

G.J. Gardner. HOMES

PROJECT: NEW DWELLING
ADDRESS: 12 SCALES PARADE
BALGOWLAH HEIGHTS

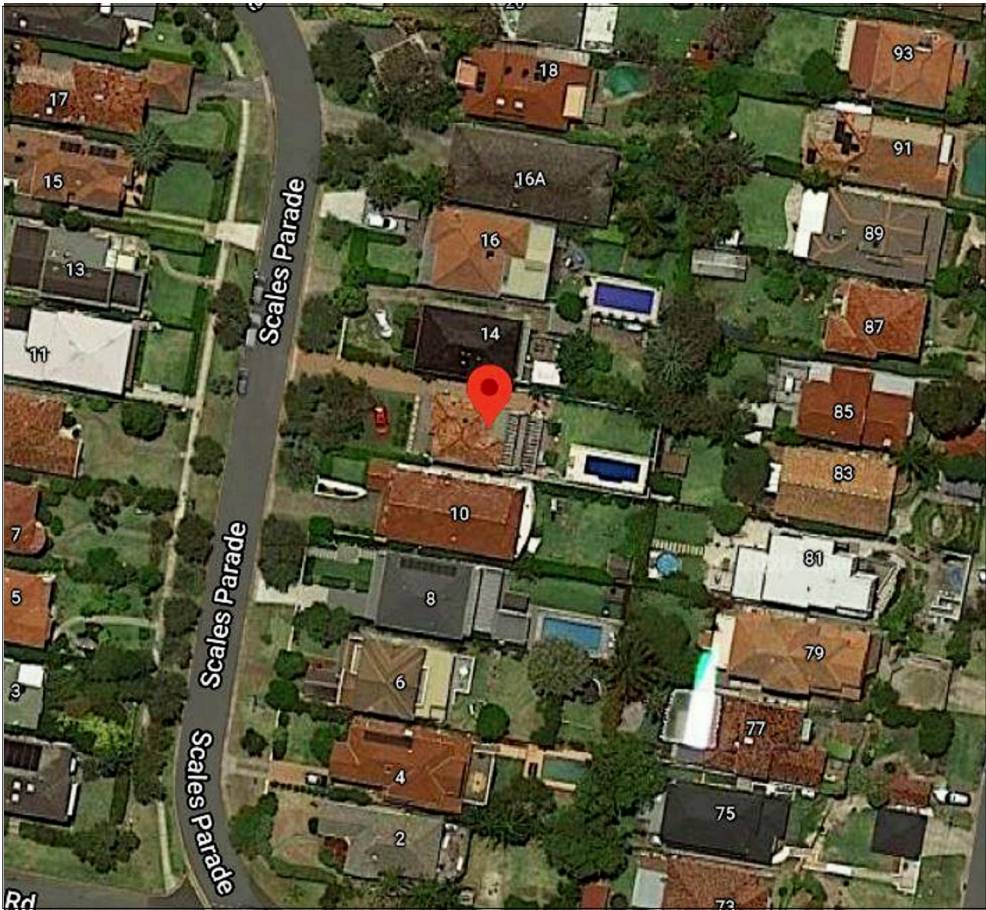
LOT #: 30
DP #: 5840

DRAWING LIST

| DRAWING No | DRAWING NAME | REVISION | DATE |
|------------|-------------------------|----------|------------|
| A01 | COVER SHEET | F | 15/12/2020 |
| A02 | EXISTING SURVEY PLAN | F | 15/12/2020 |
| A03 | SITE PLAN | F | 15/12/2020 |
| A04 | LANDSCAPE PLAN | F | 15/12/2020 |
| A05 | GROUND FLOOR PLAN | F | 15/12/2020 |
| A06 | FIRST FLOOR PLAN | F | 15/12/2020 |
| A07 | ELEVATIONS | F | 15/12/2020 |
| A08 | ELEVATIONS | F | 15/12/2020 |
| A09 | SECTIONS | F | 15/12/2020 |
| A10 | DEMOLITION PLAN | F | 15/12/2020 |
| A11 | SHADOW DIAGRAM | F | 15/12/2020 |
| A12 | EROSION & SEDIMENT PLAN | F | 15/12/2020 |
| A13 | BASIX COMMITMENT | F | 15/12/2020 |
| A14 | WASTE MANAGEMENT | F | 15/12/2020 |
| A15 | SITE ANALYSIS | F | 15/12/2020 |
| A16 | DRIVEWAY DETAIL | F | 15/12/2020 |
| A17 | CONCRETE SLAB PLAN | F | 15/12/2020 |

DRAWING REVISION SCHEDULE

| No. | AMENDMENTS | DATE |
|-----|------------------------------------|------------|
| A | FIRST ISSUE | 31/08/2020 |
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| F | UPDATE TO FULL SET DA ISSUE | 15/12/2020 |



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1764



G.J. Gardner. HOMES
Builders Details

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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

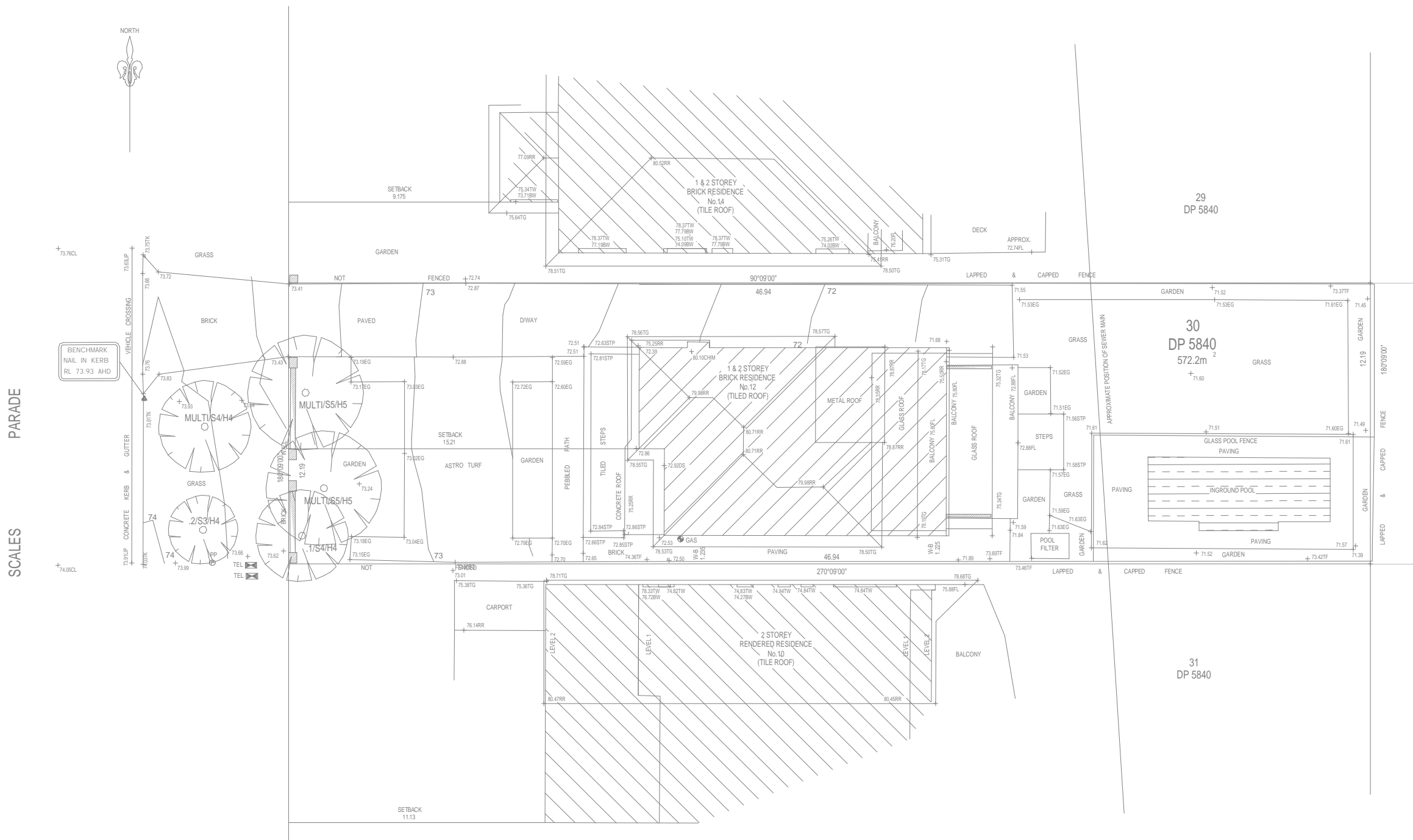
CLIENT: DOUBLE STOREY DWELLING
MILLER

DRAWING TITLE:
COVER SHEET
SCALE: 1 : 100

PROJECT:
12 SCALES PARADE
BALGOWLAH HEIGHTS

SHEET SIZE: **A3** SHEET No: **A01** REVISION: **F**
DATE: **15/12/2020**
JOB NO: 230289 STAGE: DA
DRAWN: NF GJGN123

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:



| DRAWING REVISION SCHEDULE | | |
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**northern
beaches
council**

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1 EXISTING SURVEY
1 : 200



0 1m 3m 5m 10m
SCALE BAR 1:200

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(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
MILLER
DRAWING TITLE:
EXISTING SURVEY PLAN
SCALE: 1 : 200

PROJECT:
**12 SCALES PARADE
BALGOWLAH HEIGHTS**

SHEET SIZE: **A3** SHEET No: **A02** REVISION: **F**
DATE: **15/12/2020**
JOB NO: 230289 STAGE: DA
DRAWN: NF GJGN123

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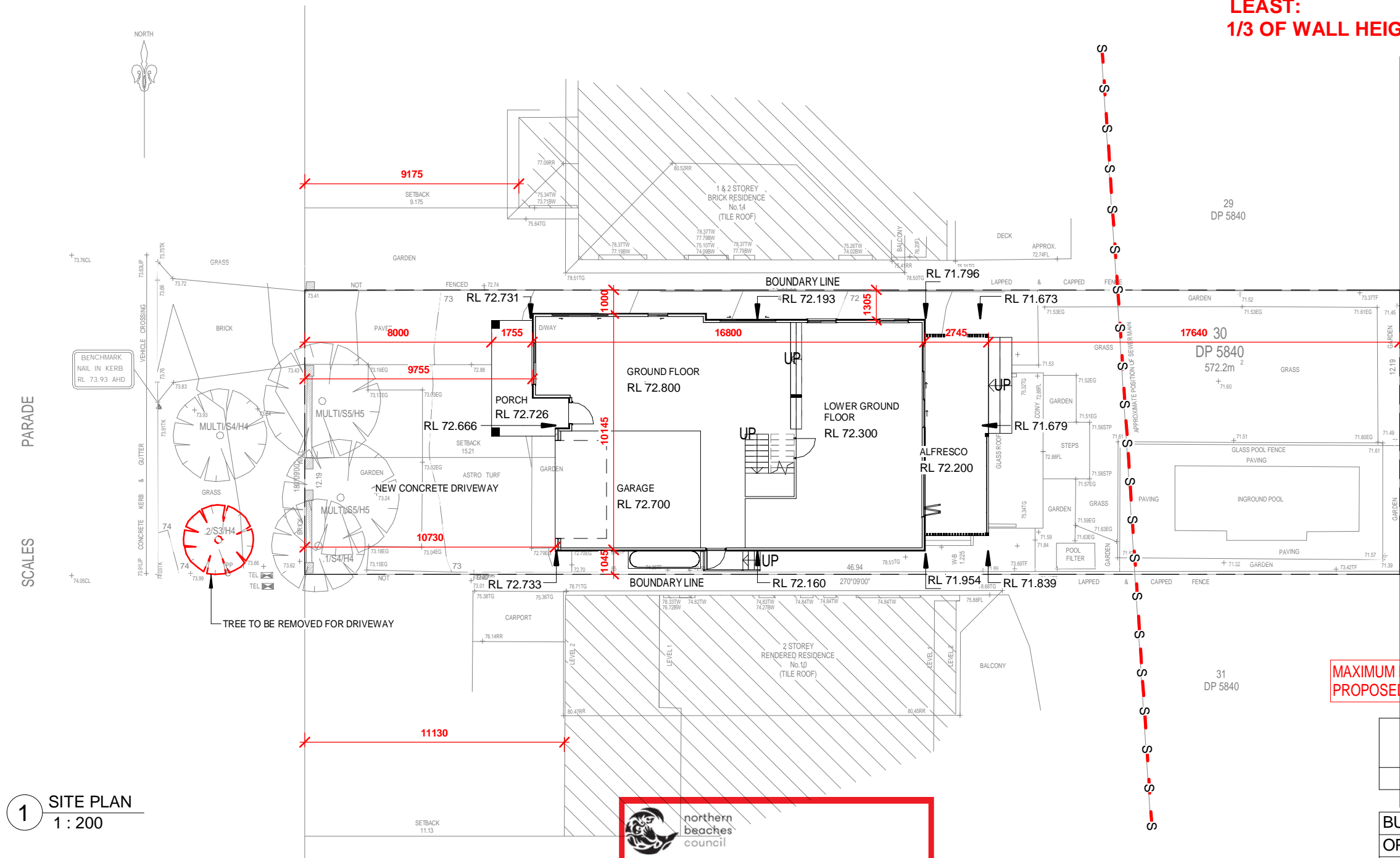
OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

