



**PROPOSED UPSTAIRS ADDITION AND  
ON-GROUND REMODEL INCL A POOL AT:  
44 CUMBERLAND AVE, COLLAROY**

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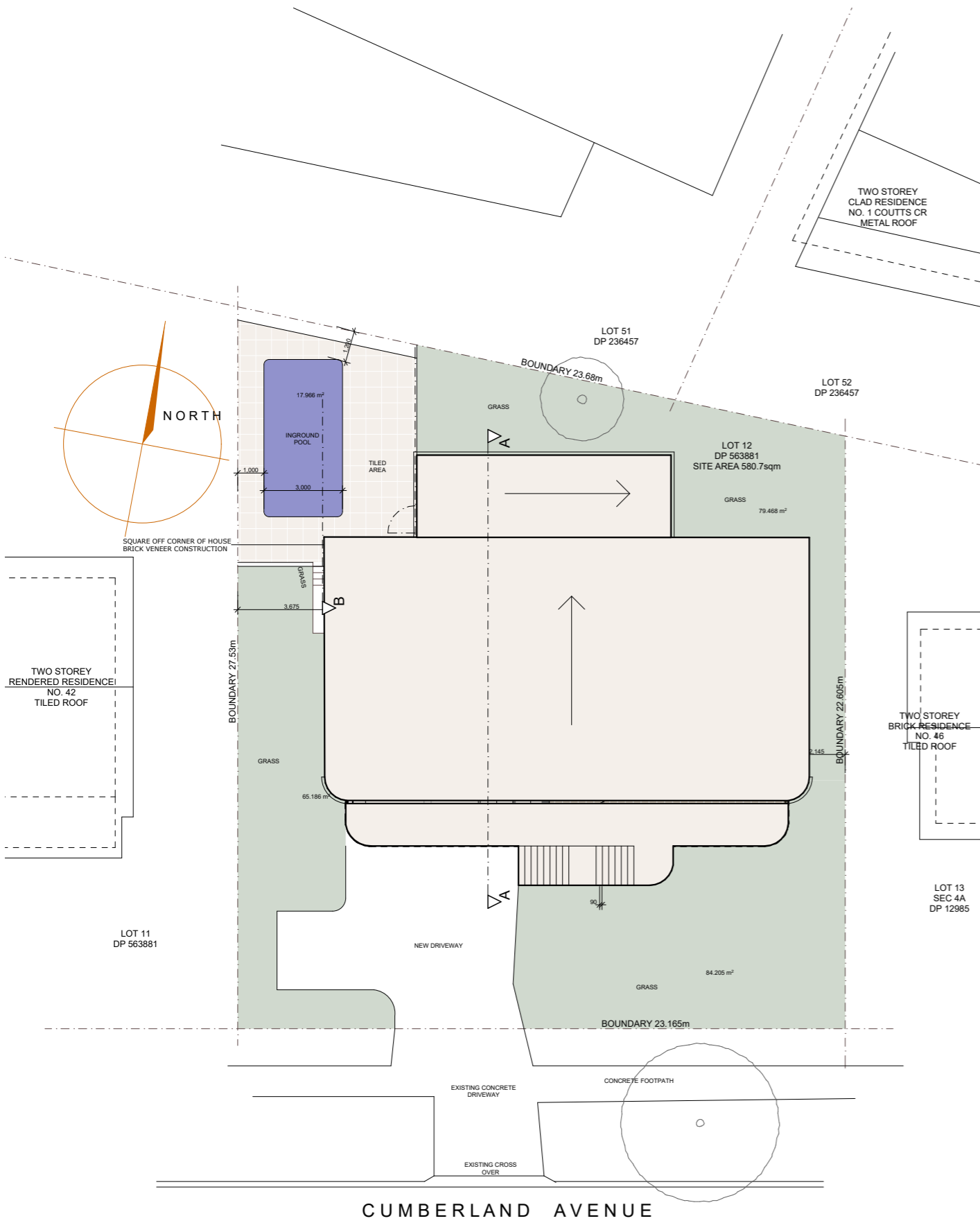
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Remodel including a pool at:  
**44 cumberland ave Collaroy**

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**CLIENTS** Kristy & Sean O'Hara  
**TITLE:** DA Plans **PAGE NO.** 1 / 9  
**DRAWING NO.** 2406 DA 1 **ISSUE** F  
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SITE PLAN 1:200

COLOUR SCHEME	
ROOF - COLORBOND SHALE GREY	
WALLS - WHITE	
POSTS, BEAM & WINDOWS - WHITE	
GUTTERS - WHITE	
FASCIA - WHITE	
OPEN SPACE CALCULATIONS	
SITE AREA	580.70sqm
EXISTING FLOOR AREA	166.5sqm
PROPOSED TOTAL FLOOR AREA	315.4sqm
LANDSCAPING	
PROPOSED LANDSCAPING	84.2sqm
	65.1sqm
	79.4sqm
WATER/POOL	17.8sqm
TOTAL LANDSCAPING	246.5sqm 42%
BASIX REQUIREMENTS	
SEE PAGE 9	
SPECIFICATIONS	
INSULATION	
-R2.7 BRADFORD GOLD HI-PERFORMANCE BATTS TO EXTERNAL WALLS	
-R6.0 260mm BRAFORD HI-PERFORMANCE IN CEILING AREA	
CLADDING	
-JAMES HARDIE AXON FIBRE CEMENT CLADDING PAINTED WHITE	
ROOF	
-2 DEGREE SKILLION ROOF - LONGSPAN OR SIMILIAR FOR 2 DEGREE ROOF	
- 2.4m HIGH SOLID CORE FLUSH PANEL DOORS	
- SQUARE 140mm SKIRTINGS	
- SQUARE SET ARCHITRAVES	
- SQUARE SET CORNERS	
- SET DOWN UPSTAIRS BATHROOMS	

