

Rapid Plans www.rapidplans.com.au
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Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

Alterations & Additions To Existing Residence

For Aleks Cerovic

28 Edinburgh Road, Forestville 2089

Lot 21 D.P. 200283

Project Number: RP0919CER



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	2	- 19-12-2024
DA1001	A4 NOTIFICATION PLAN	2	- 19-12-2024
DA1002	SITE SURVEY	2	- 19-12-2024
DA1003	SITE SURVEY 2	2	- 19-12-2024
DA1004	SITE PLAN	2	- 19-12-2024
DA1005	Existing Ground Floor Plan	2	- 19-12-2024
DA1006	Existing First Floor Plan	2	- 19-12-2024
DA1007	Demolition Ground Floor Plan	2	- 19-12-2024
DA1008	Demolition First Floor Plan	2	- 19-12-2024
DA1009	Landscape Open Space Plan Existing	2	- 19-12-2024
DA1010	Landscape Open Space Plan Proposed	2	- 19-12-2024
DA1011	Excavation & Fill Plan	2	- 19-12-2024
DA1012	Landscape Plan	2	- 19-12-2024
DA1013	Sediment & Erosion Plan	2	- 19-12-2024
DA1014	Waste Management Plan	2	- 19-12-2024
DA1015	Stormwater Plan	2	- 19-12-2024
DA2001	GROUND FLOOR	2	- 19-12-2024
DA2002	ROOF	2	- 19-12-2024
DA3000	SECTION 1	2	- 19-12-2024
DA3001	SECTION DRIVE	2	- 19-12-2024
DA4000	ELEVATIONS 1	2	- 19-12-2024
DA4001	ELEVATIONS 2	2	- 19-12-2024
DA5000	PERSPECTIVE	2	- 19-12-2024
DA5001	MATERIAL & COLOUR SAMPLE BOARD	2	- 19-12-2024
DA5002	SHADOW PLAN 21st June 9am	2	- 19-12-2024
DA5003	SHADOW PLAN 21st June 12pm	2	- 19-12-2024
DA5004	SHADOW PLAN 21st June 3pm	2	- 19-12-2024
DA5005	WALL ELEVATION SHADOWS	2	- 19-12-2024

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

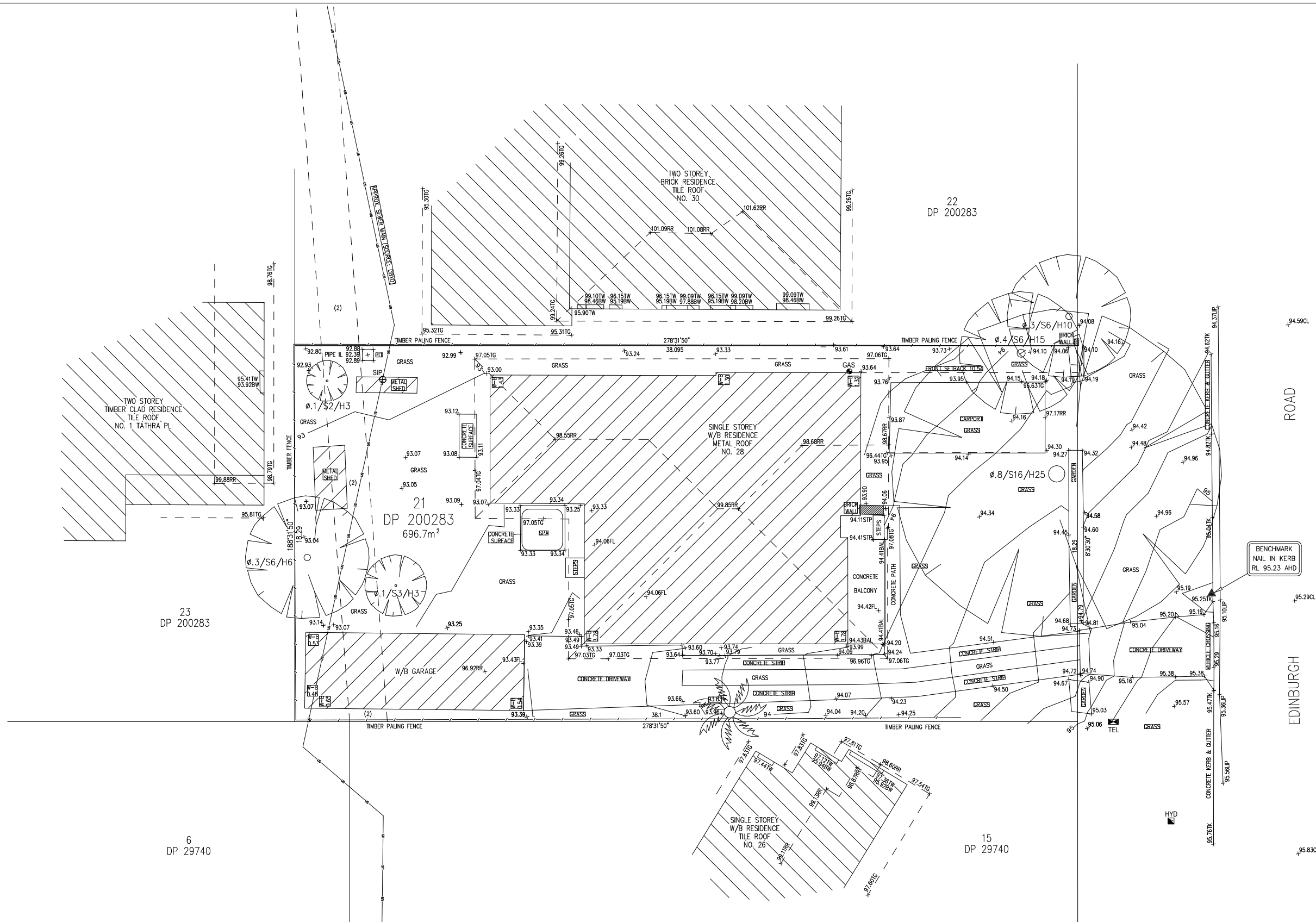
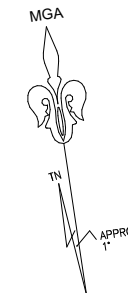
Certificate number: A1772665

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 12 November 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Cerovic
Street address	28 EDINBURGH Road FORESTVILLE 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP200283
Lot number	21
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: RAPID PLANS PTY LTD	
ABN (if applicable): 43150064592	



1

SURVEY PLAN
1:200

DA APPLICATION
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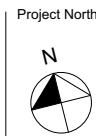


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
26/03/2025
RP0919CER
DA Rev 2
Client
Site:
Aleks Cerovic
28 Edinburgh Road, Forestville 2089
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
SITE SURVEY

PROJECT NAME :
Alterations & Additions

REVISION NO.
DRAWING NO.
DA1002

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON
17/12/2024.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS
SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

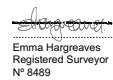
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD)
USING SSM 37599 WITH RL 88.84 (AHD).





























RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO $\pm 0.05\text{m}$.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

TREE DIMENSIONS ARE APPROXIMATE ONLY.

NOTATIONS ON THE TITLE TO THE LAND.
(1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
(2) J410095 - EASEMENT FOR DRAINAGE AFFECTING THE PART
OF THE LAND ABOVE DESCRIBED SHOWN AS SITE OF
PROPOSED DRAINAGE EASEMENT 1.83 WIDE IN THE TITLE
DIAGRAM



LEGEND											
	BM	BENCH MARK		SP	SEWER INSPECTION PIT		SG	SIGN POST		SMH	SEWER MANHOLE
	TEL	TELESTRA PIT		FH	FIRE HYDRANT		GW	GAS VALVE		SV	STOP VALVE
	EBOX	ELECTRICITY BOX		TF	TRAFFIC LIGHT		W	WATER VALVE		HYD	WATER HYDRANT
	L	LIGHT POLE		TAP	WATER SIGNAL		VENT	SEWER VENT		WM	WATER METER
	PP	POWER POLE		SAP	STATE SURVEY MARK		MH	MANHOLE		GM	GAS METER
	ELECTRICITY	UE		SEWER MAIN	SEWER MAIN		UNKNWN	UNKNOWN SERVICE		OPF	OPTICAL FIBER
	GAS SERVICE	UF		TSL	TELECOMMUNICATIONS		WTR MAIN	WATER MAIN		UDF	UNDERGROUND



RAPID PLANS

MG

SURVEY PLAN
1:250

SURVEY PLAN SCALED TO
FIT TITLEBLOCK

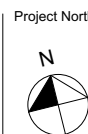
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Checked
Plot Date:
Project NO.
Project Status

Client Aleks Cerovic
Site: 28 Edinburgh Road, Forestville 2089

Sheet Size: A3

GBJ
26/03/2025
RP0919CER
DA Rev 2

DRAWING TITLE :

SITE AND LOCATION

SITE SURVEY 2

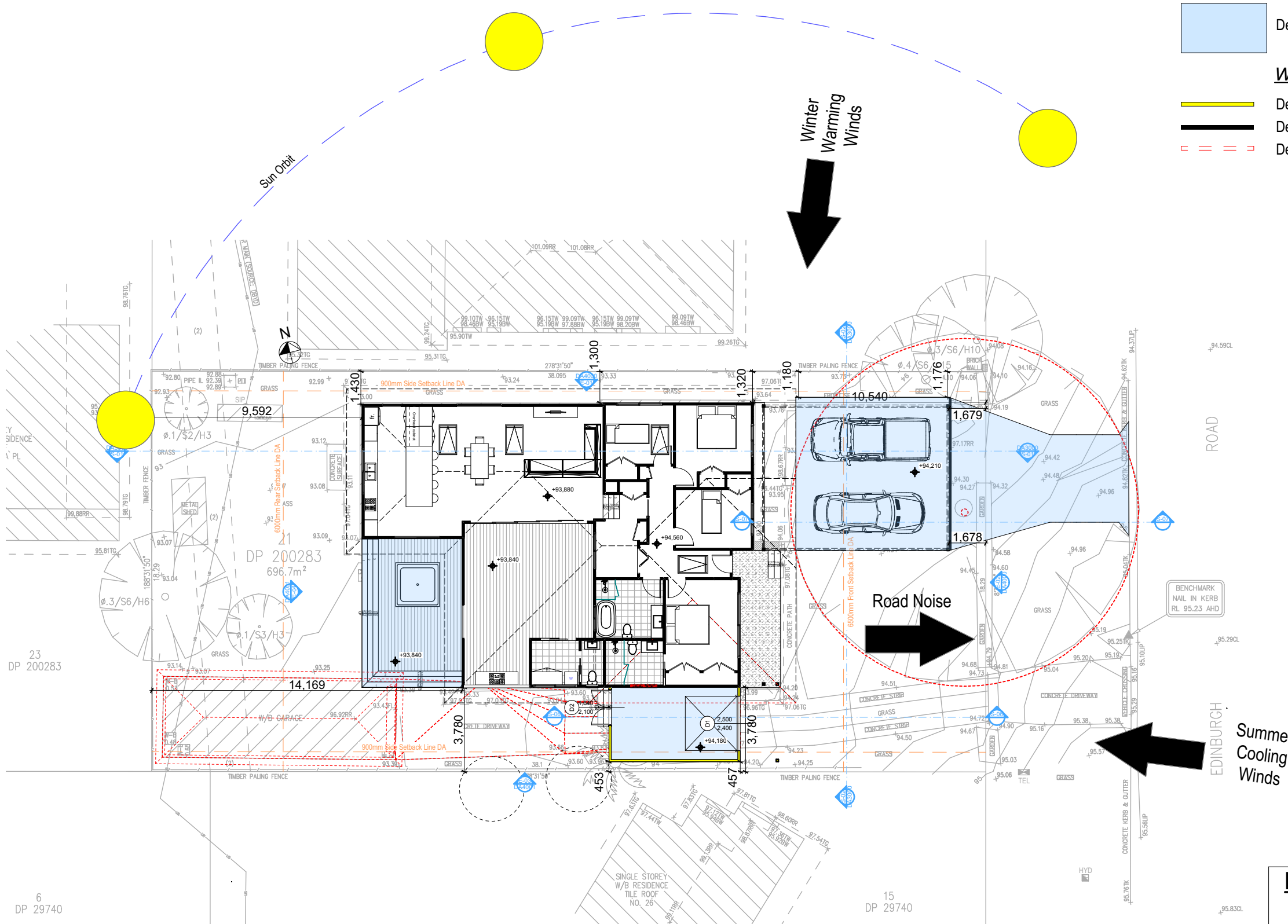
PROJECT NAME :

Alterations & Additions

REVISION NO.

DRAWING NO.

DA1003



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

World Plans
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ASSOCIATION OF AUSTRALIA

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NOTES
28 Edinburg Road, Forestville 2089 is zoned R2 - Low Density Residential
28 Edinburg Road, Forestville 2089 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS2049-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1772665
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and base of the window and glazed door.

