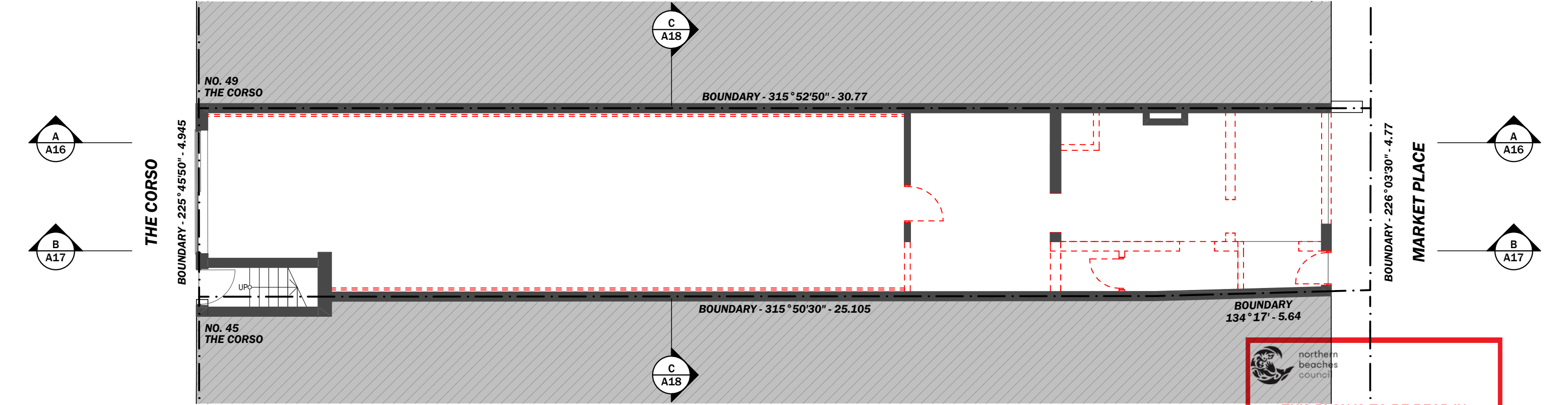



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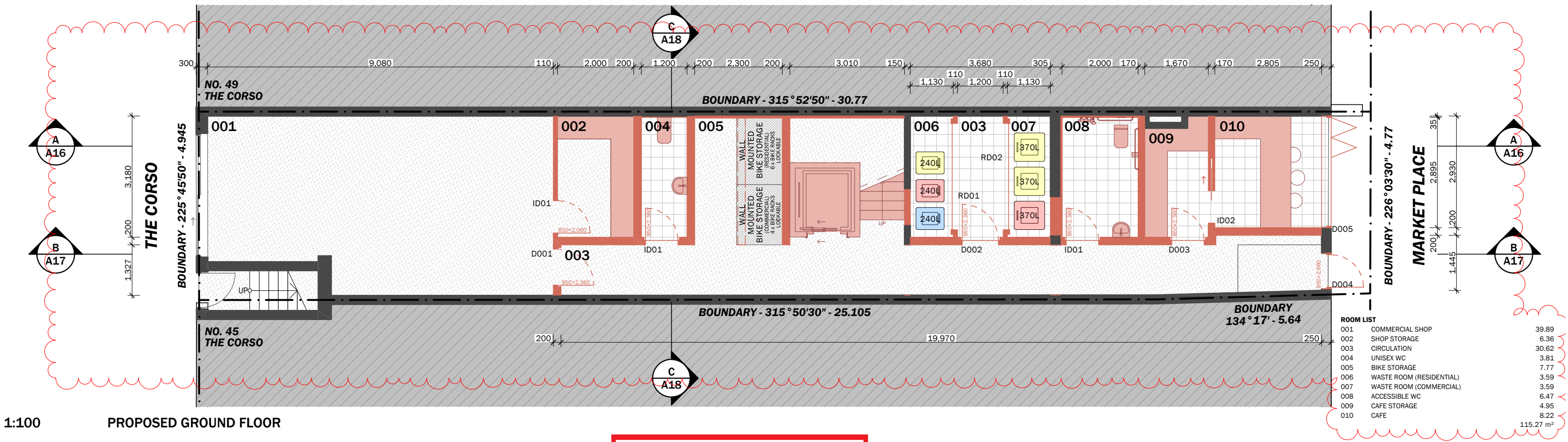
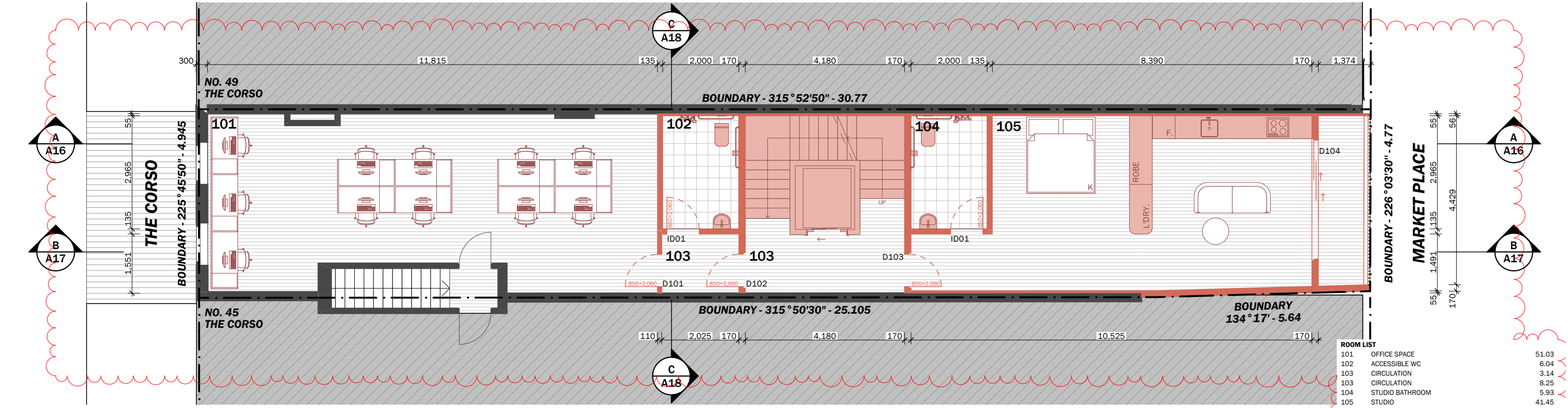


1:100 DEMO GROUND FLOOR

 **northern beaches council**

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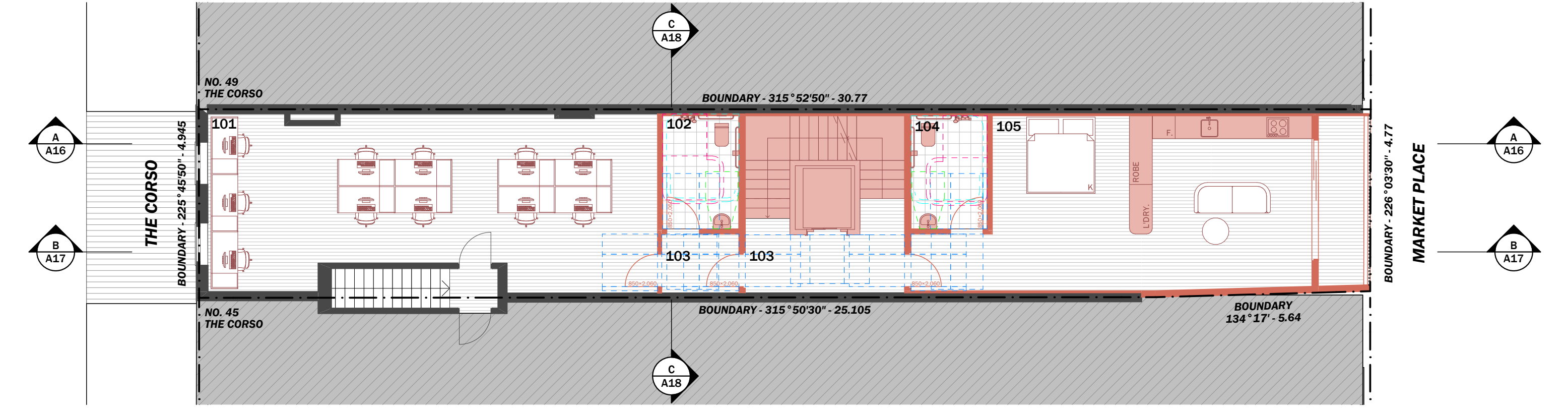
DA2024/1132



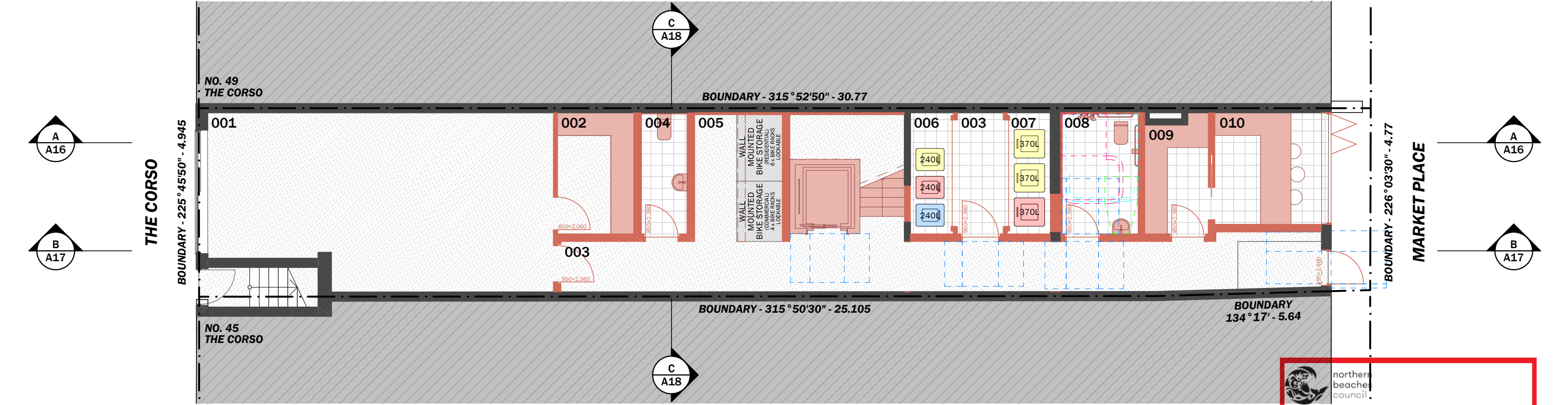
northern beaches council

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REVISION DESCRIPTION
DA2024/1132 DEVELOPMENT APPLICATION



1:100 ACCESSIBILITY FIRST FLOOR



1:100 ACCESSIBILITY GROUND FLOOR

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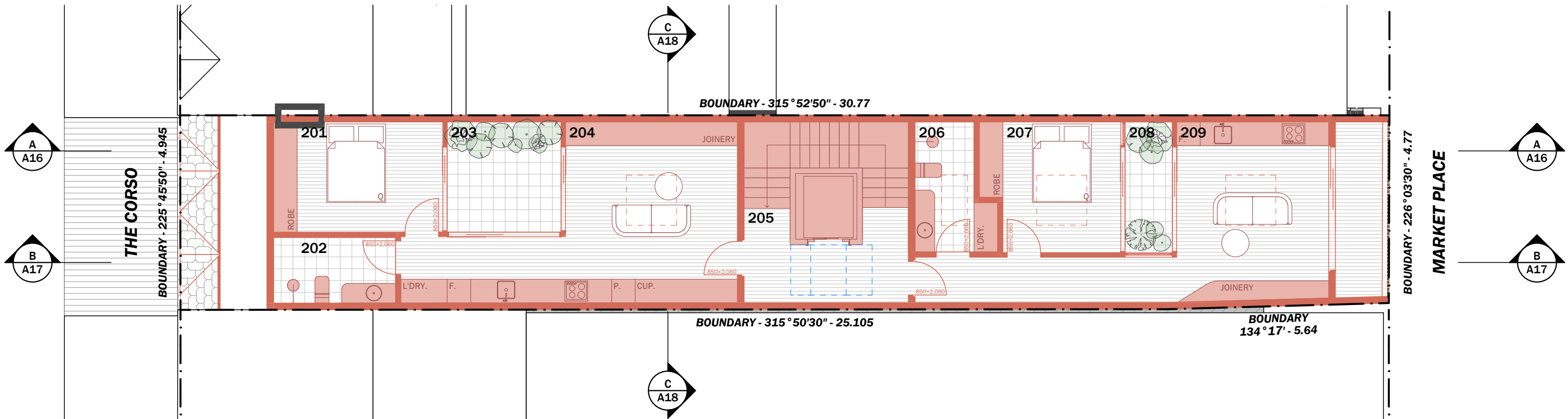
DA2024/1132



