

PROPOSED ALTERATIONS TO RESIDENCE
48 TIMARU ROAD TERREY HILLS, NSW

FOR MR S. TRUDE & MRS A. TRUDE

DEVELOPMENT APPLICATION DRAWINGS

LOT 70 DP238658



CONSTRUCTION FOR COMPLIANCE WITH BUSHFIRE REPORT

1- CONSTRUCTION STANDARD NORTH, EAST AND WEST ELEVATIONS	All new construction shall comply with a minimum standard of section 3 [construction general] and section 8 (BAL-40), AS3959-2018 and Chapter 7 of Planning for Bushfire Protection 2019.
2- CONSTRUCTION STANDARD SOUTH ELEVATION	All new construction shall comply with a minimum standard of section 3 [construction general] and section 7 (BAL-29), AS3959-2018 and Chapter 7 of Planning for Bushfire Protection 2019.

DRAWINGS

DA001	COVER PAGE
DA100	SITE PLAN
DA101	DEMO PLAN - GROUND FLR
DA102	DEMO PLAN - LEVEL 01
DA200	PROPOSED PLAN - GROUND FLR
DA201	PROPOSED PLAN - LEVEL 01
DA202	FINISHES PLAN - GROUND FLR
DA203	FINISHES PLAN - LEVEL 01
DA300	PROPOSED EXTERNAL ELEVATIONS
DA301	PROPOSED EXTERNAL ELEVATIONS
DA400	PROPOSED SECTIONS
DA401	PROPOSED SECTIONS
DA500	PROPOSED FINISHES PALETTE
DA501	3D RENDERED VIEW
DA502	3D RENDERED VIEW
DA503	3D RENDERED VIEW
DA504	3D RENDERED VIEW
DA505	3D RENDERED VIEW

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Design Architect

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SUITE 104
120 BOURKE ST
WOOLLOOMOOLOO
AUSTRALIA
+61 2 90963687

Revision

Issue	Description	Date	Drawn
A	ISSUE FOR INFORMATION	01.09.20	AT
B	ISSUE FOR PRE - DA REVIEW	15.09.20	AT
C	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

Client

PRIVATE RESIDENCE
48 TIMARU ROAD TERREY HILLS
NSW 2084
LOT 70 DP238658

Sheet Status

DEVELOPMENT APPLICATION

Project Name

PRIVATE RESIDENCE

Project Number

2006

Scale

NTS

Issue Date

25.01.2021

Drawn

AT

Checked

NM

Drawing Number

DA001

Revision

C

Drawing Title

COVER PAGE

DEVELOPMENT APPLICATION

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A	ISSUE FOR PRE-DA REVIEW	15.09.20	AT
B	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

- EXISTING HOUSE
- EXTENSION WORKS
- ADJOINING PROPERTY
- WASTE MANAGEMENT

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NSW 2084
LOT 70 DP238658



Sheet Status

DEVELOPMENT APPLICATION

Project Name
PRIVATE RESIDENCE

Project Number
2006

Scale	Issue Date	Drawn	Checked
1:100@A1	25.01.2021	AT	NM

Drawing Number
DA100

Revision
B

Drawing Title
PROPOSED SITE PLAN

GROSS FLOOR AREAS:
EXISTING HOUSE (1st & 2nd floor): 287sqm
GARAGE (NEW): 54.8 sqm
DECK(NEW): 97.8 sqm
UPPER LEVEL EXTENSION (NEW): 19.4sqm
LOWER LEVEL EXTENSION (NEW): 45sqm

