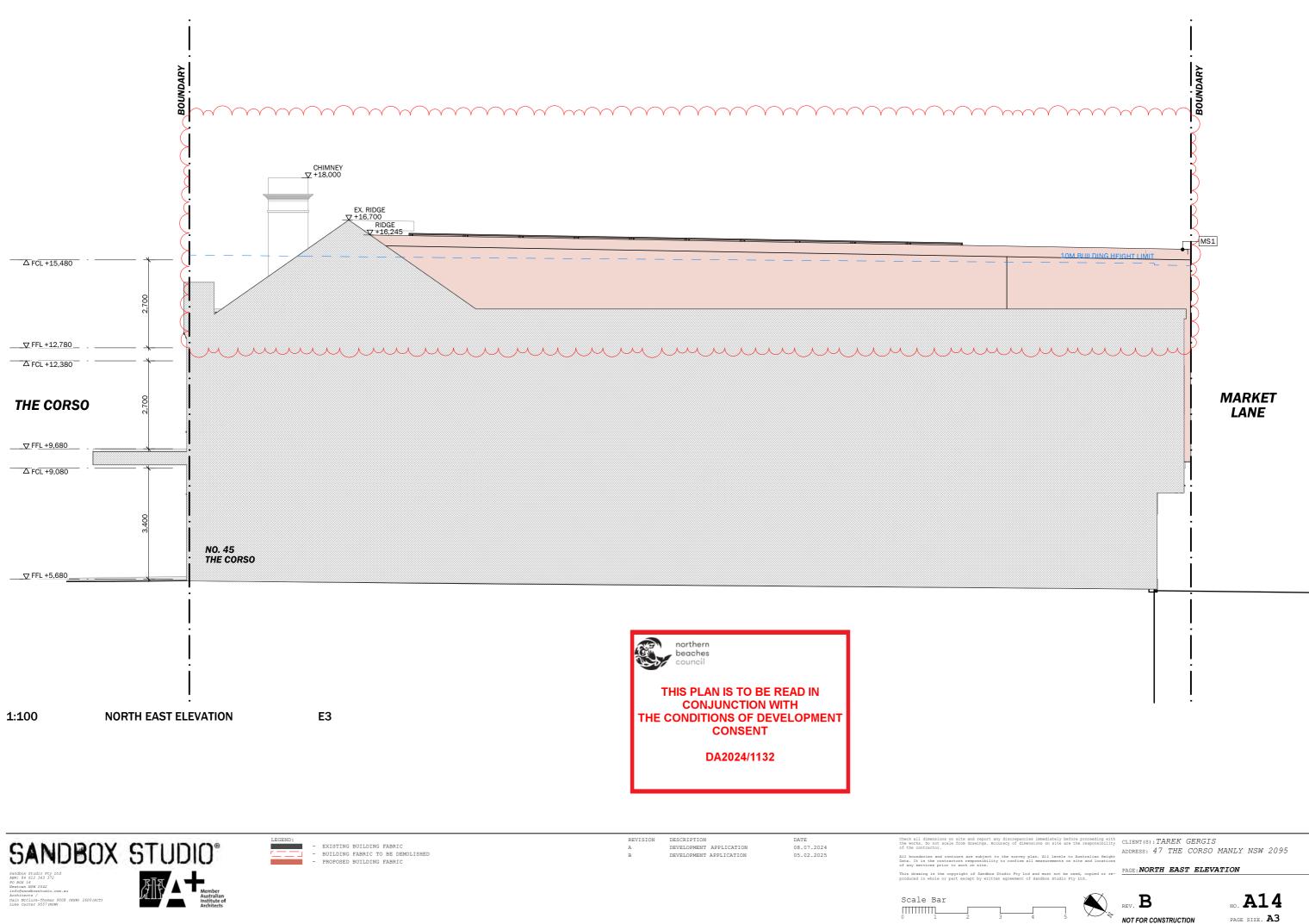
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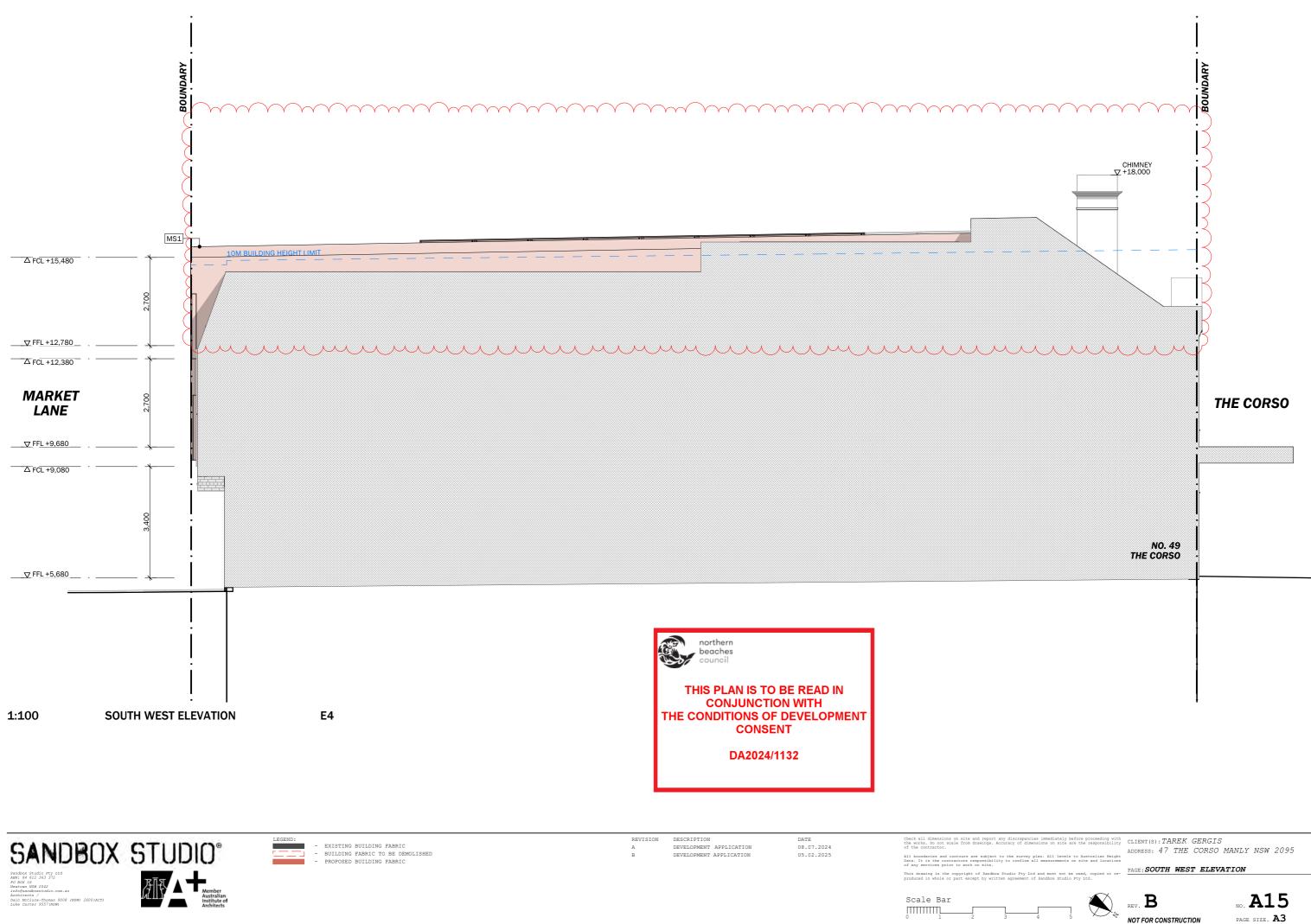
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PAGE: NORTH WEST ELEVATION





