


3 BEACONFIELD STREET,
NEWPORT, NSW, 2106

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	<div>PLANNER</div> <div>VAUGHAN MILLIGAN DEVELOPMENT CONSULTING VAUGHAN MILLIGAN 8/1 KALINYA ST, NEWPORT, NSW, 2106 P. 9999 4922</div>	<div>ARBORIST / LANDSCAPE</div> <div>SAS LANDSCAPES</div>		<div>CLIENT</div> <div>Therese Rushby crather@live.com</div>		PROJECT NAME 3 BEACONSFIELD			SCALE
						DRAWING NAME COVERPAGE			DRAWING NUMBER A 00 -F

1 PROPOSED SITE
01 1 : 200

BASIX NOTES

NUM #	SHADING	FRAME & GLASS
W01, W02, W03	eave/verandah/pergola/balcony>=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W04	eave/verandah/pergola/balcony>=450 mm	standard aluminium, single pyrolytic low-e,(U-value: 5.7, SHGC: 0.47)
W05	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D01	eave/verandah/pergola/balcony>=450 mm	standard aluminium, single pyrolytic low-e,(U-value: 5.7, SHGC: 0.47)
D02	eave/verandah/pergola/balcony>=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D03	eave/verandah/pergola/balcony>=450 mm	standard aluminium, single pyrolytic low-e,(U-value: 5.7, SHGC: 0.47)

LIGHTING
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

FIXTURES
New or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
New or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
New or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

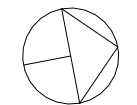
CONSTRUCTION
Concrete slab on ground floor nil
External wall: Concrete block retaining wall R1.70 (including construction)
Flat ceiling, flat roof: framed Ceiling: R0.58 (up), roof: foil backed blanket (100 mm). Medium (solar absorptance 0.475 - 0.70)

CONDITIONS
Prescribed Conditions
All building works must be carried out in accordance with the requirements of the Building Code of Australia (BCA)

General Requirements
No trees or native shrubs or understorey vegetation on public property (footpaths, roads, reserves, etc.) or on the land to be developed shall be removed or damaged during construction unless specifically approved in this consent including for the erection of any fences, hoardings or other temporary works.

Compliance with Standards
The development is required to be carried out in accordance with all relevant Australian Standards.

External Finishes to Roof
The external finish to the roof shall have a medium to dark range in order to minimise solar reflections to neighbouring properties. Any roof with a metallic steel finish is not permitted.