Builder To Confirm Type & Colour

Builder To Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Site Information	Prop.	Comp.
Site Area	696.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

2

SITE PLAN
1:200

Project North

Drawn | Checked GBJ
Plot Date: 26/03/2025
Project NO: RP091PCEP
Project Status DA Rev 2

Client Aleks Cervovic

Site: 28 Edinburg Road, Forestville 2089

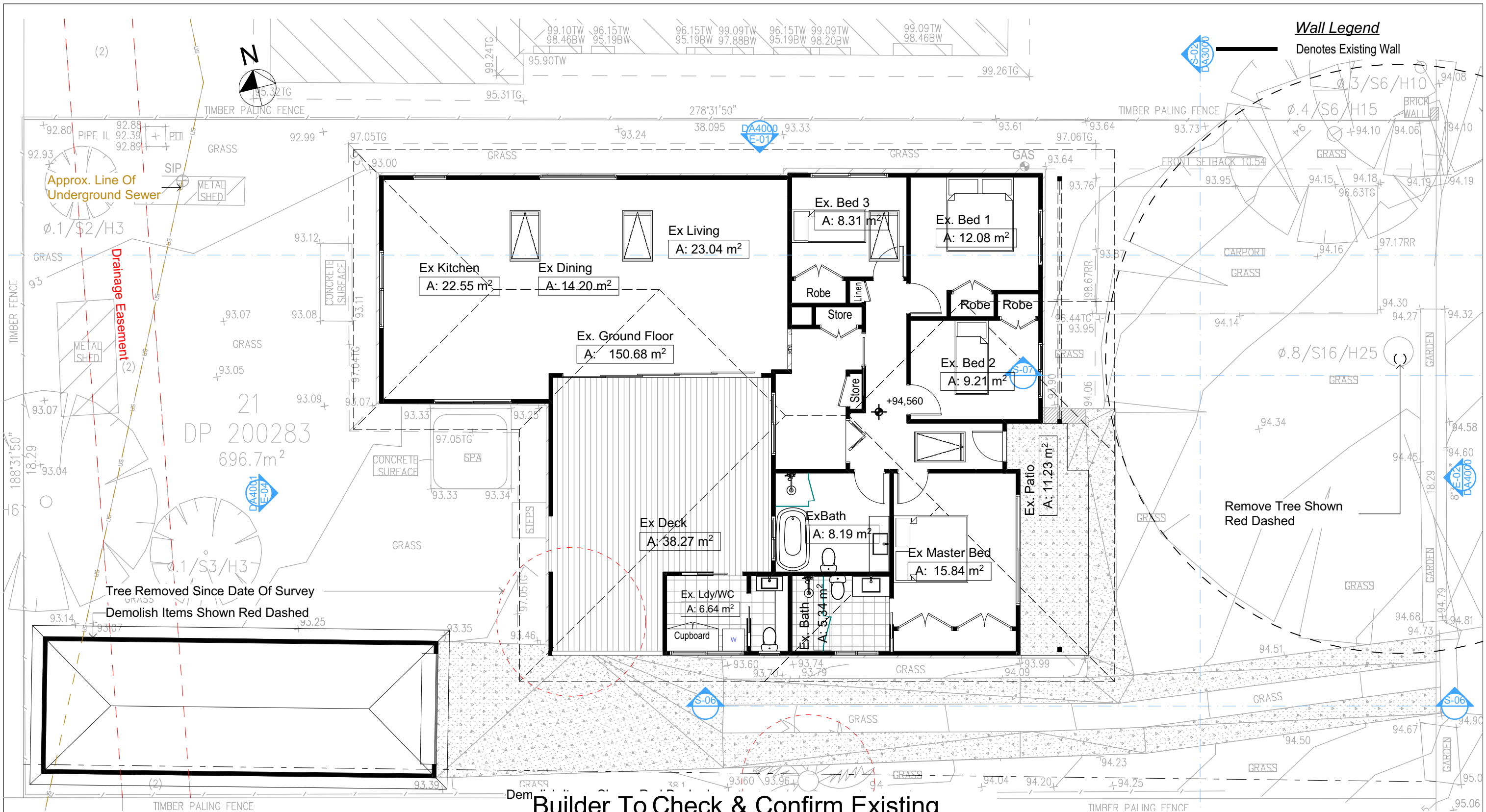
DRAWING TITLE:
SITE AND LOCATION
SITE PLAN

PROJECT NAME:
Alterations & Additions

REVISION NO.

DRAWING NO.
DA1004

Plot Date: 26/03/2025
Sheet Size: A3



Builder To Check & Confirm Existing Measurements Prior to Commencement

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Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

NOTES

28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction

Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1772665

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

- a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

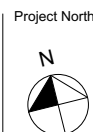


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Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
26/03/2025
RP0919CER
DA Rev 2

Aleks Cerovic
28 Edinburgh Road, Forestville 2089

DRAWING TITLE :

SITE AND LOCATION
Existing Ground Floor Plan

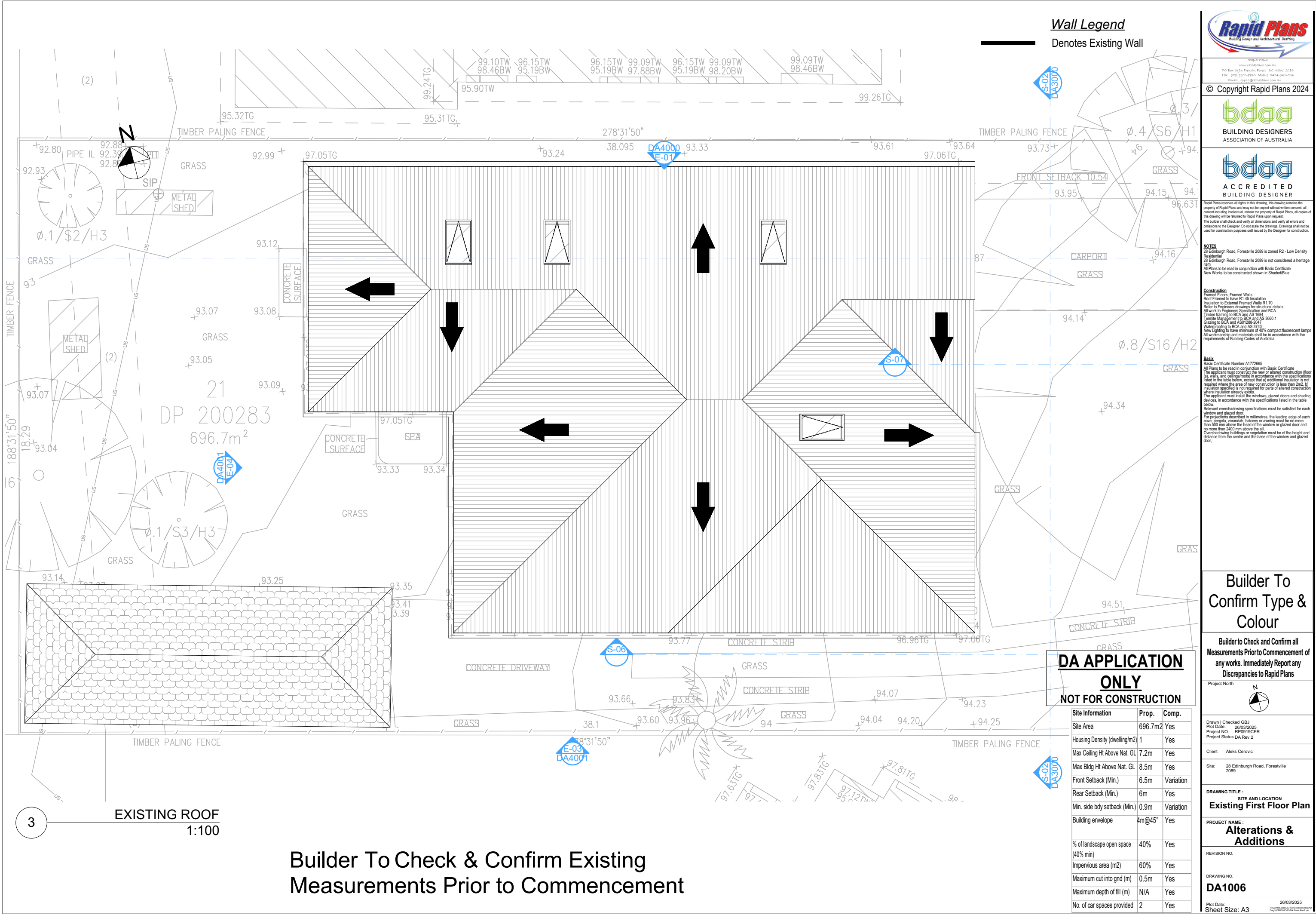
PROJECT NAME :

Alterations & Additions

REVISION NO.


DRAWING NO.

DA1005




Wall Legend


Denotes Existing Wall



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NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
28 Edinburgh Road, Forestville 2089 is not considered a heritage project
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue


Construction
Framed Floors, Framed Walls
Roof Frames to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Fencing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1289-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1772665
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Builder To Confirm Type & Colour

Builder To Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 26/03/2025
Project NO.: RP0915CER
Project Status DA Rev 2

Client Aleks Cervovic

Site: 28 Edinburgh Road, Forestville 2089

DRAWING TITLE:
SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.

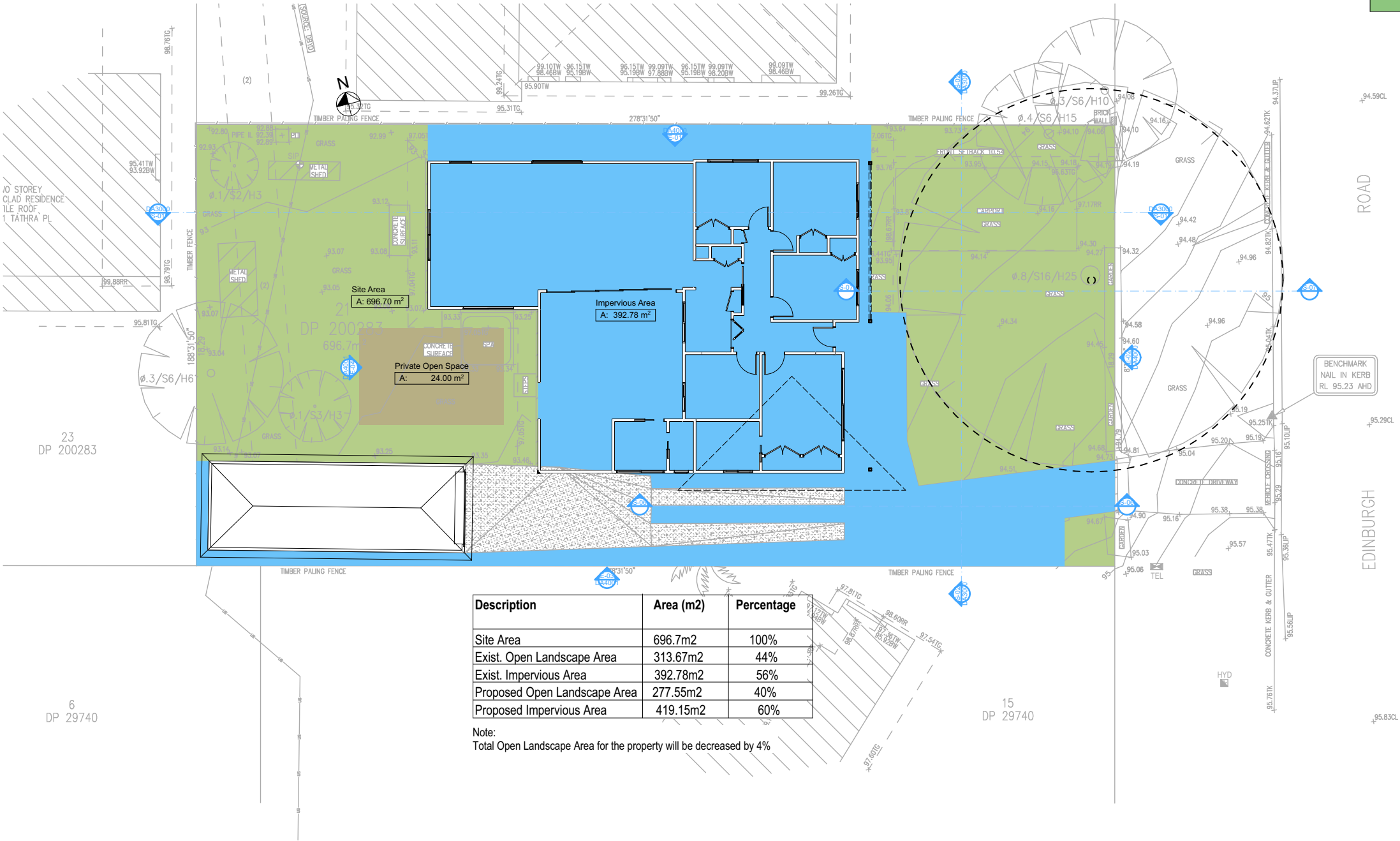
DRAWING NO.
DA1006

Plot Date: 26/03/2025
Sheet Size: A3

Site Information	Prop.	Comp.
Site Area	696.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Denotes Impervious Area

Denotes Pervious Area



2

LANDSCAPE OPEN SPACE EXISTING
1:200

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Certifying

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NOTES

28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction

Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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Checked
Plot Date:
Project NO.
Project Status

Client
Site:

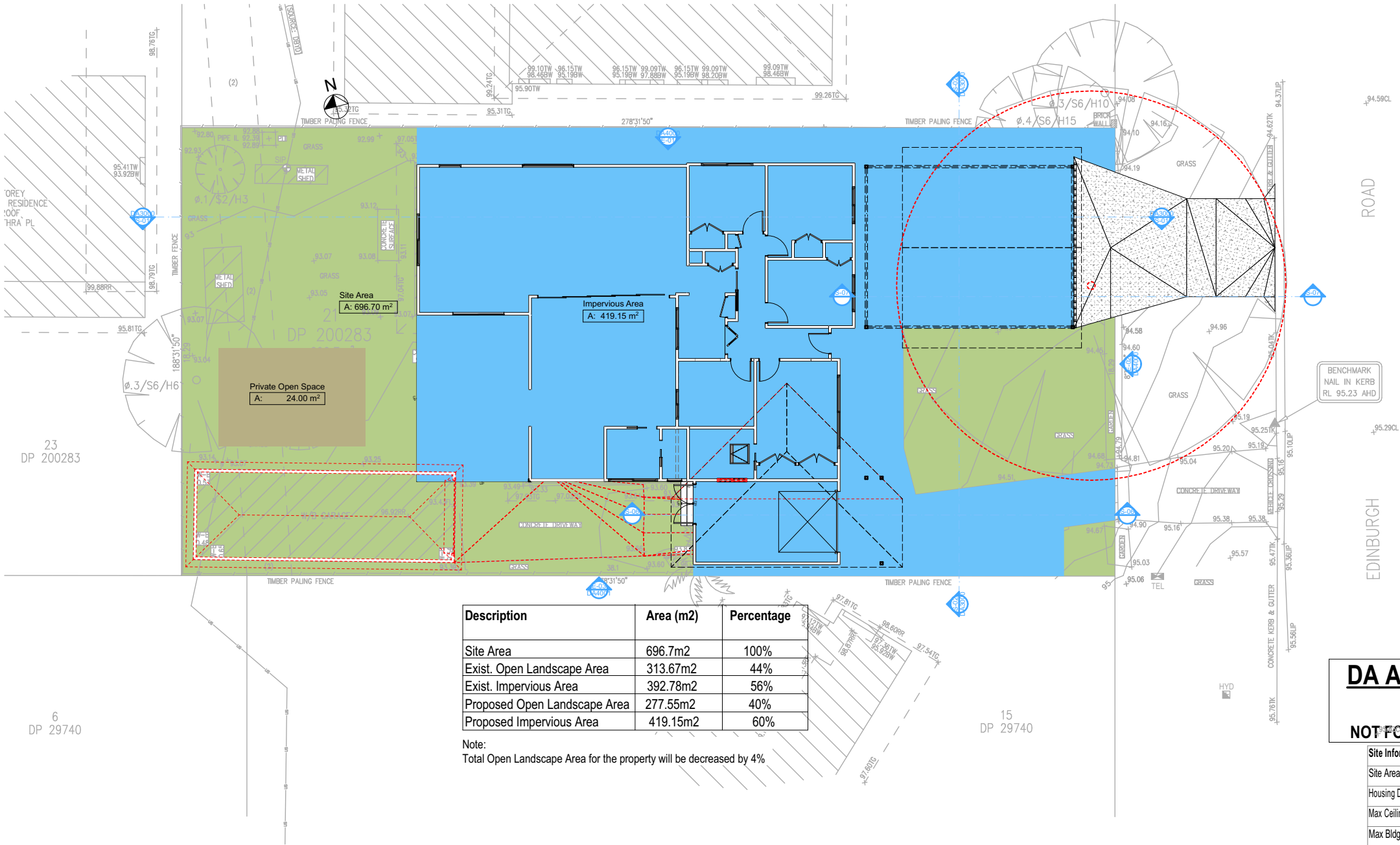
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Landscape Open Space Plan
Existing

PROJECT NAME :
Alterations & Additions

REVISION NO.

DRAWING NO.
DA1009



Denotes Impervious Area

Denotes Pervious Area

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Rapid Plans
Building Design and Architectural Drafting

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Ph: (02) 9505-8845 Mobile: 0414-946-024
Email: info@rapidplans.com.au

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New Works to be constructed shown in Shaded/Blue

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Insulation to External Framed Walls R1.70
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1289-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1772665
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Builder To Confirm Type & Colour

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 26/03/2025
Project NO.: RP0919CER
Project Status DA Rev 2

Client Aleks Cervovic

Site: 28 Edinburgh Road, Forestville 2089

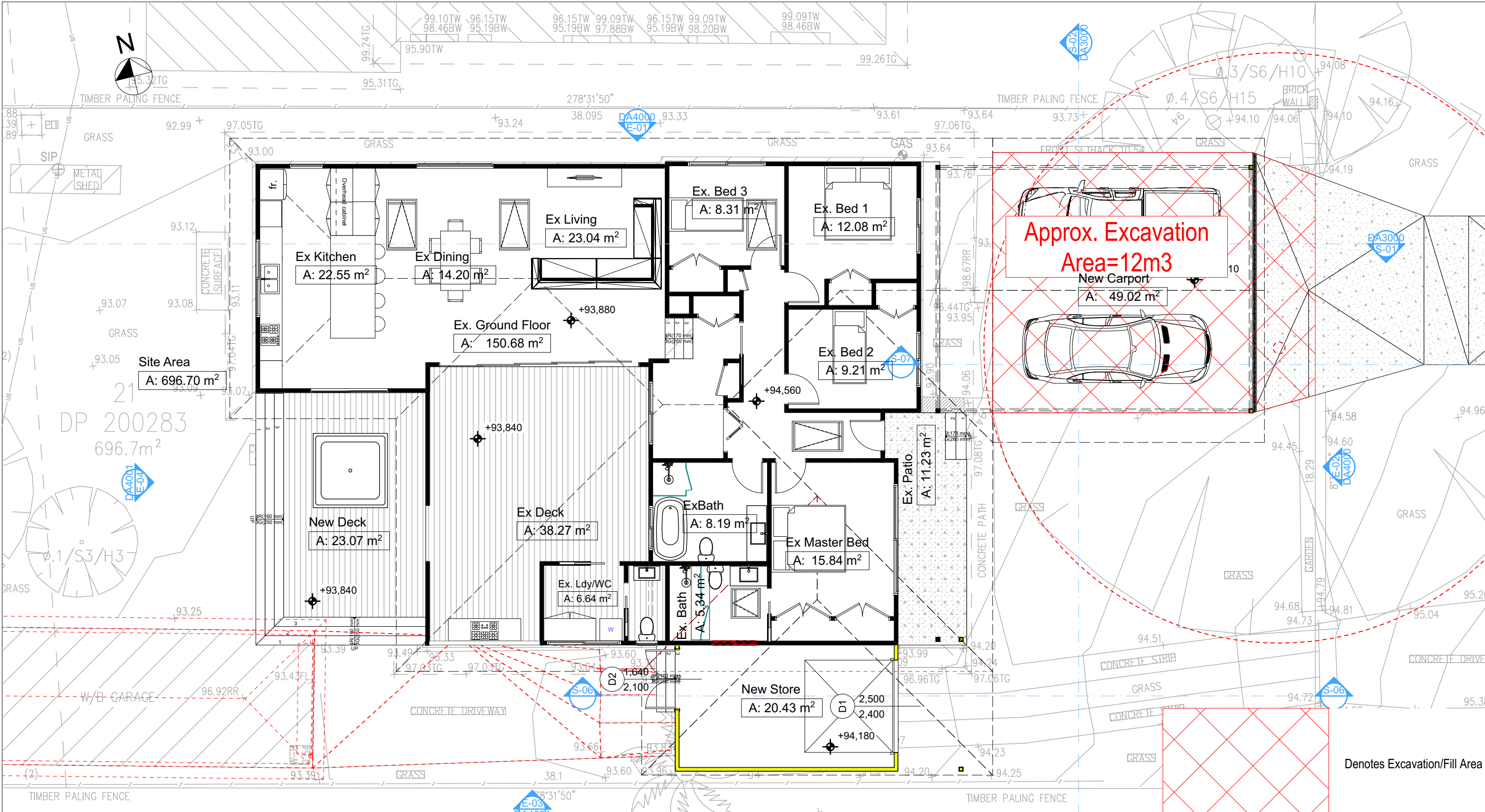
DRAWING TITLE
SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO.

DRAWING NO.
DA1010

Plot Date: 26/03/2025
Sheet Size: A3



2 EXCAVATION & FILL PLAN
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

Checked Plot Date: GBJ 26/03/2025
Project NO: RP0919CER
Project Status: DA Rev 2

Client Site: Aleks Cerovic
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.

DRAWING NO.
DA1011

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Bldg Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

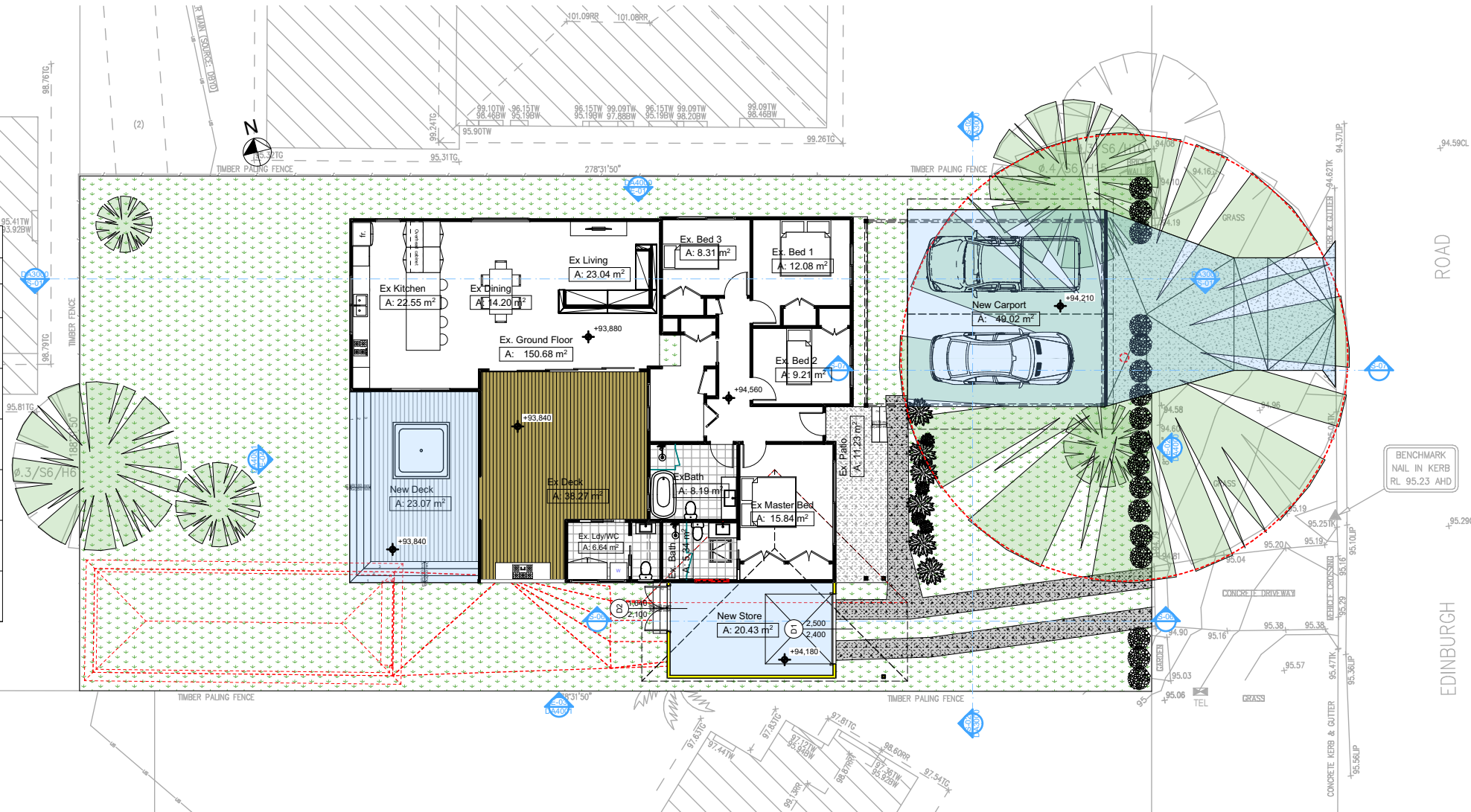
ITION, AND ARE INTENDED TO BE USEFUL
GENERAL TERRAIN. CARE SHOULD BE
TING.

IE APPROXIMATE ONLY.

ITLE TO THE LAND.
ID CONDITIONS IN THE CROWN GRANT(S)
NT FOR DRAINAGE AFFECTING THE PART
DESCRIBED SHOWN AS SITE OF
EASEMENT 1.83 WIDE IN THE TITLE

Landscape Legend

Ground Covers Schedule	
Symbol	Common Name
	Existing Tree To Remain
	Existing Garden To Remain
	Existing Hedge To Remain
	Existing Grass To Remain
	Timber Deck
	Concrete Drive



2

LANDSCAPE PLAN 1:200

**DA APPLICATION
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Certifying

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NOTES

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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction

Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1772665

All Plans to be read in conjunction with Basix Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



Rapid Plans
www.rapidplans.com.au
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NSW 2086
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

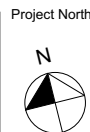


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
26/03/2025
RP0919CER
DA Rev 2

Client
Site:
Aleks Cerovic
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Landscape Plan

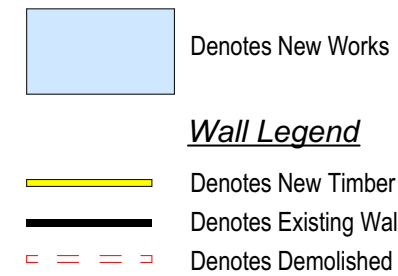
PROJECT NAME :

Alterations & Additions

REVISION NO.

DRAWING NO.

DA1012



NOTES
 18 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
 18 Edinburgh Road, Forestville 2089 is not considered a heritage item
 All Plans to be read in conjunction with Basic Certificate
 New Works to be constructed shown in Shaded/Blue

Basic Certificate Number A1776626

Plans to be read in conjunction with Basic Certificate

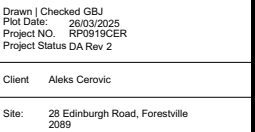
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below. The insulation that is additional insulation is not required where the area of new construction is less than 2m². b Insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Shading and overshadowing specifications must be satisfied for each window and glazed door:

- For projections described in millimetres, the leading edge of each balcony, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
- Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



PROJECT NAME : **Alterations & Additions**

DRAWING NO.