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1:100 ACCESSIBILITY SECOND FLOOR

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Luke Carter 9557 (NSW)



LEGEND:

- EXISTING BUILDING FABRIC
- BUILDING FABRIC TO BE DEMOLISHED
- PROPOSED BUILDING FABRIC

REVISION

REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	08.07.2024
B	DEVELOPMENT APPLICATION	05.02.2025

DATE

08.07.2024
05.02.2025

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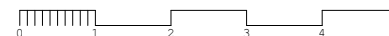
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ADDRESS: 47 THE CORSO MANLY NSW 2095

PAGE: ACCESSIBILITY PLANS

Scale Bar

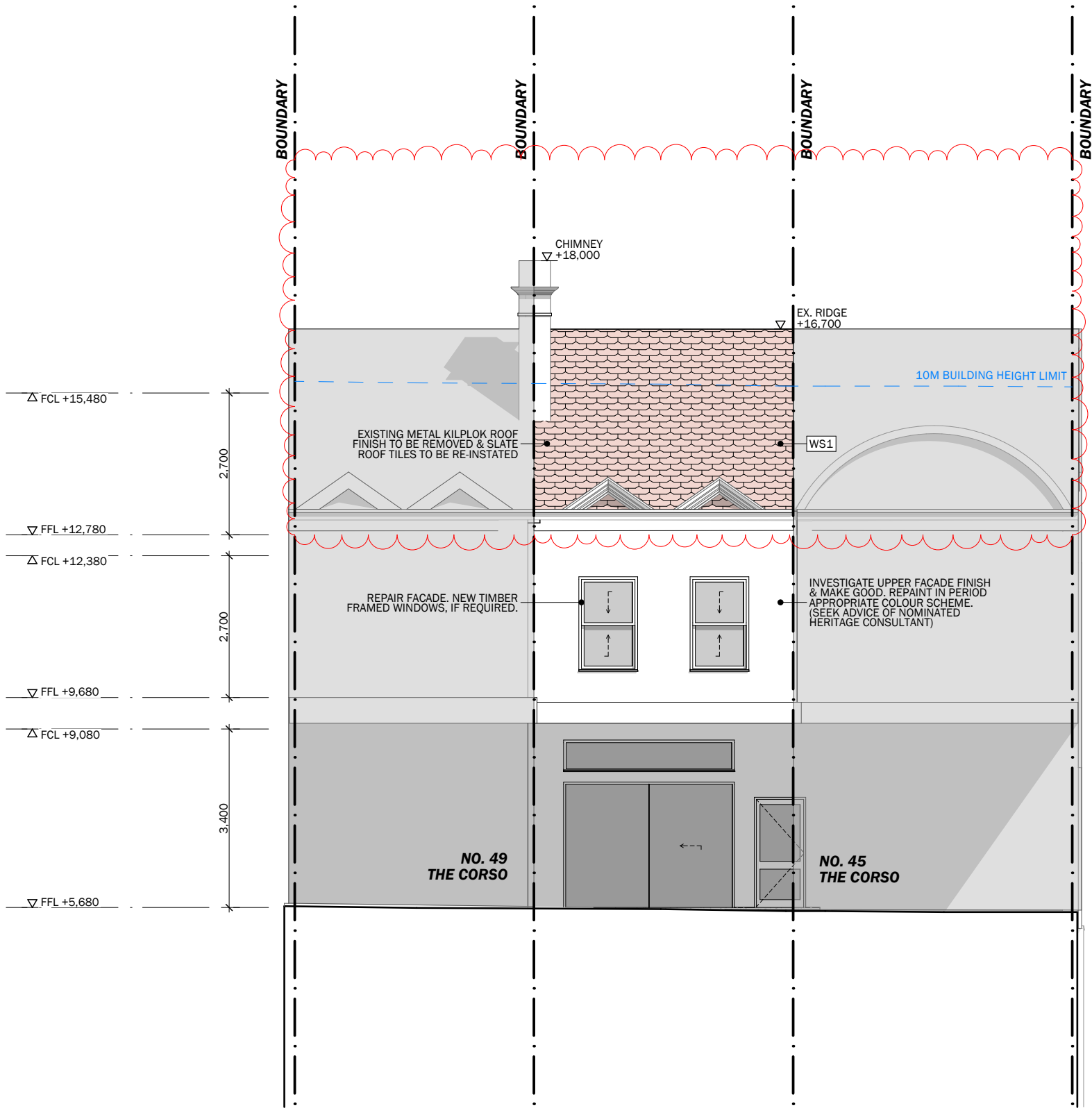


REV. **B**

NOT FOR CONSTRUCTION

NO. **A11**

PAGE SIZE. **A3**



1:100

SOUTH EAST ELEVATION



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REVISION	DESCRIPTION
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B	DEVELOPMENT APPLICATION

DATE
08.07.2024
05.02.2025

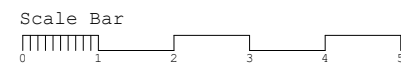
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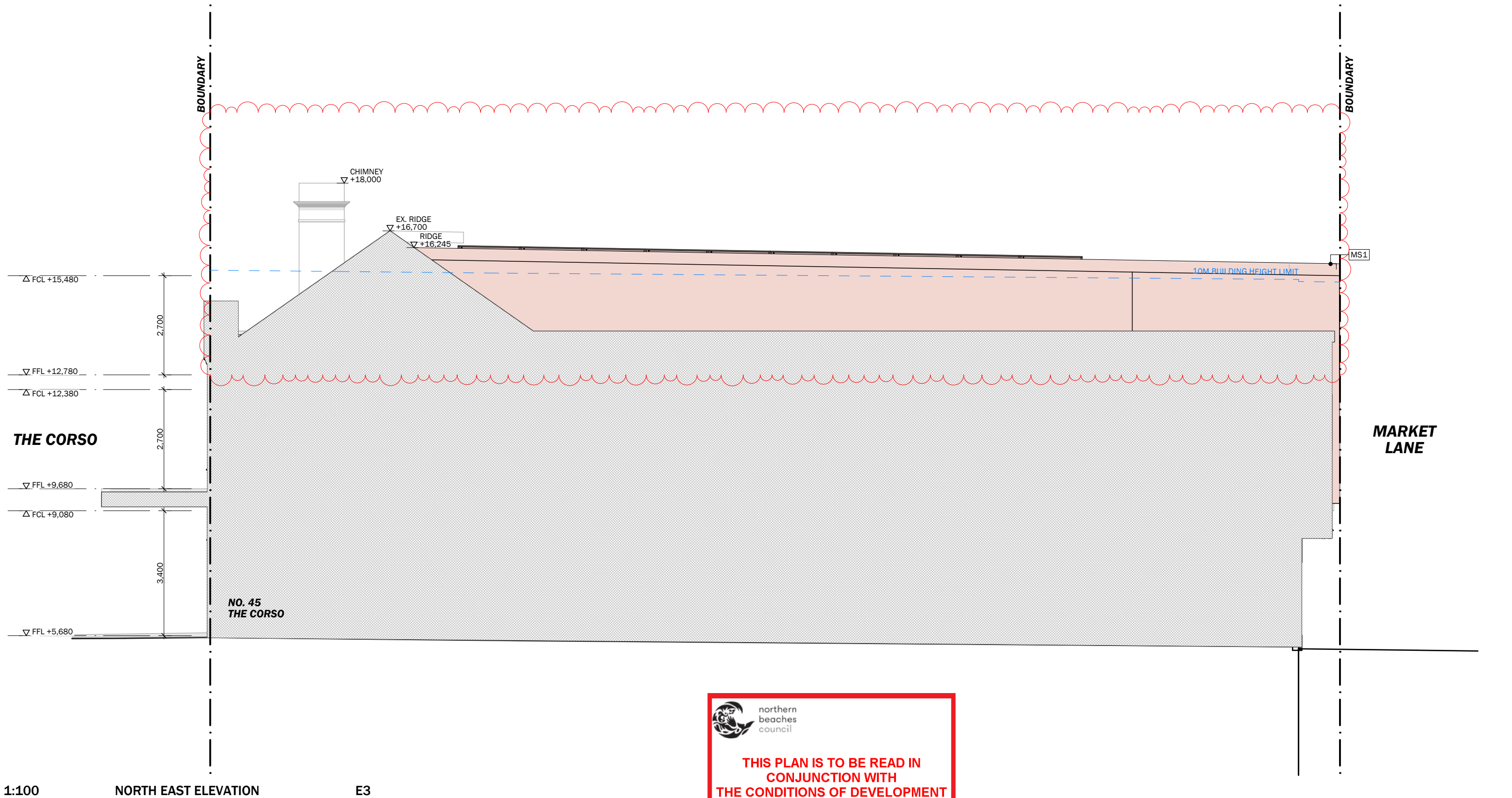
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ADDRESS: **47 THE CORSO MANLY NSW 2095**