--- DEMOLISHED
--- HIDDEN
--- OVERHEAD
■ EXISTING
■ PROPOSED
■ NEW WORK

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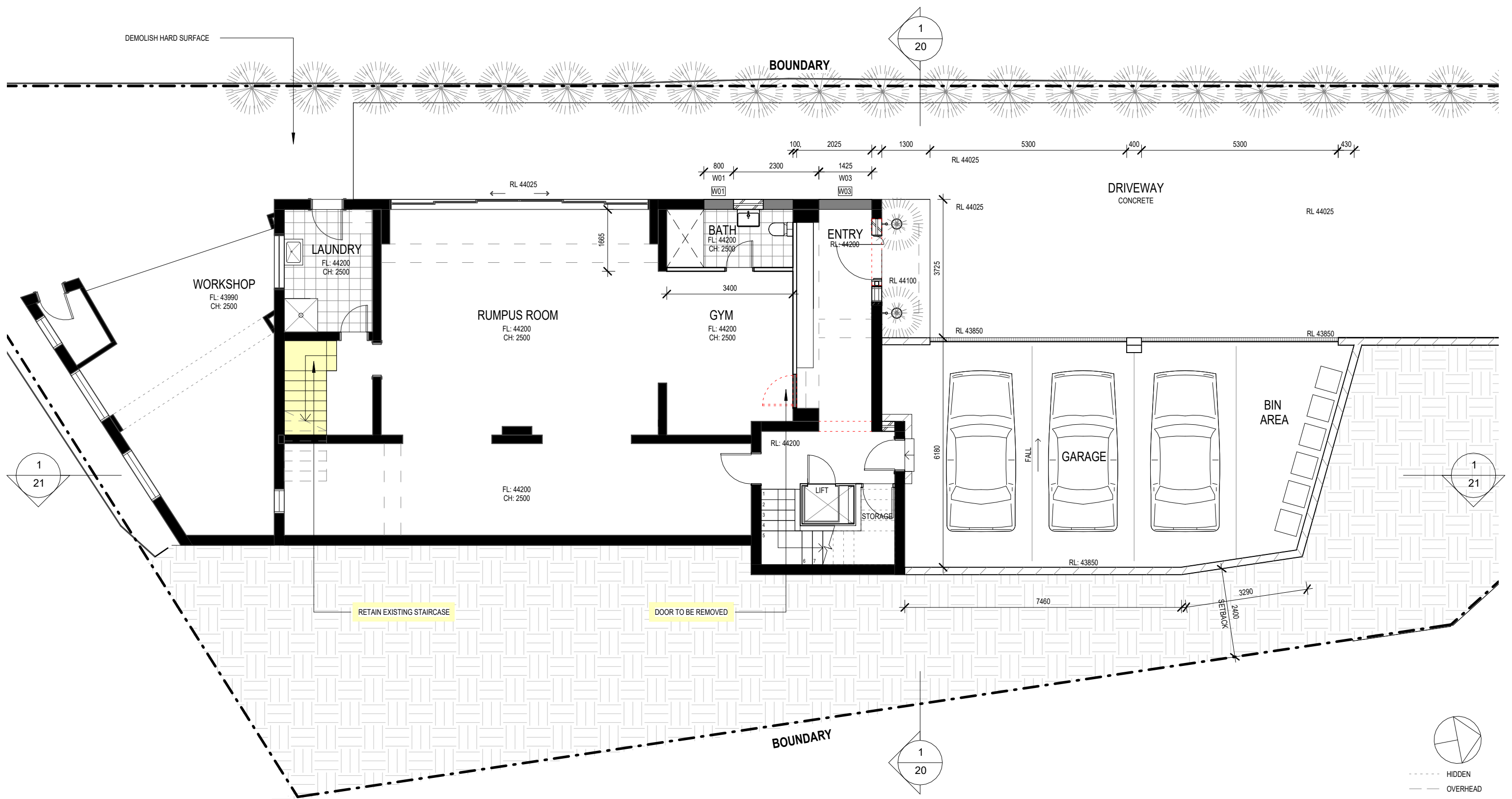
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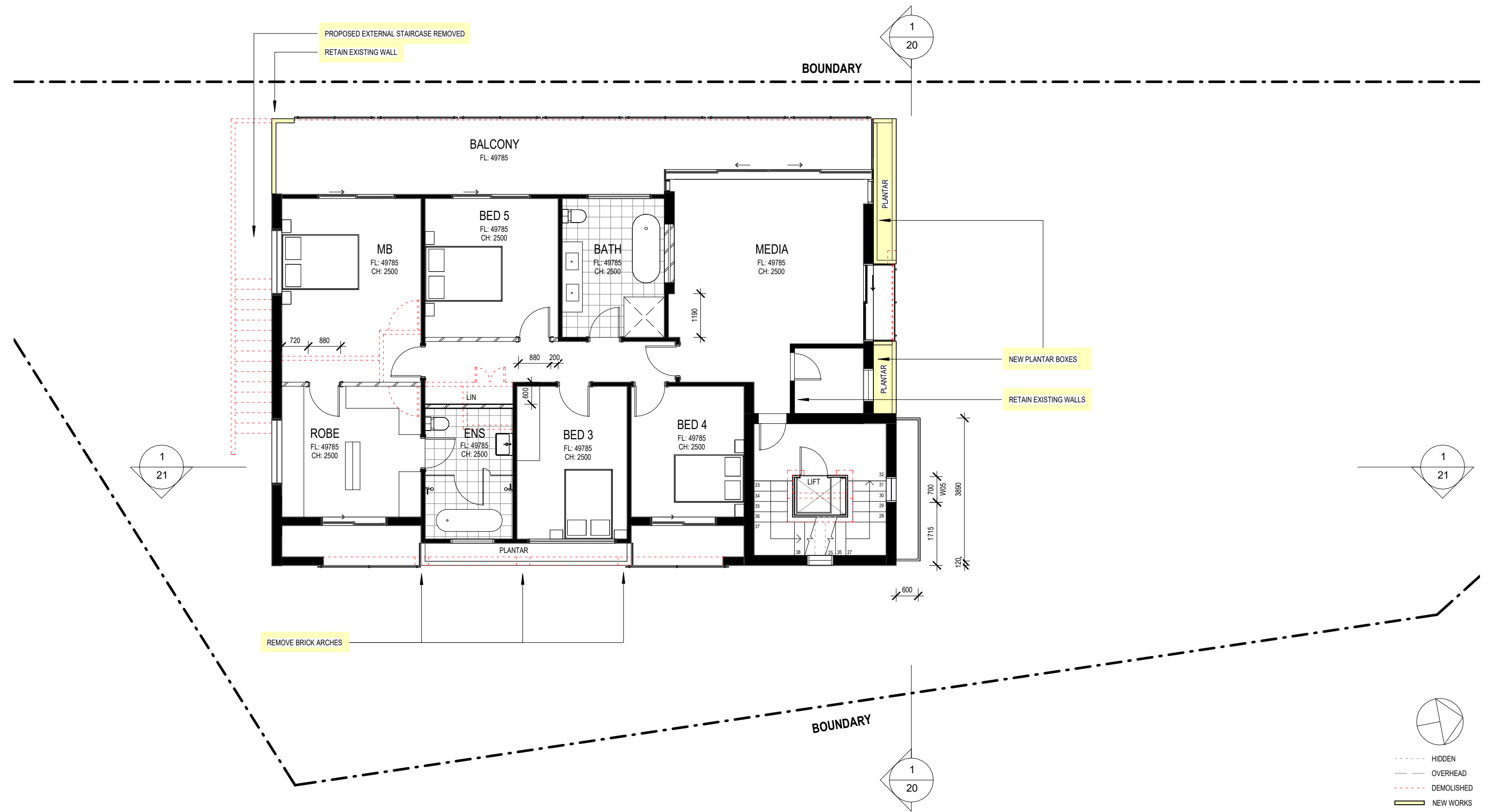