DIMENSIONS INCLUDE CLADDING THICKNESS

NOTE:

**" FRONT SETBACK IS TO BE AT LEAST:
(9.175 + 11.130)/2 = 10.153m**

**" SIDE SETBACK IS TO BE AT LEAST:
1/3 OF WALL HEIGHT**



| DRAWING REVISION Schedule | | |
|---------------------------|---------------------------------|------------|
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**MAXIMUM FLOOR SPACE RATIO FOR MANLY LOCAL ENVIRONMENT : (0.45)
PROPOSED FLOOR SPACE RATIO = .29**

| LANDSCAPE Schedule | | |
|--------------------|--------------------|------|
| AREA NAME | AREA | % |
| BUILDING FOOTPRINT | 162 m ² | 28% |
| OPEN LANDSCAPE | 331 m ² | 58% |
| OTHER AREAS | 79 m ² | 14% |
| TOTAL AREAS: | 572 m ² | 100% |

DIMENSIONS INCLUDE CLADDING THICKNESS

**1 SITE PLAN
1 : 200**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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0 1m 3m 5m 10m
SCALE BAR 1:200



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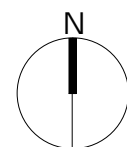
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CLIENT: DOUBLE STOREY DWELLING
MILLER
DRAWING TITLE:
SITE PLAN
SCALE: 1 : 200

PROJECT:
**12 SCALES PARADE
BALGOWLAH HEIGHTS**

SHEET SIZE: **A3** SHEET No: **A03** REVISION: **F**
DATE: **15/12/2020**
JOB NO: 230289 STAGE: DA
DRAWN: DJH GJGN123



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OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

DIMENSIONS ARE TO FRAME SIZE ONLY

Lot 30
DP 5840

572.2m²

STAIRS

FLOOR TO FLOOR = 2850mm
No. of RISERS = 16
RISERS = 178.1mm
TREADS = 240mm

DOOR SCHEDULE

| Code | Width | Height |
|------|-------|--------|
| D01 | 920 | 2100 |
| D02 | 870 | 2100 |
| D03 | 3588 | 2400 |
| D04 | 3104 | 2100 |
| D05 | 2170 | 2100 |
| D06 | 2328 | 2100 |
| D07 | 4200 | 2250 |
| D07 | 2170 | 2100 |

Grand total: 8

WINDOW SCHEDULE

| Code | Width | Height |
|------|-------|--------|
| W01 | 1810 | 1200 |
| W02 | 2170 | 1200 |
| W03 | 1210 | 1800 |
| W04 | 1210 | 1800 |
| W05 | 2410 | 600 |
| W06 | 850 | 1030 |
| W07 | 2410 | 600 |
| W08 | 900 | 1500 |
| W09 | 1570 | 600 |
| W10 | 1500 | 1200 |
| W11 | 2410 | 600 |
| W12 | 1570 | 860 |
| W13 | 2410 | 600 |
| W14 | 610 | 1200 |
| W15 | 610 | 1200 |

Grand total: 15

DRAWING REVISION SCHEDULE

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DIMENSIONS ARE TO
FRAME SIZE ONLY



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1
GROUND FLOOR
1 : 100



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HOMES

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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING

MILLER

DRAWING TITLE:

GROUND FLOOR PLAN

SCALE: 1 : 100

PROJECT:

12 SCALES PARADE
BALGOWLAH HEIGHTS

SHEET SIZE:

A3

SHEET No:

A05

REVISION:

F

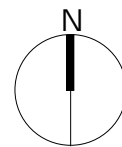
DATE: 15/12/2020

JOB NO: 230289

DRAWN: DJH

STAGE: DA

GJGN123



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OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

0 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100

STAIRS

PROVIDE A HANDRAIL ALONG THE FULL LENGTH OF THE FLIGHT
AND A SLIP RESISTANT FINISH TO THE EDGE OF THE NOSINGS
TO COMPLY WITH 3.9.1 AND 3.9.2 OF THE NCC/BCA.

BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN
150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS
MORE THAN 4 METRES.

SMOKE ALARMS

INSTALL AN INTERCONNECTED / HARDWIRED SMOKE
ALARM IN ACCORDANCE WITH AS3786 AND NCC/BCA
Clause 3.7.2.2



EXTERNAL WALL INSULATION R.2.5

MAXIMUM FLOOR SPACE RATIO FOR MANLY LOCAL ENVIRONMENT : (0.45)
PROPOSED FLOOR SPACE RATIO = .29

LANDSCAPE SCHEDULE

| AREA NAME | AREA | % |
|--------------------|--------------------|------|
| BUILDING FOOTPRINT | 162 m ² | 28% |
| OPEN LANDSCAPE | 331 m ² | 58% |
| OTHER AREAS | 79 m ² | 14% |
| TOTAL AREAS: | 572 m ² | 100% |

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

DIMENSIONS ARE TO FRAME SIZE ONLY



northern
beaches
council

THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1764

STAIRS

FLOOR TO FLOOR = 3040mm
No. of RISERS = 17
RISERS = 178.8mm
TREADS = 240mm

DOOR SCHEDULE

| Code | Width | Height |
|------|-------|--------|
| D01 | 920 | 2100 |
| D02 | 870 | 2100 |
| D03 | 3588 | 2400 |
| D04 | 3104 | 2100 |
| D05 | 2170 | 2100 |
| D06 | 2328 | 2100 |
| D07 | 4200 | 2250 |
| D07 | 2170 | 2100 |

Grand total: 8

WINDOW SCHEDULE

| Code | Width | Height |
|------|-------|--------|
| W01 | 1810 | 1200 |
| W02 | 2170 | 1200 |
| W03 | 1210 | 1800 |
| W04 | 1210 | 1800 |
| W05 | 2410 | 600 |
| W06 | 850 | 1030 |
| W07 | 2410 | 600 |
| W08 | 900 | 1500 |
| W09 | 1570 | 600 |
| W10 | 1500 | 1200 |
| W11 | 2410 | 600 |
| W12 | 1570 | 860 |
| W13 | 2410 | 600 |
| W14 | 610 | 1200 |
| W15 | 610 | 1200 |

Grand total: 15

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LANDSCAPE SCHEDULE

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| TOTAL AREAS: | 572 m ² | 100% |

DIMENSIONS ARE TO
FRAME SIZE ONLY



1 FIRST FLOOR
1 : 100

STAIRS

PROVIDE A HANDRAIL ALONG THE FULL LENGTH OF THE FLIGHT
AND A SLIP RESISTANT FINISH TO THE EDGE OF THE NOSINGS
TO COMPLY WITH 3.9.1 AND 3.9.2 OF THE NCC/BCA.

SMOKE ALARMS

INSTALL AN INTERCONNECTED / HARDWIRED SMOKE
ALARM IN ACCORDANCE WITH AS3786 AND NCC/BCA
Clause 3.7.2.2

BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN
150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS
MORE THAN 4 METRES.

2
A08

0 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100



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Builders Details

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DRAFTERS:



SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING

MILLER

DRAWING TITLE:

FIRST FLOOR PLAN

SCALE: 1 : 100

PROJECT:

12 SCALES PARADE
BALGOWLAH HEIGHTS

SHEET SIZE:

A3

SHEET No:

A06

REVISION:

F

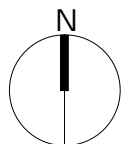
DATE: 15/12/2020

JOB NO: 230289

DRAWN: DJH

STAGE: DA

GJGN123



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OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES



northern
beaches
council

**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1764

WALL & ROOF CLADDING

WALL AND ROOF CLADDING TO BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2019 Vol 2 Pt 3.5 OF THE BUILDING CODE OF AUSTRALIA PARTICULARLY WITH RESPECT TO THE REFERENCING ACCEPTABLE CONSTRUCTION PRACTICE AS DETAILED IN THE BCA FOR PRODUCT MATERIALS AND INSTALLATION.

IMPORTANT NOTE:
ANY PROPOSED PRODUCT CHANGES AFTER APPROVAL OF THE CC OR CDC IS TO BE IMMEDIATELY NOTIFIED TO THE PCA FOR CONCURRENCE.

BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS MORE THAN 4 METRES.

WINDOWS

PROVIDE 1.7m SILL HEIGHT OR CHILD SAFE LOCKS / SCREENS TO COMPLY WITH NCC/BCA Part 3.9.2

RL 79.565 ▼ ROOF PEAK

RL 78.200 ▼ UF CEILING

RL 75.650 ▼ UF

RL 75.350 ▼ GF CEILING

RL 72.800 ▼ GF

RL 72.300 ▼ LGF

1 FRONT ELEVATION
1 : 100

RL 79.565 ▼ ROOF PEAK

RL 78.200 ▼ UF CEILING

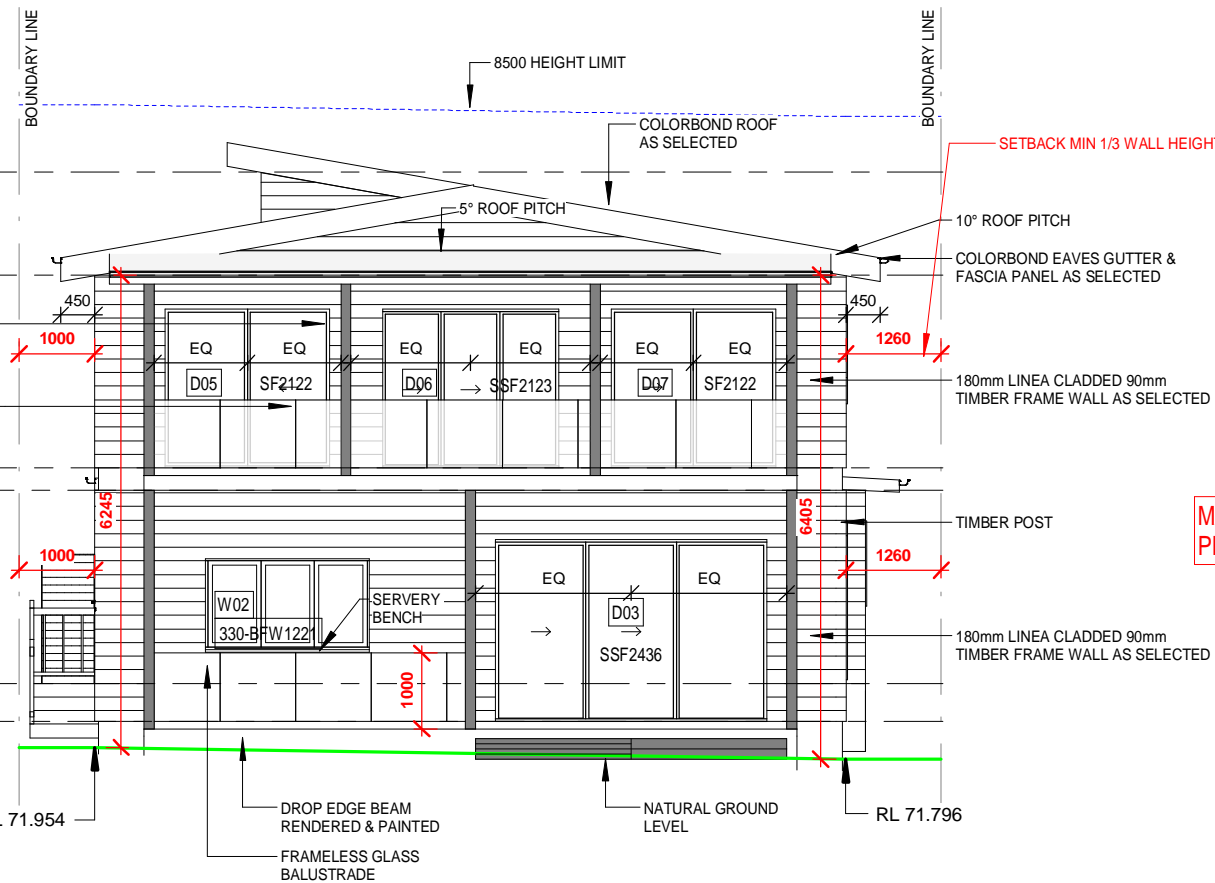
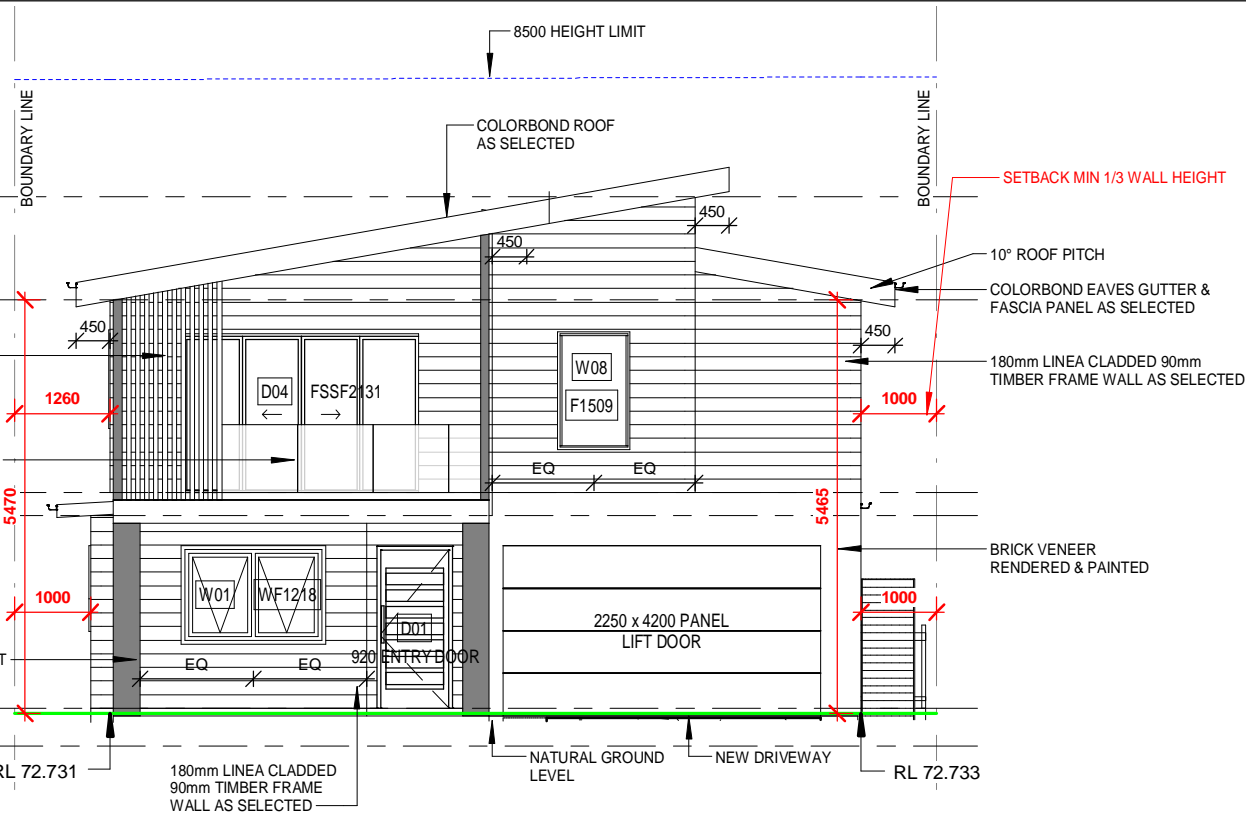
RL 75.650 ▼ UF