FRAMING NOTES.	
ROOF PITCH	3°
CEILING HEIGHT	2500mm
EAVE OVERHANGS	900mm
FRAME AND TRUSS CENTRES	TO ENGINEERS DETAIL
LEGEND	
B.O	WORK TO BE DONE BY OTHERS
O.T.A	OWNER TO ADVISE BUILDER
O.B.&H	OPEN BALUSTRADING AND HANDRAIL
90P	90 x 90 TIMBER POST
90PP	90 x 90 TIMBER PRIMED POST
SHW	SHOWER ENCLOSURE
V	VANITY UNIT
WC	TOILET SUITE (WATER CLOSET)
BIC	BUILT IN CUPBOARD
ST	STORE
C.O.S	TO BE CHECKED ON SITE
STORMWATER DRAINAGE	
CONNECT TO EXISTING STORMWATER SYSTEM.	
GENERAL NOTES	
ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT STANDARDS BY THE STANDARDS ASSOCIATION OF AUSTRALIA.	
ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE. ANY DISCREPANCIES ARE TO BE REPORTED TO BETTSWHITE PRIOR TO CONSTRUCTION	
BUILDER TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN AND ENGINEERING PLANS ARE STRICTLY COMPLIED WITH	
<b>DEMOLITION.</b> ALL DEMOLITION TO BE IN ACCORDANCE WITH AS2601 DEMOLITION OF STRUCTURES. MUST BE CARRIED OUT BY A REGISTERED DEMOLITION CONTRACTOR	
<b>TIMBER CONSTRUCTION.</b> ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1684 - 'TIMBER FRAMING CODE'. EXTERNAL WALLS TO BE WRAPPED IN A BREATHABLE MEMBRANE	
<b>FIRE PROTECTION.</b> FIRE PROTECTION OF SEPARATING WALLS TO COMPLY WITH NCC PART 3.7.3.2. FRL 60/60/60 WITHIN 900mm OF BOUNDARY	
<b>BRICKWORK CONSTRUCTION.</b> ALL BRICKWORK TO COMPLY WITH AS1640 & AS3700	
<b>BATHROOMS &amp; WET AREAS</b> ALL WET AREAS ARE TO BE ADEQUATELY WATERPROOFED AND COMPLY WITH AS3740 & PART 3.8.1 OF THE NCC. MEMBRANE TO BE HEAT WELDED SHEET	
<b>GLAZING</b> ALL GLAZING TO COMPLY WITH AS1288 & AS2047 WITH CHILD SAFE LOCKS/SCREENS TO COMPLE WITH NCC PART 3.9.2	
<b>STORMWATER</b> CONNECT ALL STORMWATER TO EXISTING STORMWATER SYSTEM WHICH DRAINS TO THE STREET. IN ACCORDANCE WITH AS3500 & PART 3.1.2 DRAINAGE OF THE NCC	
<b>SMOKE ALARMS</b> INTERCONNECTED/HARDWIRED SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE NCC CLAUSE 3.7.2.2	
<b>STAIR BALUSTRADING</b> STAIRS ARE TO COMPLY WITH NCC PART 3.9.1 & 3.9.2	
<b>TERMITE PROTECTION</b> TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660	

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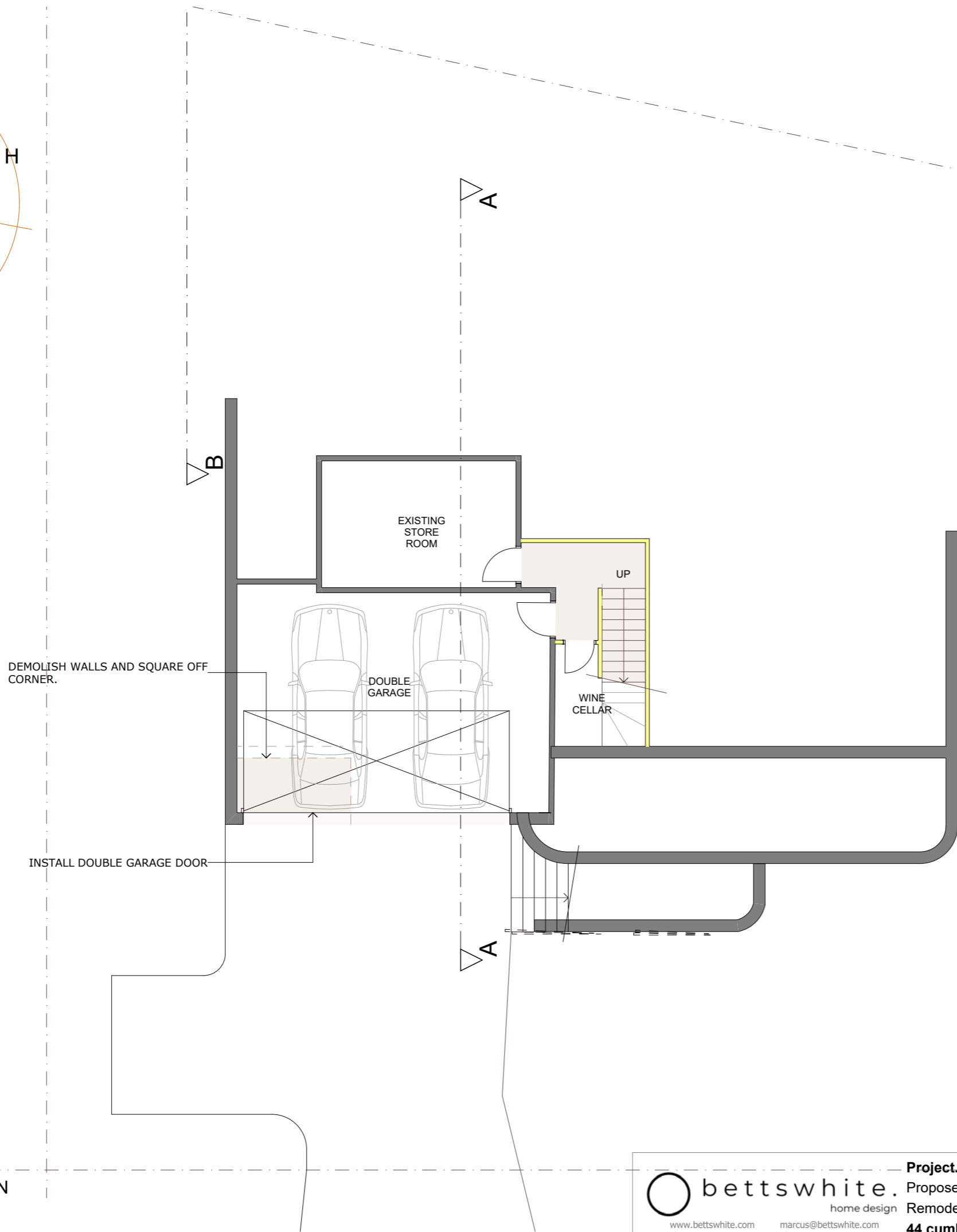