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andbox Studio Pty Ltd LBN: 84 612 363 372 VO BOX 16 lewtown NSW 2042 nfo@sandboxstudio.com.au

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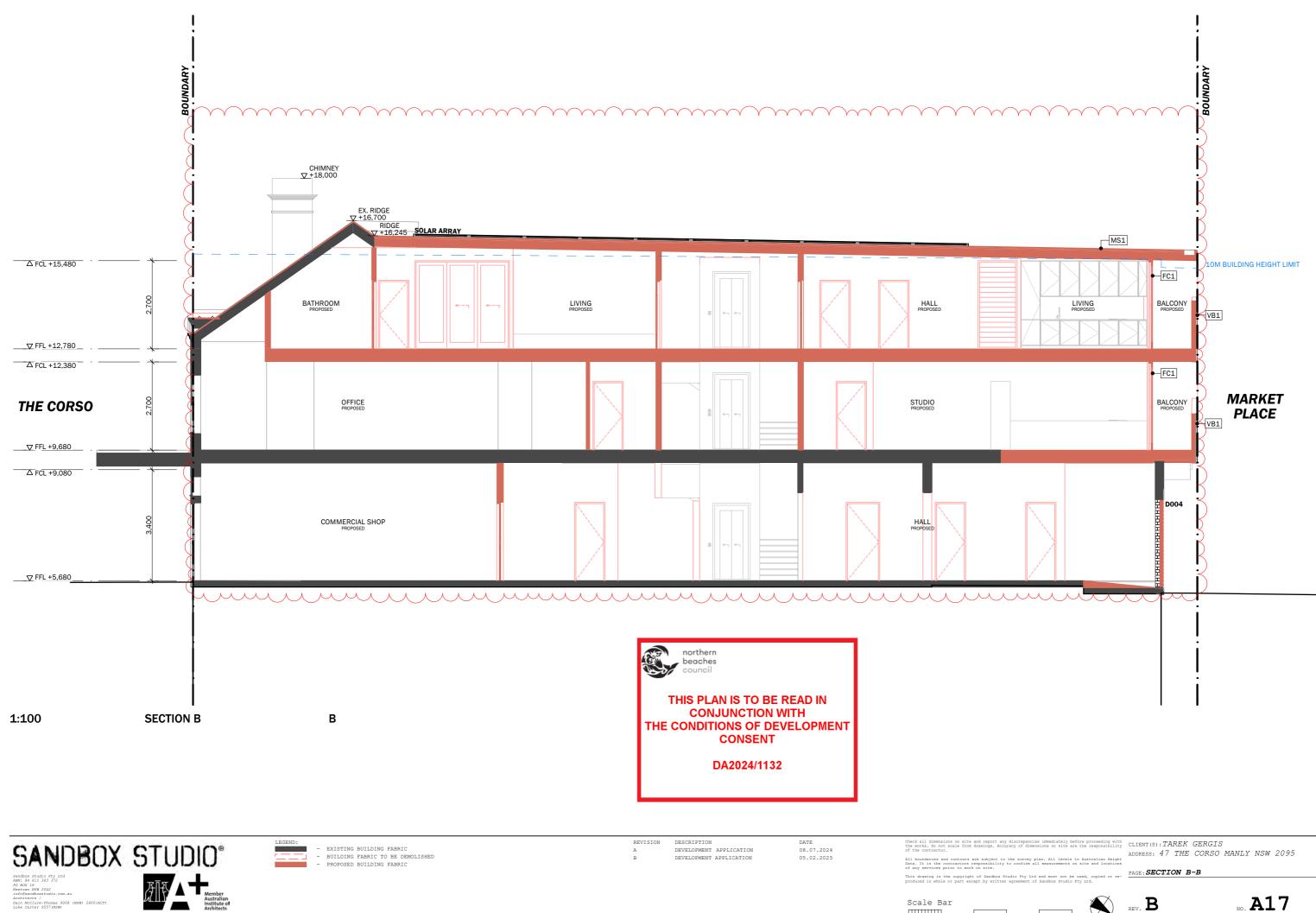
PAGE: SECTION A-A

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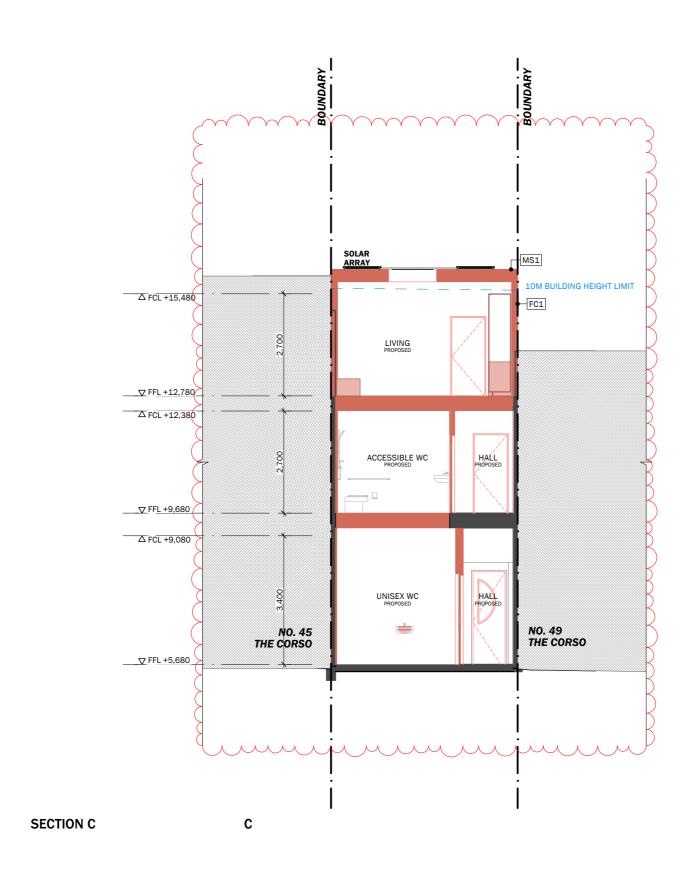
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PAGE: SECTION B-B





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REVISION DESCRIPTION A DEVELOPMENT APPLICATION B DEVELOPMENT APPLICATION