RL 75.350 ▼ GF CEILING

RL 72.800 ▼ GF

RL 72.300 ▼ LGF

2 REAR ELEVATION
1 : 100



DOOR SCHEDULE

| Code | Width | Height |
|------|-------|--------|
| D01 | 920 | 2100 |
| D02 | 870 | 2100 |
| D03 | 3588 | 2400 |
| D04 | 3104 | 2100 |
| D05 | 2170 | 2100 |
| D06 | 2328 | 2100 |
| D07 | 4200 | 2250 |
| D07 | 2170 | 2100 |

Grand total: 8

WINDOW SCHEDULE

| Code | Width | Height |
|------|-------|--------|
| W01 | 1810 | 1200 |
| W02 | 2170 | 1200 |
| W03 | 1210 | 1800 |
| W04 | 1210 | 1800 |
| W05 | 2410 | 600 |
| W06 | 850 | 1030 |
| W07 | 2410 | 600 |
| W08 | 900 | 1500 |
| W09 | 1570 | 600 |
| W10 | 1500 | 1200 |
| W11 | 2410 | 600 |
| W12 | 1570 | 860 |
| W13 | 2410 | 600 |
| W14 | 610 | 1200 |
| W15 | 610 | 1200 |

Grand total: 15

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| AREA NAME | AREA | % |
|--------------------|--------------------|------|
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| OPEN LANDSCAPE | 331 m ² | 58% |
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CLIENT: DOUBLE STOREY DWELLING

MILLER

DRAWING TITLE:

ELEVATIONS

SCALE: 1 : 100

PROJECT:

12 SCALES PARADE
BALGOWLAH HEIGHTS

SHEET SIZE:

A3

SHEET No:

A07

REVISION:

F

DATE: 15/12/2020

JOB NO: 230289

DRAWN: DJH

STAGE: DA

GJGN123

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OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

DOOR SCHEDULE

| Code | Width | Height |
|------|-------|--------|
|------|-------|--------|

| | | |
|-----|------|------|
| D01 | 920 | 2100 |
| D02 | 870 | 2100 |
| D03 | 3588 | 2400 |
| D04 | 3104 | 2100 |
| D05 | 2170 | 2100 |
| D06 | 2328 | 2100 |
| D07 | 4200 | 2250 |
| D07 | 2170 | 2100 |

Grand total: 8

WINDOW SCHEDULE

| Code | Width | Height |
|------|-------|--------|
|------|-------|--------|

| | | |
|-----|------|------|
| W01 | 1810 | 1200 |
| W02 | 2170 | 1200 |
| W03 | 1210 | 1800 |
| W04 | 1210 | 1800 |
| W05 | 2410 | 600 |
| W06 | 850 | 1030 |
| W07 | 2410 | 600 |
| W08 | 900 | 1500 |
| W09 | 1570 | 600 |
| W10 | 1500 | 1200 |
| W11 | 2410 | 600 |
| W12 | 1570 | 860 |
| W13 | 2410 | 600 |
| W14 | 610 | 1200 |
| W15 | 610 | 1200 |

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NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS MORE THAN 4 METRES.

WINDOWS

PROVIDE 1.7m SILL HEIGHT OR CHILD SAFE LOCKS / SCREENS TO COMPLY WITH NCC/BCA Part 3.9.2

RL 79.565 ROOF PEAK

RL 78.200 UF CEILING

RL 75.650 UF

RL 75.350 GF CEILING

RL 72.800 GF

RL 72.300 LGF

1 SIDE ELEVATION 1
1 : 100

RL 79.565 ROOF PEAK

RL 78.200 UF CEILING

RL 75.650 UF

RL 75.350 GF CEILING

RL 72.800 GF

RL 72.300 LGF

2 SIDE ELEVATION 2
1 : 100

G.J. Gardner.
Builders Details

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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
MILLER
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
12 SCALES PARADE
BALGOWLAH HEIGHTS

SHEET SIZE: A3
SHEET No: A08
REVISION: F
DATE: 15/12/2020
JOB NO: 230289
STAGE: DA
DRAWN: DJH
GJGN123

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES



**northern
beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1764

RL 79.565 ▼ ROOF PEAK

RL 78.200 ▼ UF CEILING

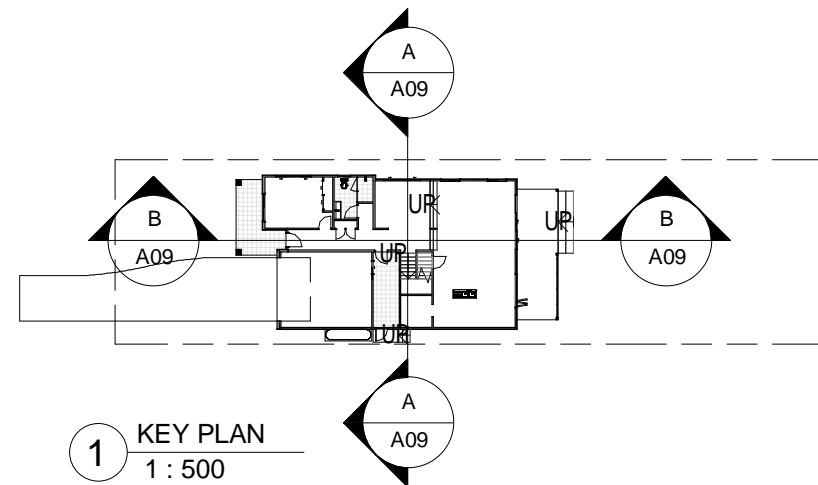
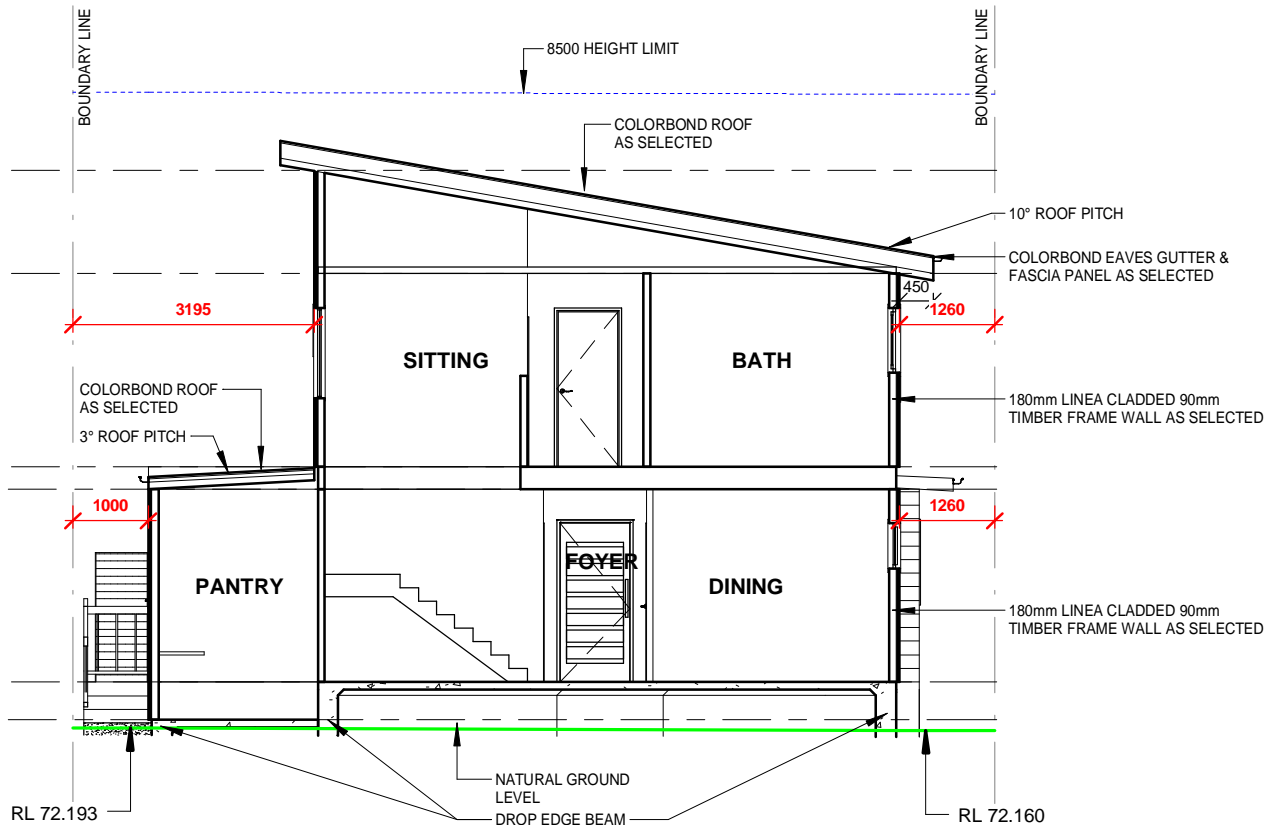
RL 75.650 ▼ UF

RL 75.350 ▼ GF CEILING

RL 72.800 ▼ GF

RL 72.300 ▼ LGF

A SECTION A-A
1 : 100



| DRAWING REVISION SCHEDULE | | |
|---------------------------|---------------------------------|------------|
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RL 79.565 ▼ ROOF PEAK

RL 78.200 ▼ UF CEILING

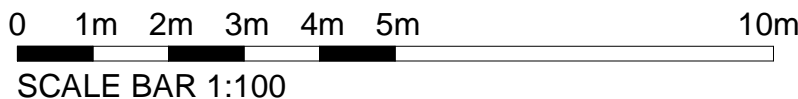
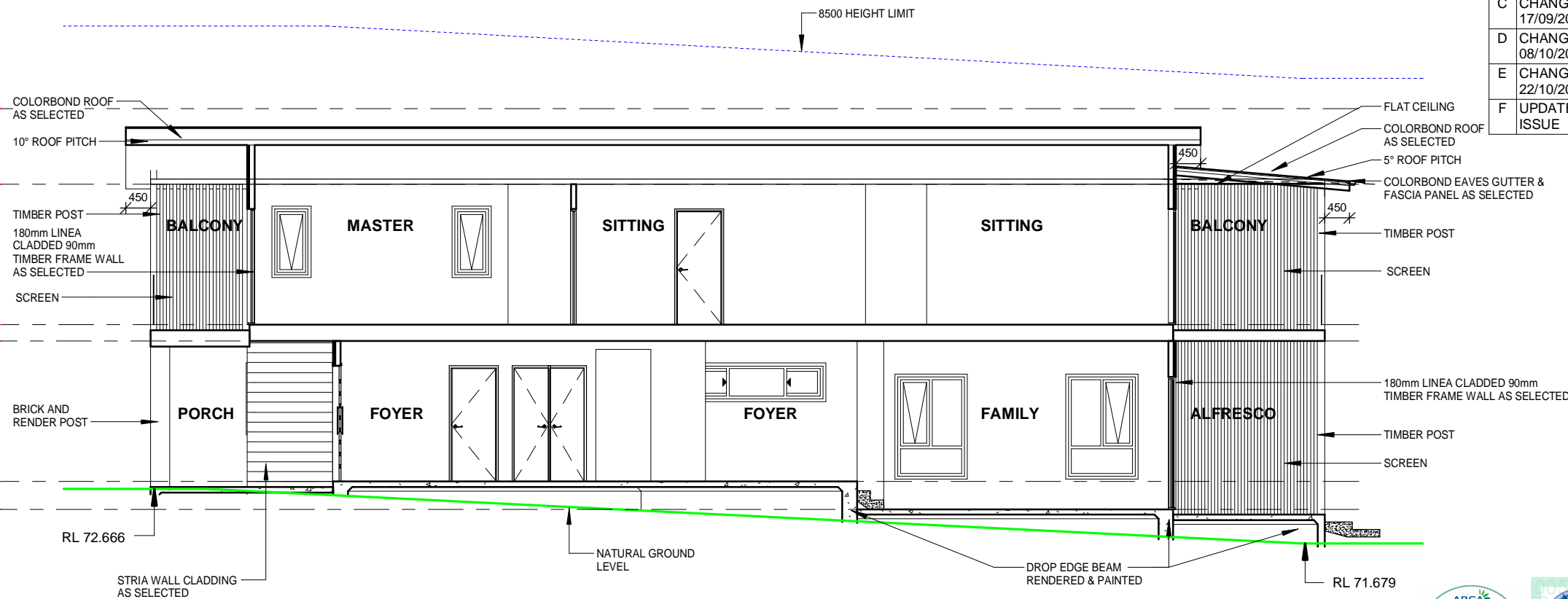
RL 75.650 ▼ UF