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WINDOW SCHEDULE			
W1	ASW 1100 x 1200		
D1	AST 2700 x 4400		
D2	ASD 2700 x 1550		
W2	ALW 600 x 1400	O.F	
W3	ASW IN EXIST OPENING		
W4	ADH IN EXIST OPENING		
W5	ADH IN EXIST OPENING		
D3	ASD 2700 x 2100		
D4	2700 x 1100 HINGED DOOR UNIT WITH FIXED SIDE LIGHT WINDOWS		
D5	AST 2700 x 6200	3 = PANELS	
W6	ALW 2700 x 800		
W7	AFW 700x 3400		
W8	AFW 1100 x 900		
W9	ALW 1100 x 1500	O.F 600mm WIDE LOUVER	
W10	AFW 2100 x 600		
W11	ALW 2100 x 1200	F.O	
W12	AAW 1200 x 600		
W13	ALW 600 x 1500	O.F	
W14	ALW 600 x 700		
W15	ASW 1200 x 1800		
W16	ASW 600 x 1800	3 = PANELS	
W17	ASW 600 x 1800	3 = PANELS	
D6	AST 2500 x 3200		
D7	AST 2500 x 3400	REVERSE	
W18	AFW 2500 x 2000		
D8	AST 2500 x 3400		
D9	AST 2500 x 3600	REVERSE	
W19	ALW 2500 x 800		
W20	ASW 600 x 2400	3 = PANELS O.F.O	

**BASEMENT FLOOR PLAN**

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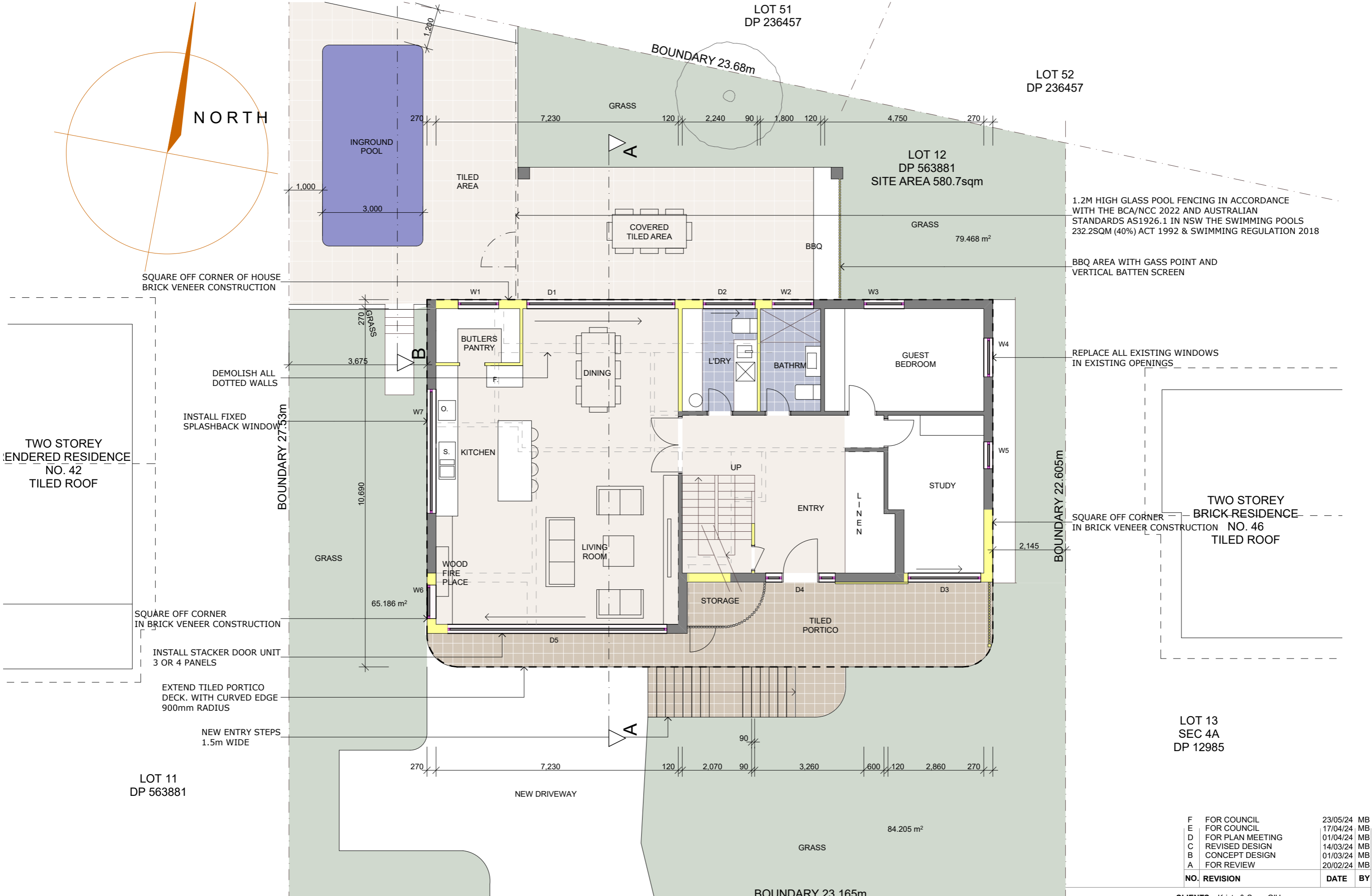
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NORTH