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10 02
PROPOSED LOWER GROUND
1 : 100

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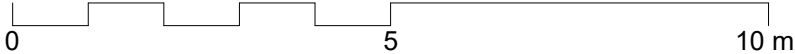
- HIDDEN
- OVERHEAD
- DEMOLISHED
- NEW WORKS
- EXISTING
- STUD WALL
- DOUBLE BRICK
- CONCRETE BLOCK
- STUD W/ FOAM
- CONCRETE SLAB

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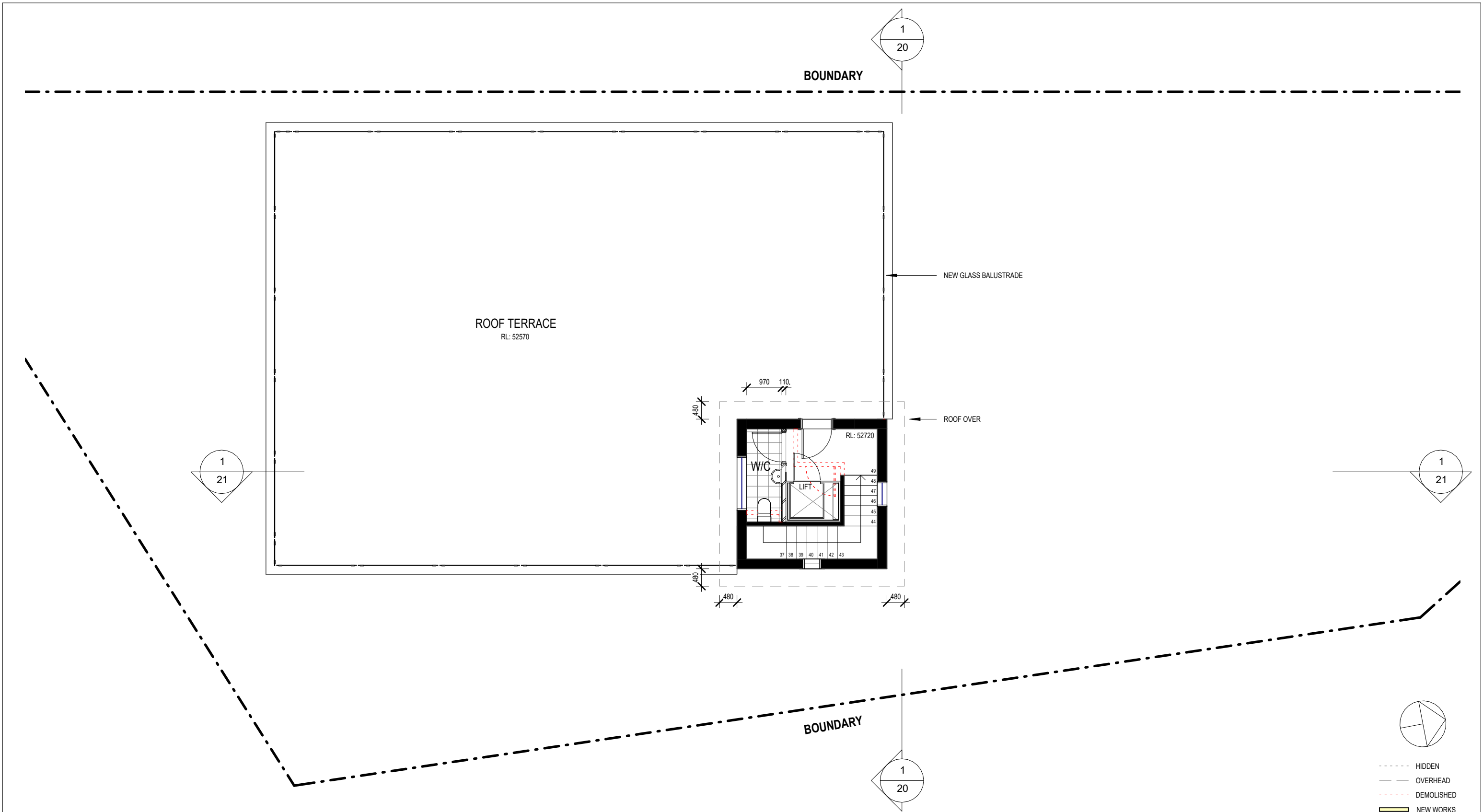
1
10 04
PROPOSED FIRST FLOOR
1 : 100