DATE 08.07.2024 05.02.2025

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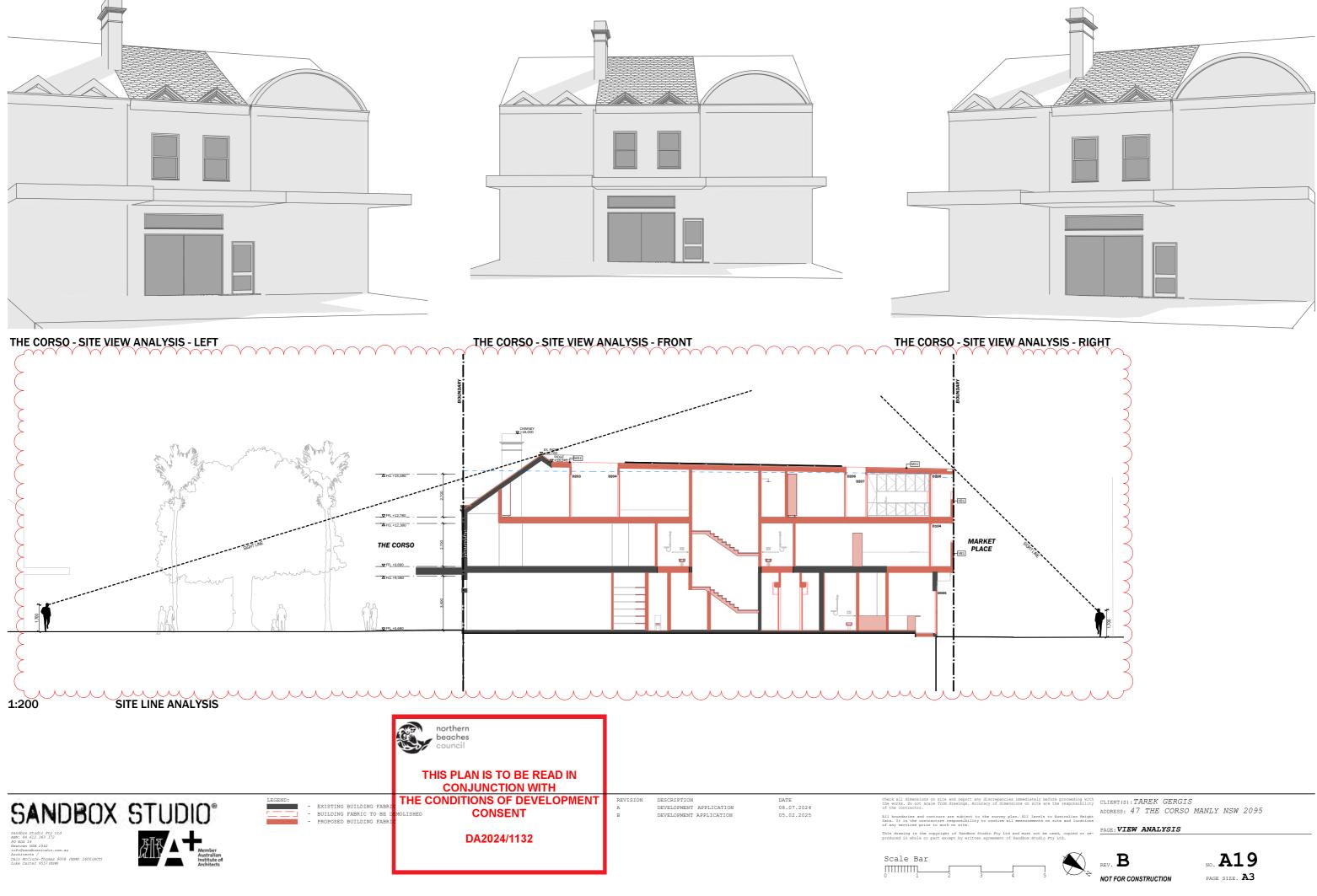
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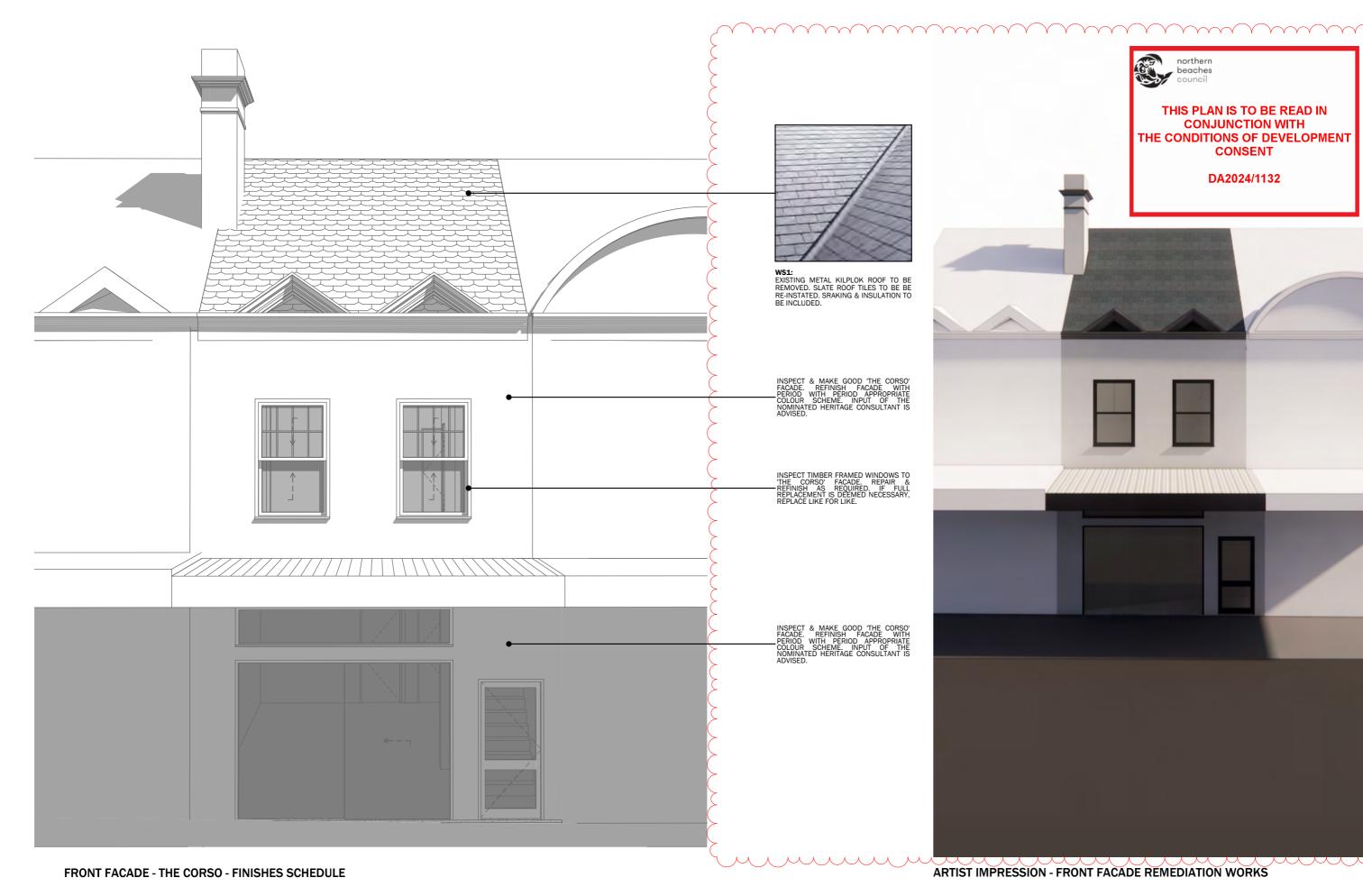