GROUND FLOOR PLAN

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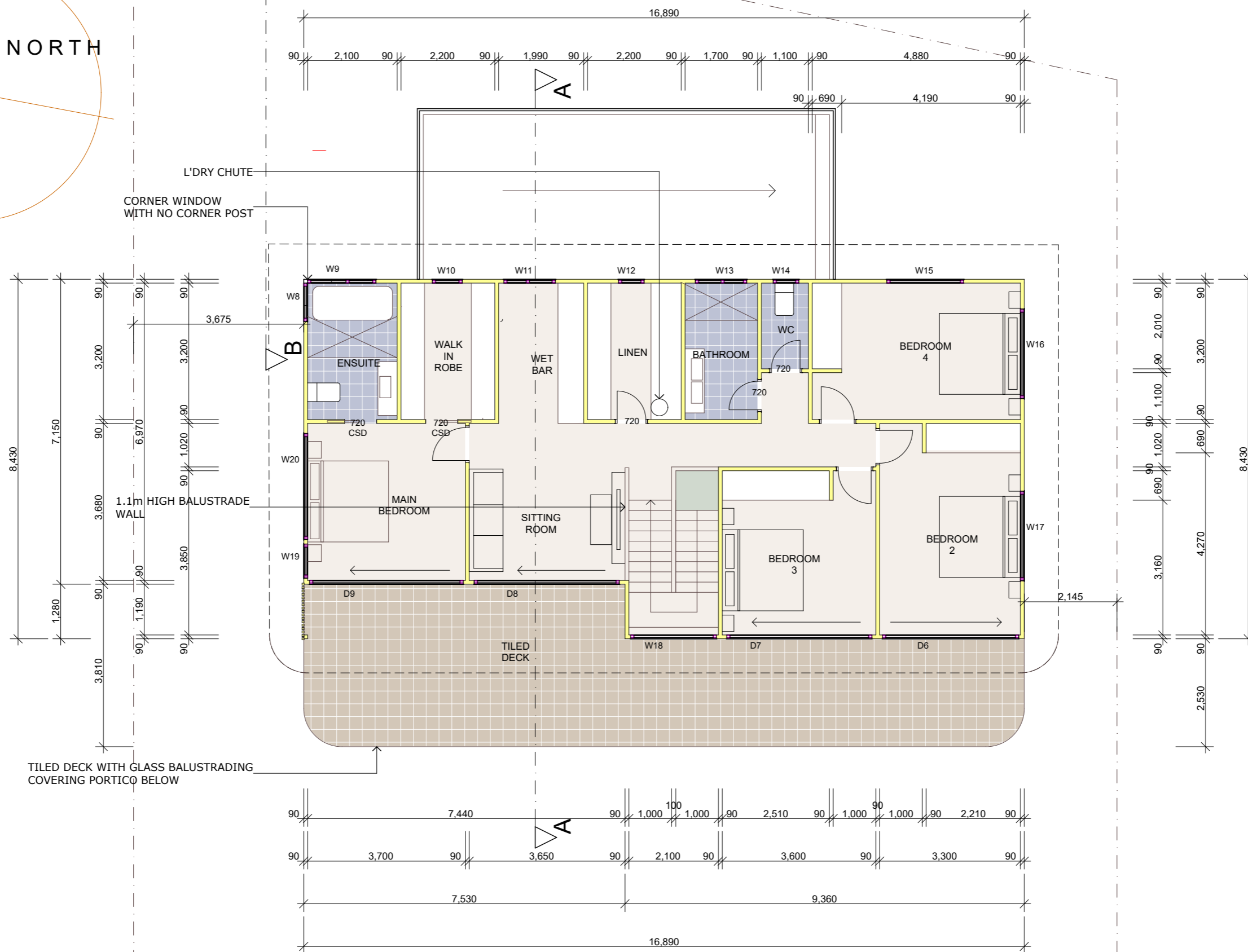
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NORTH