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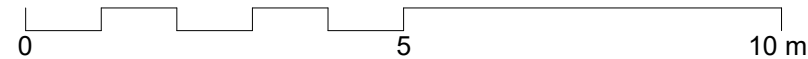
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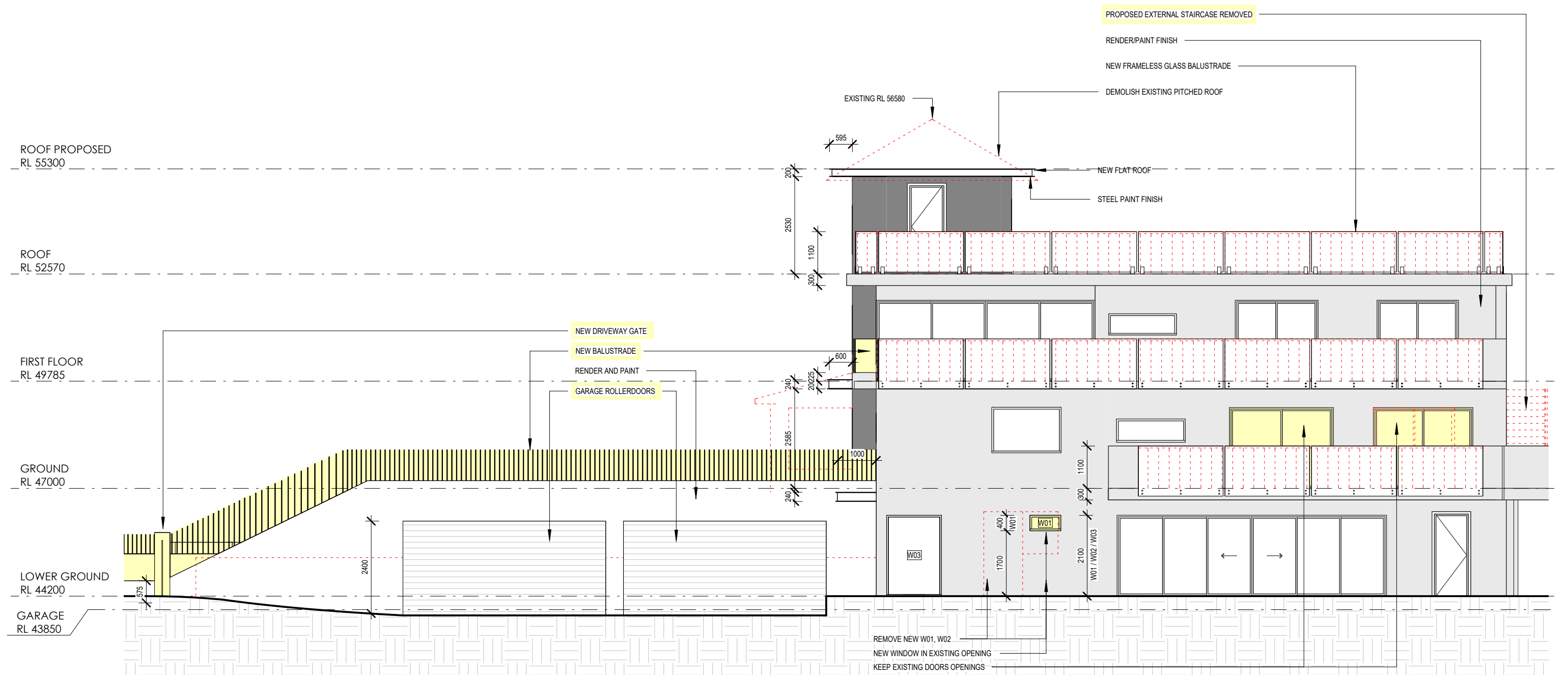
1
10 05
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PROPOSED ROOF

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1 NORTH ELEVATION
10 1 : 100