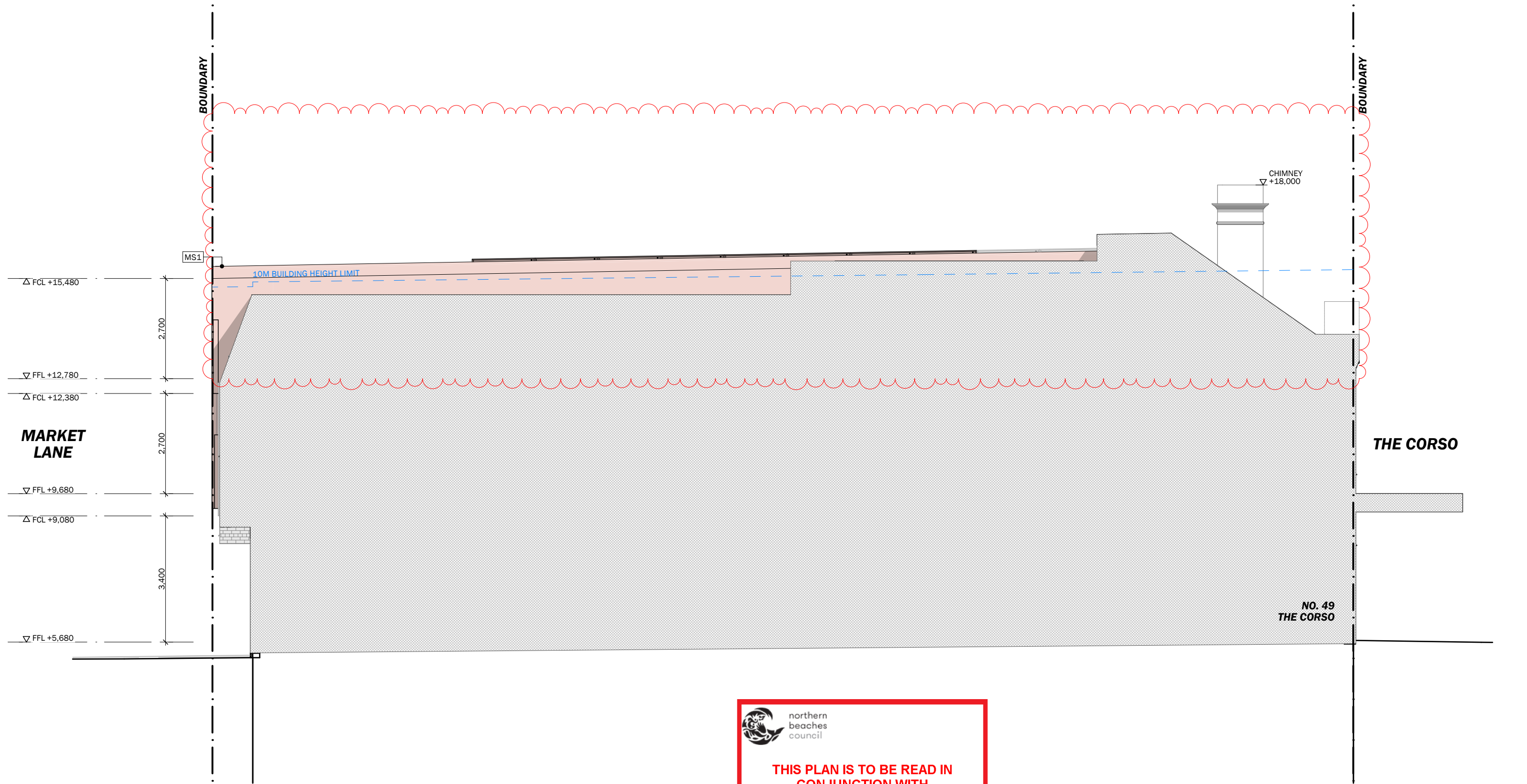
PAGE: **NORTH WEST ELEVATION**



REV. **B**
NOT FOR CONSTRUCTION

NO. **A13**
PAGE SIZE. **A3**





1:100 SOUTH WEST ELEVATION E4

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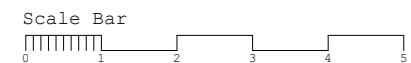
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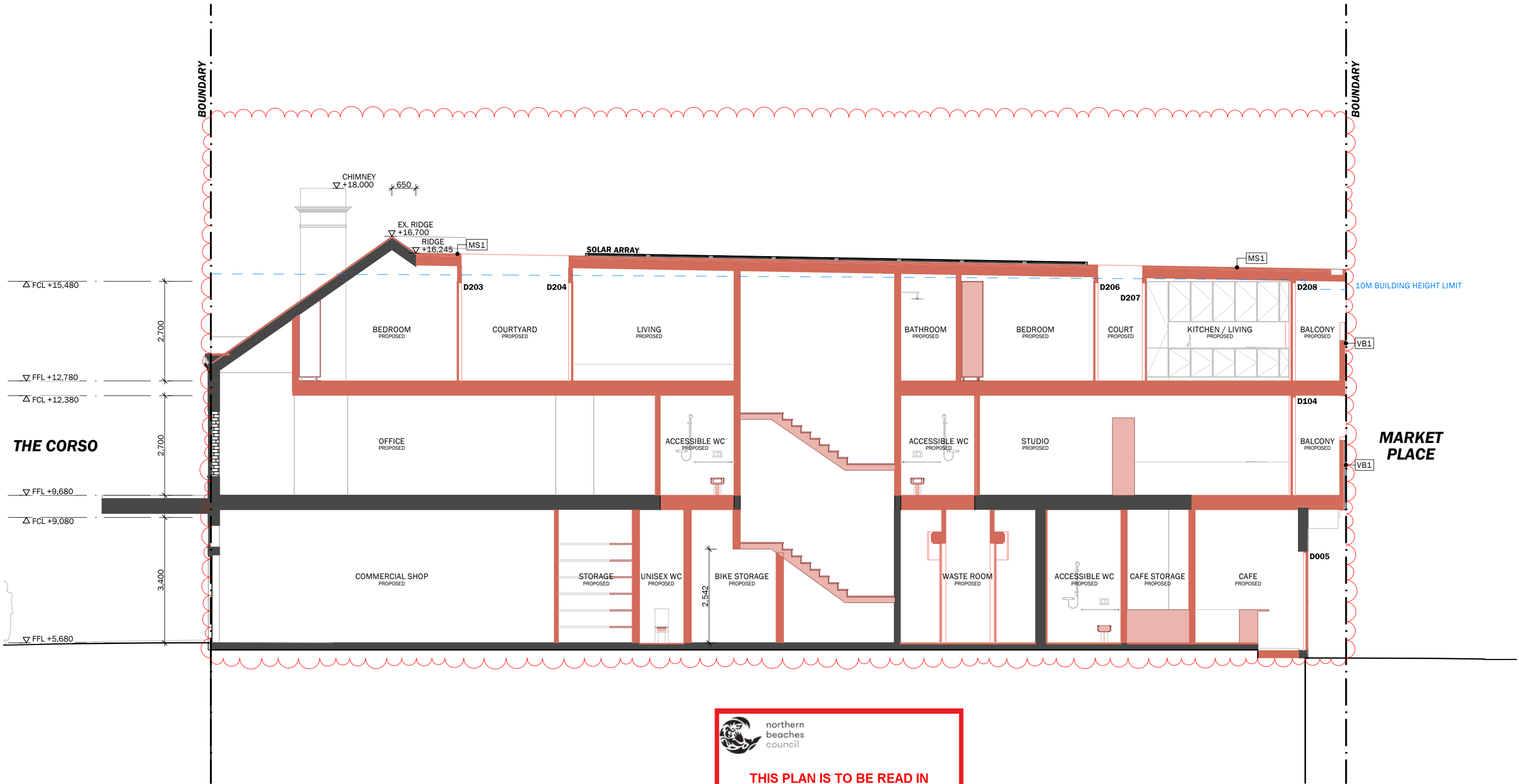
CLIENT(S): **TAREK GERGIS**
ADDRESS: **47 THE CORSO MANLY NSW 2095**