TILED DECK WITH GLASS BALUSTRADING COVERING PORTICO BELOW


L'DRY CHUTE  
CORNER WINDOW WITH NO CORNER POST

1.1m HIGH BALUSTRADE WALL

FIRST FLOOR PLAN

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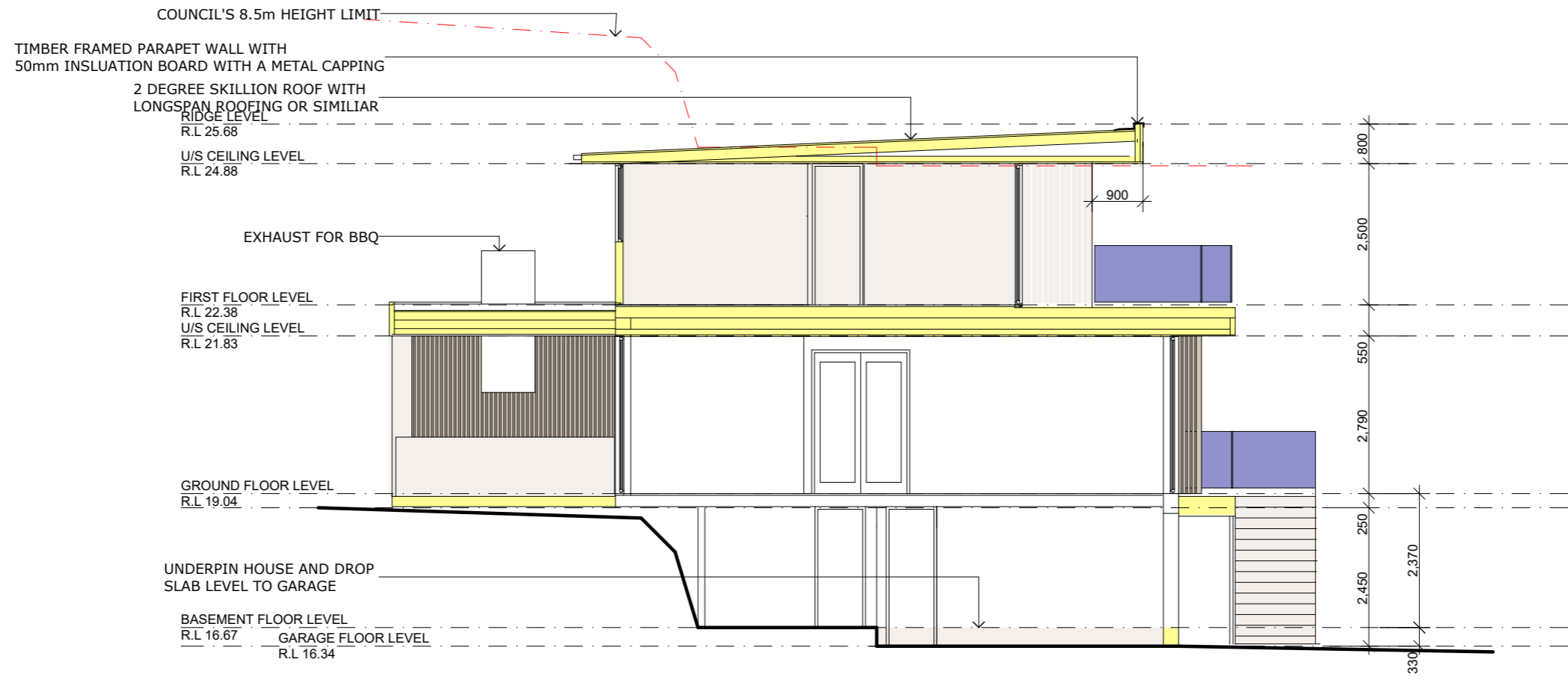


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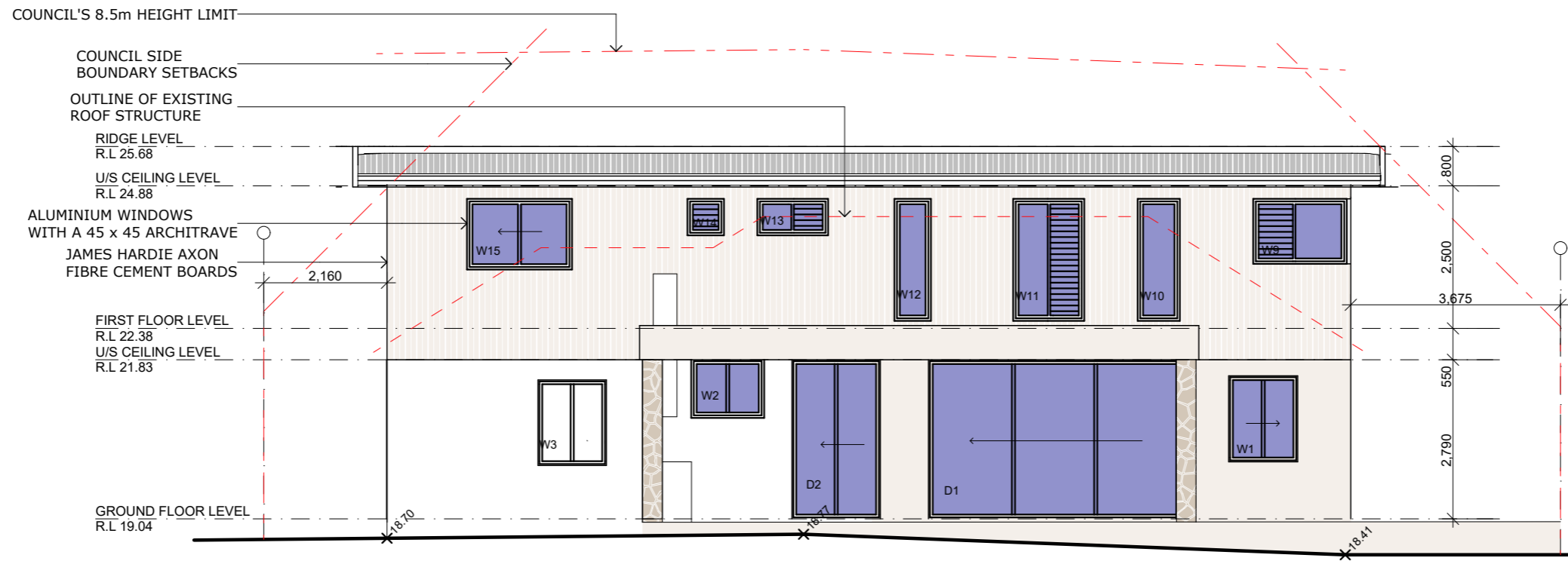
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SECTION A-A