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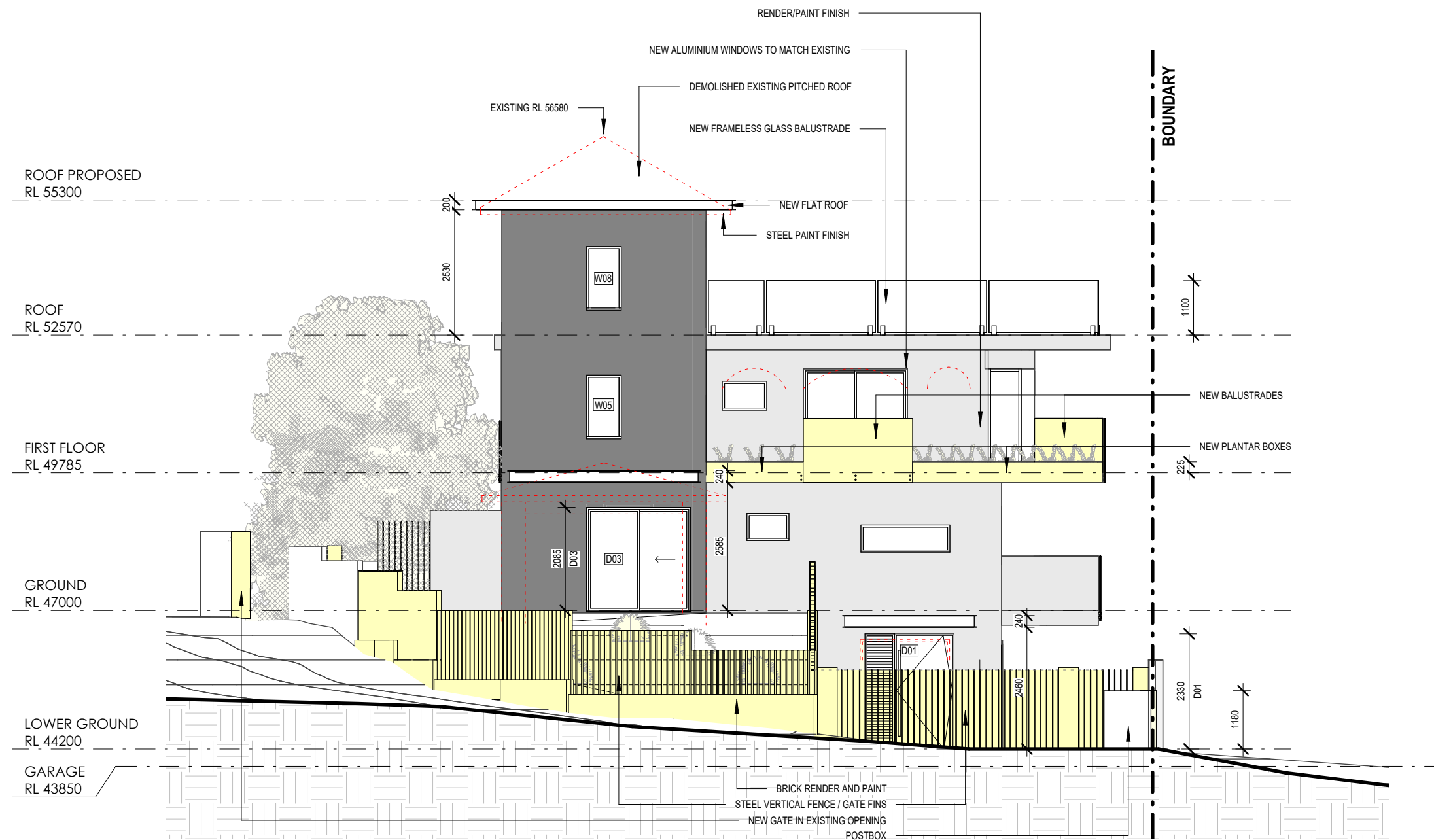
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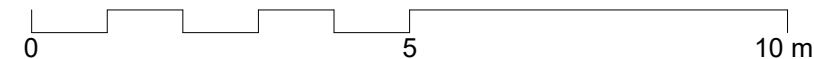
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DRAWING NAME NORTH ELEVATION			DRAWING NUMBER A 10 -F