DA1013

Plot Date: 26/03/2025
 Sheet Size: A3
 R:\Current Job\ICEROVIC Aukland\ArchCAD
 Dwg\ICEROVIC-23-DA Final.dwg Rev2.pln

Run-off to drain to sediment trap

50-75 mm crushed rock

Geofabric lining

2400

150

Light Duty Tyre Cleaning Berm (3000 wide min)

Run-off to drain to sediment trap

SL81 Fabric (2.4m x 3.0m)
Mesh pegged firmly to ground

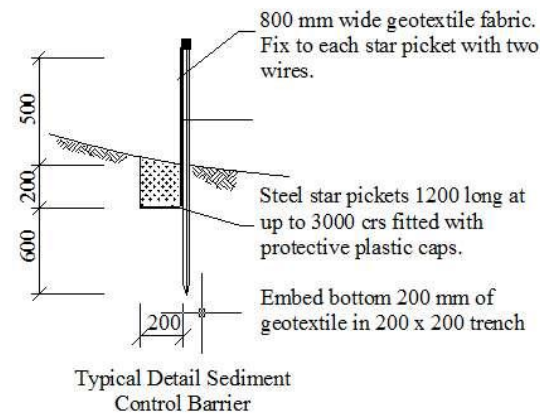
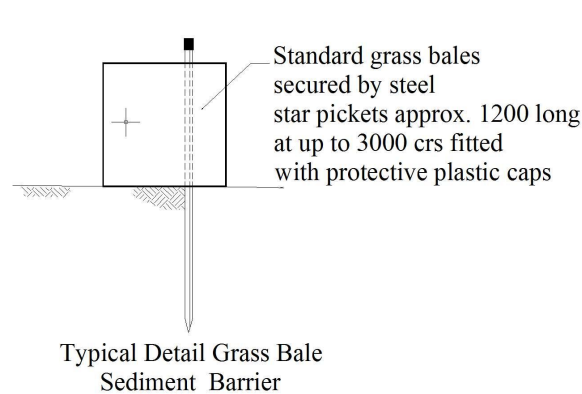
50-75 mm crushed rock

Geofabric lining

2400

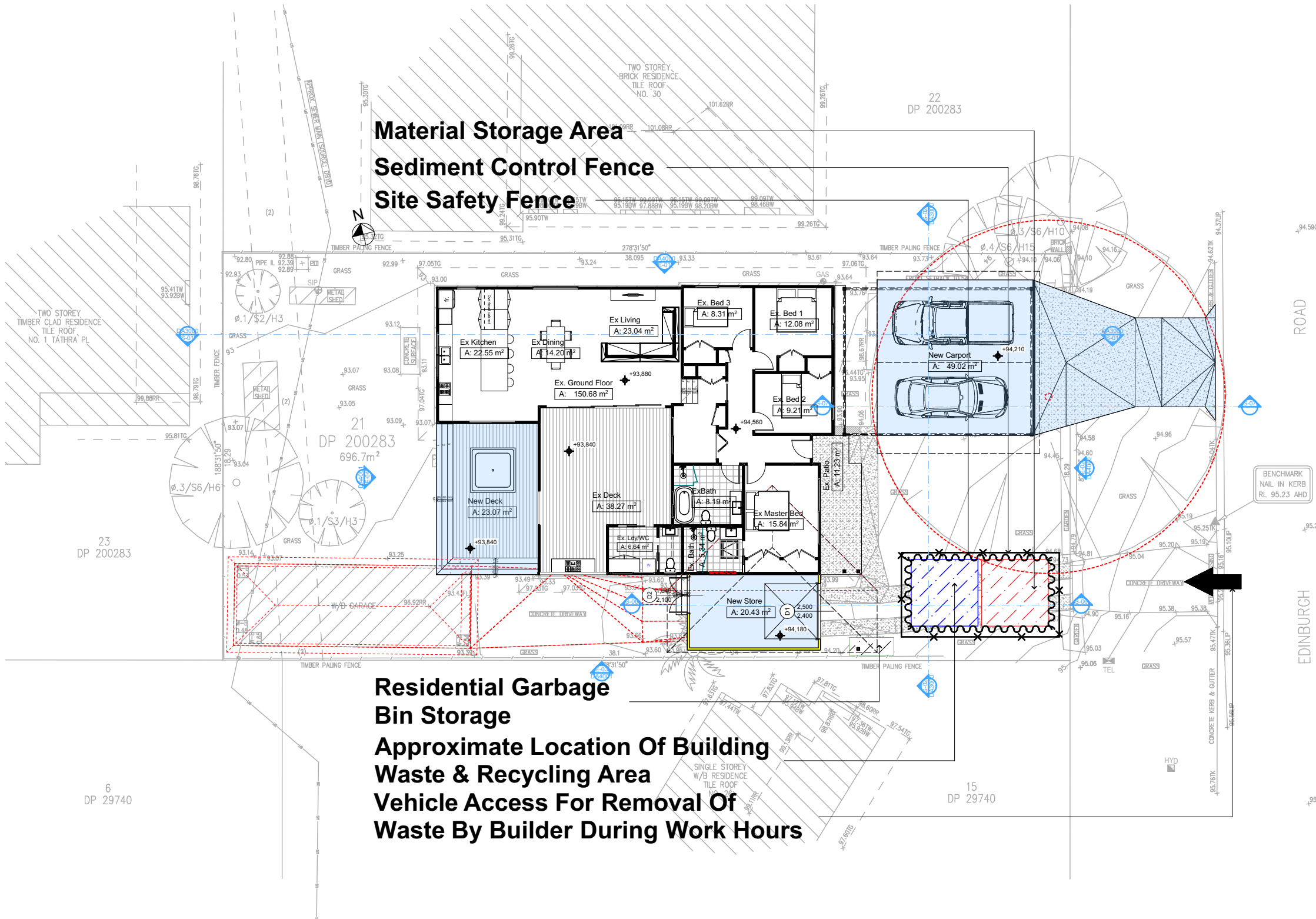
150

Light Duty Tyre Cleaning Grid (3000 wide min)



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes Existing Wall
Denotes Demolished Item

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NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential.
28 Edinburgh Road, Forestville 2089 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.

Construction
Framed Floors, Framed Walls
Roof Framing to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1772655
All Plans to be read in conjunction with Basic Certificate.
The applicant must conduct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Builder To Confirm Type & Colour

Builder To Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
N

Drawn | Checked GBJ
Plot Date: 26/03/2025
Project NO: RP0919PCR
Project Status DA Rev 2

Client Aleks Cervovic

Site: 28 Edinburgh Road, Forestville 2089

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.
DRAWING NO.
DA1014

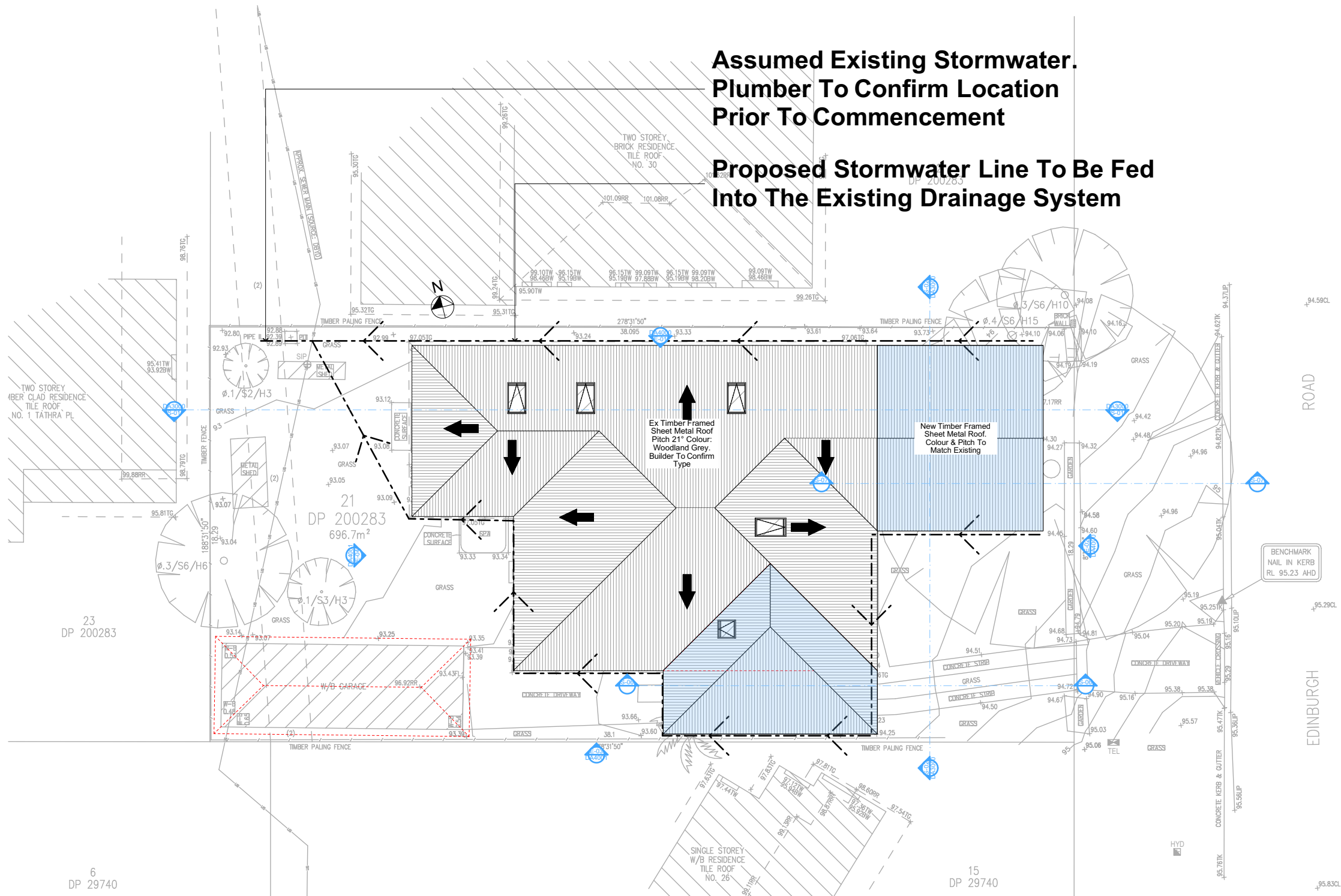
Plot Date: 26/03/2025
Sheet Size: A3

DA APPLICATION ONLY NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

A diagram of a fleur-de-lis symbol. The symbol has three petals at the top and a long, thin tail fin (TN) extending downwards. A line points to the tail fin with the label "APPROX. 1°".

Proposed Stormwater Line To Be Fed Into The Existing Drainage System



4

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

Rapid Plans
www.rapidplans.com.au
PO Box 6639 Banksia Forest DC NSW 2086
Fax : (02) 9905-8866 Mobile: 0424-945-024
Email : gregg@rapidplans.com.au



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The bidder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Construction
 Framed Floors, Framed Walls
 Roof Framed to have R1.45 Insulation
 Insulation to External Framed Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Permite Management to BCA and AS 3660.1
 Facing to BCA and AS01286-2002
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
 Workmanship and materials shall be in accordance with the
 requirements of Building Codes of Australia.

Basic Certificate Number A1772665

Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/openings) in accordance with the specifications listed in the table below, except for (a) additional insulation not required where the area of new construction is less than 2m², (b) insulation specified is not required for parts of altered construction that are not in contact with the exterior air, and (c) where the applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Overlaid overshadowing specifications must be satisfied for each window and glazed door:

For projections described in millimetres, the leading edge of each building or balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overlaid overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Drawn | Checked GBJ
Plot Date: 26/03/2025
Project NO. RP0919CER
Project Status DA Rev 2

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

REVISION NO.

DRAWING NO.

DA1015

Plot Date: 26/03/2025
 Sheet Size: A3
 R:\Current Job\CEROVIC Askel\ArchCAD
 Dwg\CEROVIC-23-DA Final Rev2.pln

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. Gl.	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.	