PAGE: **SOUTH WEST ELEVATION**



REV. **B**
NOT FOR CONSTRUCTION


NO. **A15**
PAGE SIZE. **A3**



1:100

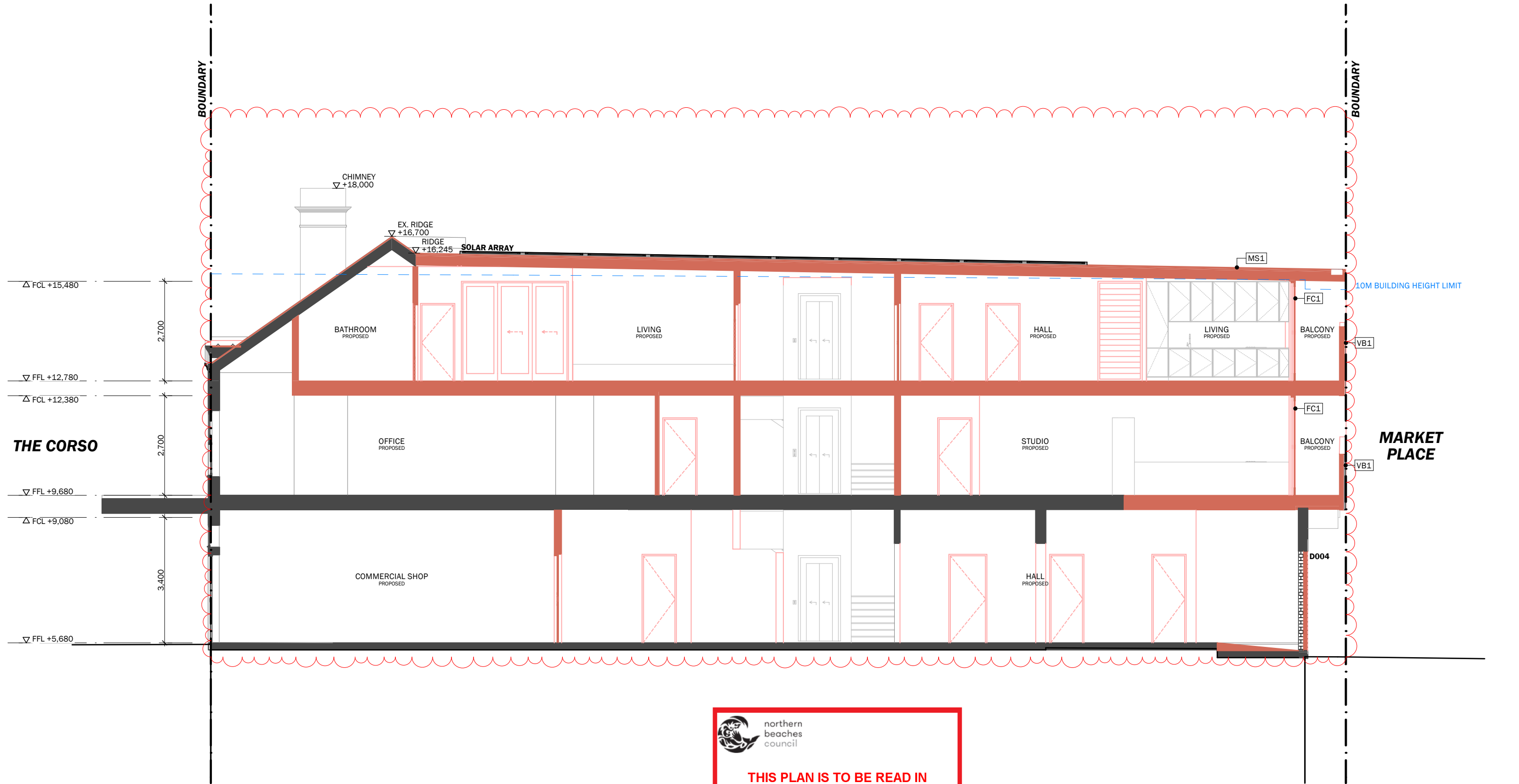
SECTION A

A

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council**

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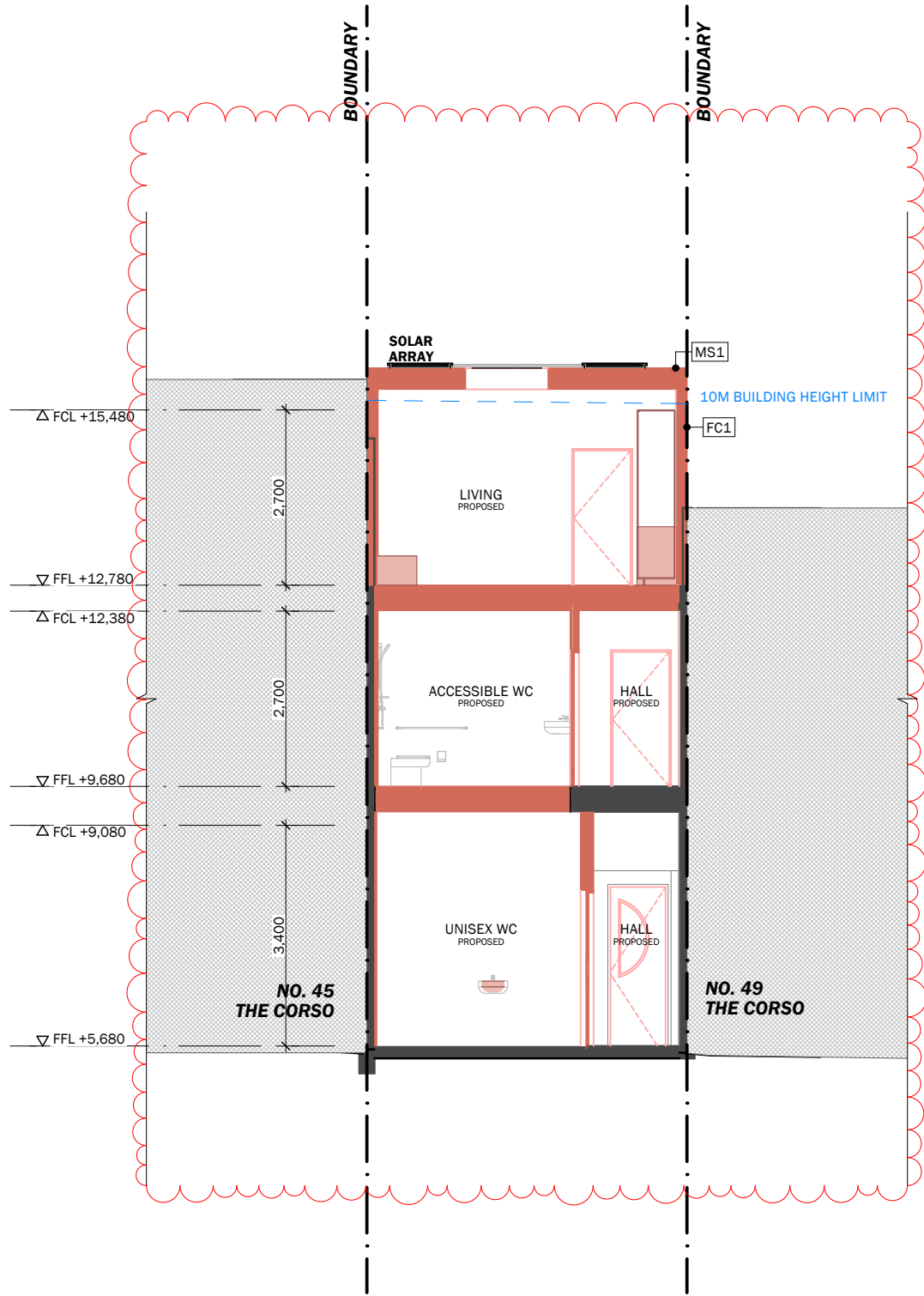
DA2024/1132



1:100

SECTION B

B



1:100

SECTION C

C



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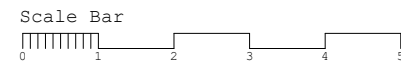
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PAGE: SECTION C-C



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NO. **A18**
PAGE SIZE. **A3**



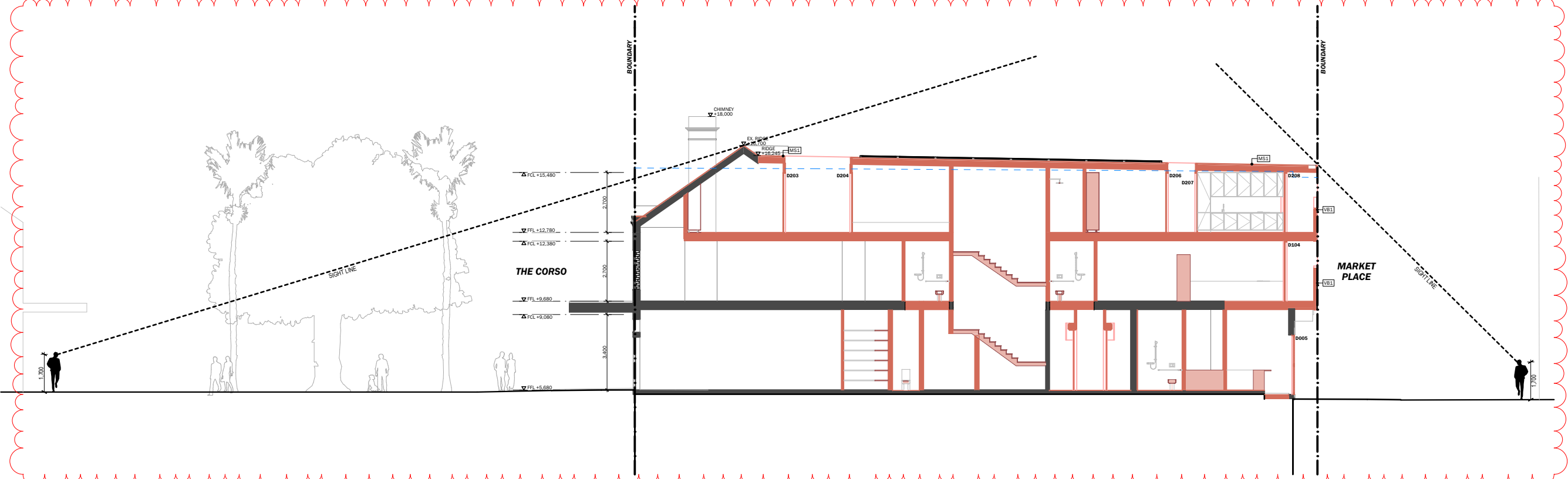
THE CORSO - SITE VIEW ANALYSIS - LEFT



THE CORSO - SITE VIEW ANALYSIS - FRONT



THE CORSO - SITE VIEW ANALYSIS - RIGHT



1:200 SITE LINE ANALYSIS

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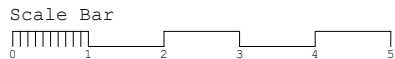


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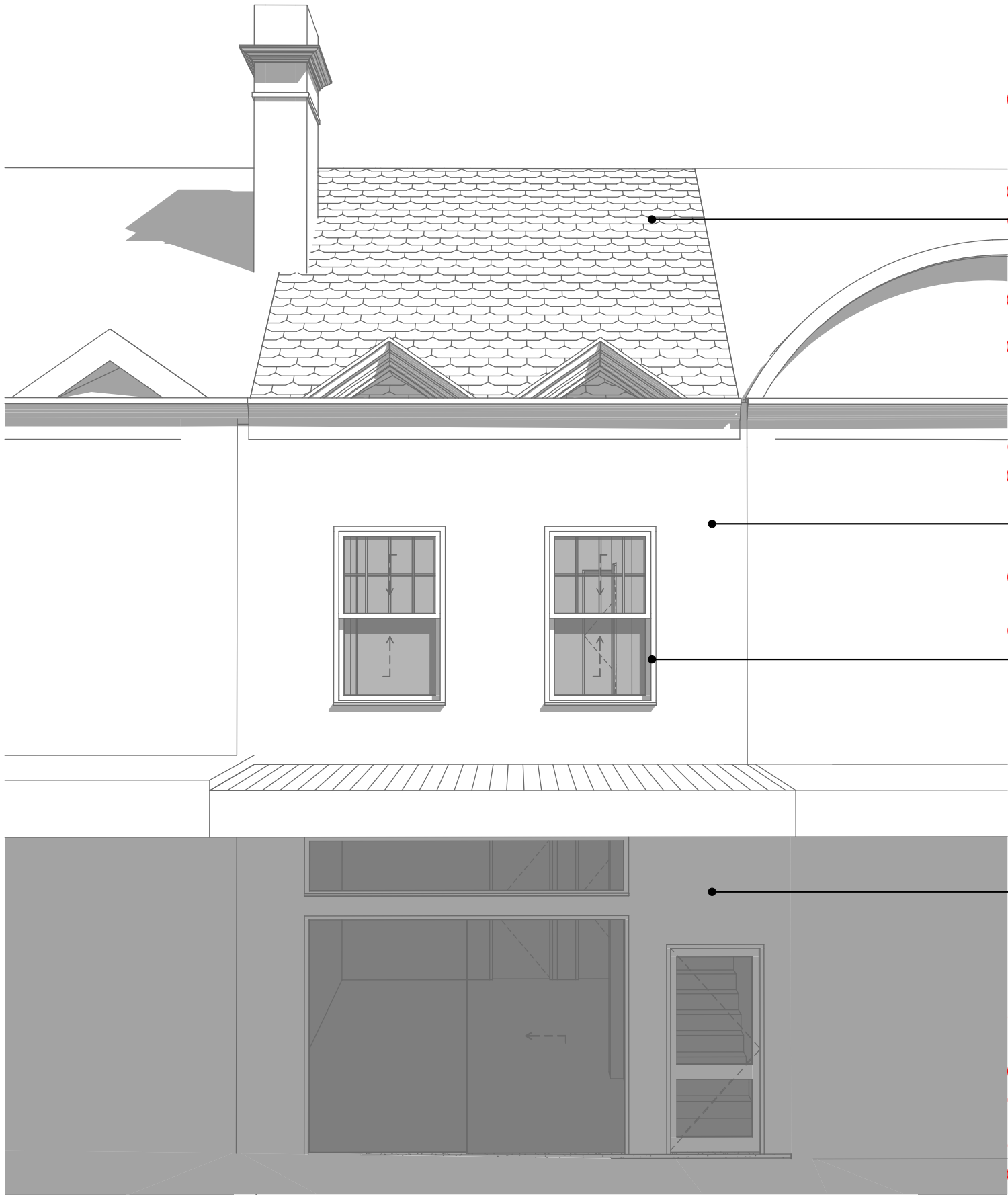


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PAGE: **VIEW ANALYSIS**

REV. **B**
NOT FOR CONSTRUCTION

NO. **A19**
PAGE SIZE. **A3**



FRONT FACADE - THE CORSO - FINISHES SCHEDULE



WS1:
EXISTING METAL KILPLOK ROOF TO BE REMOVED. SLATE ROOF TILES TO BE RE-INSTATED. SRAKING & INSULATION TO BE INCLUDED.

INSPECT & MAKE GOOD 'THE CORSO' FACADE. REFINISH FACADE WITH PERIOD WITH PERIOD APPROPRIATE COLOUR SCHEME. INPUT OF THE NOMINATED HERITAGE CONSULTANT IS ADVISED.

INSPECT TIMBER FRAMED WINDOWS TO 'THE CORSO' FACADE. REPAIR & REFINISH AS REQUIRED. IF FULL REPLACEMENT IS DEEMED NECESSARY, REPLACE LIKE FOR LIKE.

INSPECT & MAKE GOOD 'THE CORSO' FACADE. REFINISH FACADE WITH PERIOD WITH PERIOD APPROPRIATE COLOUR SCHEME. INPUT OF THE NOMINATED HERITAGE CONSULTANT IS ADVISED.



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ARTIST IMPRESSION - FRONT FACADE REMEDIATION WORKS

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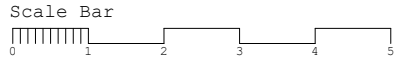
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PAGE: **FINISHES SCHEDULE**



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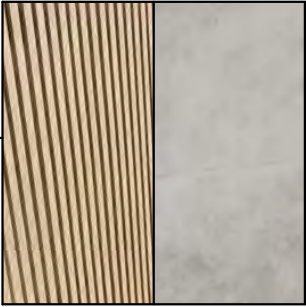
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PAGE SIZE. **A3**



BALCONY WALLS & CEILING TO BE CLAD IN NON-COMBUSTABLE COMPOSITE TIMBER PLANKS.