1 EAST ELEVATION
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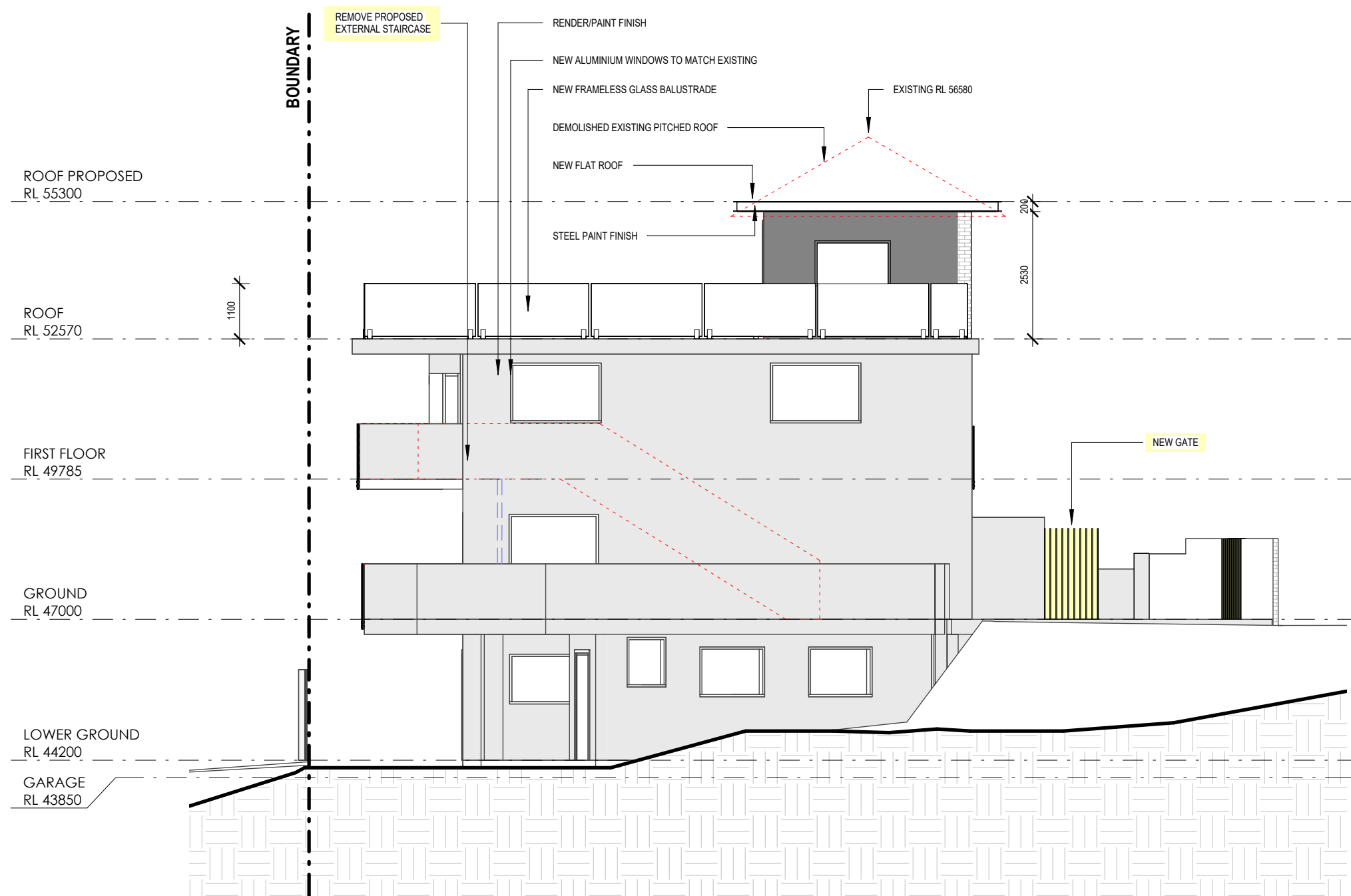
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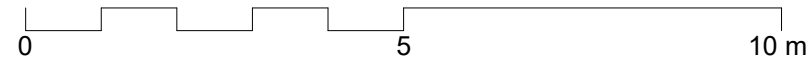
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