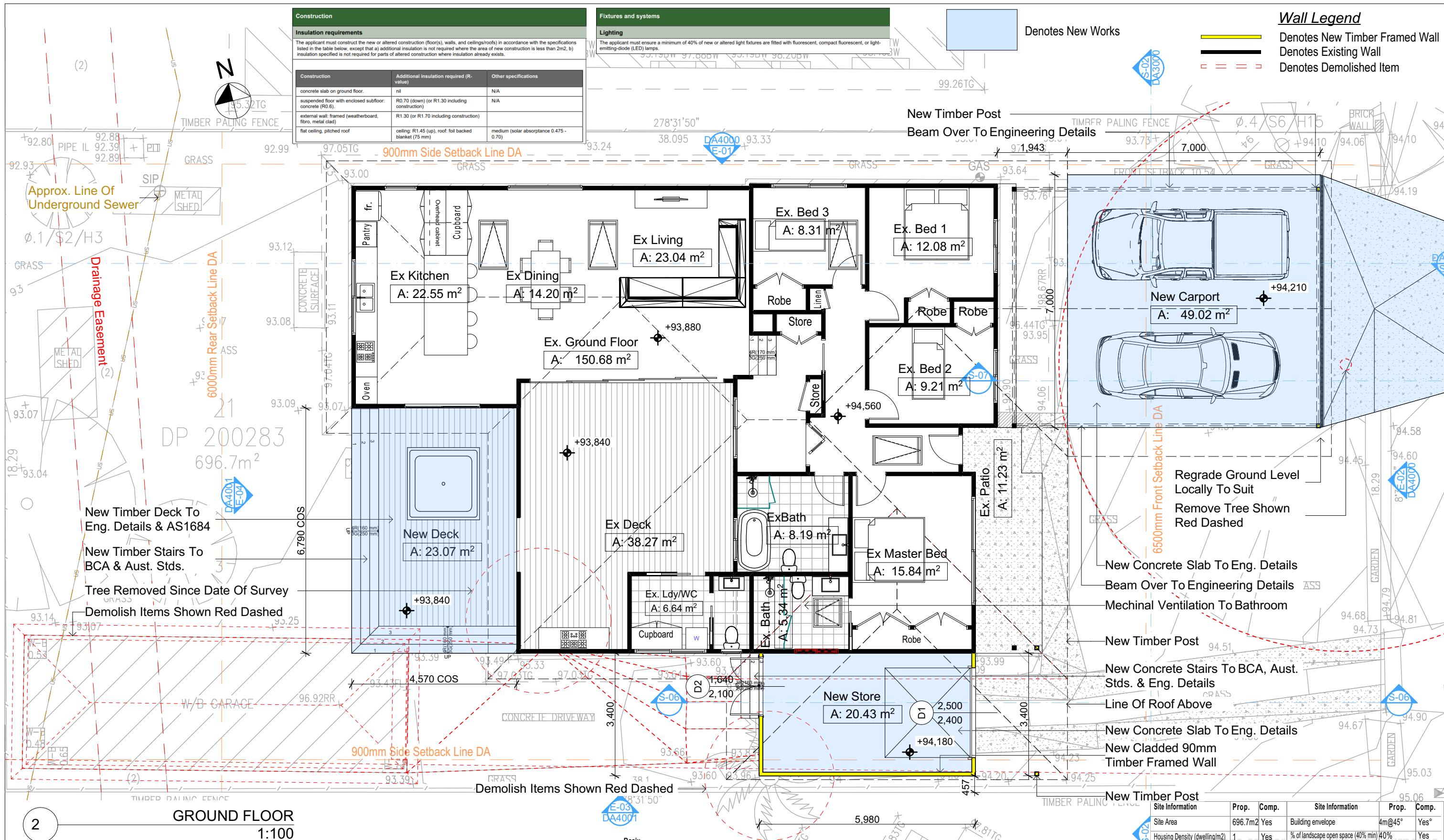
Wall Legend

Denotes New Works

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



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Certifying
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NOTES
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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
Basix Certificate Number A1772665
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date:
Project NO.
Project Status

Client
Site:
Aleks Cerovic
28 Edinburgh Road, Forestville 2089
Sheet Size: A3

DRAWING TITLE :

PLANS
GROUND FLOOR

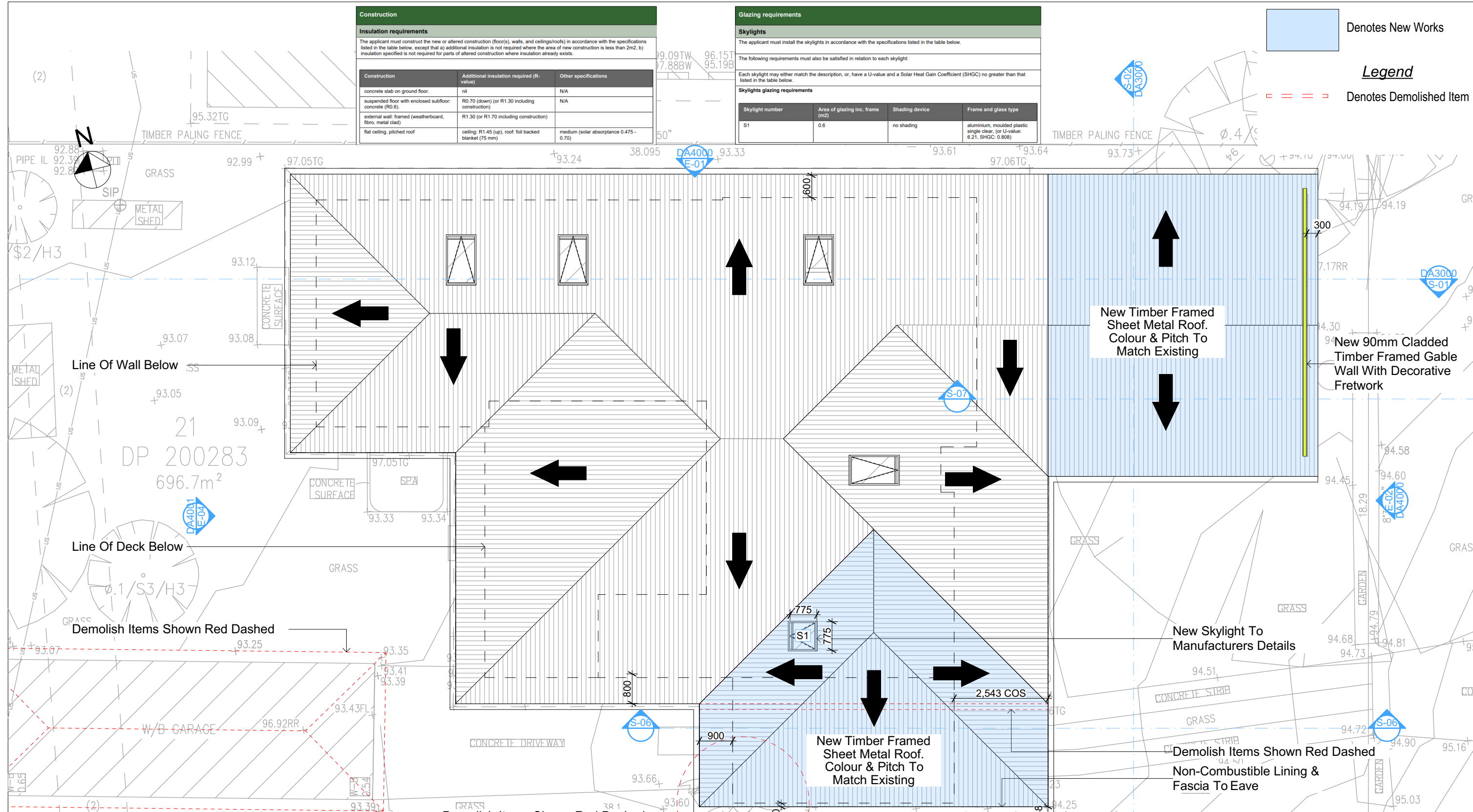
PROJECT NAME :

Alterations & Additions

REVISION NO.

DRAWING NO.

DA2001



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Glazing requirements			
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Denotes New Works

Legend

Denotes Demolished Item

3

ROOF
1:100

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Certifying
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NOTES
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28 Edinburgh Road, Forestville 2089 is not considered a heritage item


Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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


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ASSOCIATION OF AUSTRALIA

ACCREDITED
BUILDING DESIGNER

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Discrepancies to Rapid Plans

Project North



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

DRAWING TITLE :

**PLANS
ROOF**

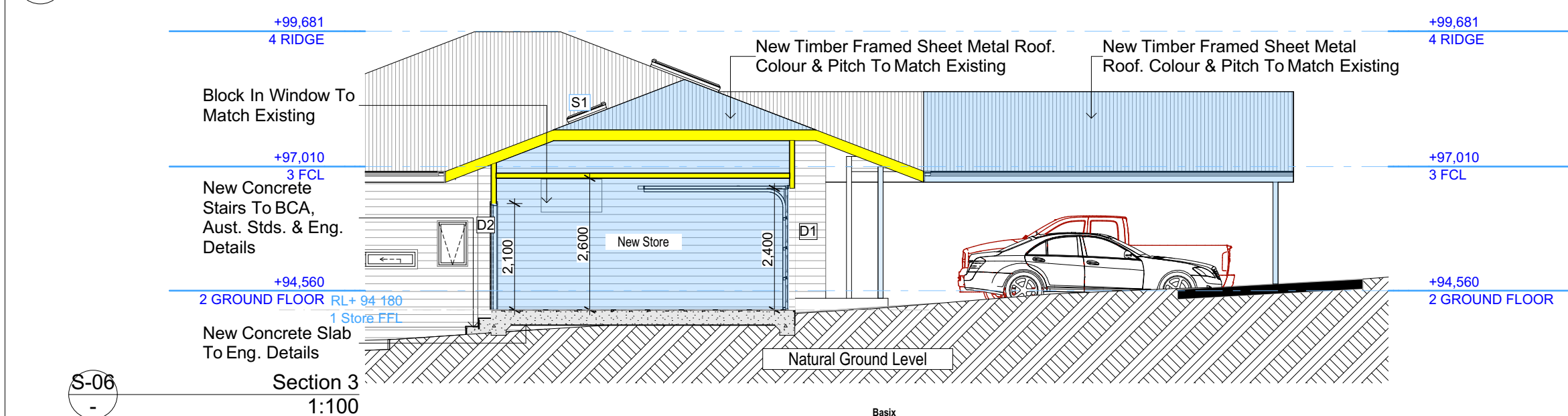
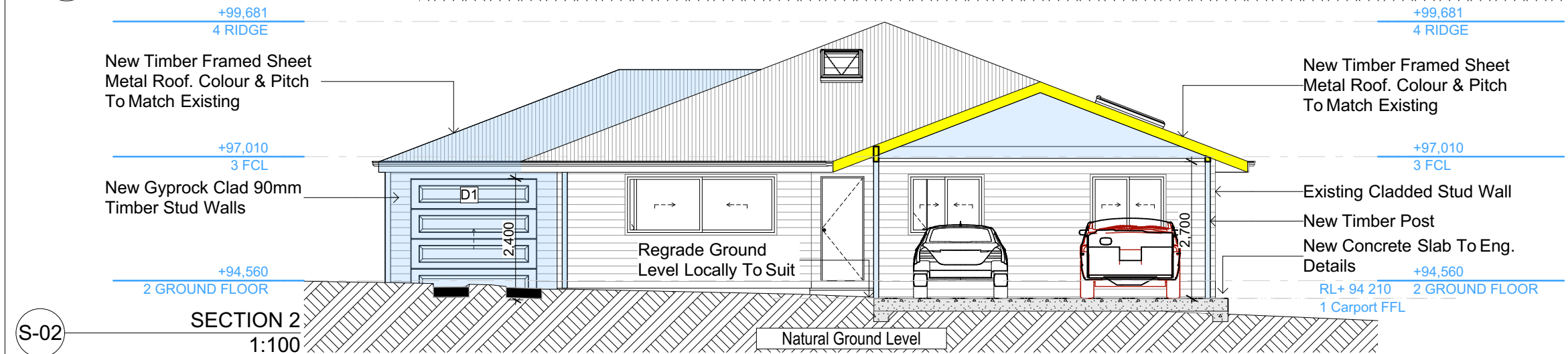
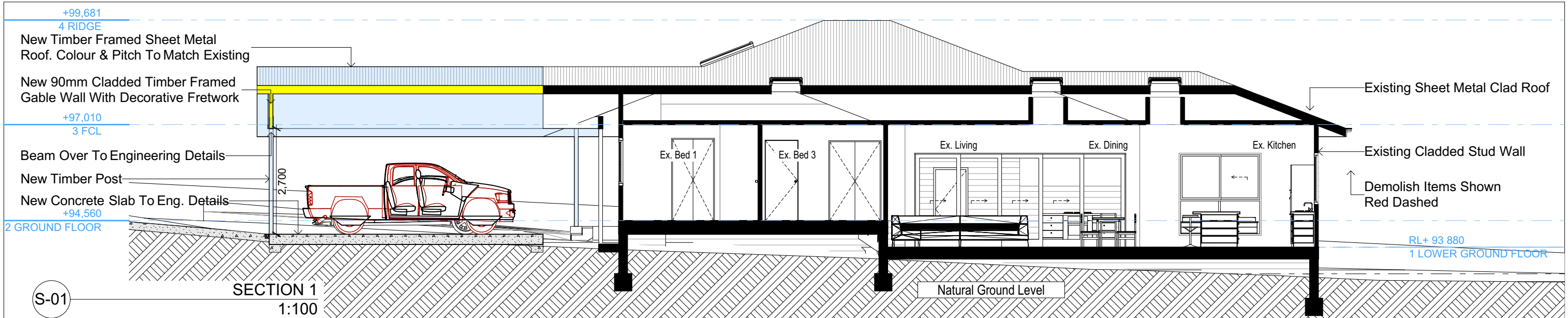
PROJECT NAME :

Alterations & Additions

REVISION NO.

DRAWING NO.