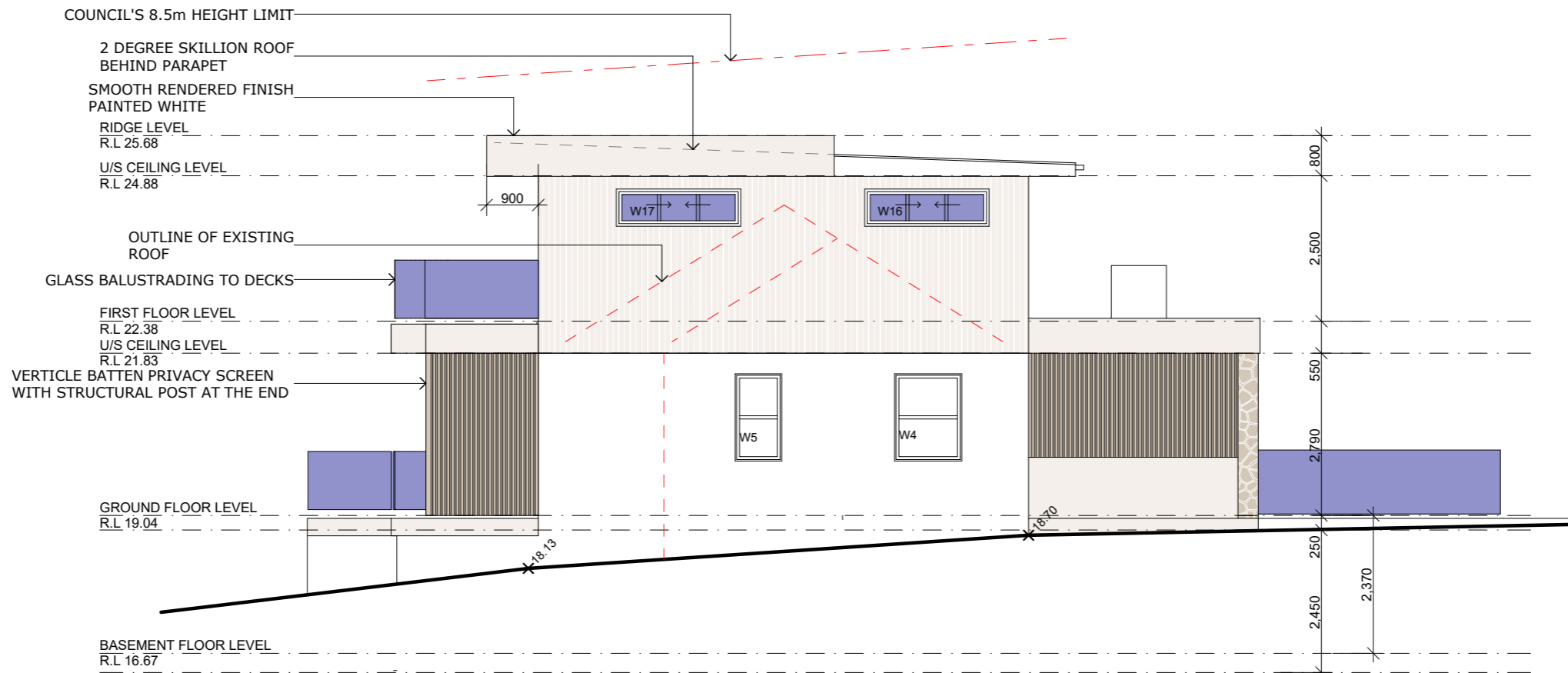
NORTH ELEVATION

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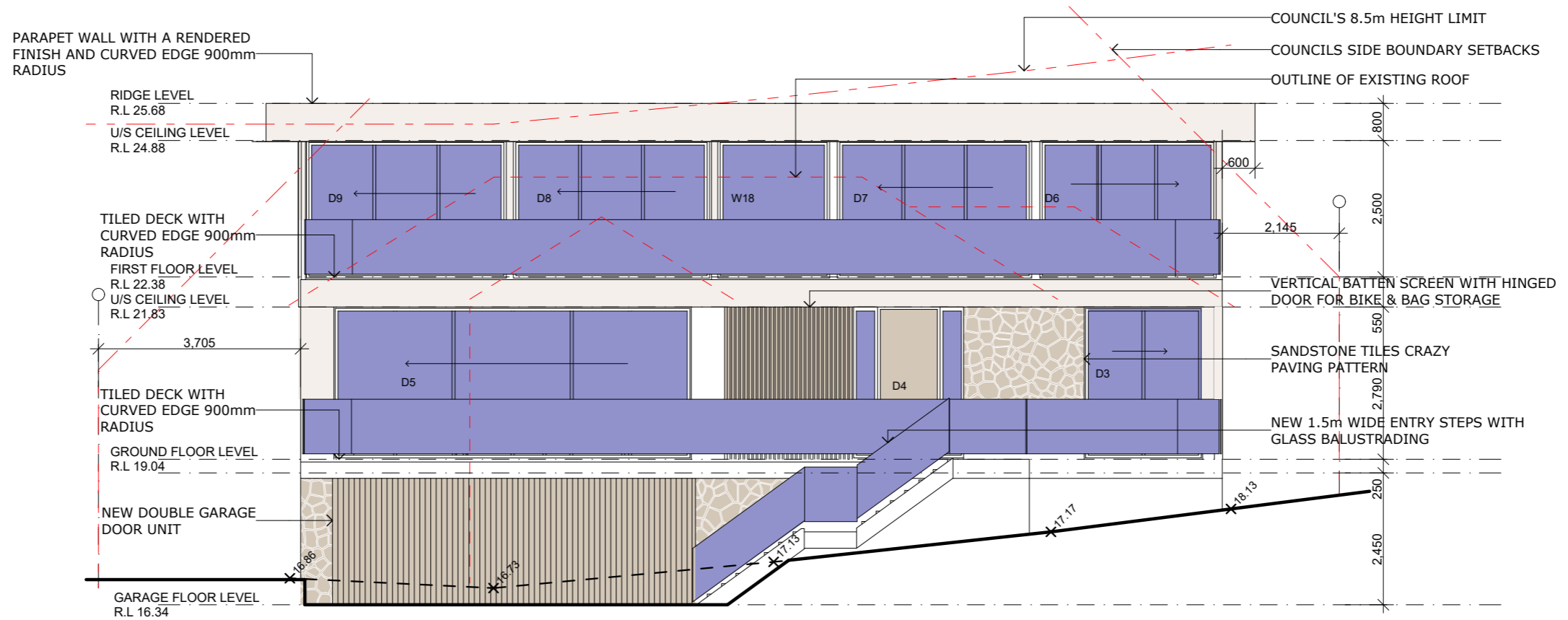