RL 75.350 ▼ GF CEILING

RL 72.800 ▼ GF

RL 72.300 ▼ LGF

B SECTION B-B
1 : 100



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Builders Details

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ABN 15 078 937 238
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CLIENT: DOUBLE STOREY DWELLING
MILLER

DRAWING TITLE:
SECTIONS

SCALE: As
indicated

PROJECT:
**12 SCALES PARADE
BALGOWLAH HEIGHTS**

SHEET SIZE: **A3**

SHEET No: **A09**

REVISION: **F**

DATE: **15/12/2020**

JOB NO: 230289

STAGE: DA

DRAWN: DJH

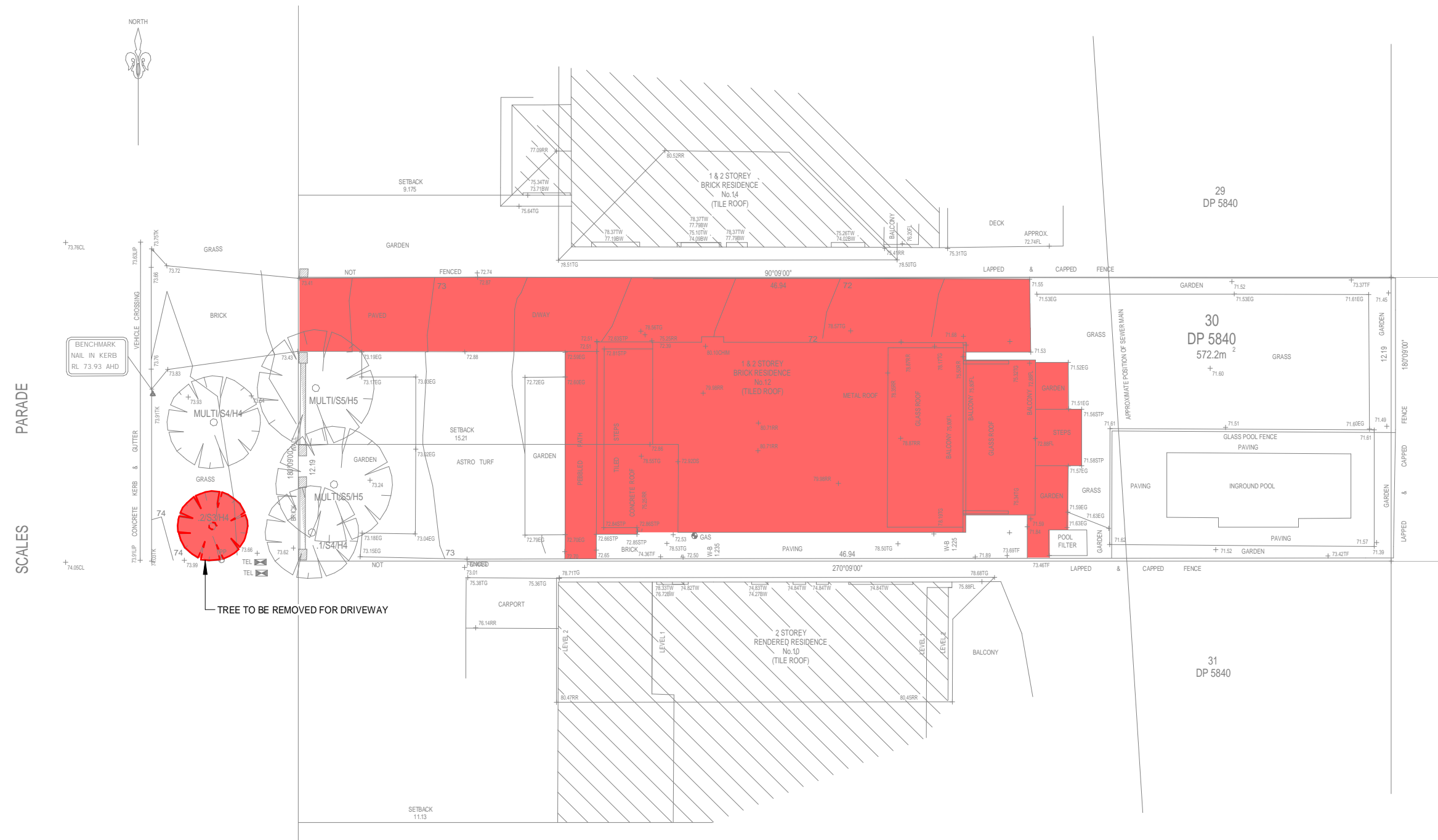
GJGN123

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OWNER SIGNED: DATE:

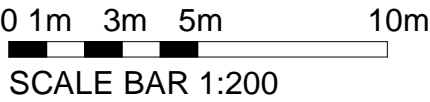
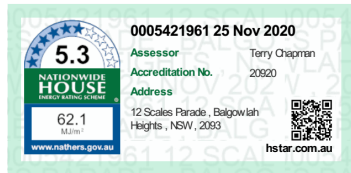
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BUILDER SIGNED: DATE:



| DRAWING REVISION SCHEDULE | | |
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| F | UPDATE TO FULL SET DA ISSUE | 15/12/2020 |

1 DEMOLITION PLAN
1 : 200



DEMOLITION WORKS ARE
SHOWN IN RED



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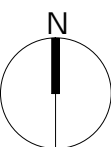
DRAFTERS:
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
MILLER

DRAWING TITLE:
DEMOLITION PLAN
SCALE: 1 : 200

PROJECT:
12 SCALES PARADE
BALGOWLAH HEIGHTS

SHEET SIZE: A3
SHEET No: A10
REVISION: F
DATE: 15/12/2020
JOB NO: 230289
STAGE: DA
DRAWN: NF
GJGN123



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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:



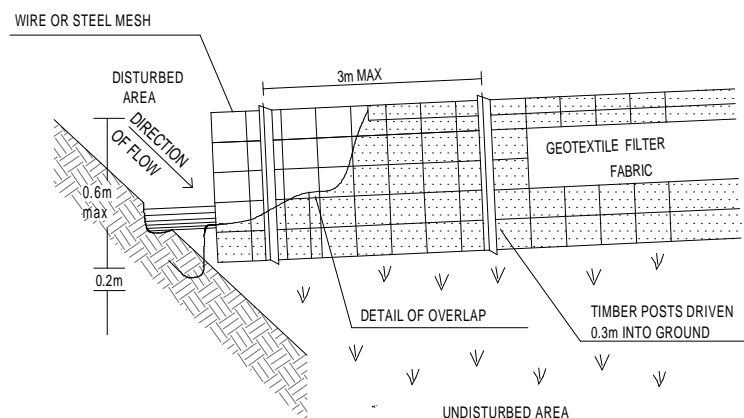
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PARADE
SCALES

1 EROSION & SEDIMENT 1 : 200



SEDIMENT FENCE DETAILS

SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

BOUNDARY NOTES:

- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

0 1m 3m 5m 10m
SCALE BAR 1:200

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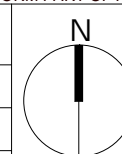
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
MILLER
DRAWING TITLE:
EROSION & SEDIMENT PLAN
SCALE: 1 : 200

PROJECT:
12 SCALES PARADE
BALGOWLAH HEIGHTS

SHEET SIZE: A3
SHEET No: A12
REVISION: F
DATE: 15/12/2020
JOB NO: 230289
STAGE: DA
DRAWN: NF
GJGN123



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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2020/1764

WASTE MANAGEMENT PLAN FOR PROPOSED 2 STOREY DWELLING AT: 12 SCALES PARADE, BALGOWLAH HEIGHTS

DEMOLITION PHASE

| MATERIALS ON-SITE | | DESTINATION | | |
|-------------------|-----------------------|--|---|-------------------------------------|
| | | Reuse & Recycling | | Disposal |
| Type of materials | Estimated volume (m3) | On-Site Specify proposed reuse or on-site recycling method | Offsite Specify contractor and recycling outlet | Specify contractor or landfill site |
| Green waste | 2 | Chip and compost for landscaping and new gardens | - | Nil to landfill |
| Bricks | Nil | | | Nil to landfill |
| Concrete | 20 | | Waste Management centre for recycling | Nil to landfill |
| Timber | 10 | Used for formwork and studwork, site shed or temporary fence | Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling | Nil to landfill |
| Plasterboard | 10 | | Waste Management centre | Taken to landfill |
| Roof tiles | 8 | | Good tiles to Waste Management centre for recycling; sell to second hand building supplies | Nil to landfill |
| Metals | 2 | | Waste Management centre for recycling | Nil to landfill |
| Asbestos | 5 | | Cart to licensed asbestos tip | Taken to landfill |

CONSTRUCTION PHASE

| MATERIALS ON-SITE | | DESTINATION | | |
|---------------------|-----------------------|--|---|-------------------------------------|
| | | Reuse & Recycling | | Disposal |
| Type of materials | Estimated volume (m3) | On-Site Specify proposed reuse or on-site recycling method | Offsite Specify contractor and recycling outlet | Specify contractor or landfill site |
| Excavation Material | 5 | Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping | - | |
| Green waste | Nil | | | |
| Bricks | Nil | | | |
| Concrete | 2 | | Excess concrete returned to supplier | Nil to landfill |
| Timber | 2 | | Excess timber returned to supplier | Nil to landfill |
| Plasterboard | 0.5 | | Excess plasterboard returned to supplier | Nil to landfill |
| Roof colorbond | 0.5 | | Excess colorbond roof returned to supplier | Nil to landfill |
| Metals | 0.1 | | Waste Management centre for recycling | Nil to landfill |

USE OF PREMISES

| Type of Waste to be Generated | Expected volume per week (m3) | On-Site Specify proposed reuse or on-site recycling method | Destination |
|-------------------------------|-------------------------------|--|---|
| Food, general domestic waste | 0.4 | Bins located on site | Disposal via council rubbish removal |
| Paper, Cardboard | 0.1 | Bins located on site | Disposal via council recycling collection |
| Glass, Bottles | 0.1 | Bins located on site | Disposal via council recycling collection |

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Builders Details

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DRAFTERS:

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5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
MILLER
DRAWING TITLE:
WASTE MANAGEMENT
SCALE: 1 : 1

PROJECT:
**12 SCALES PARADE
BALGOWLAH HEIGHTS**

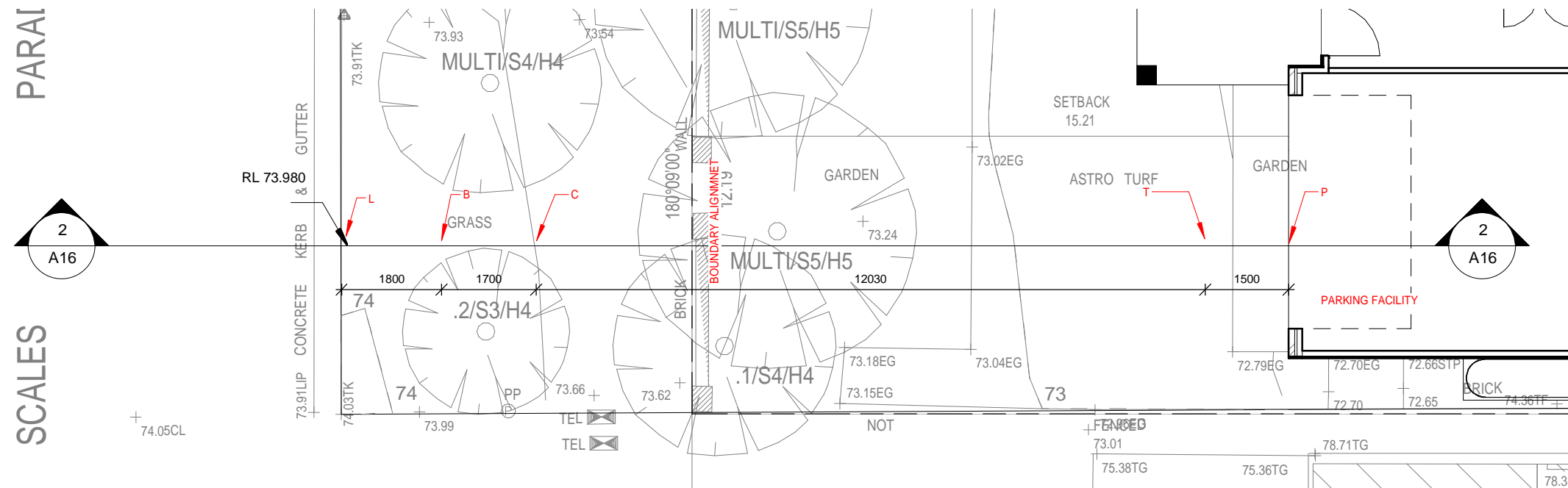
SHEET SIZE: **A3** SHEET No: **A14** REVISION: **F**
DATE: **15/12/2020**
JOB NO: 230289 STAGE: DA
DRAWN: NF GJGN123