DA2002



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6)	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Glazing requirements			
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

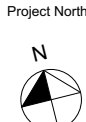
Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
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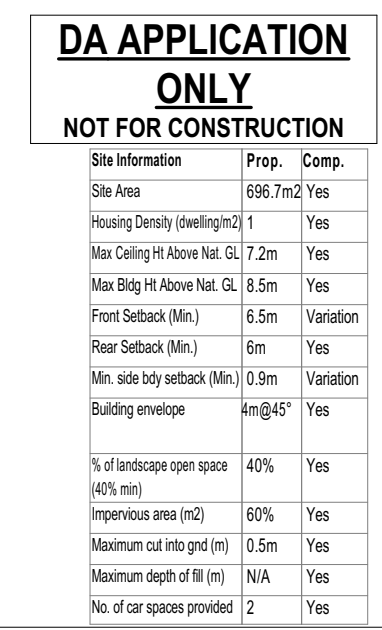
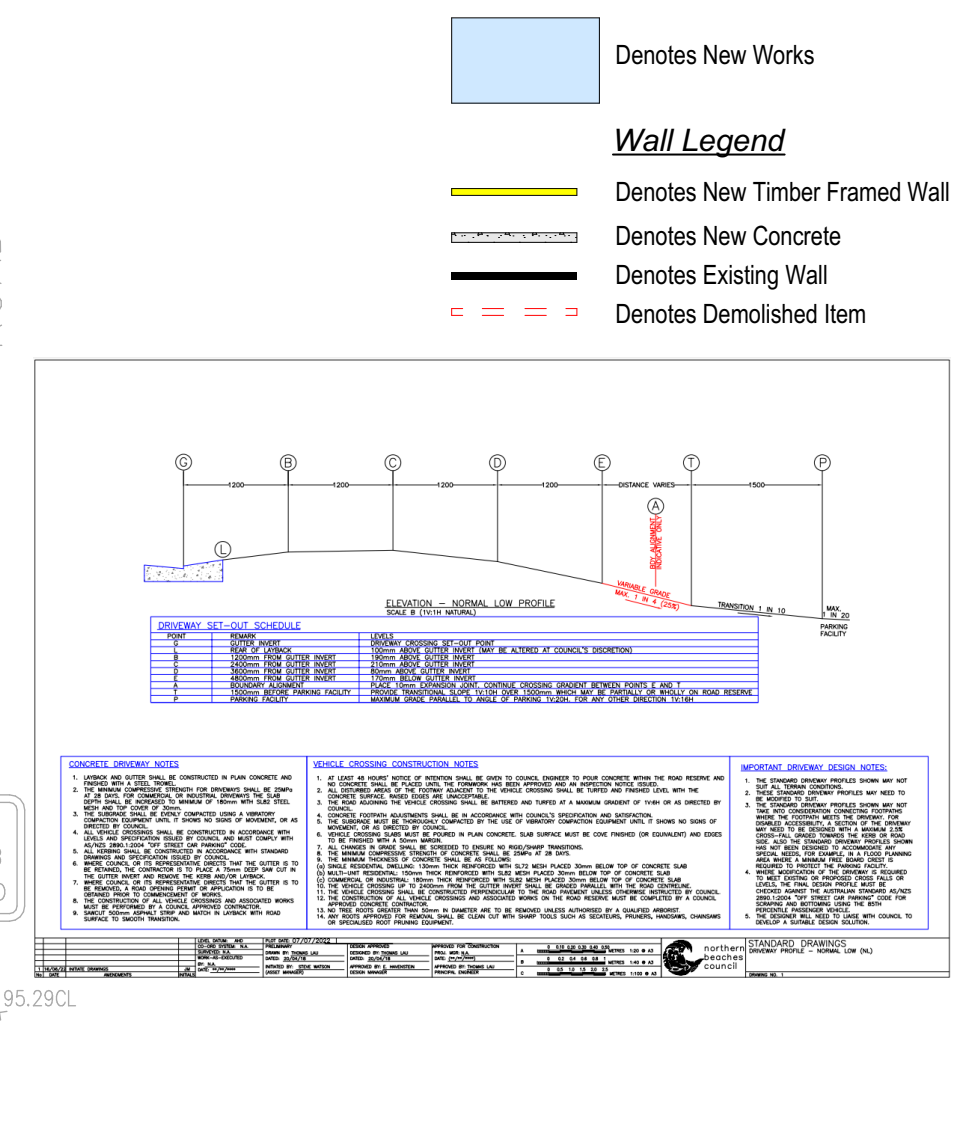
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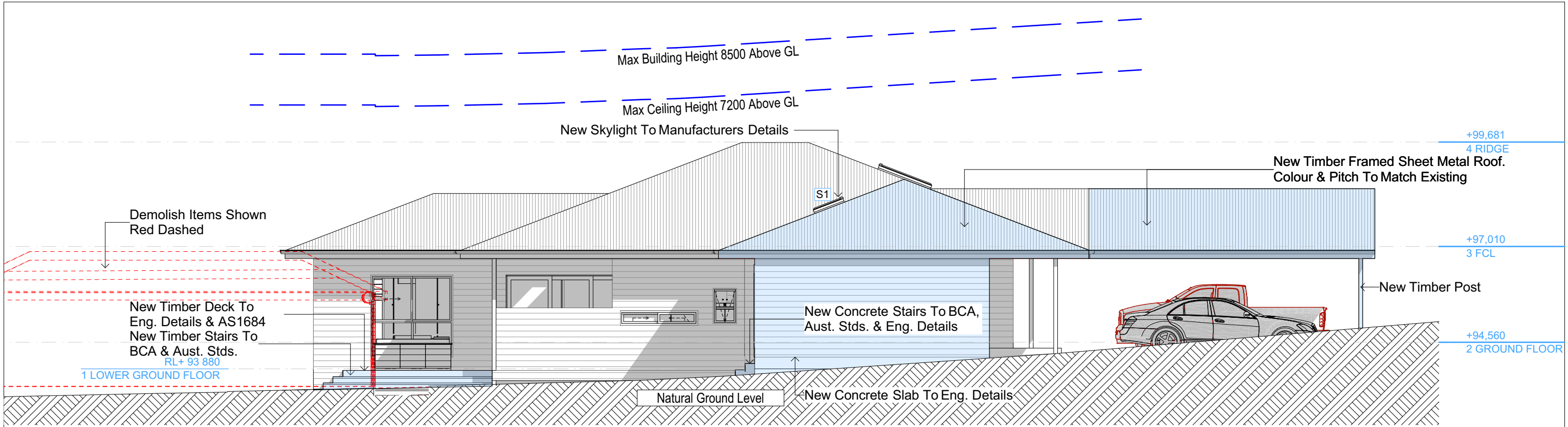
Checked
Plot Date: 26/03/2025
Project NO: RP0919CER
Project Status: DA Rev 2
Client
Site: Aleks Cerovic
28 Edinburgh Road, Forestville 2089
Sheet Size: A3

DRAWING TITLE :
SECTIONS
SECTION 1
PROJECT NAME :
Alterations & Additions

REVISION NO.
DRAWING NO.
DA3000



<div><p>Rapid Plans Building Design and Architectural Drafting</p></div> <div><p>Rapid Plans www.rapidplans.com.au PO Box 4678 Fremantle Forest DC WA6006 2606 Fax: (08) 9399-8581 Mobile: 08 9438 3466 Email: j.perry@rapidplans.com.au</p></div>	
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<p>NOTES</p> <p>28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential</p> <p>28 Edinburgh Road, Forestville 2089 is not considered a heritage item</p> <p>All Plans to be read in conjunction with Basix Certificate</p> <p>New Works to be constructed shown in Shaded/Blue</p>	
<p>Construction</p> <p>Framed Floor, Framed Walls</p> <p>Roof Framed to have R 4.5 insulation</p> <p>Insulation to External Framed Walls R1.70</p> <p>Refer to Engineers drawings for structural details</p> <p>All work to Engineers Specification and BCA</p> <p>Timber framing to BCA and AS 1984</p> <p>Femile Management to BCA and AS 3060.1</p> <p>Glazing to BCA and AS01288-2047</p> <p>Waterproofing to BCA and AS 3747</p> <p>New Lighting to have minimum of 40% compact fluorescent lamps</p> <p>All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.</p>	
<p>Basix</p> <p>Basix Certificate Number A177665</p> <p>All Plans to be read in conjunction with Basix Certificate</p> <p>The applicant must construct the new or altered construction (floor sl, walls, and ceiling/roof) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2. b) insulation specified is not required for parts of altered construction where insulation already exists.</p> <p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.</p> <p>Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>For projections described in millimetres, the leading edge of each sl, veranda, pergola, balcony or awning must be no more than 500 mm above the head of the window or glazed door and to more than 2400 mm above the sill.</p> <p>Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.</p>	
<div><h1>Builder To Confirm Type & Colour</h1><p>Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans</p></div>	
Project North	
Drawn / Checked GBJ Plot Date: 26/03/2025 Project NO. RP0919CER Project Status DA Rev 2	
Client Aleks Cerovic	
Site: 28 Edinburgh Road, Forestville 2089	
<p>DRAWING TITLE :</p> <p>SECTIONS</p> <p>SECTION DRIVE</p>	
<p>PROJECT NAME :</p> <p>Alterations & Additions</p>	
<p>REVISION NO.</p>	
<p>DRAWING NO.</p> <p>DA3001</p>	
Plot Date: 26/03/2025 Sheet Size: A3	<p>26/03/2025</p> <p>© Copyright (C) 2024 Rapid Plans. All Rights Reserved. Rapid Plans is a registered trademark of Rapid Plans Pty Ltd.</p>



E-03

South
1:100

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+99,681
4 RIDGE

+97,010
3 FCL

Building Envelope

+94,560
2 GROUND FLOOR

RL+ 93 880
1 LOWER GROUND FLOOR

4,000

45°

S1

45°

New Skylight To
Manufacturers Details

New Timber Framed Sheet
Metal Roof. Colour & Pitch
To Match Existing

+99,681
4 RIDGE

+97,010
3 FCL

Building Envelope

New Timber Deck To Eng.
Details & AS1684

Demolish Items
Shown Red Dashed

+94,560
2 GROUND FLOOR

New Timber Stairs To
BCA & Aust. Stds.

Natural Ground Level

E-04

West
1:100

**DA APPLICATION
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Certifying

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NOTES

28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction

Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1772665

All Plans to be read in conjunction with Basix Certificate

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Construction

Insulation requirements

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Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements

Skylights

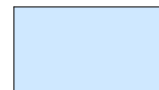
The applicant must install the skylights in accordance with the specifications listed in the table below.

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Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)



Denotes New Works

Legend



Denotes Existing Drive



Denotes Demolished Item

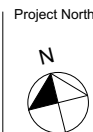
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
26/03/2025
RP0919CER
DA Rev 2

Client
Site:
Aleks Cerovic
28 Edinburgh Road, Forestville 2089
Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 2

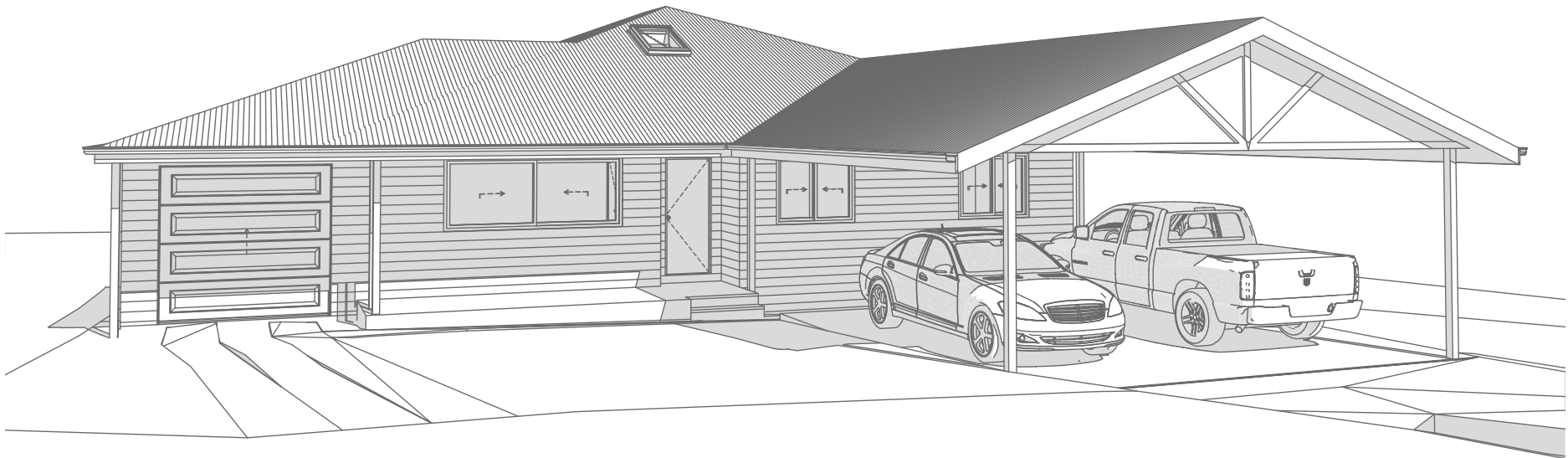
PROJECT NAME :

Alterations & Additions

REVISION NO.

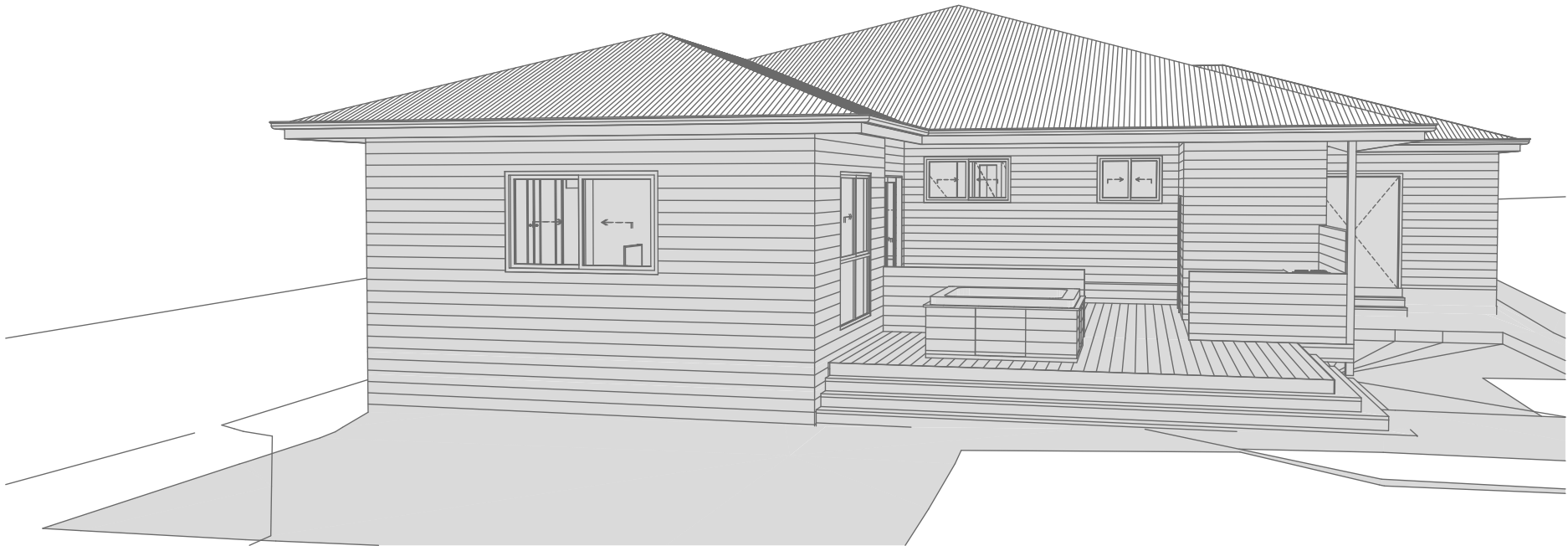
DRAWING NO.