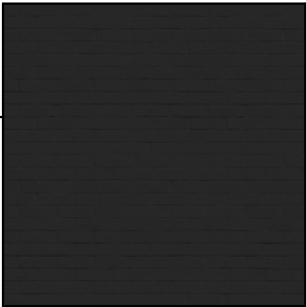
VB1:
VERTICAL COMPOSITE TIMBER BATTENS WITH COMPRESSED FIBRE CEMENT BACKING. TO BE NON-COMBUSTABLE.



FC1:
COMPRESSED FIBRE CEMENT CLADDING. RENDER FINISH, LIGHT COLOUR.



EX. PAINTED BRICK WALL TO BE REFINISHED. RE-PAINT IN DARK SHADE TO COMPLEMENT SITE CONTEXT.



PROPOSED EXTERIOR DOORS TO BE DARK FINISH.



REAR FACADE - MARKET LANE - FINISHES SCHEUDLE

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MS1:
STANDING SEAM METAL CLADDING.
COLORBOND SHALE GREY FINISH.

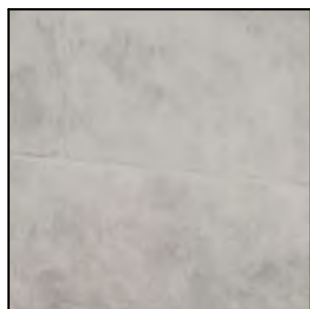
PROPOSED SOLAR ARRAY.

FLUSH MOUNTED SKYLIGHTS.



FC1:
COMPRESSED FIBRE CEMENT CLADDING.
RENDER FINISH, LIGHT COLOUR, OR
PRECAST CONCRETE PANELS.

FC1:
COMPRESSED FIBRE CEMENT CLADDING.
RENDER FINISH, LIGHT COLOUR, OR
PRECAST CONCRETE PANELS.



WS1:
EXISTING METAL KILPLOK ROOF TO BE
REMOVED. SLATE/ROOF TILES TO BE
RE-INSTATED. BRAKING & INSULATION
TO BE INCLUDED.



ROOF TERRACE - FINISHES SCHEDULE

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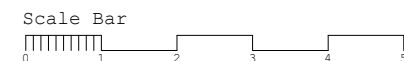
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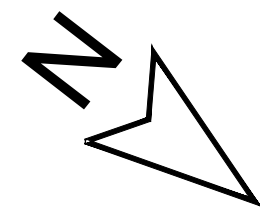
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REV. **B**
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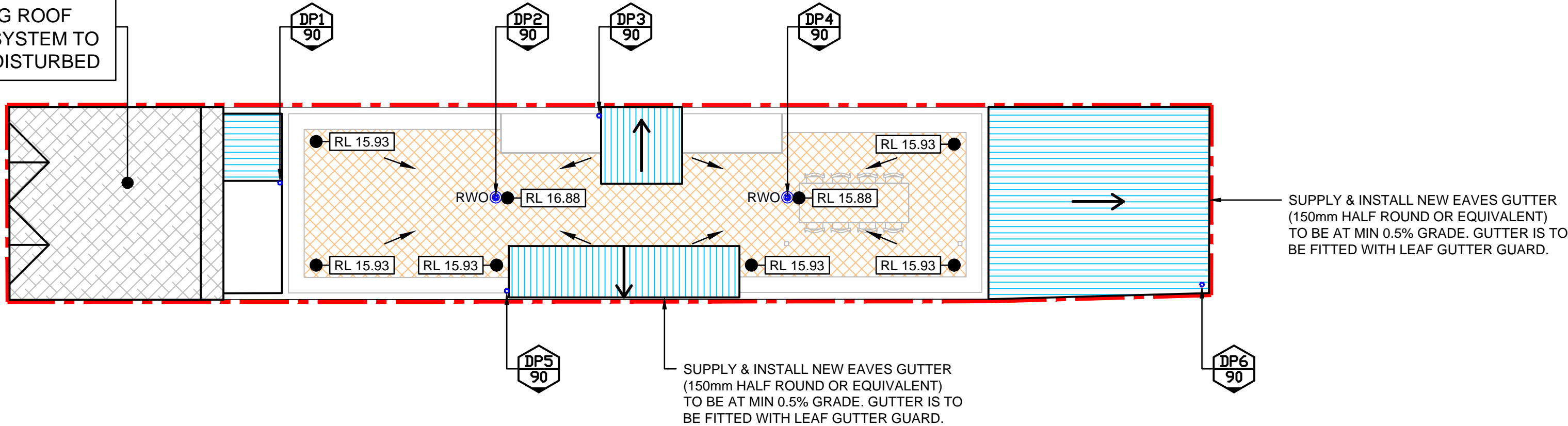
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PAGE SIZE. **A3**

ROOF PLAN



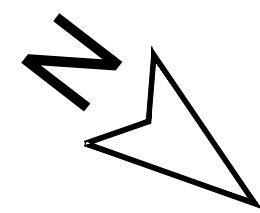
THE CORSO

ALL EXISTING DWELLING ROOF DRAINAGE SYSTEM TO REMAIN UNDISTURBED



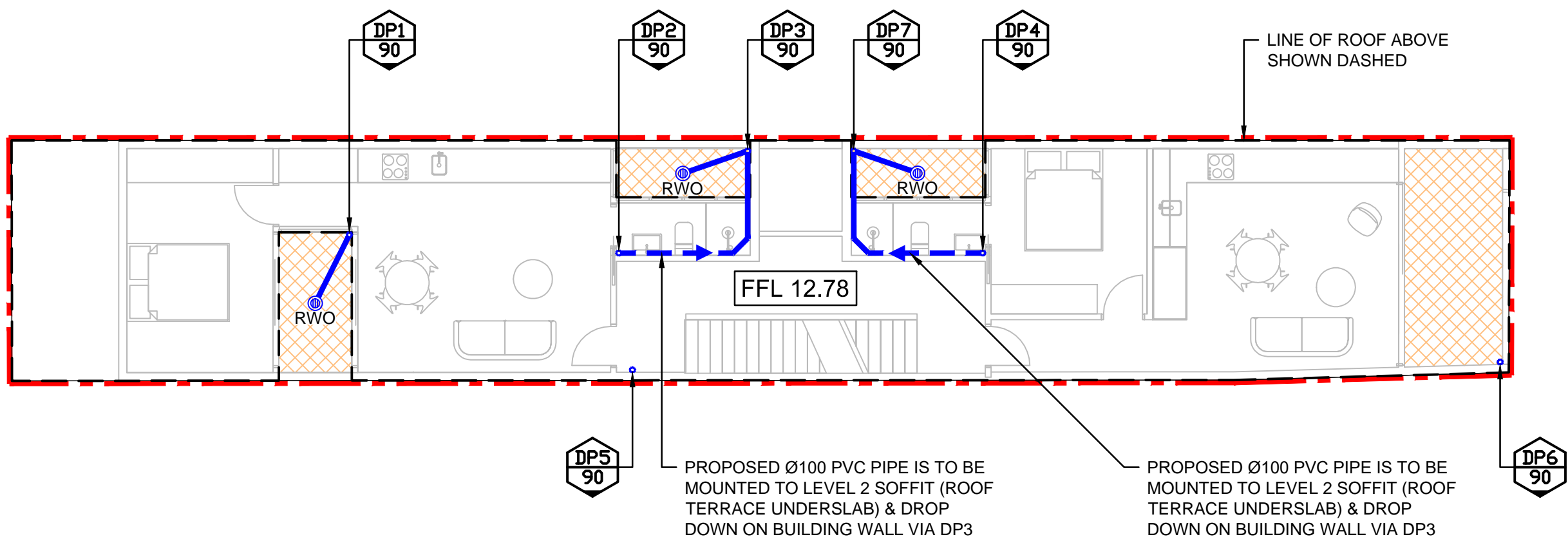
PLACE
MARKET

LEVEL 2 PLAN



THE CORSO

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DA2024/1132



PLACE
MARKET

DIAL BEFORE YOU DIG NOTE



THE CONTRACTOR MUST CONTACT ALL SERVICES & MAINTAIN A SET OF 'DIAL BEFORE YOU DIG' DRAWINGS ON SITE AT ALL TIMES.

PLUMBER & BUILDER NOTES

- ALL STORMWATER DRAINAGE WORKS TO BE CONSTRUCTED BY A LICENSED PLUMBER / DRAINER IN ACCORDANCE WITH AS3500, BASIX REPORT & NCC.
- LICENSED PLUMBER / DRAINER MUST PROVIDE WRITTEN CERTIFICATION THAT ALL MATERIALS & WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH AS3500, NCC, BASIX & THIS DESIGN. A COPY OF THIS CERTIFICATE MUST BE SENT TO US ON info@mbrconsulting.com.au TO KEEP ON OUR RECORDS.
- CHARGED STORMWATER TO BE A FULLY SEALED SYSTEM TO UNDER SIDE OF GUTTER TO AS3500 SECURELY FIXED TO BUILDING TO WITHSTAND MINIMUM 2.0m CHARGED HEAD WITHIN PIPE.
- UNDER ANY CIRCUMSTANCES, THE PLUMBER OR BUILDER MUST NOT AMEND THE DESIGN OR INTERFERE WITH THE DESIGN INTENT WITHOUT WRITTEN APPROVAL FROM OUR OFFICE. ANY AMENDMENTS WITHOUT OUR APPROVAL WOULD RESULT IN ADDITIONAL FEES FOR REDESIGN AT OC STAGE, OR IF A SOLUTION CANNOT BE FOUND, RECONSTRUCTION IS REQUIRED UNDER THE CONTRACTOR'S EXPENSES.

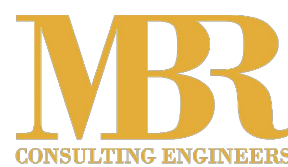
LEGEND

- LOT BOUNDARY SHOWN IN RED & OUTSIDE FOR CLARITY
- PROPOSED GRASS AREA
- PROPOSED ROOF AREA
- PROPOSED PAVEMENT AREA
- EXISTING DWELLING
- PROPOSED GRAVITY STORMWATER PIPE
- ROOF SLOPE
- GUTTER DOWNPIPE, NUMBER & SIZE
- RAINWATER OUTLET
- PROPOSED GRATED / SEALED PIT
- EXISTING SURFACE LEVEL

DP1, DP3, DP5, DP6 & DP7 ARE TO BE CONNECTED WITH THE EXISTING DRAINAGE SYSTEM IN ACCORDANCE WITH AS3500 & COUNCIL'S REQUIREMENTS. CONTRACTOR TO GUARANTEE GOOD FUNCTIONALITY OF THE EXISTING DRAINAGE SYSTEM PRIOR TO CONSTRUCTION.

ANY EXISTING COMPONENT OF THE STORMWATER SYSTEM THAT IS TO BE RETAINED MUST BE CHECKED & CERTIFIED BY A LICENSED PLUMBER TO BE IN GOOD CONDITION & OPERATING SATISFACTORILY. IF ANY COMPONENT OF THE EXISTING SYSTEM IS NOT IN GOOD CONDITION AND/OR NOT OPERATING SATISFACTORILY AND/OR IMPACTED BY THE WORKS AND/OR LEGAL RIGHTS FOR DRAINAGE DO NOT EXIT, THE DRAINAGE SYSTEM MUST BE UPGRADED TO DISCHARGE LEGALLY BY GRAVITY TO THE KERB & GUTTER OF A PUBLIC ROAD.