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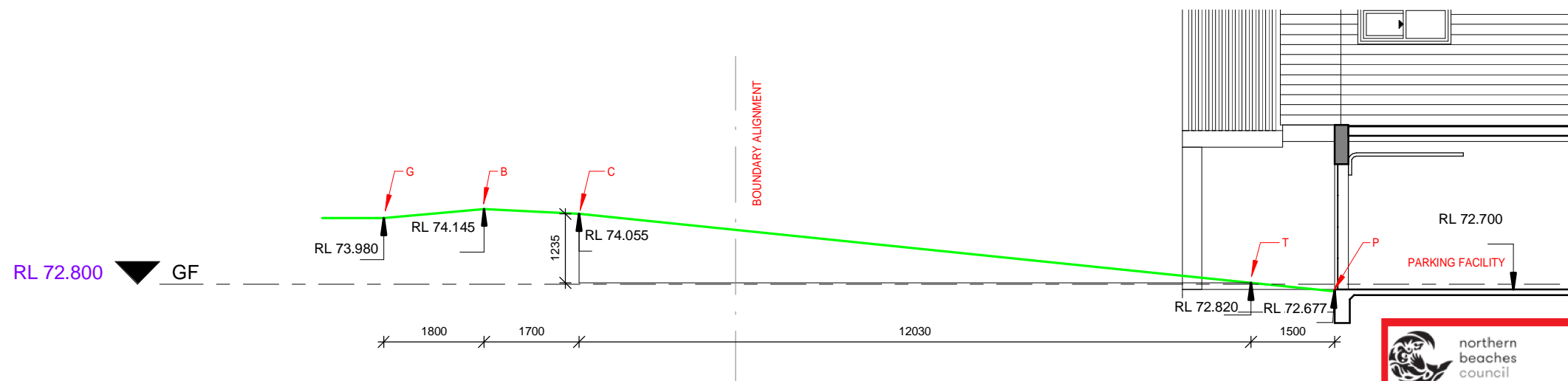


PARAI

SCALES



1 DRIVEWAY PLAN
1 : 100



2 DRIVEWAY SECTION
1 : 100

| DRAWING REVISION SCHEDULE | | |
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| PROPOSED FLOOR SPACES | | |
|-----------------------|------|---|
| NAME | AREA | % |

| | | |
|--------------|--------------------|-------------------------|
| ALFRESCO | 23 m ² | 7% |
| BALCONY | 32 m ² | 9% |
| FIRST FLOOR | 127 m ² | 37% |
| GARAGE | 30 m ² | 9% |
| GROUND | 124 m ² | 36% |
| PORCH | 11 m ² | 3% |
| TOTAL AREAS: | | 348 m ² 100% |



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DRAFTERS:



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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING

MILLER

DRAWING TITLE:

DRIVEWAY DETAIL

SCALE: 1 : 100

PROJECT:

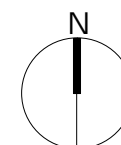
12 SCALES PARADE
BALGOWLAH HEIGHTS

SHEET SIZE: SHEET No: REVISION:

A3 A16 F
DATE: 15/12/2020

JOB NO: 230289 STAGE: DA

DRAWN: NF GJGN123

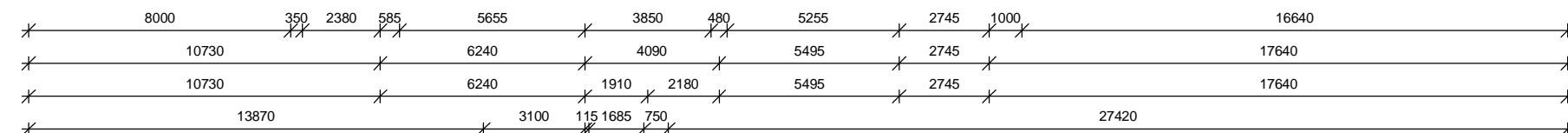
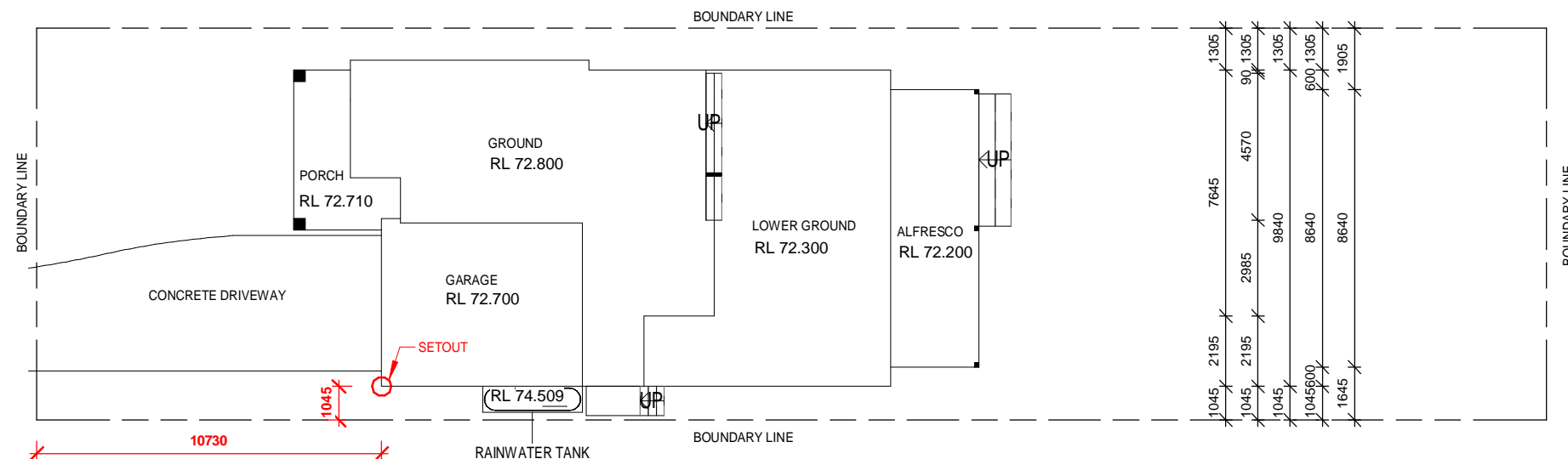
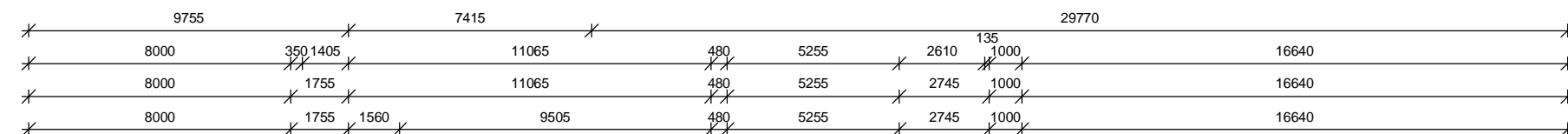
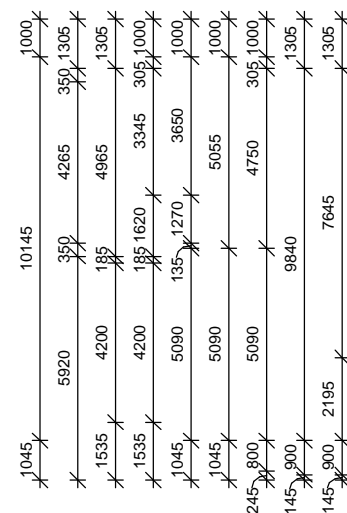


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OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



1 CONCRETE SLAB PLAN
1 : 200

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DA2020/1764

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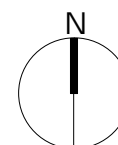
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CLIENT: DOUBLE STOREY DWELLING
MILLER
DRAWING TITLE:
CONCRETE SLAB PLAN
SCALE: 1 : 200

PROJECT:
**12 SCALES PARADE
BALGOWLAH HEIGHTS**

SHEET SIZE: **A3** SHEET No: **A17** REVISION: **F**
DATE: **15/12/2020**
JOB NO: 230289 STAGE: DA
DRAWN: NF GJGN123



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OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:

PROPOSED RESIDENTIAL DEVELOPMENT
12 SCALES PARADE, BALGOLWAH HEIGHTS
STORMWATER MANAGEMENT PLANS

GENERAL NOTES:

1. THESE THE PLANS SHALL BE READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS'S PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONCEST AND CONSTRUCTION CERTIFICATE REQUIREMENTS. WHERE DISCREPANCIES ARE FOUND NASTASI & ASSOCIATES MUST BE CONTACTED IMMEDIATELY FOR VERIFICATION.
2. WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES.
3. SUBSOIL DRAINAGE SHALL BE DESIGNED AND DETAILED BY THE STRUCTURAL ENGINEER. SUBSOIL DRAINAGE SHALL NOT BE CONNECTED INTO THE STORMWATER SYSTEM IDENTIFIED ON THESE PLAN UNLESS APPROVED BY NASTASI & ASSOCIATES ENGINEERS.

STORMWATER CONSTRUCTION NOTES:

1. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500 (CURRENT EDITION) AND THE REQUIREMENTS OF THE LOCAL COUNCIL'S POLICIES AND CODES
2. THE MINIMUM SIZE OF THE STORMWATER DRAINS SHALL NOT BE LESS THAN DN 90 FOR CLASS 1 BUILDINGS AND DN100 FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY REGULATORY AUTHORITY
3. THE MINIMUM GRADIENT OF STORMWATER DRAINS SHALL BE 1%, UNLESS NOTED OTHERWISE
4. COUNCIL'S TREE PRESERVATION ORDER IS TO BE STRICTLY ADHERED TO. NO TREES SHALL BE REMOVED UNTIL PERMIT IS OBTAINED
5. PUBLIC UTILITY SERVICES ARE TO BE ADJUSTED AS NECESSARY AT THE CLIENT'S EXPENSE
6. ALL PITS TO BE BENCHED AND STREAMLINED. PROVIDE STEP IRONS FOR ALL PITS OVER 1.2m DEEP
7. ALL PITS IN AN EASEMENT OR TRAFFICABLE AREA ARE TO BE PRE-CAST OR CAST-IN-SITU OR APPROVED EQUIVALENT
8. MAKE SMOOTH JUNCTION WITH ALL EXISTING WORK
9. VEHICULAR ACCESS AND ALL SERVICES TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION
10. SERVICES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM INFORMATION SUPPLIED BY THE RELEVANT AUTHORITIES AND FIELD INVESTIGATIONS AND ARE NOT GUARANTEED COMPLETE NOR CORRECT. IT IS THE CLIENT & CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL PRIOR TO CONSTRUCTION
11. ANY VARIATION TO THE WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY NASTASI & ASSOCIATES PRIOR TO THEIR COMMENCEMENT

RAINWATER RE-USE NOTES:

1. RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS)
2. TOWN WATER CONNECTION TO RAINWATER TANK TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS WAY REQUIRE PROVISION OF:
2.1. PERMANENT AIR GAP
2.2. BACKFLOW PREVENTION DEVICE
3. NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAINWATER SUPPLY
4. AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK
5. PROVIDE AT LEAST ONE EXTERNAL HOSE COCK ON THE TOWN WATER SUPPLY FOR FIRE FIGHTING
6. PROVIDE APPROPRIATE FLOAT VALVES AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL
7. ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZS3500.1 NATIONAL PLUMBING AND DRAINAGE CODE
8. PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN
9. ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK. SURFACE WATER INLETS ARE NOT BE CONNECTED
10. PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZE3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RAINWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2648) OR FOR ABOVE FROUND PIPES BY USING ADHESIVE PIPE MARKERS (MAKE IN ACCORDANCE WITH AS1345)
11. EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELED 'RAINWATER' ON A METALLIC SIGN IN ACCORDANCE WITH AS1316V9
12. ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.