DA4001



1
-

Perspective Front
1:200



2
-

Perspective Rear
1:200

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Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
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Min. side bdy setback (Min.)	0.9m	Variation			



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Checked
Plot Date: 26/03/2025
Project NO. RP0919CER
Project Status DA Rev 2

Client
Site: Aleks Cerovic
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE

PROJECT NAME :
Alterations & Additions

REVISION NO.

DRAWING NO.
DA5000



Denotes Timber Deck (Typical). Builder To Confirm Type & Colour



Denotes Concrete Drive (Typical). Builder To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical). Type & Colour To Match Existing



Denotes Roller/Tilt Door (Typical). Builder To Confirm Type & Colour



Denotes Skylight (Typical). Type & Colour To Match Existing



Denotes Cladding (Typical). Type & Colour To Match Existing

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Construction
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Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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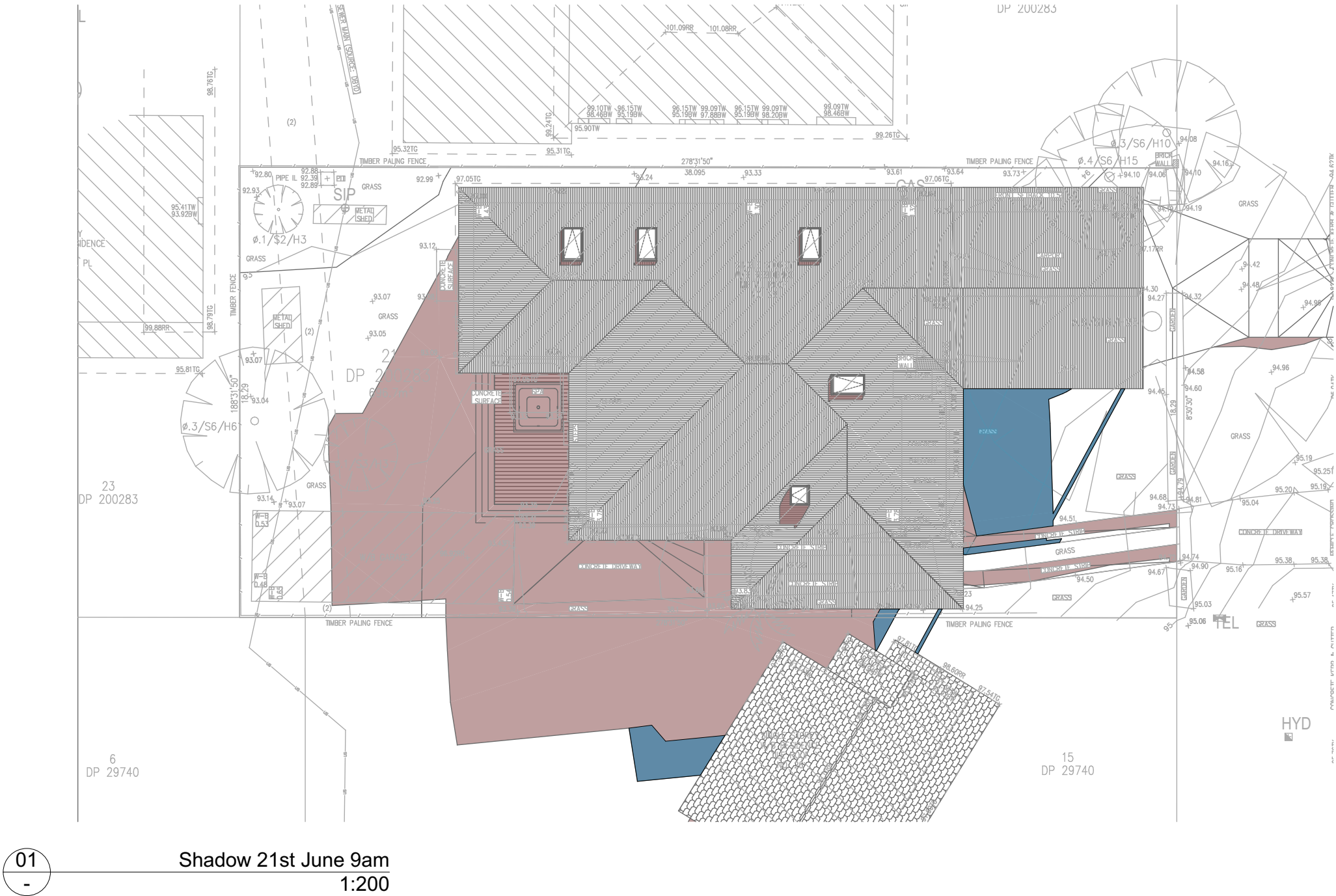
Checked Plot Date: GBJ 26/03/2025
Project NO: RP0919CER
Project Status: DA Rev 2
Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
MATERIAL & COLOUR
SAMPLE BOARD
PROJECT NAME : Alterations & Additions

REVISION NO.
DRAWING NO.
DA5001

Denotes Proposed Shadow

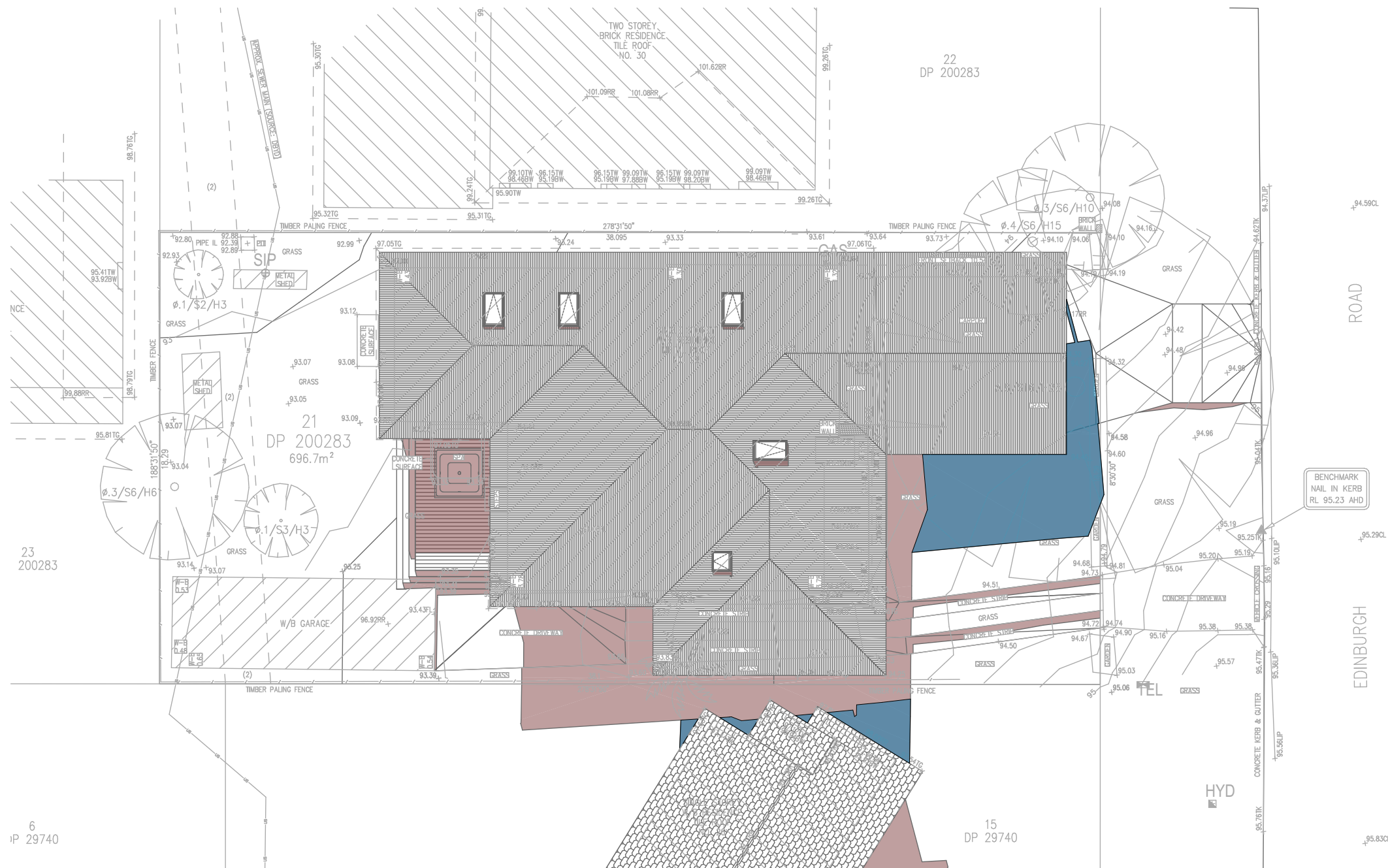
Denotes Existing Shadow



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ONLY
NOT FOR CONSTRUCTION**

Denotes Proposed Shadow

Denotes Existing Shadow



01
-
Shadow 21st June 12pm
1:200

**DA APPLICATION
ONLY
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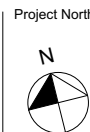


Rapid Plans
www.rapidplans.com.au
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Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

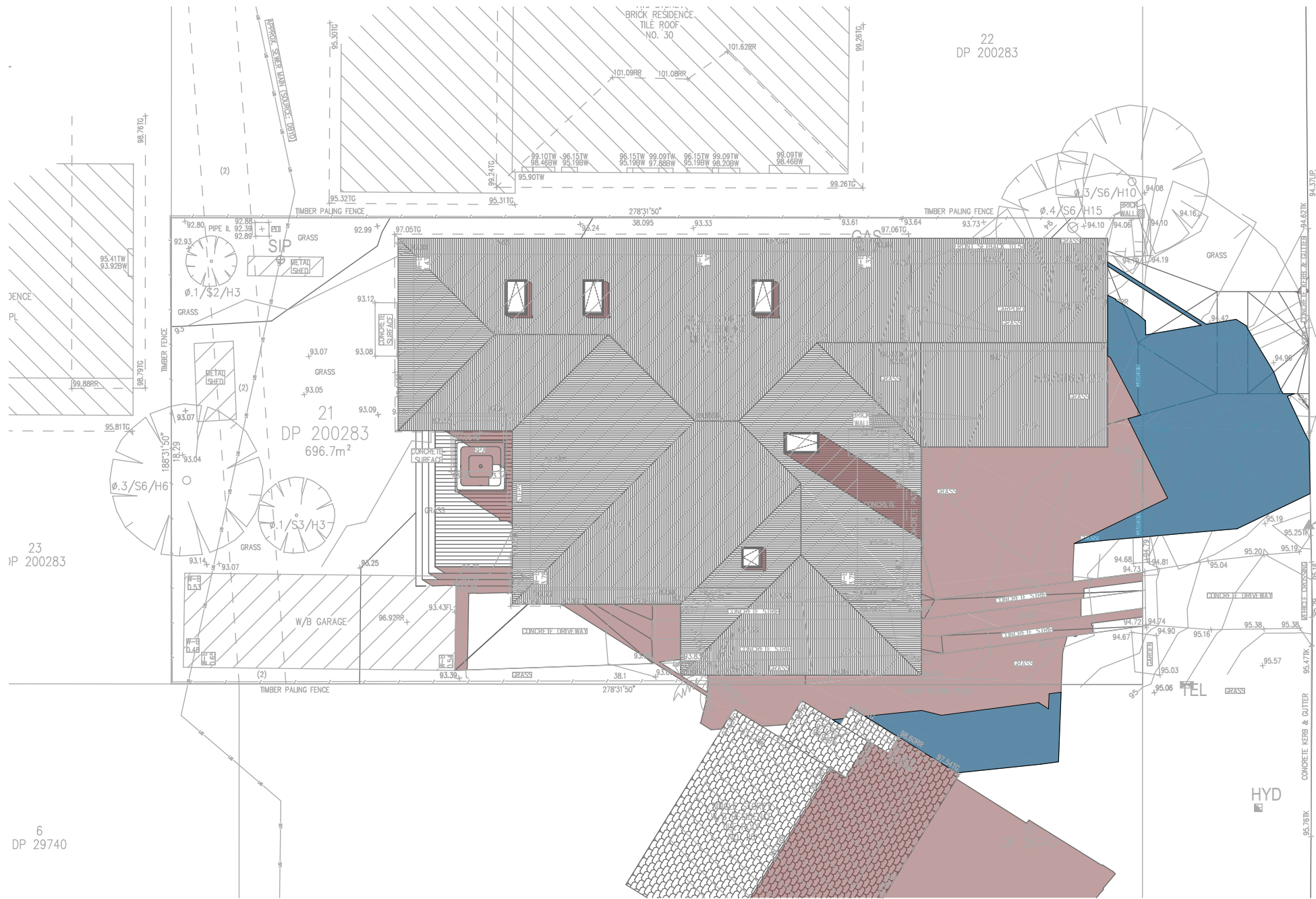
GBJ
26/03/2025
RP0919CER
DA Rev 2
Aleks Cerovic
28 Edinburgh Road, Forestville 2089

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
12pm**
PROJECT NAME :
Alterations & Additions