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#### **ARTIST IMPRESSION - FRONT FACADE REMEDIATION WORKS**

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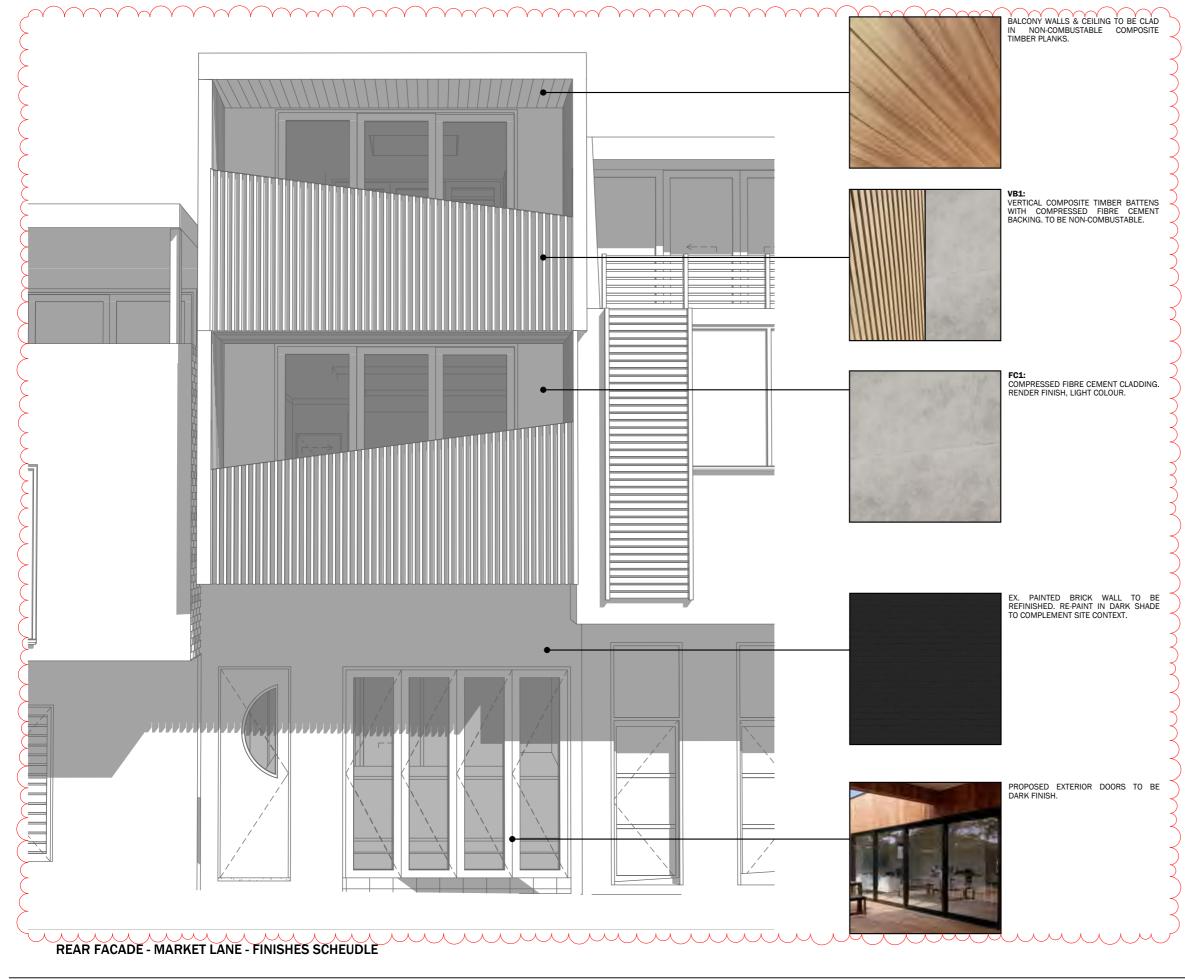
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LEGEND