EROSION AND SEDIMENT NOTES:

1. THESE THE PLANS SHALL BE READ IN CONJUNCTION WITH EROSION AND SEDIMENT CONTROL DETAILS AS ATTACHED
2. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURE AS NECESSARY AND TO THE SATISFACTION OF THE RELEVANT LOCAL AUTHORITY PRIOR TO THE COMMENCEMENT ANY DURING CONSTRUCTION. NO DISTURBANCE TO THE SITE SHALL BE PERMITTED OTHER THAN IN THE IMMEDIATE AREA OF THE WORKS AND NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT THE RELEVANT LOCAL AUTHORITY APPROVAL. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH STANDARDS OUTLINED IN NSW DEPARTMENT OF HOUSING'S "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTIONS"
3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREA SUCH AS DRAINAGE LINES. THIS TOPSOIL SHALL BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILIZED ONLY. TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREA UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN LONGER THAN ONE MONTH STOCK PILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SILT LADEN RUNOFF
4. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES SUCH THAT MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DRISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY SUPERINTENDENT. OR COUNCIL
5. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO NOMINATED STABILISED ACCESS POINTS
6. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL BY REGULAR WETTING DOWN DISTURBED AREA
7. ALL DRAINAGE PIPE INLETS TO BE CAPPED UNTIL
- DOWNPIPES CONNECTED
- PITS CONSTRUCTED AND PROTECTED WITH SILT BARRIER

MINIMUM PIPE COVER NOTES:

| LOCATION | MINIMUM COVER |
|-------------------------------|------------------------------|
| NO SUBJECT TO VEHICLE LOADING | 100mm SINGLE RESIDENTIAL |
| SUBJECT TO VEHICLE LOADING | 450mm WHERE NOT IN A ROAD |
| UNDER A SEALED ROAD | 600mm |
| UNSEALED ROAD | 750mm |
| PAVED DRIVEWAY | 100mm PLUS DEPTH OF CONCRETE |

SEE AS2032 INSTALLATION OF UPVC PIPES FOR FURTHER INFORMATION.

CONCRETE PIPE COVER SHALL BE IN ACCORDANCE WITH AS3725-1989 LOADS ON BURIED CONCRETE PIPES, HOWEVER A MINIMUM COVER OF 450mm WILL APPLY.

WHERE INSUFFICIENT COVER IS PROVIDED, THE PIPE SHALL BE COVERED AT LEAST 50mm THICK OVERLAY AND SHALL BE PAVED WITH AT LEAST:

- 150 mm REINFORCED CONCRETE WHERE SUBJECT TO HEAVY VEHICLE TRAFFIC
- 75mm THICKNESS OF BRICK OR 100mm OF CONCRETE PAVING WHERE SUBJECT TO LIGHT VEHICLE TRAFFIC; OR
- 50mm THICK BRICK OR CONCRETE PAVING WHERE NOT SUBJECT TO VEHICLE TRAFFIC

SURFACE STORMWATER PIT NOTES:

| PIT DEPTH (mm) | MINIMUM PIT SIZE (mm) |
|-------------------------------|-----------------------|
| UP TO 600 mm | 450 x 450 |
| FROM 600mm TO LESS THAN 900mm | 600 x 600 |
| FROM 900mm | 900 x 900 |

ALL BASEMENT PIT TO BE FITTED WITH HEAVY DUTY CLASS C GRATE & FRAME

LEGEND

| | |
|----|---|
| | DENOTES BELOW GROUND ON-SITE DETENTION TANK |
| | DENOTES ON-SITE DETENTION BASIN |
| | DENOTES Ø100 DOWNPIPE (U.N.O) |
| | DENOTES INSPECTION OPENING WITH SCREW DOWN LID AT FINISHED SURFACE LEVEL |
| | DENOTED PLANTER BOX DRAINS |
| | DENOTED FLOOR DRAINS |
| | DENOTED CLEANING EYE |
| | STORMWATER PIT - SOLID COVER |
| | STORMWATER PIT - GRATED INLET |
| | DENOTES GRATED DRAIN |
| | DENOTES ABSORPTION TRENCH |
| | DENOTES NON RETURN VALVE |
| | DENOTES OVERLAND FLOW PATH |
| IL | INVERT LEVEL |
| TK | TOP OF KERB |
| RL | REDUCED LEVEL/SURFACE LEVEL |
| | PROPOSED FINISH SURFACE LEVEL |
| | DENOTED Ø100mm PVC (SEWER GRADE) @1% MIN. FALL U.N.O FOR RAINWATER RE-USE |
| | DENOTED Ø100mm PVC (SEWER GRADE) @1% MIN. FALL U.N.O |
| | DENOTED Ø150mm PVC (SEWER GRADE) @1% MIN. FALL U.N.O |
| | DENOTED Ø225mm PVC (SEWER GRADE) @0.5% MIN. FALL U.N.O |
| | DENOTE AGG PIPE |
| | DENOTE RAINWATER TANK |

SCHEDULE OF DRAWING

| DESCRIPTION | SHEET NUMBER |
|----------------------|--------------|
| COVER SHEET & NOTES | C1 |
| DRAINAGE PLANS | C2 |
| OSD 1 PLAN & DETAILS | C3 |
| OSD 2 PLAN & DETAILS | C4 |
| STORMWATER DETAILS | C5 |

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



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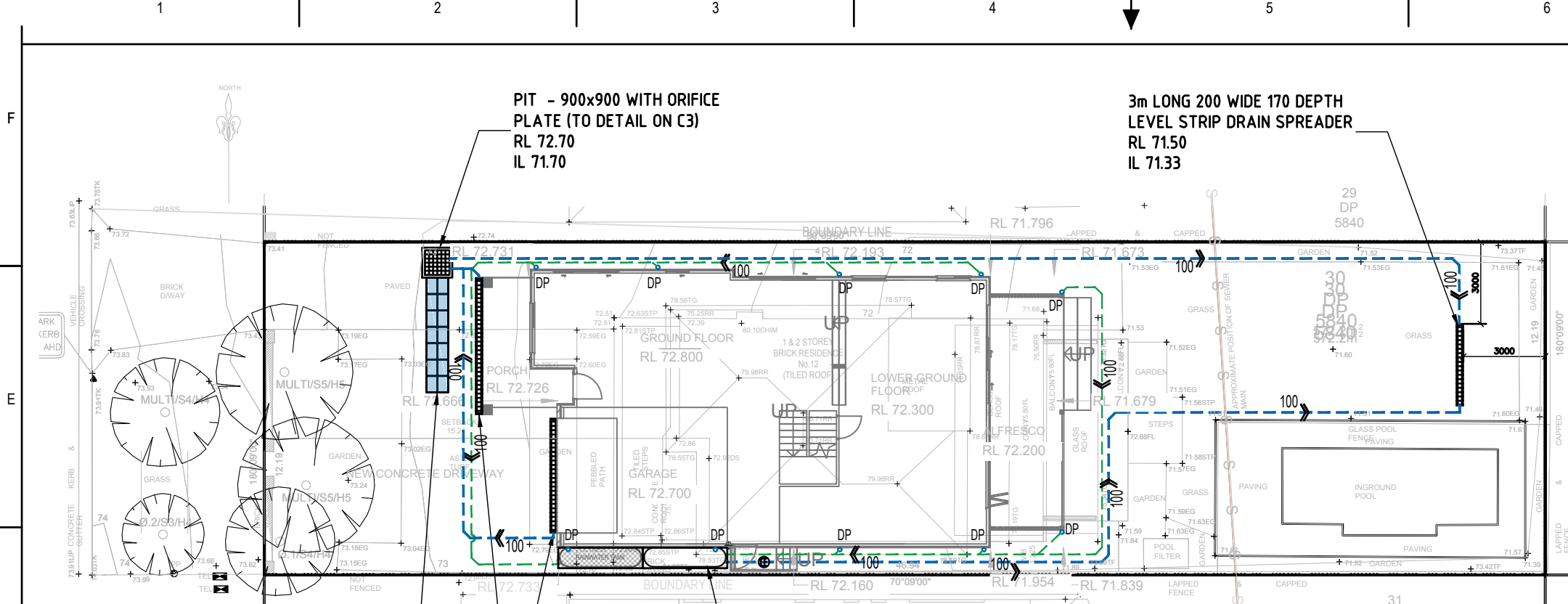
LOCATION MAP



ISSUE FOR APPROVAL



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|---|--|--------------------------------|--|--|--|--|--|----------------|--|------------|--|--|--|--|--|---|--|-------------------------------------|--|---------------------------|--|---------------------------|--|----------------|--|--------------|--|
| | | REFERENCE COORDINATION DRAWING | | | | | | GENERAL NOTES: | | | | <div>NASTASI & ASSOCIATES CONSULTING CIVIL & STRUCTURAL ENGINEERS S.E., M.I.E. AUST. CPENG NPER-3 ABN 45 533 226 008 UNIT 5, 1-3 WHYALLA PLACE, PRESTONS NSW 2170 PH: (02) 9607 2884 OR (02) 9798 9017 FAX: (02) 9791 0081 MOB: 0419 041 401</div> | | | | QUALITY CONTROL | | APPROVED: | | CLIENT: | | ADDRESS: | | DRAWING STATUS | | | |
| | | | | | | | | DESIGNED | | DATE | | | | | | MILLER | | 12 SCALES PARADE, BALGOWLAH HEIGHTS | | CONCEPT PLAN FOR APPROVAL | | | | | | | |
| | | | | | | | | SH.D. | | 10.12.2020 | | | | | |  | | ARCHITECT: | | TITLE: | | SCALE (AT ORIGINAL SIZE) | | AS NOTED | | | |
| | | | | | | | | CHECKED | | DATE | | | | | | S. NASTASI S.E., M.I.E., CPENG, Nper-3 | | GARDNER HOMES | | COVER SHEET & NOTES | | PROJECT NO. | | DRAWING NO. | | REVISION NO. | |
| A | | ISSUED FOR APPROVAL | | | | | | 10.12.2020 | | | | | | | | | | | | 23777 | | C1 | | A | | | |
| | | REVISION | | | | | | DATE | | | | | | | | | | | | | | | | | | | |



UNDERGROUND OSD TANK (OSD 2)
AUSDRAIN ENVIROMODULE2 OR APPROVED EQUAL
WRAPPED IN APPROVED IMPERMEABLE FABRIC AND
INSTALLED TO MANUFACTURE'S SPECIFICATION.

- 14 SINGLE MODULES REQUIRED
- MODULES SIZE: 600mm L x 400mm W x 450mm H
- STORAGE VOLUME = 1.43 m³ MINIMUM

200 WIDE GRATED DRAIN
RL 72.70

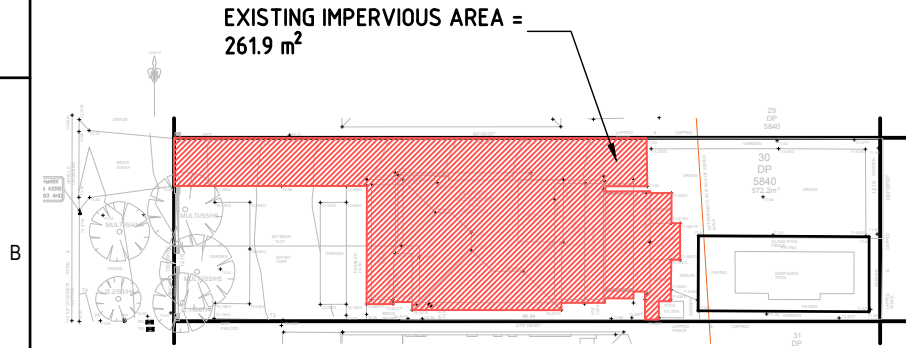
2x4030L KINGSPAN RWT (700mm WIDTH x 3000mm LENGTH
x 2020mm HEIGHT) WITH 3000L BASIX REQUIREMENT AND
5060L OSD STORAGE (OSD 1)

DRAINAGE PLAN
SCALE 1:200

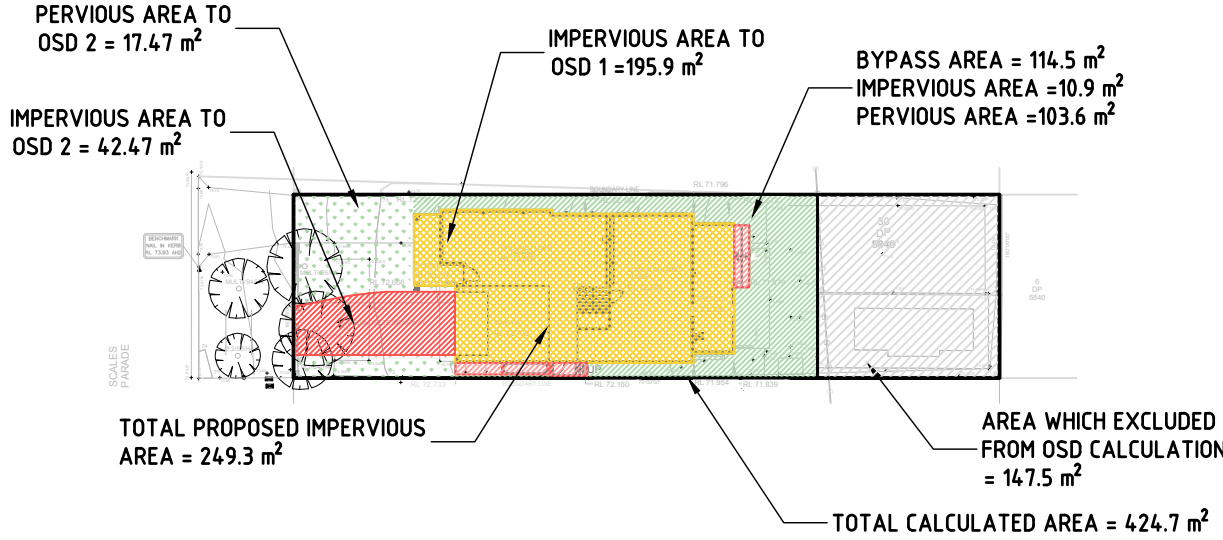


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EXISTING IMPERVIOUS AREA PLAN
SCALE 1:500



PROPOSED CATCHMENTS PLAN
SCALE 1:500

DESIGN SUMMARY

NORTHERN BEACH COUNCIL - MANLY DCP

SITE AREA = 572.2 m²
EXISTING IMPERVIOUS AREA = 318.6 m² (55.7%)
PROPOSED IMPERVIOUS AREA = 306 m² (53.5%)

THE PROPOSED DEVELOPMENT IS SINGLE DWELLING. THE SITE IS IN ZONE 1, AS PER SECTION 4 OF THE ON-SITE STORMWATER MANAGEMENT 2003, OSD IS REQUIRED. SINCE THE SLOP OF THE LAND IS TO THE REAR AND ROCK IS IN 300mm DEPTH AT THE REAR, CAPTURING THE WATER OF THE WHOLE SITE IS NOT POSSIBLE. ALSO, SINCE POOL AREA WILL REMAIN IN NEW DESIGN, THAT AREA EXCLUDED FROM THE CALCULATION. OSD/RAINWATER TANK AND ENVIROMODUL HAVE BEEN DESIGNED FOR ROOF AND DRIVEWAY AREAS RESPECTIVELY. DISCHARGE TO REAR IS RESTRICTED TO PRE DEVELOPMENT AS PER COUNCIL DCP AND AS SHEET FLOW.