REVISION NO.
DRAWING NO.
DA5003

Denotes Proposed Shadow

Denotes Existing Shadow



01

Shadow 21st June 3pm

1:200

DA APPLICATION
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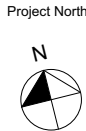
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Plot Date:
Project NO.
Project Status

GBJ
26/03/2025
RP0919CER
DA Rev 2

Client
Site:
Aleks Cerovic
28 Edinburgh Road, Forestville 2089

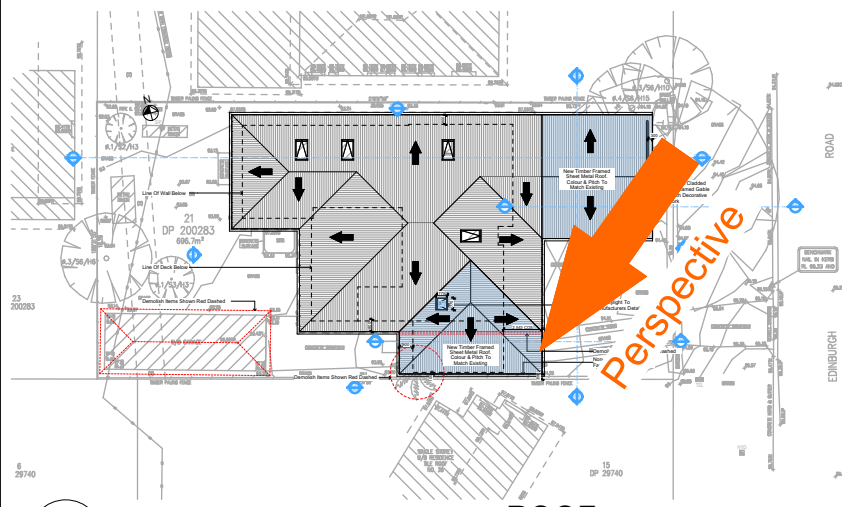
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DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
3pm

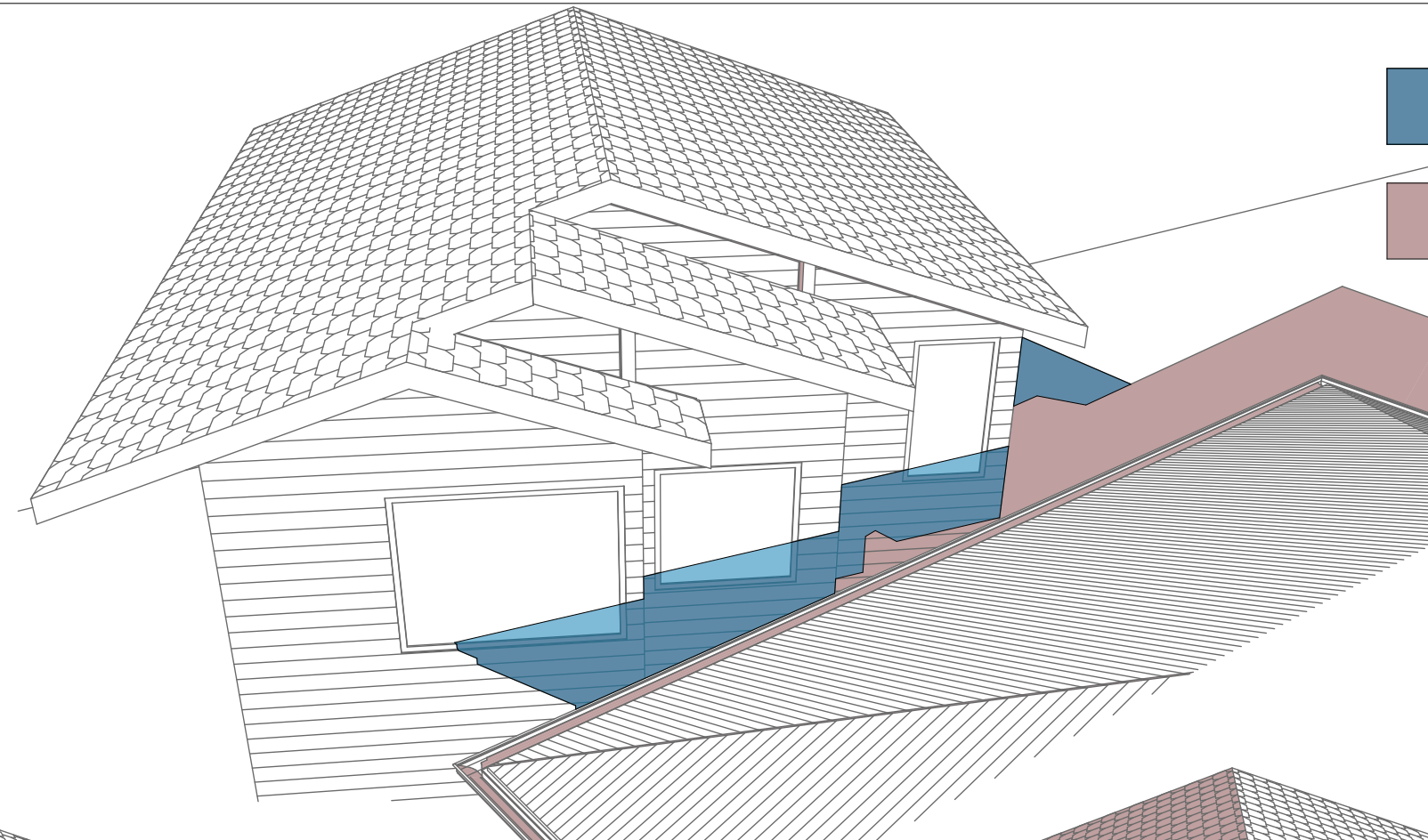
PROJECT NAME :
Alterations & Additions

REVISION NO.

DRAWING NO.
DA5004

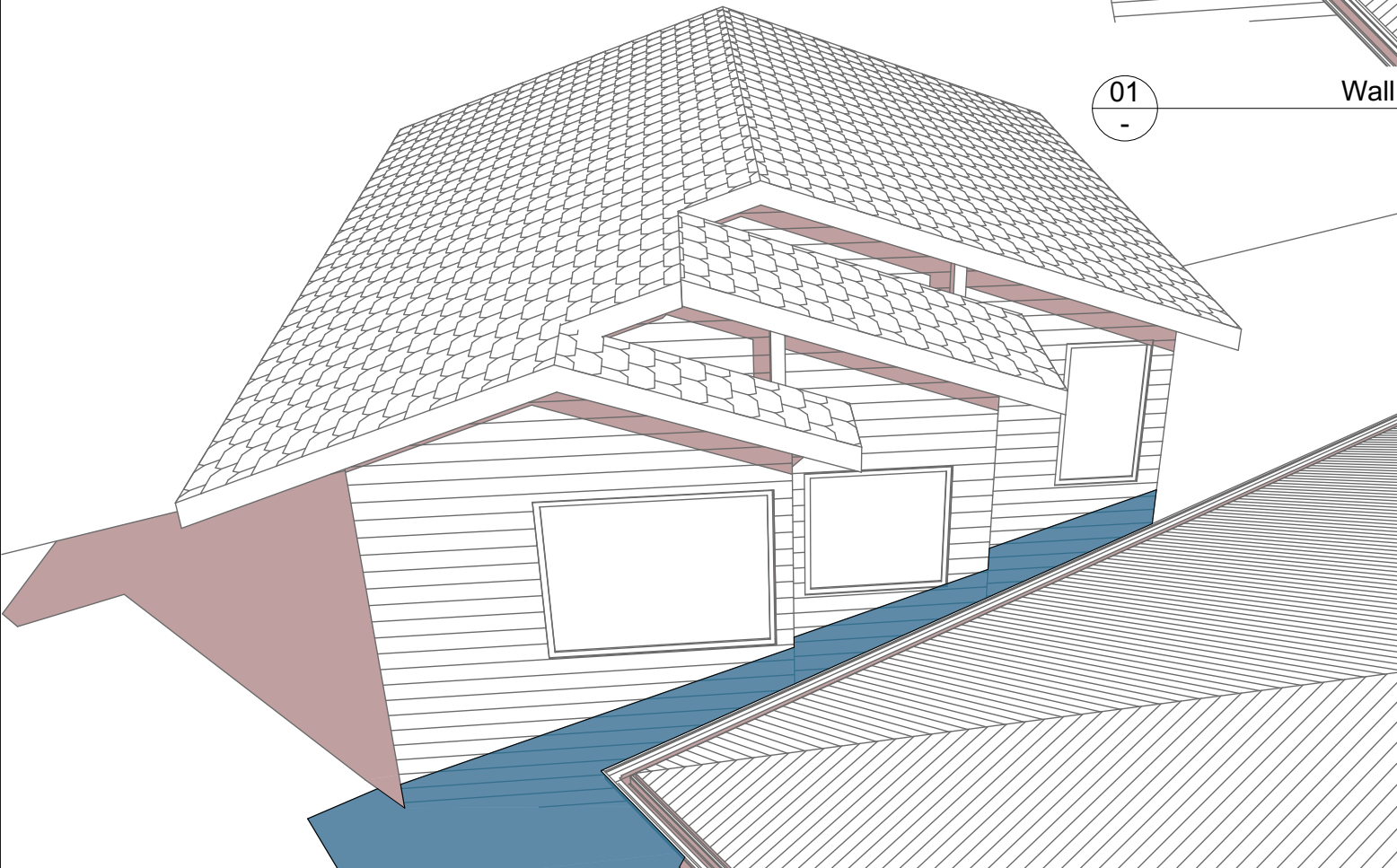


3 ROOF
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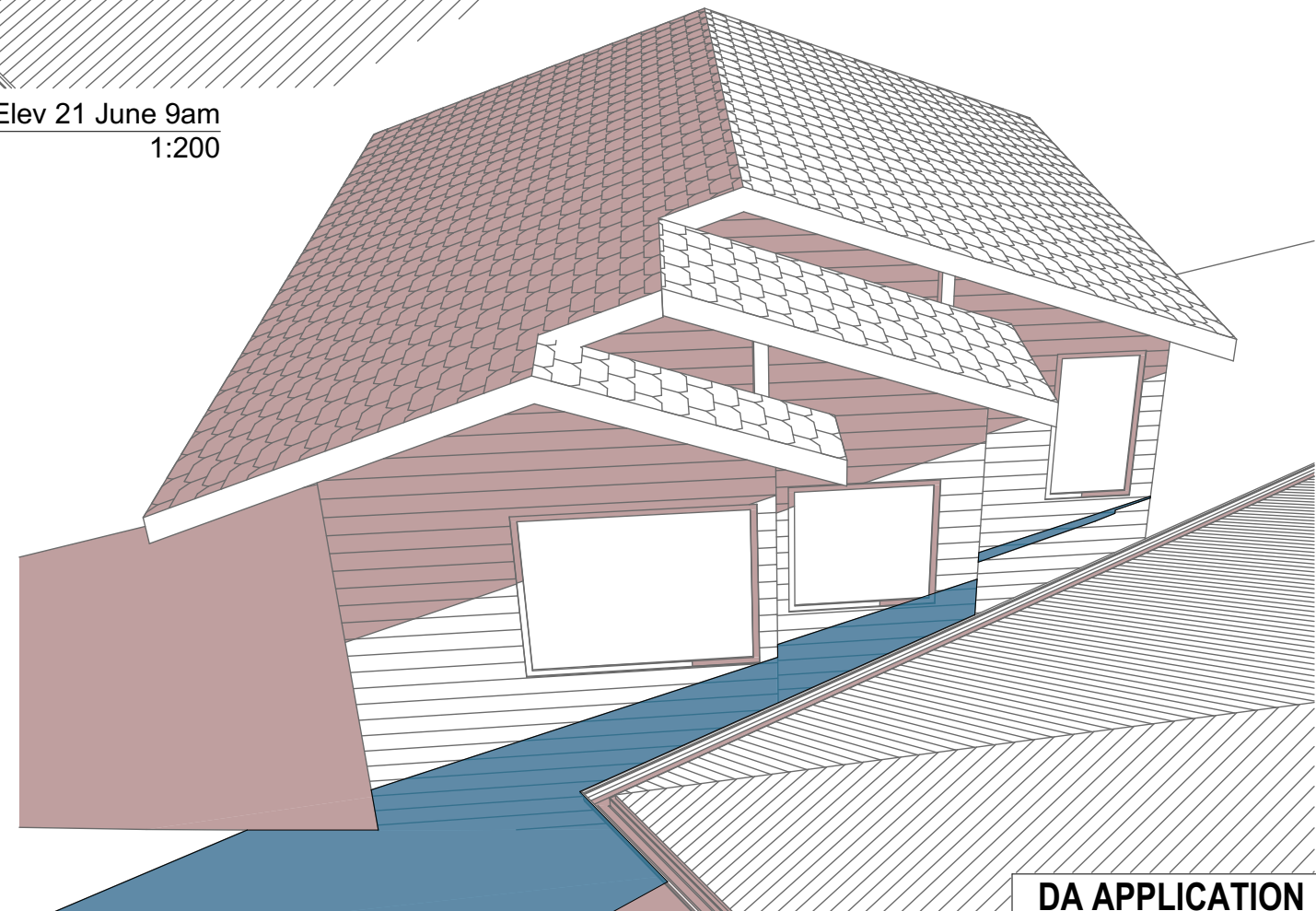


Denotes Proposed Shadow

Denotes Existing Shadow



01 - Wall Elev 21 June 12pm
1:200



01 - Wall Elev 21 June 3pm
1:200

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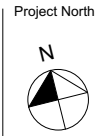


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Checked Plot Date: GBJ 26/03/2025 Project NO: RP0919CER Project Status: DA Rev 2

Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS WALL ELEVATION SHADOWS

PROJECT NAME : Alterations & Additions

REVISION NO.

DRAWING NO. DA5005