EXISTING BUILDING FABRIC
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 PROPOSED BUILDING FABRIC

REVISION DESCRIPTION A DEVELOPMENT APPLICATION B DEVELOPMENT APPLICATION

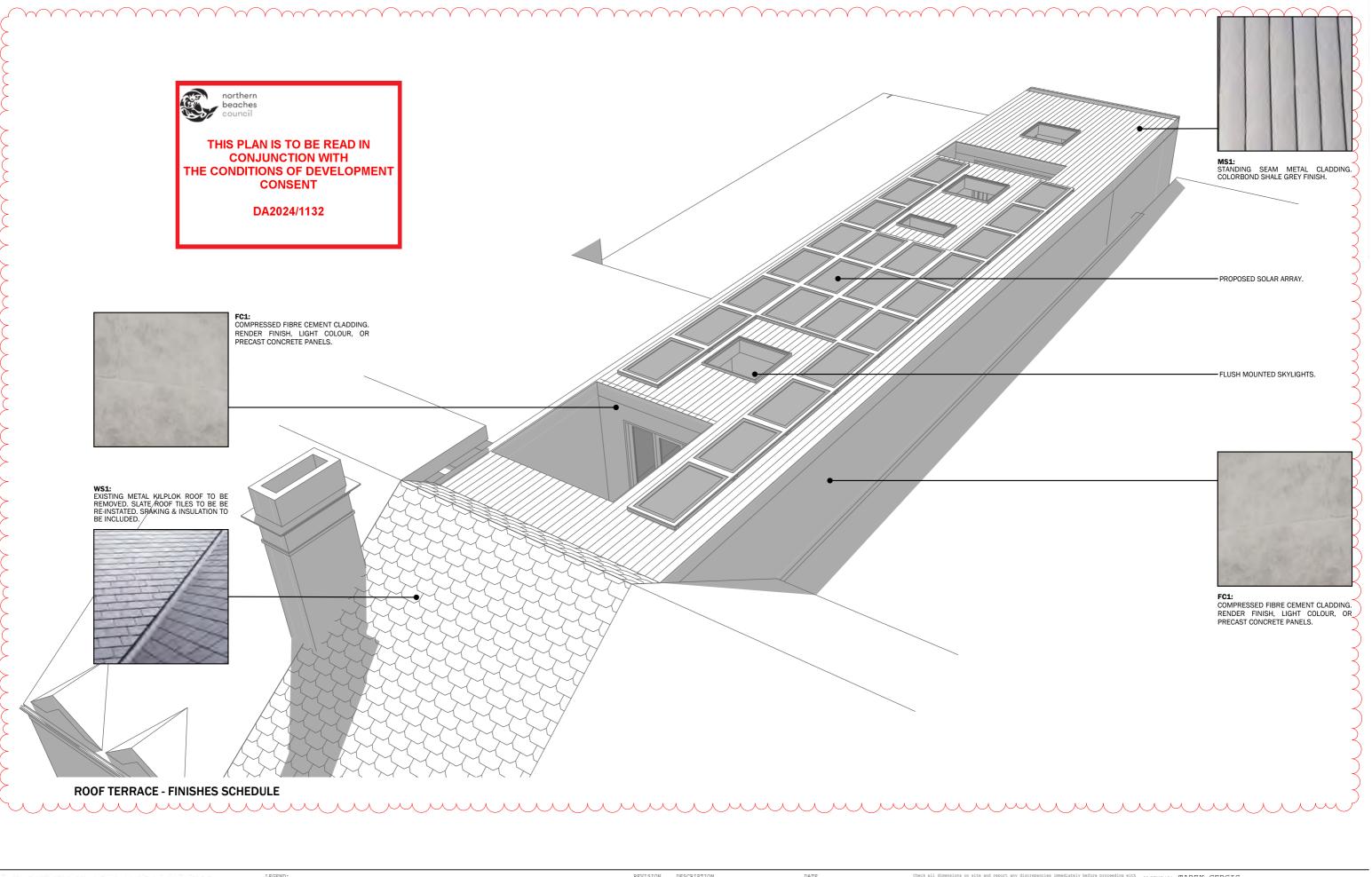
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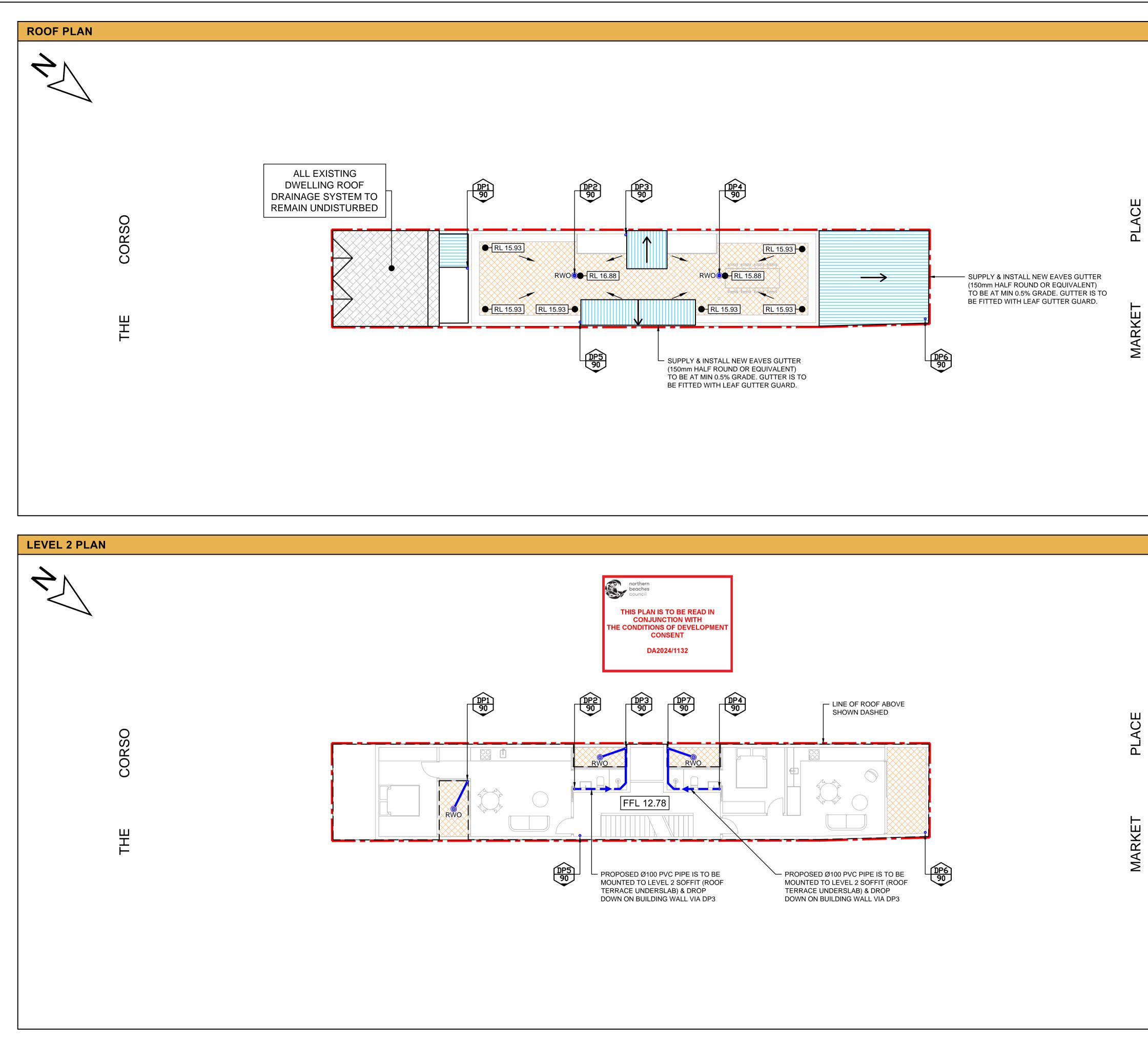
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MBR Consulting Engineers Pty Ltd 0424 711 117 nfo@mbrconsulting.com.au www.mbrconsulting.com.au PO Box 8288, Blacktown NSW 2148 ABN: 61 625 079 923	ALL RIGHTS RESERVEI TO MBR CONSULTING ENGINEERS PTY LTD, ACN 625 079 923. THIS DOCUMENT MUST NOT BE COPIED OR ALTERE WHOLLY OR IN PARTS WITHOUT WRITTEN PERMISSION FROM ME CONSULTING ENGINEERS PTY LTD.

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Date Design Check Architect Sandbox Studio Pty Ltd PO Box 16, Newtown NSW 2042 Phone: 0433 374 166 Email: info@sandboxstudio.com.au