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COUNCIL APPROVAL ONLY



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info@mbrconsulting.com.au
www.mbrconsulting.com.au
PO Box 8288, Blacktown NSW 2148
ABN: 61 625 079 923

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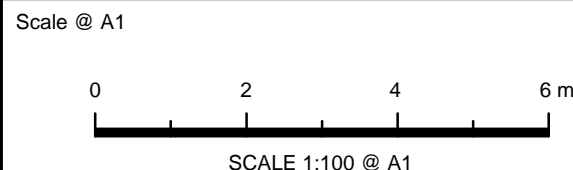
ALL PLANS MUST BE PRINTED IN COLOUR & READ PRIOR TO CONSTRUCTION

Rev	Description	Date	Design	Check
A	ISSUE FOR DEVELOPMENT APPLICATION	19/02/2024	MBR	MBR

Architect
Sandbox Studio Pty Ltd
PO Box 16, Newtown NSW 2042
Phone: 0433 374 166
Email: info@sandboxstudio.com.au



Client
Mr. Tarek Gergis

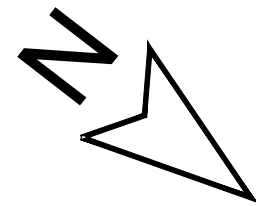


Project
47 THE CORSO, MANLY NSW 2095
PROPOSED ADDITIONS & ALTERATIONS
STORMWATER CONCEPT PLAN
DEVELOPMENT APPLICATION

Drawing Title
STORMWATER CONCEPT PLAN
ROOF & LEVEL 2

Project No.
23160
Dwg. No.
101
Rev
A

GROUND LEVEL PLAN



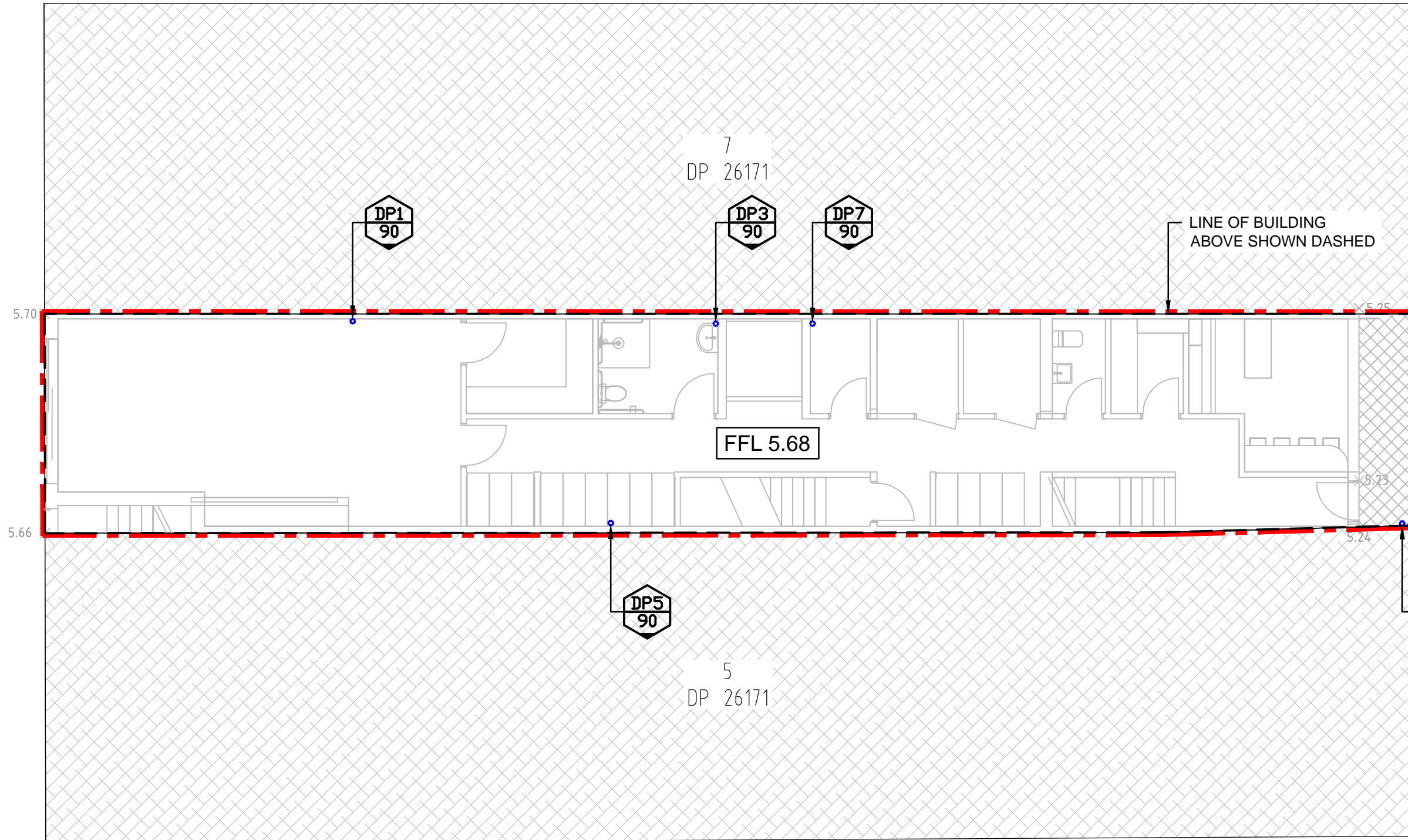
THE CORSO

×5.64

×5.62

×5.59

×5.55



× 5.18

PLACE

MARKET

DIAL BEFORE YOU DIG NOTE



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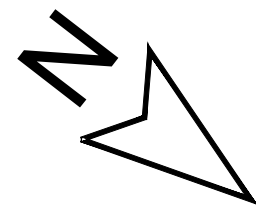
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- LICENSED PLUMBER / DRAINER MUST PROVIDE WRITTEN CERTIFICATION THAT ALL MATERIALS & WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH AS3500, NCC, BASIX & THIS DESIGN. A COPY OF THIS CERTIFICATE MUST BE SENT TO US ON info@mbrcconsulting.com.au TO KEEP ON OUR RECORDS.
- CHARGED STORMWATER TO BE A FULLY SEALED SYSTEM TO UNDER SIDE OF GUTTER TO AS3500 SECURELY FIXED TO BUILDING TO WITHSTAND MINIMUM 2.0m CHARGED HEAD WITHIN PIPE.
- UNDER ANY CIRCUMSTANCES, THE PLUMBER OR BUILDER MUST NOT AMEND THE DESIGN OR INTERFERE WITH THE DESIGN INTENT WITHOUT WRITTEN APPROVAL FROM OUR OFFICE. ANY AMENDMENTS WITHOUT OUR APPROVAL WOULD RESULT IN ADDITIONAL FEES FOR REDESIGN AT OC STAGE, OR IF A SOLUTION CANNOT BE FOUND, RECONSTRUCTION IS REQUIRED UNDER THE CONTRACTOR'S EXPENSES.

LEGEND

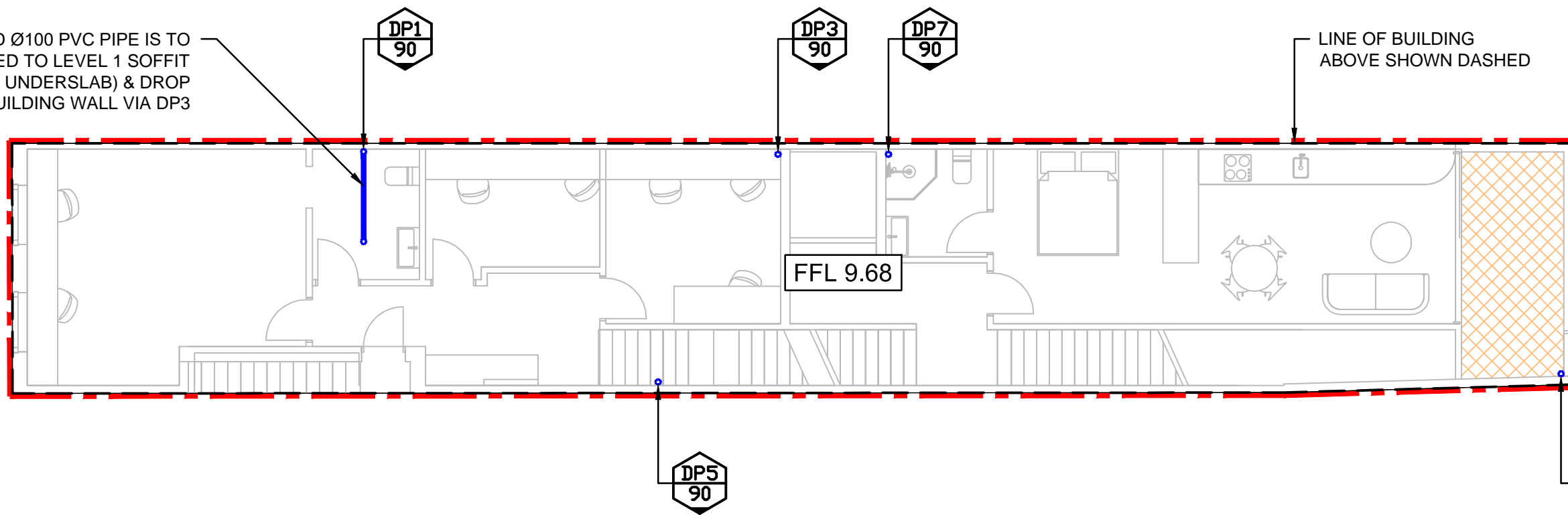
- LOT BOUNDARY SHOWN IN RED & OUTSIDE FOR CLARITY
- PROPOSED GRASS AREA
- PROPOSED ROOF AREA
- PROPOSED PAVEMENT AREA
- EXISTING DWELLING
- PROPOSED GRAVITY STORMWATER PIPE
- ROOF SLOPE
- GUTTER DOWNPIPE, NUMBER & SIZE
- RAINWATER OUTLET
- PROPOSED GRATED / SEALED PIT
- EXISTING SURFACE LEVEL

LEVEL 1 PLAN



THE CORSO

PROPOSED Ø100 PVC PIPE IS TO BE MOUNTED TO LEVEL 1 SOFFIT (LEVEL 2 UNDERSLAB) & DROP DOWN ON BUILDING WALL VIA DP3



LINE OF BUILDING ABOVE SHOWN DASHED

PLACE

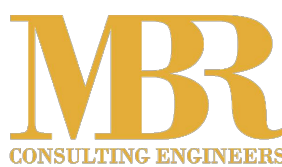
MARKET

northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2024/1132

DP1, DP3, DP5, DP6 & DP7 ARE TO BE CONNECTED WITH THE EXISTING DRAINAGE SYSTEM IN ACCORDANCE WITH AS3500 & COUNCIL'S REQUIREMENTS. CONTRACTOR TO GUARANTEE GOOD FUNCTIONALITY OF THE EXISTING DRAINAGE SYSTEM PRIOR TO CONSTRUCTION.

ANY EXISTING COMPONENT OF THE STORMWATER SYSTEM THAT IS TO BE RETAINED MUST BE CHECKED & CERTIFIED BY A LICENSED PLUMBER TO BE IN GOOD CONDITION & OPERATING SATISFACTORILY. IF ANY COMPONENT OF THE EXISTING SYSTEM IS NOT IN GOOD CONDITION AND/OR NOT OPERATING SATISFACTORILY AND/OR IMPACTED BY THE WORKS AND/OR LEGAL RIGHTS FOR DRAINAGE DO NOT EXIT, THE DRAINAGE SYSTEM MUST BE UPGRADED TO DISCHARGE LEGALLY BY GRAVITY TO THE KERB & GUTTER OF A PUBLIC ROAD.