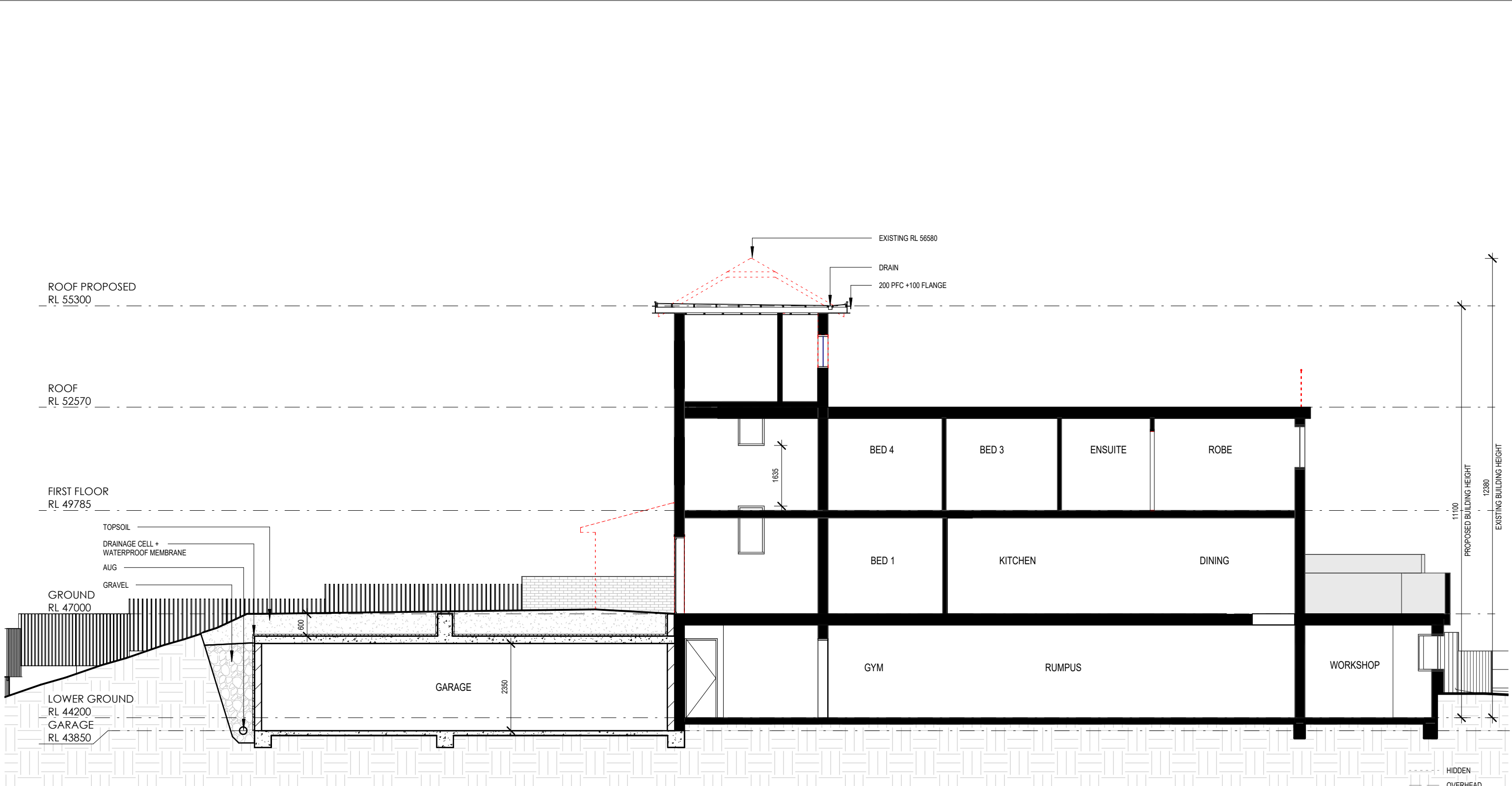
1 WEST ELEVATION
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SECTION B
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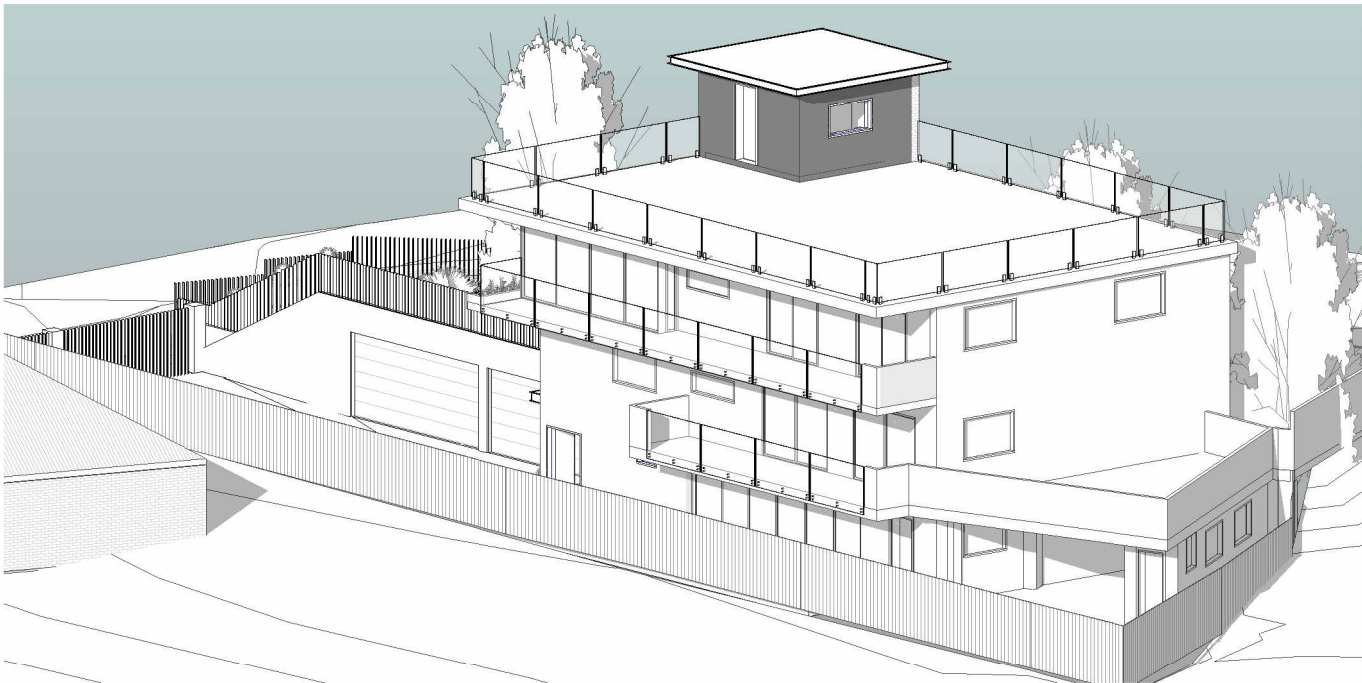
1 FRONT VIEW 1