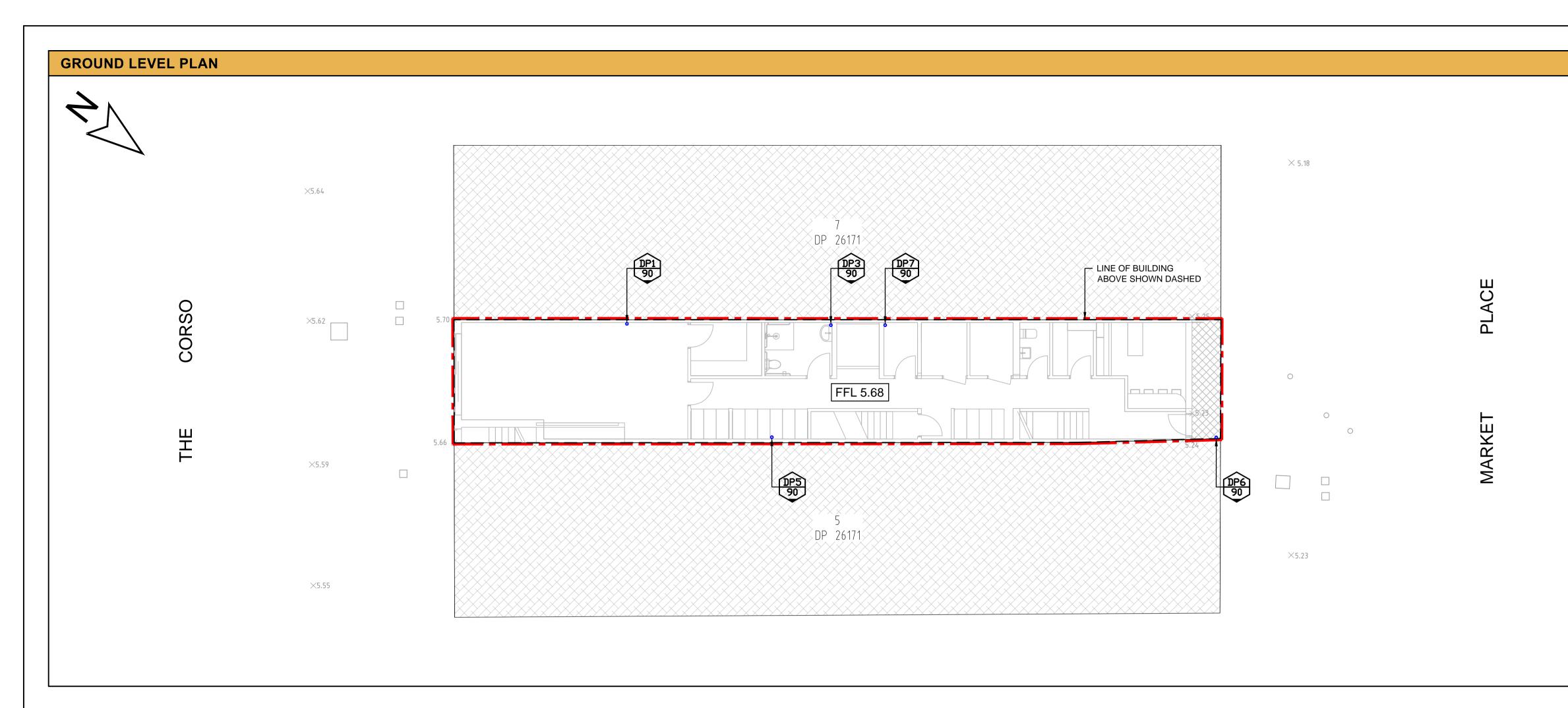


Client Mr. Tarek Gergis Scale @ A1 4 6 m 2 - 1 SCALE 1:100 @ A1

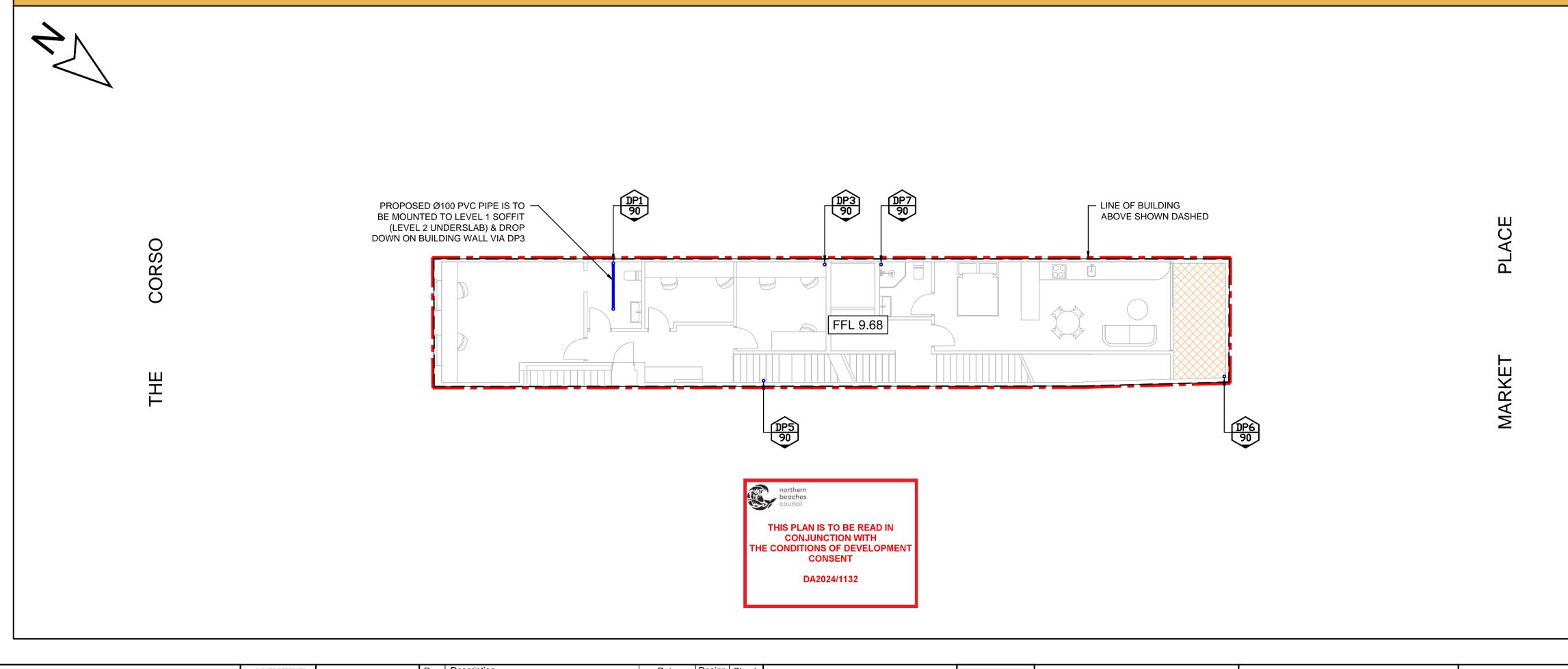
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RWO RAINWATER OUTLET     RWO RAINWATER OUTLET     PROPOSED GRATED / SEALED PIT     PROPOSED GRATED / SEALED /	$\rightarrow$	ROOF SLOPE
Image: Proposed grated / sealed pit         + 2645       EXISTING SURFACE LEVEL         DP1, DP3, DP5, DP6 & DP7 ARE TO BE CONNECTED WITH THE EXISTING DRAINAGE SYSTEM IN ACCORDANCE WITH AS3500 & COUNCIL'S REQUIREMENTS. CONTRACTOR TO GUARANTEE GOOD FUNCTIONALITY OF THE EXISTING DRAINAGE SYSTEM PRIOR TO CONSTRUCTION.         ANY       EXISTING COMPONENT OF THE STORMWATER SYSTEM THAT IS TO BE RETAINED MUST BE CHECKED & CERTIFIED BY A LICENSED PLUMBER TO BE IN GOOD CONDITION & OPERATING SATISFACTORILY. IF ANY COMPONENT OF THE EXISTING SYSTEM IS NOT IN GOOD CONDITION AND/OR NOT OPERATING SATISFACTORILY. IF ANY COMPONENT OF THE EXISTING SYSTEM IS NOT IN GOOD CONDITION AND/OR NOT OPERATING SATISFACTORILY AND/OR IMPACTED BY THE WORKS AND/OR LEGAL RIGHTS FOR DRAINAGE DO NOT EXIT, THE DRAINAGE SYSTEM MUST BE UPGRADED TO DISCHARGE LEGALLY BY GRAVITY TO THE KERB & GUTTER OF A PUBLIC ROAD.         NOT FOR CONSTRUCTION	• • DP1 100	GUTTER DOWNPIPE, NUMBER & SIZE
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WITH THE EXISTING DRAINAGE SYSTEM IN ACCORDANCE WITH AS3500 & COUNCIL'S REQUIREMENTS. CONTRACTOR TO GUARANTEE GOOD FUNCTIONALITY OF THE EXISTING DRAINAGE SYSTEM PRIOR TO CONSTRUCTION. ANY EXISTING COMPONENT OF THE STORMWATER SYSTEM THAT IS TO BE RETAINED MUST BE CHECKED & CERTIFIED BY A LICENSED PLUMBER TO BE IN GOOD CONDITION & OPERATING SATISFACTORILY. IF ANY COMPONENT OF THE EXISTING SYSTEM IS NOT IN GOOD CONDITION AND/OR NOT OPERATING SATISFACTORILY AND/OR IMPACTED BY THE WORKS AND/OR LEGAL RIGHTS FOR DRAINAGE DC NOT EXIT, THE DRAINAGE SYSTEM MUST BE UPGRADED TO DISCHARGE LEGALLY BY GRAVITY TO THE KERB & GUTTER OF A PUBLIC ROAD.	+ 26.45	EXISTING SURFACE LEVEL
NOT FOR CONSTRUCTION	WITH THE ACCORDANC REQUIREME GOOD FU DRAINAGE S ANY EXIS STORMWATH MUST BE CH PLUMBER OPERATING COMPONEN GOOD COM SATISFACTO WORKS AND NOT EXIT, UPGRADED	EXISTING DRAINAGE SYSTEM IN CE WITH AS3500 & COUNCIL'S NTS. CONTRACTOR TO GUARANTEE NCTIONALITY OF THE EXISTING YSTEM PRIOR TO CONSTRUCTION. STING COMPONENT OF THE ER SYSTEM THAT IS TO BE RETAINED HECKED & CERTIFIED BY A LICENSED TO BE IN GOOD CONDITION & SATISFACTORILY. IF ANY T OF THE EXISTING SYSTEM IS NOT IN NDITION AND/OR NOT OPERATING ORILY AND/OR IMPACTED BY THE O/OR LEGAL RIGHTS FOR DRAINAGE DO THE DRAINAGE SYSTEM MUST BE TO DISCHARGE LEGALLY BY GRAVITY