NOT FOR CONSTRUCTION
COUNCIL APPROVAL ONLY



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ALL PLANS MUST BE PRINTED IN COLOUR & READ PRIOR TO CONSTRUCTION

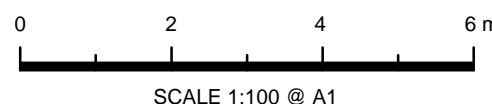
Rev	Description	Date	Design	Check
A	ISSUE FOR DEVELOPMENT APPLICATION	19/02/2024	MBR	MBR

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Client
Mr. Tarek Gergis

Scale @ A1

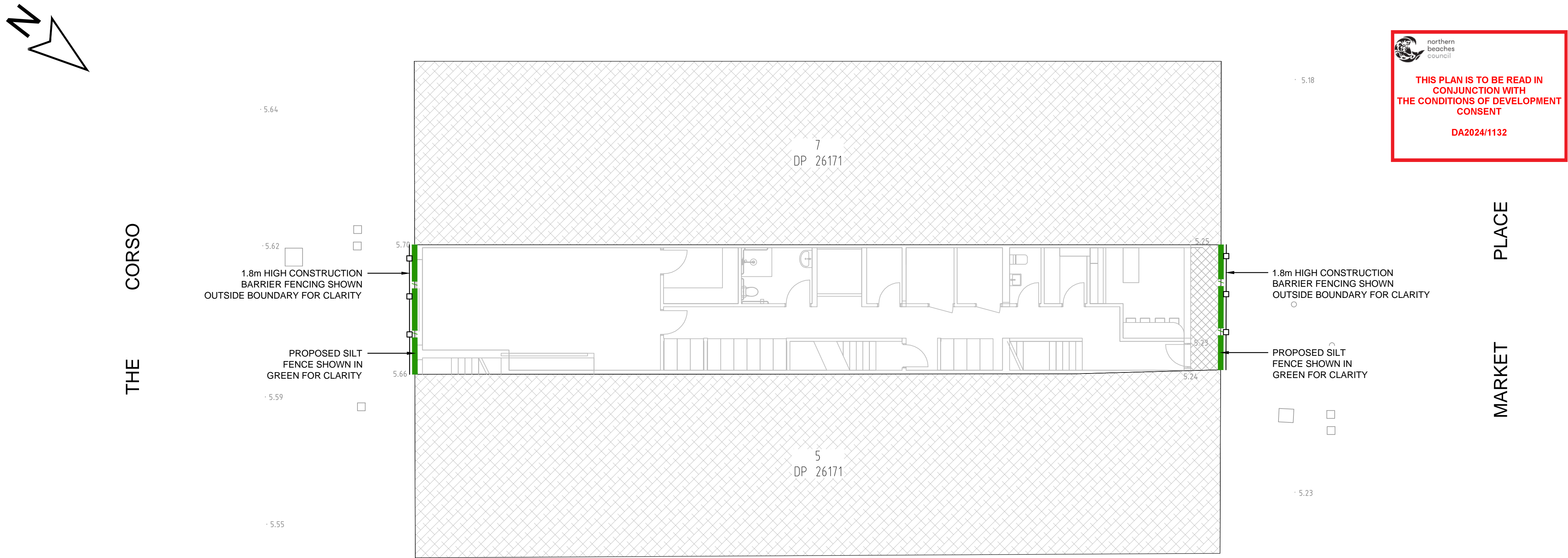


Project
47 THE CORSO, MANLY NSW 2095
PROPOSED ADDITIONS & ALTERATIONS
STORMWATER CONCEPT PLAN
DEVELOPMENT APPLICATION

Drawing Title
STORMWATER CONCEPT PLAN
GROUND & LEVEL 1

Project No.
23160
Dwg. No.
102
Rev
A

SEDIMENT & EROSION CONTROL PLAN



DIAL BEFORE YOU DIG NOTE



THE CONTRACTOR MUST CONTACT ALL SERVICES & MAINTAIN A SET OF 'DIAL BEFORE YOU DIG' DRAWINGS ON SITE AT ALL TIMES.

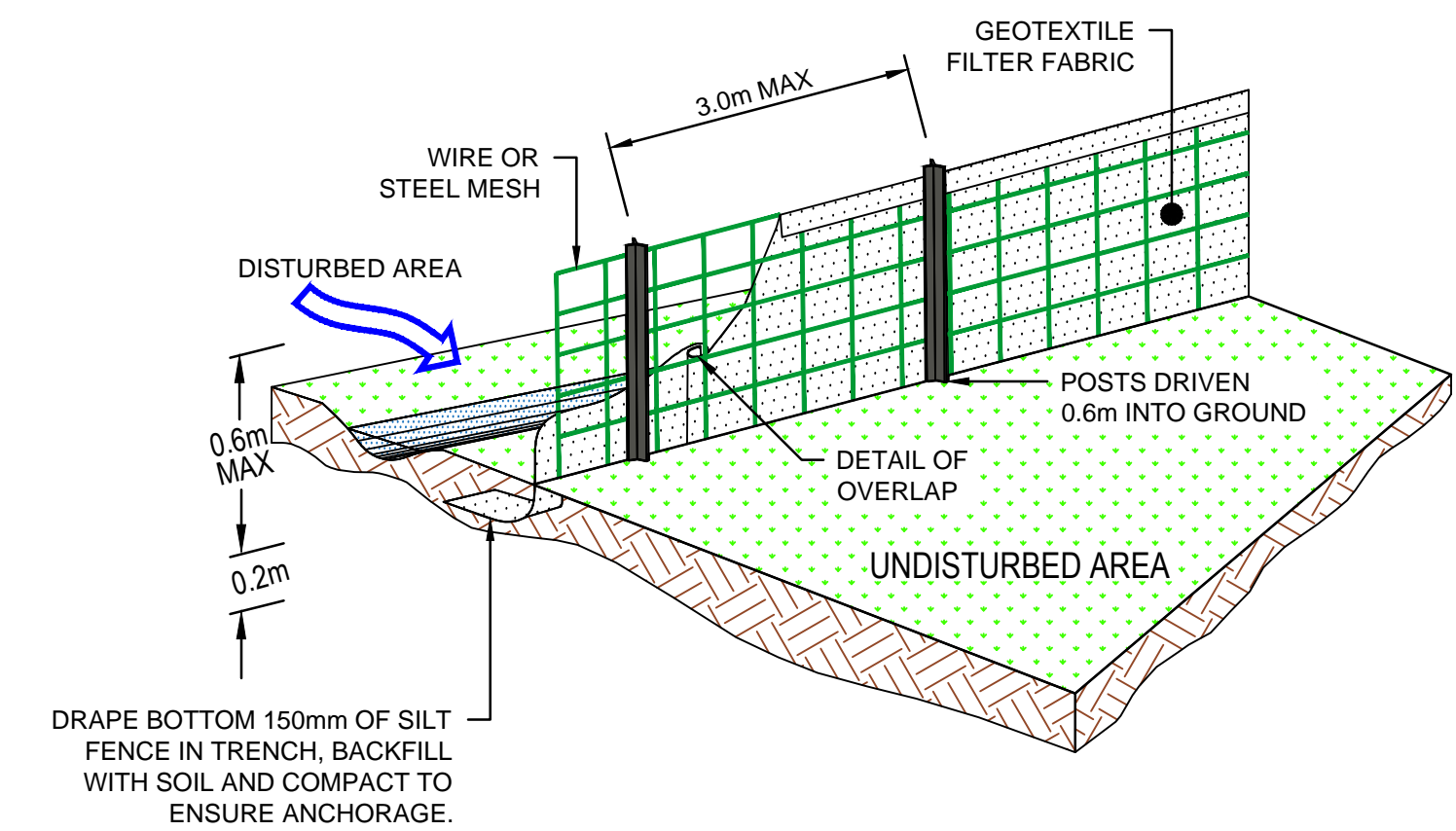
CONSTRUCTION SEQUENCE

1. INSTALL SEDIMENT FENCING & CUT DRAINS TO MEET THE REQUIREMENTS OF THE SEDIMENT & EROSION CONTROL PLAN. WASTE COLLECTION BINS SHALL BE INSTALLED ADJACENT TO THE SITE OFFICE.
2. CONSTRUCT STABILISED SITE ACCESS IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.
3. REDIRECT CLEAN WATER AROUND THE CONSTRUCTION SITE.
4. INSTALL SEDIMENT CONTROL PROTECTION MEASURES AT ALL NATURAL & MAN-MADE DRAINAGE STRUCTURES. MAINTAIN UNTIL ALL THE DISTURBED AREAS ARE STABILISED.
5. CLEAR & STRIP THE WORK AREAS. MINIMISE THE DAMAGE TO THE GRASS & LOW GROUND COVER OF NON-DISTURBED AREAS.
6. ANY DISTURBED AREAS, OTHER THAN BUILDING PAD AREAS, SHALL IMMEDIATELY BE COVERED WITH SITE TOPSOIL WITHIN 7 DAYS OF CLEARING. BUILDING PAD AREAS SHALL BE COVERED WITH BITUMEN EMULSION AS SPECIFIED.
7. APPLY PERMANENT STABILISATION TO SITE (LANDSCAPING).

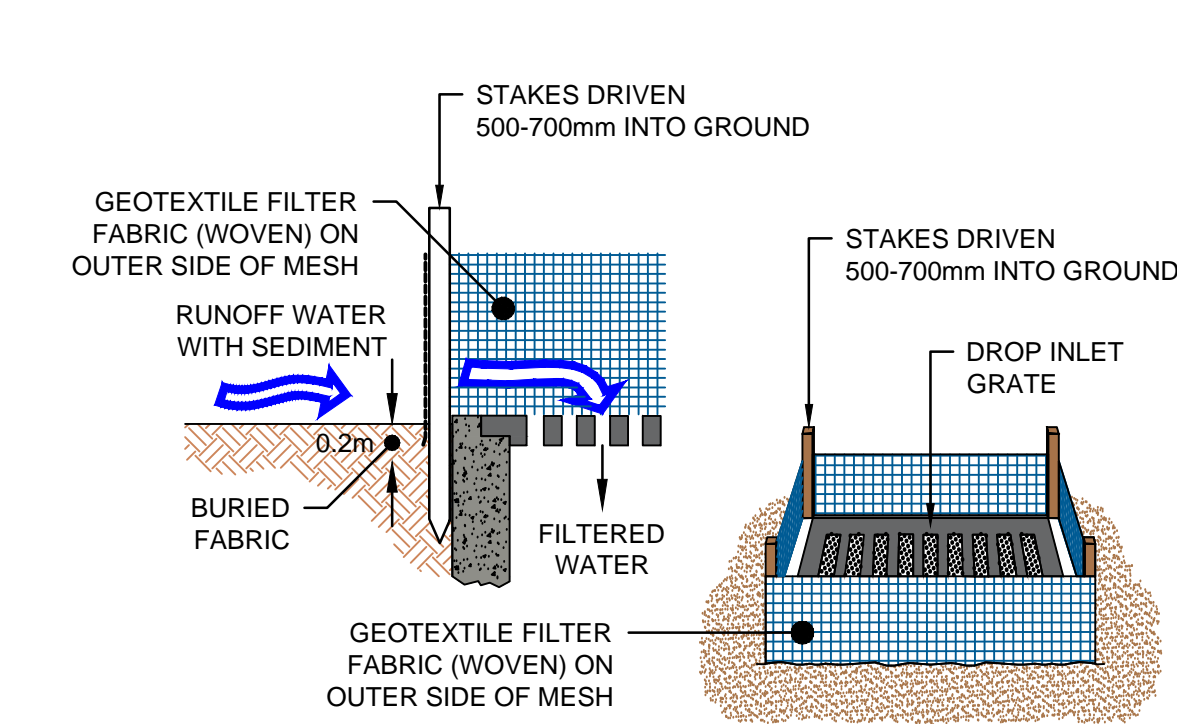
DUST CONTROL NOTES

1. PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES & SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND FROM GENERATING DUST.
2. EARTHWORKS & SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
3. ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
4. THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE & SHOULD NOT BE WET ENOUGH TO PRODUCE RUN-OFF.
5. AT ALL TIMES, ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL BE COVERED TO PREVENT THE ESCAPE OF DUST.
6. ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXITING THE SITE USING MANUAL OR AUTOMATED SPRAYERS & DRIVE - THROUGH WASHING BAYS.
7. GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS & SHALL BE FITTED WITH SHADE CLOTH.
8. CLEANING OF FOOTPATHS & ROADWAYS SHALL BE CARRIED OUT DAILY.
9. ALL SPOIL & MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE UPON COMPLETION OF WORKS.