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2 FRONT VIEW 2

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3 REAR VIEW 1


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4 REAR VIEW 2

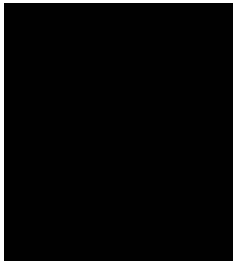
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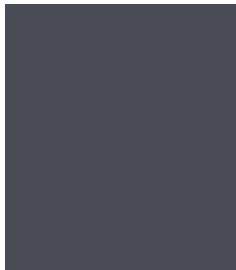
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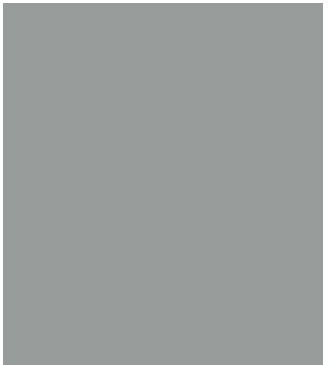
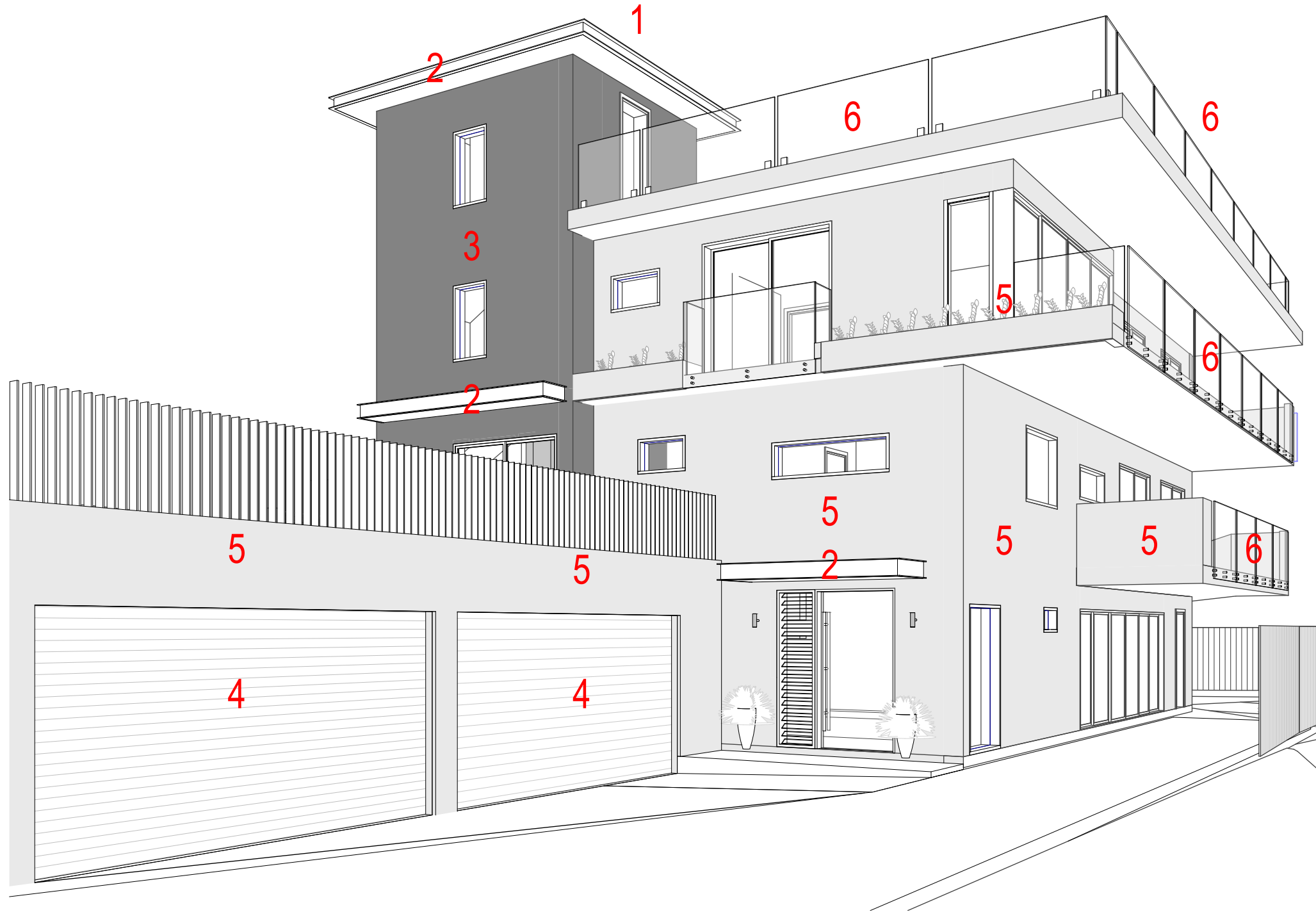
1. ROOF: COLORBOND - WINDSPRAY



2. EAVE STEEL PAINT FINISH: COLORBOND - NIGHT SKY



3. BRICK RENDER PAINT FINISH: DULUX - TICKING (TOWER ONLY)



5. BRICK RENDER PAINT FINISH: DULUX - ENDLESS DUSK (ALL BUT TOWER)



6. GLASS BALUSTRADE



7. ALL WINDOW FRAMES PAINT FINISH: COLORBOND - NIGHT SKY

4. GARAGE ROLLER DOOR

1 COLOURS & FINISHES

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SAS LANDSCAPES

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PROJECT

ALTERATIONS & ADDITIONS
3 BEACONSFIELD STREET, NEWPORT, NSW, 2106

DATE

02/07/2024

DATE

08/04/2020

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31/05/2019

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