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LEVEL 1 PLAN





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chitect Sandbox Studio Pty Ltd PO Box 16, Newtown NSW 2042 Phone: 0433 374 166 Email: info@sandboxstudio.com.au



Client Mr. Tarek Gergis Scale @ A1 0 2 4 6 m \_\_\_\_\_\_ SCALE 1:100 @ A1

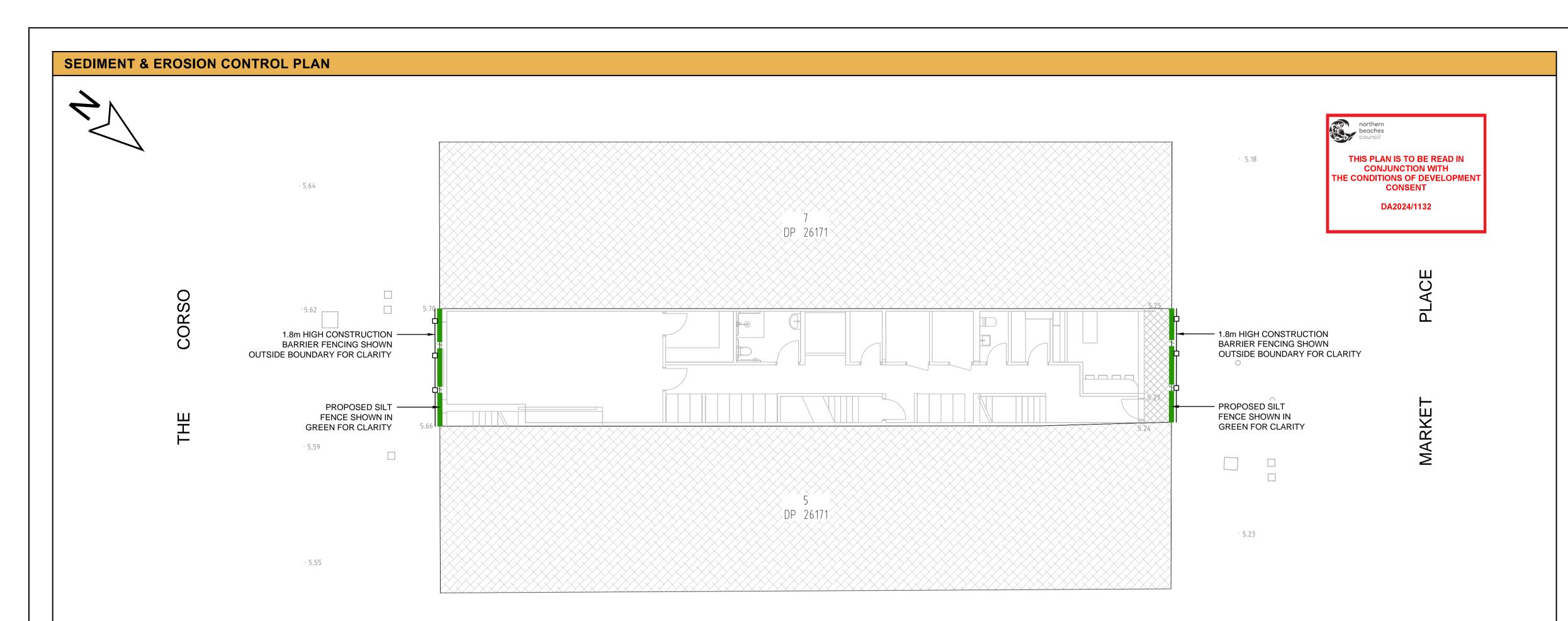
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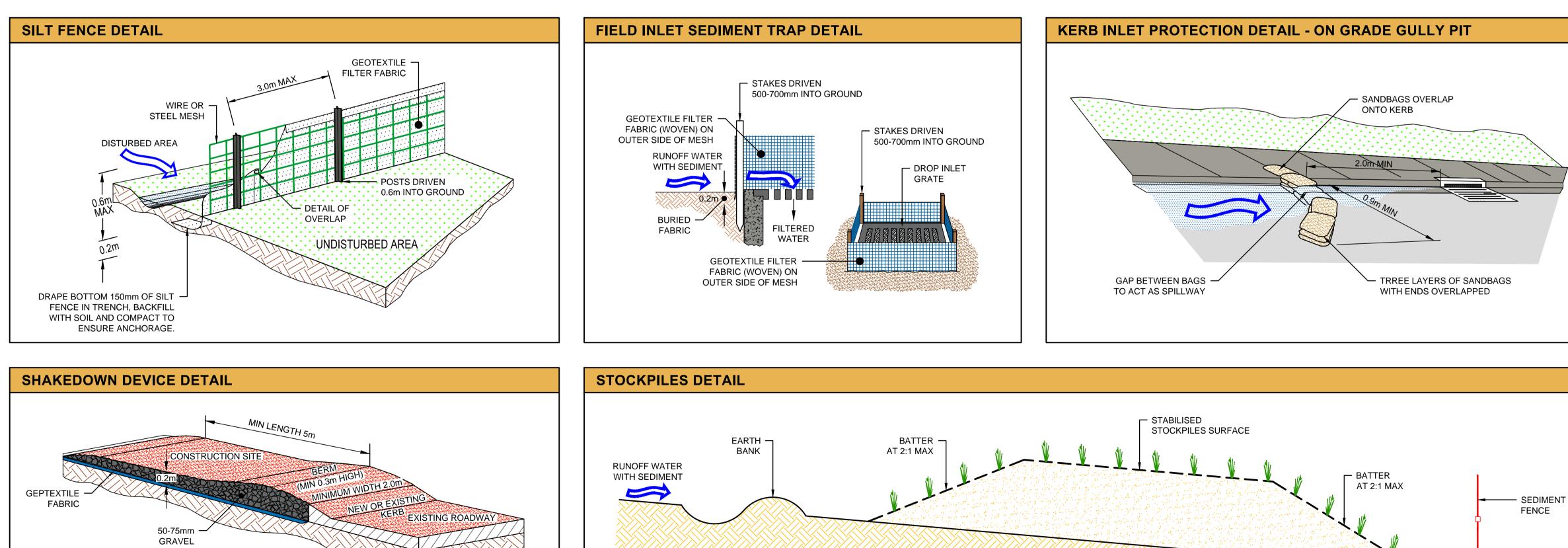
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3. CHARGED STO GUTTER TO AS	Ninfo@mbrconsulting.com.au TO KEEP ON OUR RECORDS. RMWATER TO BE A FULLY SEALED SYSTEM TO UNDER S3500 SECURELY FIXED TO BUILDING TO WITHSTAND HEAD WITHIN PIPE.	
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	PROPOSED PAVEMENT AREA	
	EXISTING DWELLING	
	PROPOSED GRAVITY STORMWATER PIPE	
$\rightarrow$	ROOF SLOPE	
* • <u>DP1</u> 100	GUTTER DOWNPIPE, NUMBER & SIZE	
RWO	RAINWATER OUTLET	
+	PROPOSED GRATED / SEALED PIT	
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STORMWATER CONCEPT PLAN GROUND & LEVEL 1