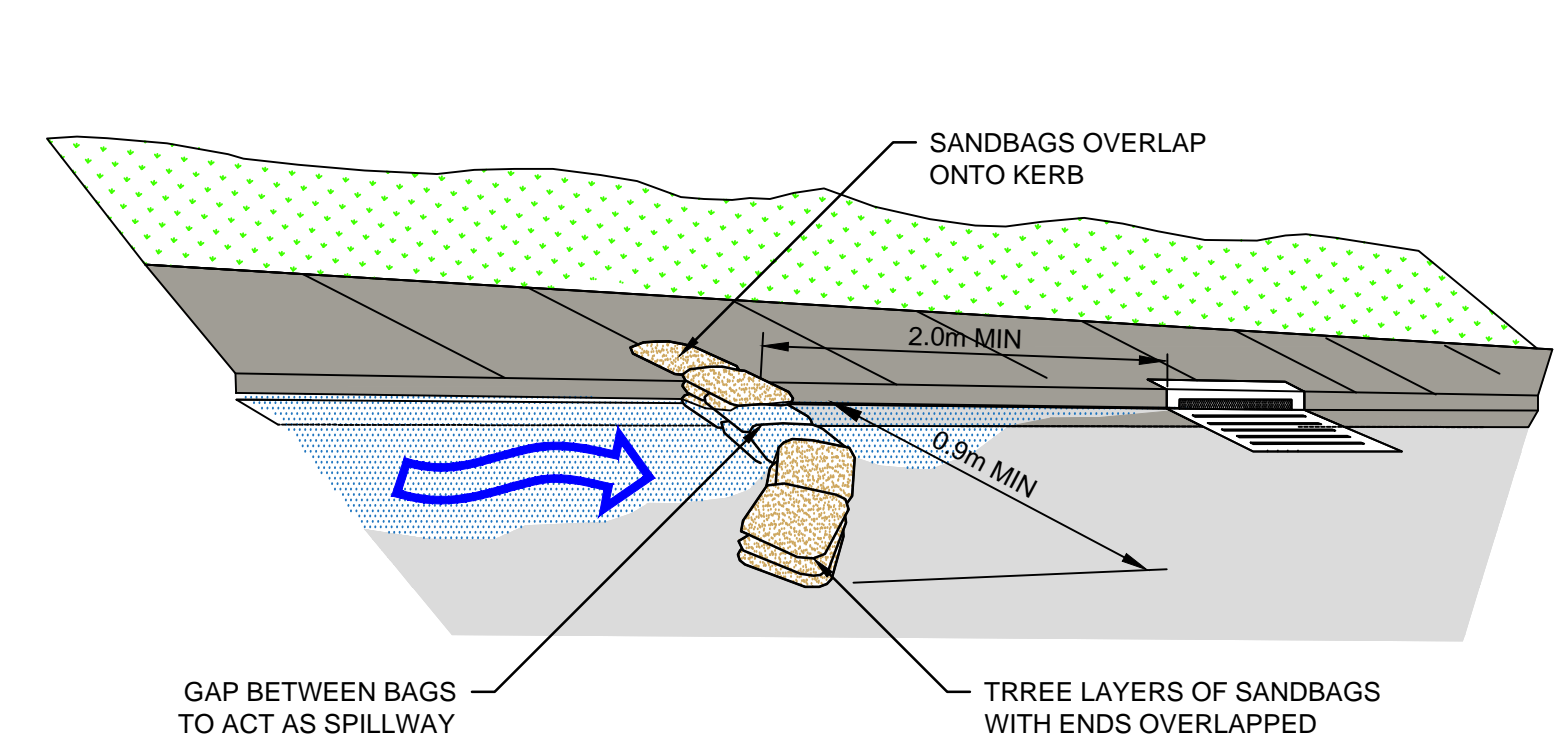
SILT FENCE DETAIL



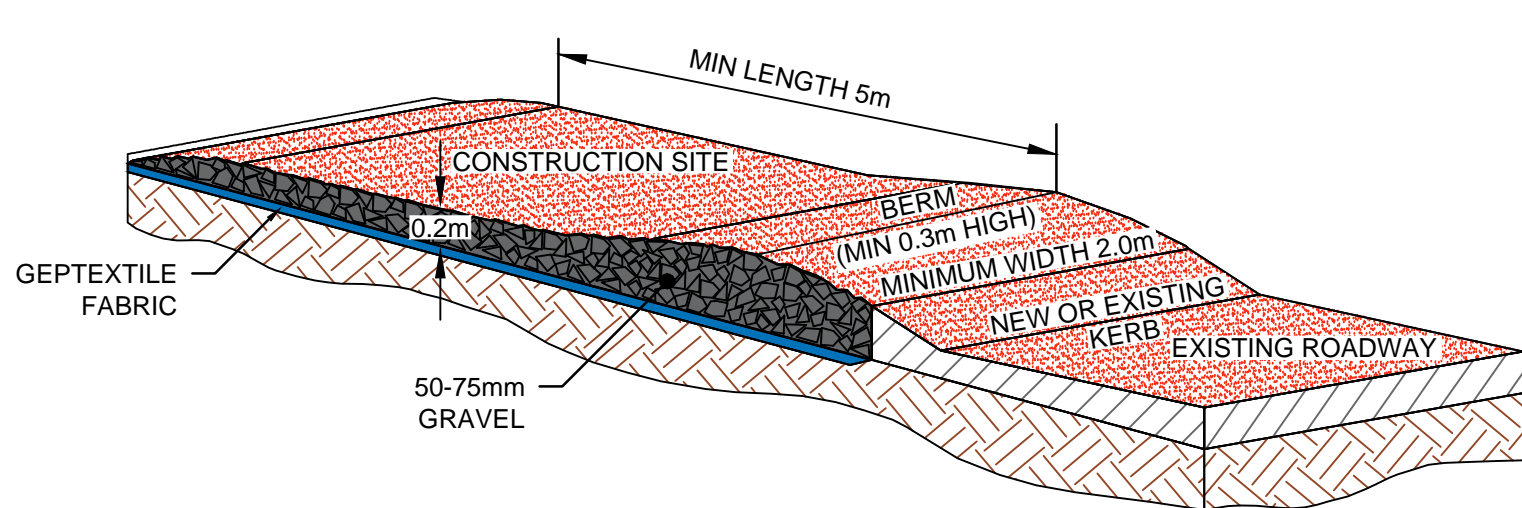
FIELD INLET SEDIMENT TRAP DETAIL



KERB INLET PROTECTION DETAIL - ON GRADE GULLY PIT

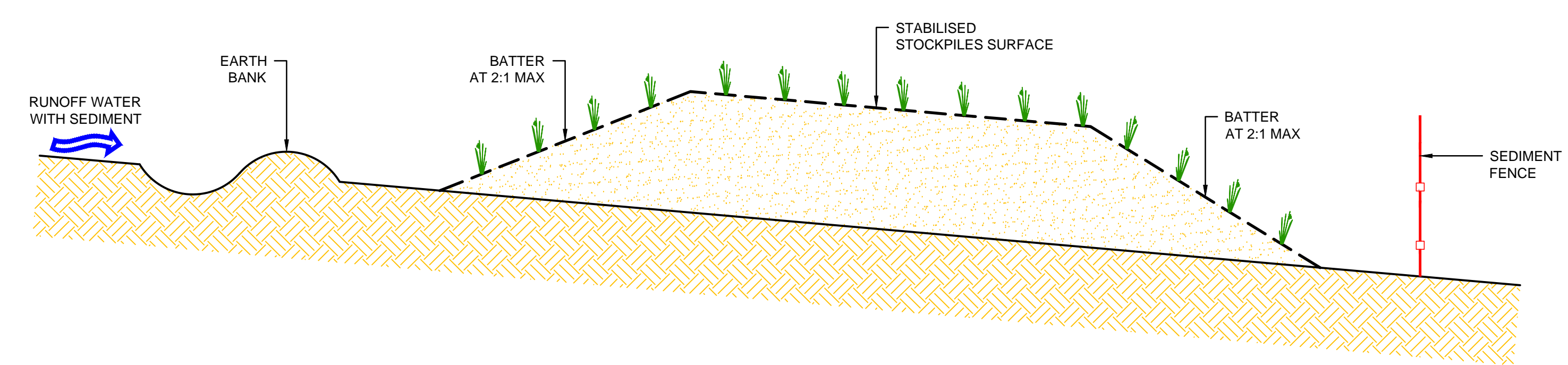


SHAKEDOWN DEVICE DETAIL



MAINTENANCE NOTES:
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND & REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.

STOCKPILES DETAIL



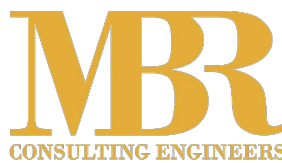
SILT FENCE NOTES

1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
2. POSTS SHOULD NOT BE SPACED MORE THAN 3.0m APART.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 150mm & FOLDED.
4. FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14mm GAUGE, 150mm MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH & POSTS BY WIRE TIES OR STAPLES.
5. INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, ESPECIALLY AFTER RAINFALL & EXCESSIVE SILT DEPOSITS REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.
6. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS & EMERGENCY SPILLWAYS AT SPACING NO GREATER THAN 40m ON FLAT TERRAIN DECREASING TO 20m SPACING ON STEEP TERRAIN.

STOCKPILE NOTES

1. PLACE STOCKPILES MORE THAN 2.0m (PREFERABLY 5.0m) FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS & HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT & ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2.0m IN HEIGHT.
4. WHERE THEY ARE TO BE PLACED FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED E.S.C.P. OR S.W.M.P. TO REDUCE THE C-FACTOR TO LESS THAN 0.1.
5. CONSTRUCT EARTH BANKS ON THE UPSTREAM SIDE TO DIVERT WATER AROUND STOCKPILES & SEDIMENT FENCES 1.0 TO 2.0m DOWNSTREAM.

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Client
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Scale @ A1
0 2 4 6 m
SCALE 1:100 @ A1

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Drawing Title
SEDIMENT & EROSION CONTROL
PLAN & DETAILS

Project No.
23160
Dwg. No.
103
Rev
A