SITE DISCHARGE ASSESSMENT BY DRAINS ILSAX MODEL

CALCULATION HAVE BEEN DONE BASED ON RE-DEVELOPMENT AREA

CALCULATED AREA = 424.7 m²
AREA WHICH DISCHARGE TO OSD 1 = 195.9 m²
AREA WHICH DISCHARGE TO OSD 2 = 59.90 m²
BYPASS AREA = 114.5 m² (91% LANDSCAPE)

IMPERVIOUS AREA TO OSD 1 (ROOF) = 195.9 m²
IMPERVIOUS AREA TO OSD 2 (DRIVEWAY) = 42.47 m²
PERVIOUS AREA TO OSD 2 (LANDSCAPE) = 17.47 m²

PERMITTED SITE DISCHARGE IS LIMITED TO PRE-DEVELOPMENT OF THE 5 YEAR ARI WITH 35% IMPERVIOUS AREA.

| | PRE DEV | POST DEV | | | | OSD 1 VOLUME (m ³) | Φ _{OSD 1} ORIFICE (mm) | OSD 2 VOLUME (m ³) | Φ _{OSD 2} ORIFICE (mm) |
|-----|---------------------------|-----------------------------|-----------------------------|------------------------------|----------------------------|--------------------------------------|---------------------------------------|--------------------------------------|---------------------------------------|
| ARI | Q _{PRE} (l/s) | Q _{OSD 1} (l/s) | Q _{OSD 2} (l/s) | Q _{BYPASS} (l/s) | Q _{POST} (l/s) | | | | |
| 5 | <u>11</u> | 3.0 | 1.0 | 3.0 | 7.0 | 2.49 | 45 | 0.54 | 30 |
| 20 | 19 | 4.0 | 1.0 | 5.0 | 10.0 | 3.56 | 45 | 0.87 | 30 |
| 100 | 25 | 4.0 | 1.0 | 6.0 | 11.0 | 4.92 | 45 | 1.25 | 30 |

TOTAL OSD 1 VOLUME REQUIRED = 4.92 m³ AT 1% AEP
TOTAL OSD 1 VOLUME PROVIDED = 5.06 m³
ORIFICE DIAMETER FOR TANK = 45mm

TOTAL OSD 2 VOLUME REQUIRED = 1.25 m³ AT 1% AEP
TOTAL OSD 2 VOLUME PROVIDED = 1.43 m³
ORIFICE DIAMETER FOR MODULE = 30mm

REFERENCE COORDINATION DRAWING

| DISCIPLINE | DRAWING TITLE AND NUMBER | DATE | REV. |
|------------|--------------------------|----------|------|
| ARCH. | DA 123 - DA SET | 20.11.20 | F |
| STRUCT. | | | |
| MCH. | | | |
| ELEC. | | | |
| HYD. | | | |

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QUALITY CONTROL

| | |
|----------|------------|
| DESIGNED | DATE |
| SH.D. | 10.12.2020 |
| CHECKED | DATE |
| M.D. | 10.12.2020 |

APPROVED:

[Signature]
S. NASTASI
B.E., M.I.E., CPENG, Nper-3

CLIENT:

MILLER

ARCHITECT:

GARDNER HOMES

ADDRESS:

12 SCALES PARADE, BALGOWLAH HEIGHTS

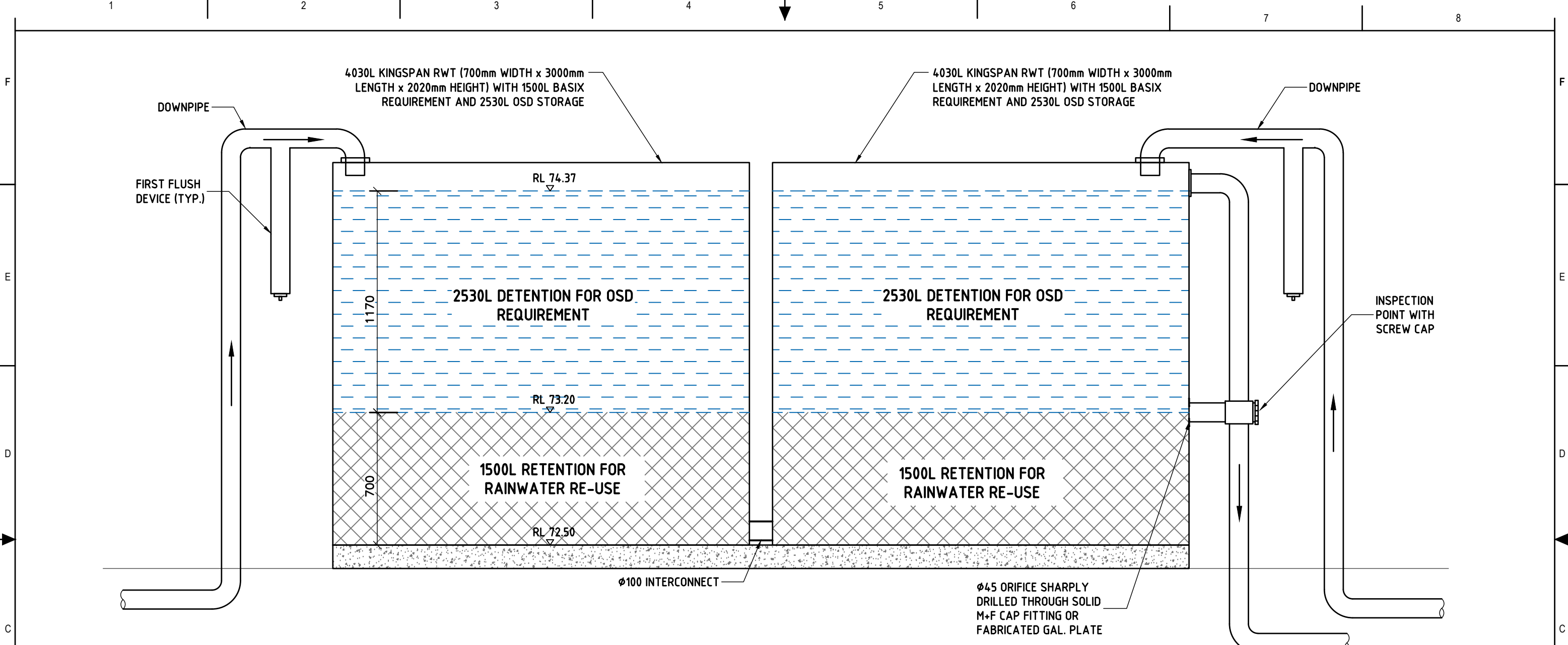
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DRAINAGE PLAN

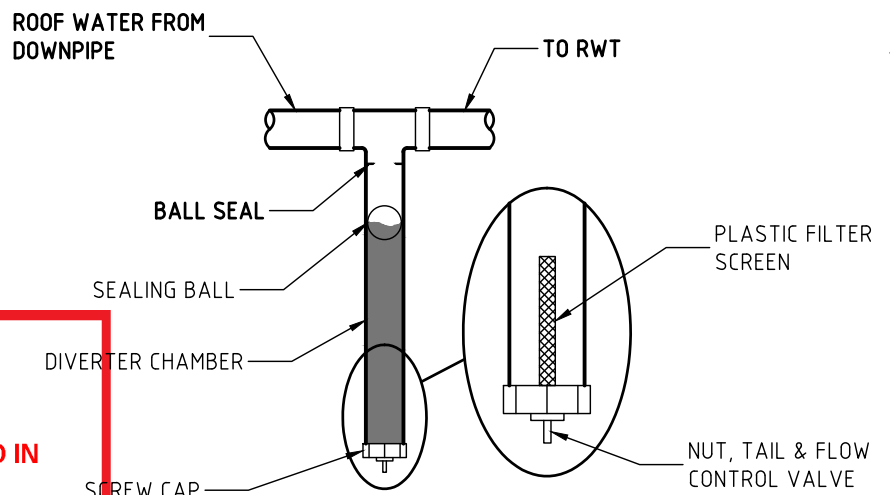
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CONCEPT PLAN FOR APPROVAL

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| 23777 | C2 | A |



OSD & RWT DETAILS (OSD 1)
1:20



FIRST FLUSH DEVICE DETAIL
1:20

- RAINWATER TANK NOTES:**
1. RAINWATER TANKS BY KINGSPAN (TEL: 1300 736 562) OR SIMILAR.
 2. DIMENSIONS ARE INDICATIVE ONLY. EXACT DETAILS TO MANUFACTURER'S SPECIFICATIONS.
 3. A FIRST FLUSH DEVICE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS SHALL BE FITTED TO RAINWATER TANK SYSTEM TO FLUSH OUT THE FIRST 0.5mm OF RUN-OFF FROM THE ROOF AREA THAT DRAINED INTO THE TANK (E.G. 0.5L/m²).
 4. PUMP SIZE & SPECIFICATION TO BE NOMINATED BY MANUFACTURER
 5. ORIFICE PLATE INSTALLATION TO BE PERFORMED BY QUALIFIED PLUMBER AND TO BE MADE WATERTIGHT BY WASHER OR SUITABLE SEALANT.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/1764

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| | | | | | | | | | | | | | | | | | | | | DATE | | | | | | | | | | | | | | | | | |
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| | | | | | | | | | | | | | | | | | | | | DATE | | | | | | | | | | | GARDNER HOMES | | OSD 1 PLAN & DETAILS | | PROJECT NO. 23777 | | |
| | | | | | | | | | | | | | | | | | | | | M.D. 10.12.2020 | | | | | | | | | | | | | | | | | |
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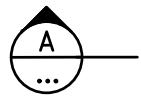
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| QUALITY CONTROL | | APPROVED: | | CLIENT: | | ADDRESS: | | DRAWING STATUS | |
| DESIGNED | DATE |  | MILLER | 12 SCALES PARADE, BALGOWLAH HEIGHTS | CONCEPT PLAN FOR APPROVAL | | | | |
| SH.D. | 10.12.2020 | | | | | | | | |
| CHECKED | DATE | S. NASTASI B.E., M.I.E., CPEng, Nper-3 | GARDNER HOMES | OSD 1 PLAN & DETAILS | SCALE (AT ORIGINAL SIZE) AS NOTED | | | | |
| M.D. | 10.12.2020 | | | | | | | | |
| ISSUED FOR APPROVAL | | 10.12.2020 | | PROJECT NO. 23777 | | | | | |
| REVISION | | DATE | | DRAWING NO. C3 | | | | | |
| | | | | REVISION NO. A | | | | | |



UNDERGROUND OSD TANK

AUSDRAIN ENVIROMODEULE2 OR APPROVED EQUAL WRAPPED IN APPROVED IMPERMEABLE FABRIC AND INSTALLED TO MANUFACTURE'S SPECIFICATION.