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EAST ELEVATION



SOUTH ELEVATION

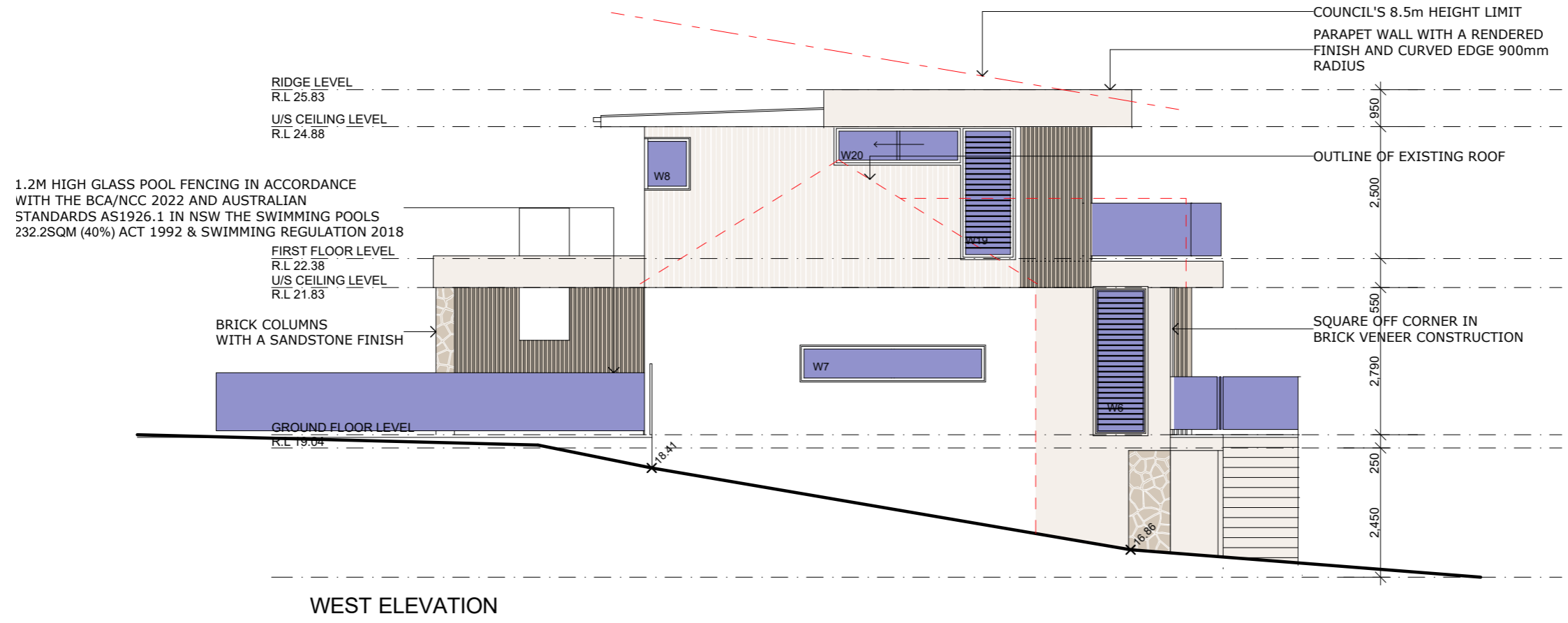
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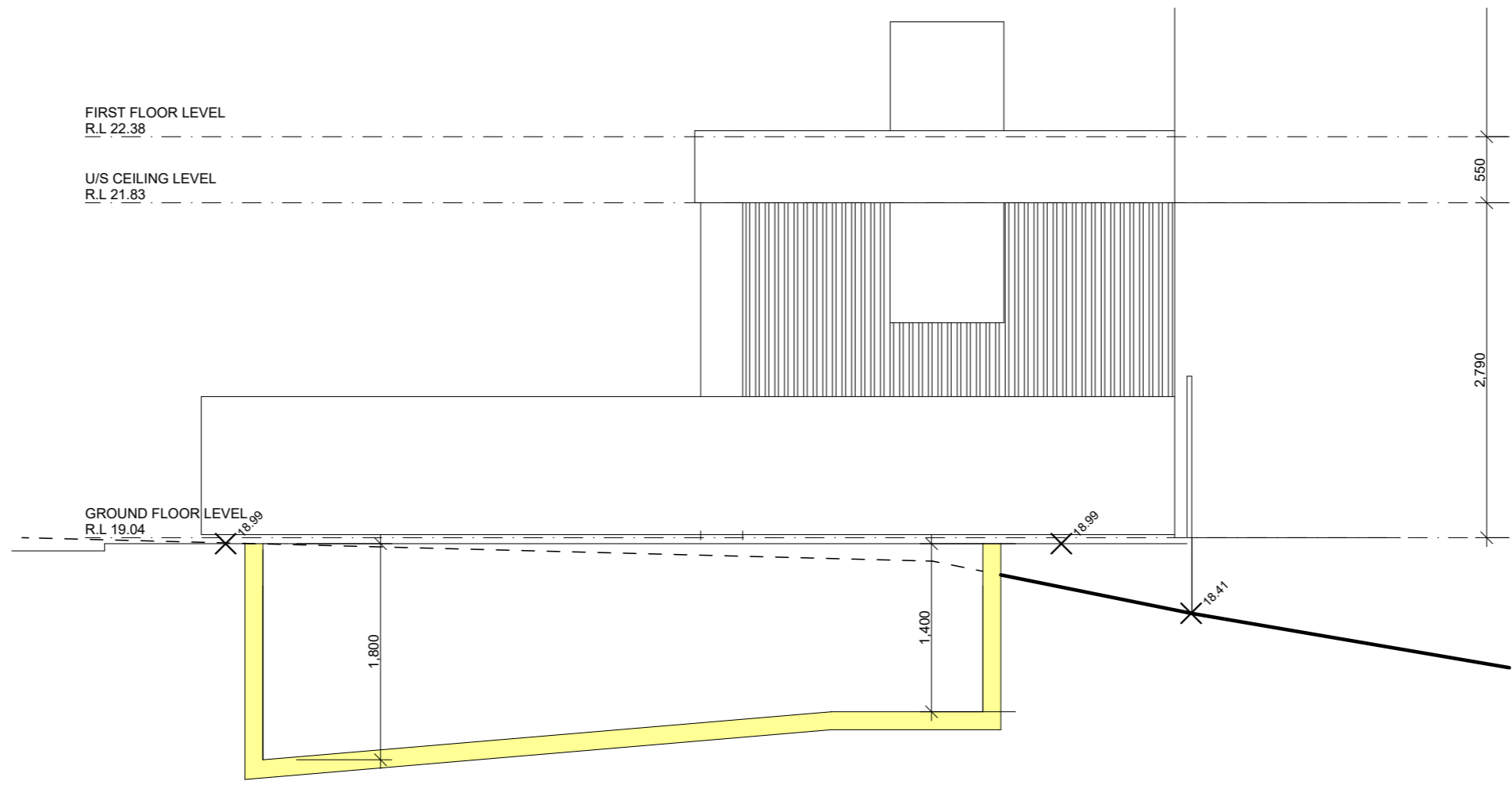