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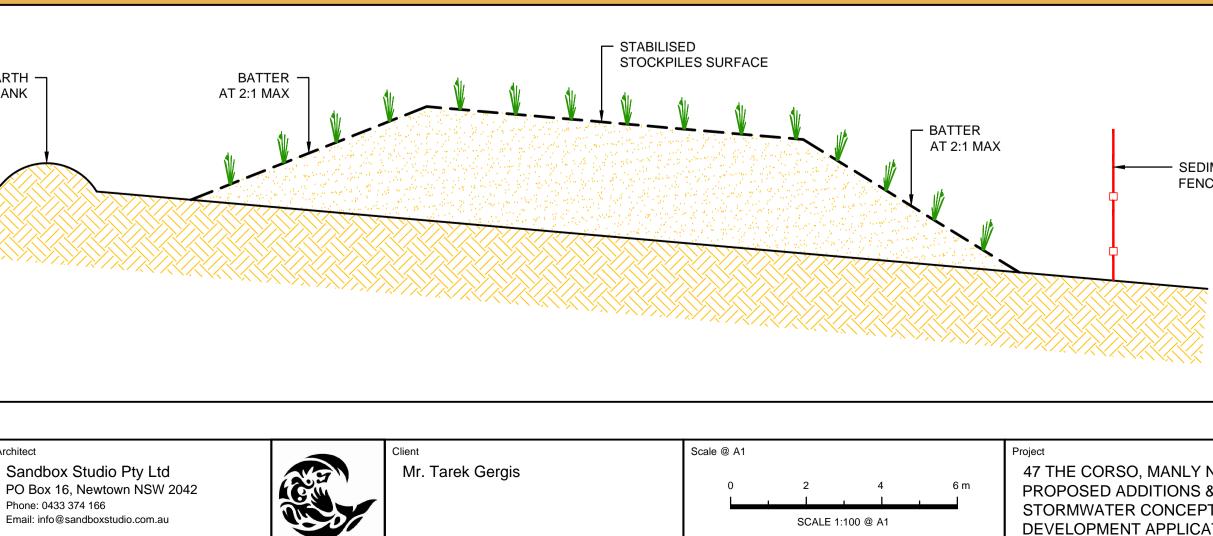




#### MAINTENANCE NOTES:

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND & REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.

		ALL RIGHTS RESERVED TO MBR CONSULTING	ALL PLANS MUST	Rev	Description	Date	Design	Check	Arch
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# DIAL BEFORE YOU DIG NOTE



THE CONTRACTOR MUST CONTACT ALL SERVICES & MAINTAIN A SET OF 'DIAL BEFORE YOU DIG' DRAWINGS ON SITE AT ALL TIMES.

### **CONSTRUCTION SEQUENCE**

- 1. INSTALL SEDIMENT FENCING & CUT DRAINS TO MEET THE REQUIREMENTS O THE SEDIMENT & EROSION CONTROL PLAN. WASTE COLLECTION BINS SHALL BE INSTALLED ADJACENT TO THE SITE OFFICE.
- 2. CONSTRUCT STABILISED SITE ACCESS IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.
- 3. REDIRECT CLEAN WATER AROUND THE CONSTRUCTION SITE.
- 4. INSTALL SEDIMENT CONTROL PROTECTION MEASURES AT ALL NATURAL & MAN-MADE DRAINAGE STRUCTURES. MAINTAIN UNTIL ALL THE DISTURBED AREAS ARE STABILISED.
- 5. CLEAR & STRIP THE WORK AREAS. MINIMISE THE DAMAGE TO THE GRASS & LOW GROUND COVER OF NON-DISTURBED AREAS.
- 6. ANY DISTURBED AREAS, OTHER THAN BUILDING PAD AREAS, SHALL IMMEDIATELY BE COVERED WITH SITE TOPSOIL WITHIN 7 DAYS OF CLEARING. BUILDING PAD AREAS SHALL BE COVERED WITH BITUMEN EMULSION AS SPECIFIED.
- 7. APPLY PERMANENT STABILISATION TO SITE (LANDSCAPING).

## **DUST CONTROL NOTES**

- 1. PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES & SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND FROM GENERATING DUST.
- 2. EARTHWORKS & SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
- 3. ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
- 4. THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE & SHOULD NOT BE WET ENOUGH TO PRODUCE RUN-OFF.
- 5. AT ALL TIMES, ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL BE COVERED TO PREVENT THE ESCAPE OF DUST.
- 6. ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXITING THE SITE USING MANUAL OR AUTOMATED SPRAYERS & DRIVE THROUGH WASHING BAYS.
- 7. GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS & SHALL BE FITTED WITH SHADE CLOTH.
- 8. CLEANING OF FOOTPATHS & ROADWAYS SHALL BE CARRIED OUT DAILY.
- 9. ALL SPOIL & MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE UPON COMPLETION OF WORKS.

### SILT FENCE NOTES

- 1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
- 2. POSTS SHOULD NOT BE SPACED MORE THAN 3.0m APART.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 150mm & FOLDED.
   FOR EXTRA STRENGTH TO SHIT FENCE WOVEN WIRE (11mm CALLOF 150mm
- 4. FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14mm GAUGE, 150mm MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH & POSTS BY WIRE TIES OR STAPLES.
- 5. INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, ESPECIALLY AFTER RAINFALL & EXCESSIVE SILT DEPOSITS REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.
- 6. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS & EMERGENCY SPILLWAYS AT SPACING NO GREATER THAN 40m ON FLAT TERRAIN DECREASING TO 20m SPACING ON STEEP TERRAIN.

### **STOCKPILE NOTES**

- 1. PLACE STOCKPILES MORE THAN 2.0m (PREFERABLY 5.0m) FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS & HAZARD AREAS.
- CONSTRUCT ON THE CONTOUR AS LOW, FLAT & ELONGATED MOUNDS.
   WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS
- THAN 2.0m IN HEIGHT.
- 4. WHERE THEY ARE TO BE PLACED FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED E.S.C.P. OR S.W.M.P. TO REDUCE THE C-FACTOR TO LESS THAN 0.1.
- 5. CONSTRUCT EARTH BANKS ON THE UPSTREAM SIDE TO DIVERT WATER AROUND STOCKPILES & SEDIMENT FENCES 1.0 TO 2.0m DOWNSTREAM.

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Drawing Title SEDIMENT & EROSION CONTROL PLAN & DETAILS

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