- 14 SINGLE MODULES REQUIRED
- MODULES SIZE: 600mm L x 400mm W x 450mm H
- STORAGE VOLUME = 1.43 m³ MINIMUM

UNDERGROUND OSD TANK (OSD 2)

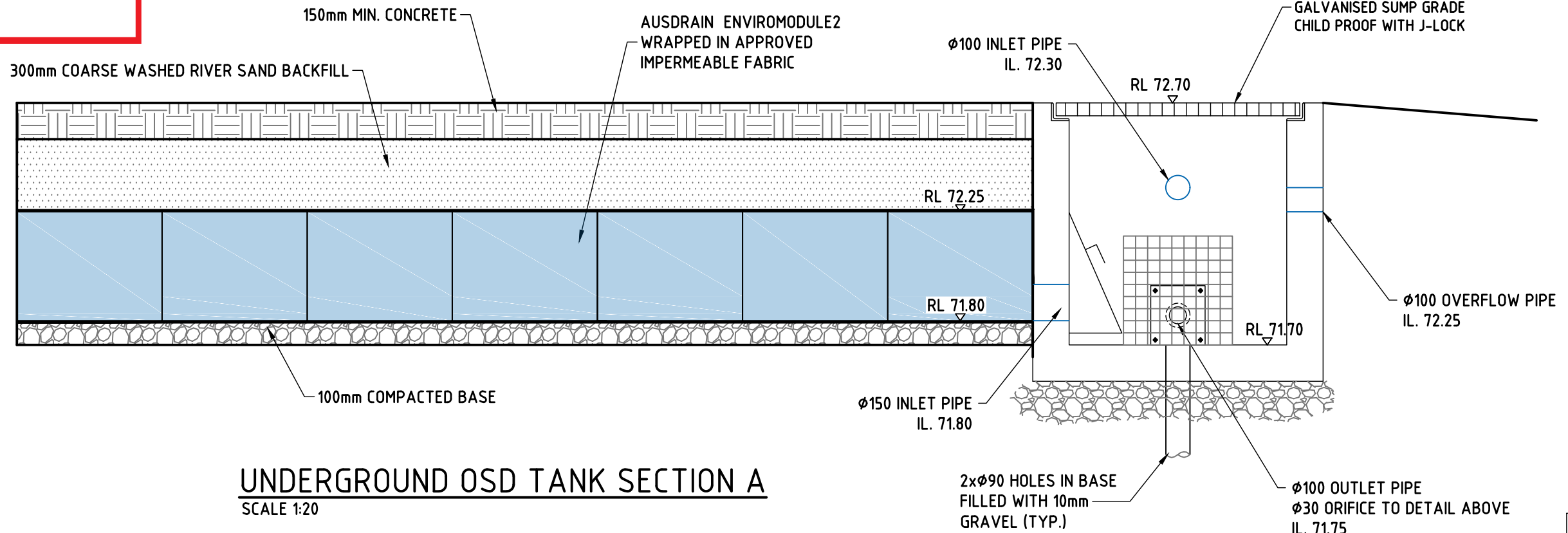
SCALE 1:50



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UNDERGROUND OSD TANK SECTION A

SCALE 1:20

STAINLESS STEEL "DYNA
BOLTS" OR EQUIVALENT

OUTLET PIPE ϕ +50

ϕ 100 OUTLET PIPE

OUTLET PIPE ϕ +50

OUTLET PIPE ϕ

3mm THICK STAINLESS STEEL PLATE
(6mm WHERE ORIFICE ϕ EXCEEDS 150mm)
WITH CIRCULAR HOLE MACHINES TO
0.5mm ACCURACY AND SHARP-EDGED

ϕ 30 mm CIRCULAR HOLE WITH
SHARP EDGES MACHINED TO 0.5mm
ACCURACY

ORIFICE PLATE DETAILS

NTS

900x900 REMOVABLE
GALVANISED SUMP GRADE
CHILD PROOF WITH J-LOCK

ϕ 100 INLET PIPE
IL. 72.30

RL 72.70

RL 72.25

RL 71.80

RL 71.70

ϕ 100 OVERFLOW PIPE
IL. 72.25

ϕ 150 INLET PIPE
IL. 71.80

2x ϕ 90 HOLES IN BASE
FILLED WITH 10mm
GRAVEL (TYP.)

ϕ 100 OUTLET PIPE
 ϕ 30 ORIFICE TO DETAIL ABOVE
IL. 71.75

ISSUE FOR APPROVAL

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| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



NASTASI & ASSOCIATES
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ABN 45 533 226 008

UNIT 5, 1-3 WHYALLA PLACE, PRESTONS NSW 2170
PH: (02) 9607 2884 OR (02) 9798 9517 FAX: (02) 9751 2081
MOB: 0419 041 401

DESIGNED

SH.D.

10.12.2020

CHECKED

M.D.

10.12.2020

APPROVED:



S. NASTASI
B.E., M.A.E., CPEng, Nper-3

CLIENT:

MILLER

ARCHITECT:

GARDNER HOMES

ADDRESS:

12 SCALES PARADE, BALGOWLAH HEIGHTS

TITLE:

OSD 2 PLAN & DETAILS

DRAWING STATUS

CONCEPT PLAN FOR APPROVAL

SCALE (AT ORIGINAL SIZE)

AS NOTED

PROJECT NO.

23777

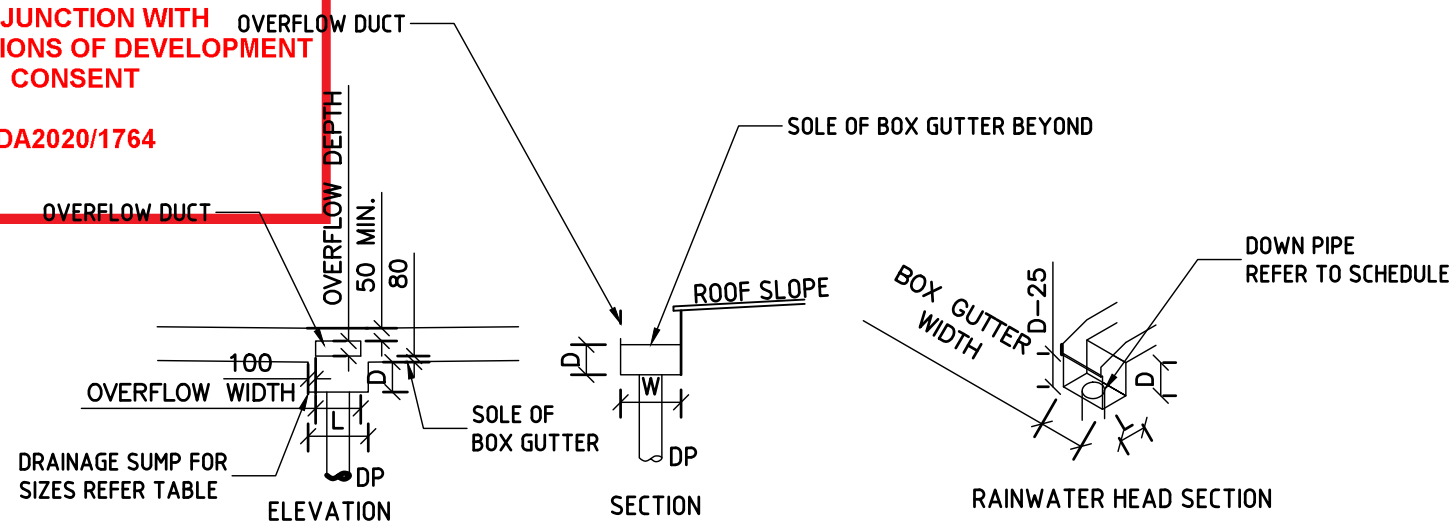
DRAWING NO.

C4

REVISION NO.

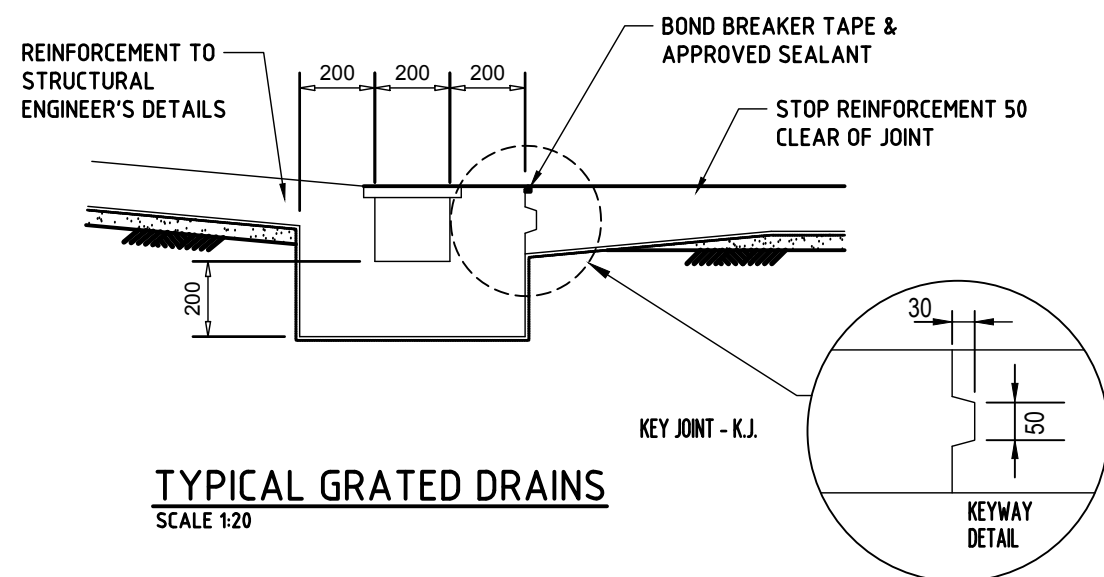
A

DA2020/1764

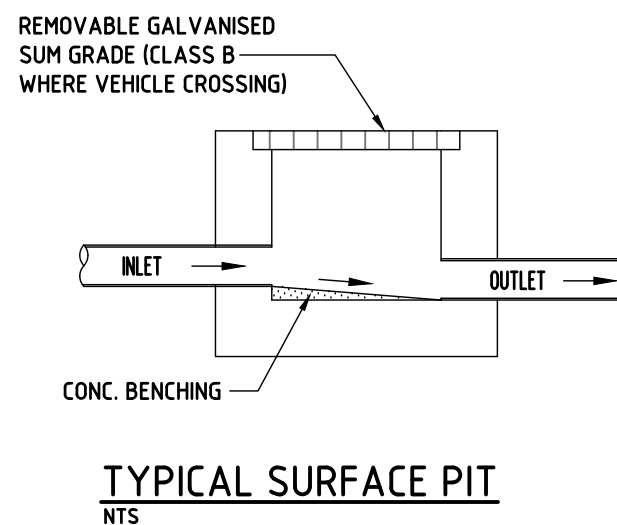


| BOX GUTTER, RAINWATER HEAD & SUMP SIZING SCHEDULE | | | | | |
|---|-----------------|---------------------|---------------|------------------|----------------|
| NODE | BOX GUTTER SIZE | RAINWATER HEAD SIZE | SUMP SIZE | OVERFLOW TO SUMP | DOWNSPIPE Ø mm |
| BG1 | 300 W x 150 D | 250 D x 150 W | 400 L x 130 D | N/A | 100 |

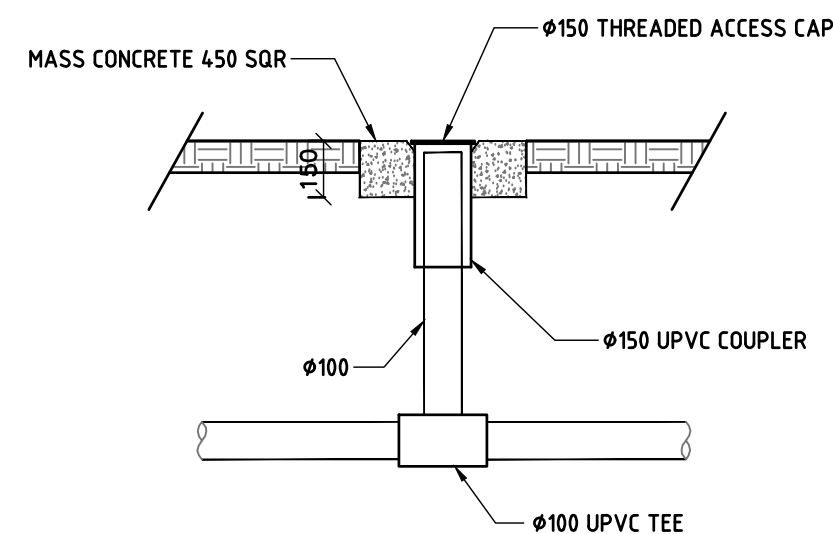
SCALE 1:20



SCALE 1:20



NTS



SCALE 1:20

| PIPE DIA 'D' | W | X MIN. | Y |
|-----------------|-----|-----------|----|
| 100-150 | 300 | 75 | 75 |
| 225-300 | 600 | 75 | 75 |

NOTE:
1 REFER TO PIPE LAYING SPECIFICATIONS
FOR DETAILS.

UPVC PIPE

NTS

[illegible]

GENERAL NOTES:

GENERAL NOTES:

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MOR: 0419 041 401

| QUALITY CONTROL | |
|-----------------|------------|
| DESIGNED | DATE |
| SH.D. | 10.12.2020 |
| CHECKED | DATE |
| M.D. | 10.12.2020 |

APPROVED:

S. NASTASI
B.E., M.I.E., CpEng., Noor-3

CLIENT:

MILLER

CHITECT:

GARDNER HOMES

ADDRESS:

12 SCALES PARADE BALGOWLAH HEIGHTS

| | |
|--------|--|
| TITLE: | |
|--------|--|

STORMWATER DETAILS

| | |
|--|-----------------------|
| | DRAWING STATUS |
|--|-----------------------|

CONCEPT PLAN FOR APPROVAL

SCALE (AT ORIGINAL SIZE)

AS NOTED

PROJECT NO.
23777

DRAWING NO.
C5

REVISION NO.
A