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WEST ELEVATION



POOL SECTION B-B

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This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Sunday, 21 April 2024  
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project address	
Project name	O'HARA
Street address	44 CUMBERLAND AVENUE COLLARROY 2097
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP563881
Lot number	12
Section number	-
Project type	
Dwelling type	Dwelling above existing building
Type of alteration and addition	The estimated development cost for any renovation work is \$50,000 or more.
N/A	N/A
Certificate Prepared by	
Name / Company Name: BETTSWHITE PTY LTD	
ABN (if applicable): 77628074117	

Fixtures and systems	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
<b>Lighting</b>		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
<b>Fixtures</b>		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Construction	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
<b>Insulation requirements</b>		✓	✓
The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> . Insulation specified is not required for parts of altered construction where insulation already exists.			
<b>Construction</b>	<b>Additional insulation required (R-value)</b>	<b>Other specifications</b>	
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) or R1.30 including construction	N/A	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (100 mm)	medium solar absorbance 0.475 - 0.70	

Glazing requirements	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
<b>Windows and glazed doors</b>		✓	✓
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with improved frames, or prismatic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For pergolas described in materials, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 900 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Glazing requirements								Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements										
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type				
W1	N	1.32	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W2	N	0.84	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W3	N	1.2	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W4	E	1.12	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W5	E	1.68	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				

Glazing requirements								Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type				
W6	W	2.16	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W7	W	2.38	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W8	W	0.99	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W9	N	1.65	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W10	N	1.26	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				

Glazing requirements								Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements										
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type				
W11	N	2.82	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W12	N	0.72	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W13	N	0.9	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W14	N	0.42	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W15	N	2.16	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				

Glazing requirements								Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type				
W16	E	1.08	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W17	E	1.08	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W18	S	5	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W19	W	2	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
W20	W	1.44	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				

Glazing requirements								Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements										
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type				
D1	N	11.88	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
D2	N	4.18	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
D3	S	5.67	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
D4	S	2.97	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
D5	S	16.74	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				

Glazing requirements								Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type				
D6	S	8	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
D7	S	8.5	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
D8	S	8.5	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				
D9	S	9	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)				

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on CC/DC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.	

## BASIX CERTIFICATE

F	FOR COUNCIL	23/05/24	MB
E	FOR COUNCIL	17/04/24	MB
D	FOR PLAN MEETING	01/04/24	MB
C	REVISED DESIGN	14/03/24	MB
B	CONCEPT DESIGN	01/03/24	MB
A	FOR REVIEW	20/02/24	MB

NO.	REVISION	DATE	BY
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**Project.**  
Proposed Upstairs addition & On-Ground Remodel including a pool at:  
**44 cumberland ave Collaroy**

**CLIENTS** Kristy & Sean O'Hara  
**TITLE:** DA Plans **PAGE NO.** 9 / 9  
**DRAWING NO.** 2406 DA 1 **ISSUE** F  
**SCALE:** 1 : 100 **DATE:** 01-03-24 **DWN BY:** MB