KEY:
NS - NATURAL SURFACE
TR - TREE

SPREAD-DIAMETER-HEIGHT

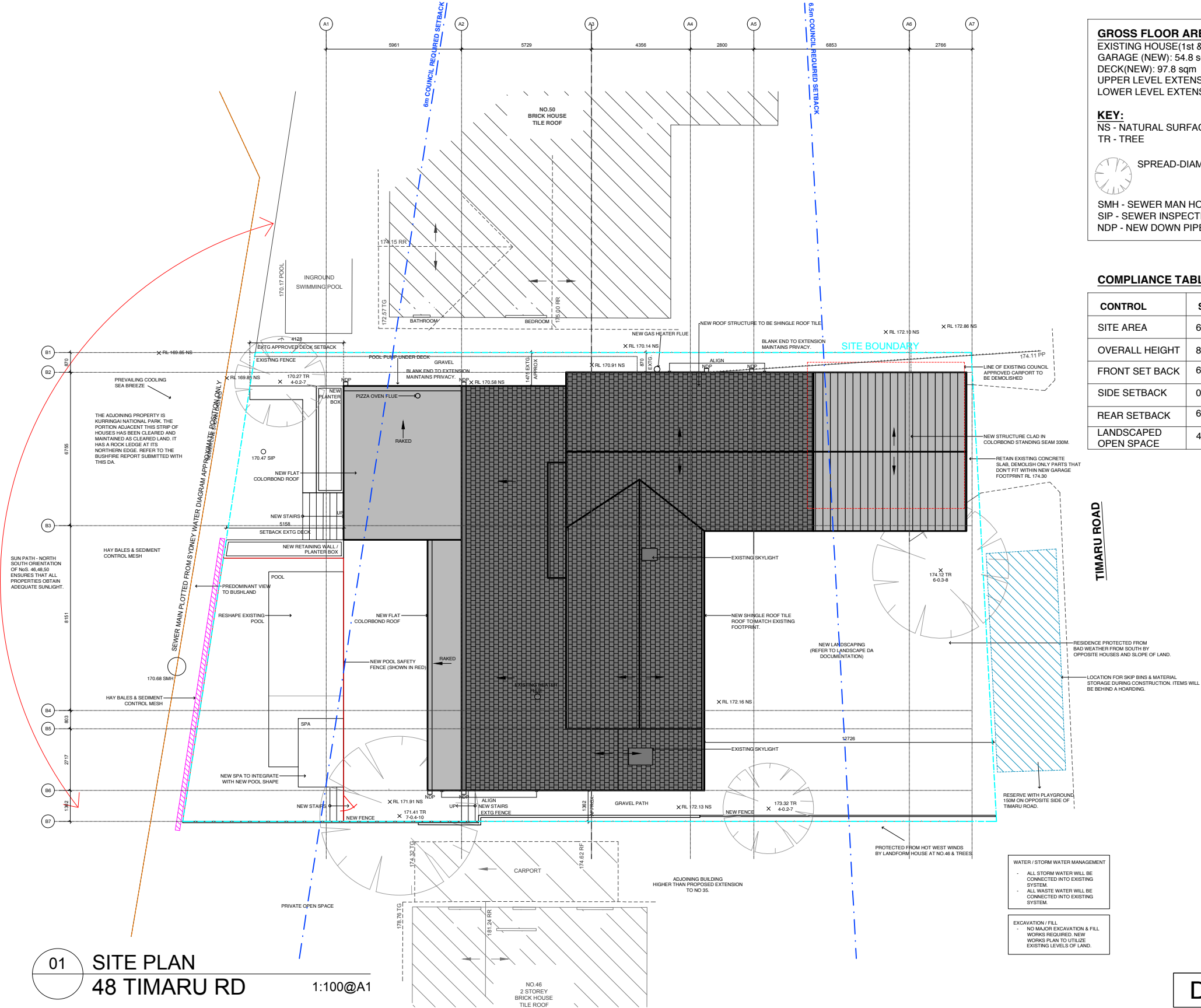
SMH - SEWER MAN HOLE
SIP - SEWER INSPECTION PIT
NDP - NEW DOWN PIPE

EROSION & SEDIMENT CONTROL:

- SEDIMENT FENCE TO BE INSTALLED ON LOW SIDE OF SITE PRIOR TO WORK COMMENCING.
- STABILIZE EXPOSED EARTH BANKS.
- INSTALL SITE WASTE RECEPTACLES.
- SWEEP ROAD AND FOOTPATH EACH DAY.
- CONNECT DOWN PIPES FORM GUTTERING TO THE STORMWATER DRAIN AS SOON AS NEW ROOF IS INSTALLED.
- REVEGETATE THE SITE AS SOON AS POSSIBLE. EROSION & SEDIMENT CONTROL DEVICES WILL REMAIN IN PLACE UNTIL 70% OF SITE IS REVEGITATED.

COMPLIANCE TABLE:

CONTROL	STANDARD	PROPOSED	COMPLIANCE
SITE AREA	658 sqm	658 sqm	
OVERALL HEIGHT	8.5 meters	7.7 meters	Yes
FRONT SET BACK	6.5 meters	0.6 meters	No
SIDE SETBACK	0.9 meters	0.87 meters	No
REAR SETBACK	6 meters	4.1 meters	No
LANDSCAPED OPEN SPACE	40% of site	40.7% of site	Yes



01

SITE PLAN
48 TIMARU RD

1:100@A1

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Issue	Description	Date	Drawn
A	ISSUE FOR PRE-DA REVIEW	15.09.20	AT
B	DEVELOPMENT APPLICAITON	25.01.21	AT

Legend

- EXISTING WALLS TO BE RETAINED
- EXISTING ELEMENTS TO BE DEMOLISHED
- EXISTING WALLS TO BE RETAINED

Client

PRIVATE RESIDENCE
48 TIMARU ROAD TERREY HILLS
NSW 2084
LOT 70 DP238658



Sheet Status

DEVELOPMENT APPLICATION

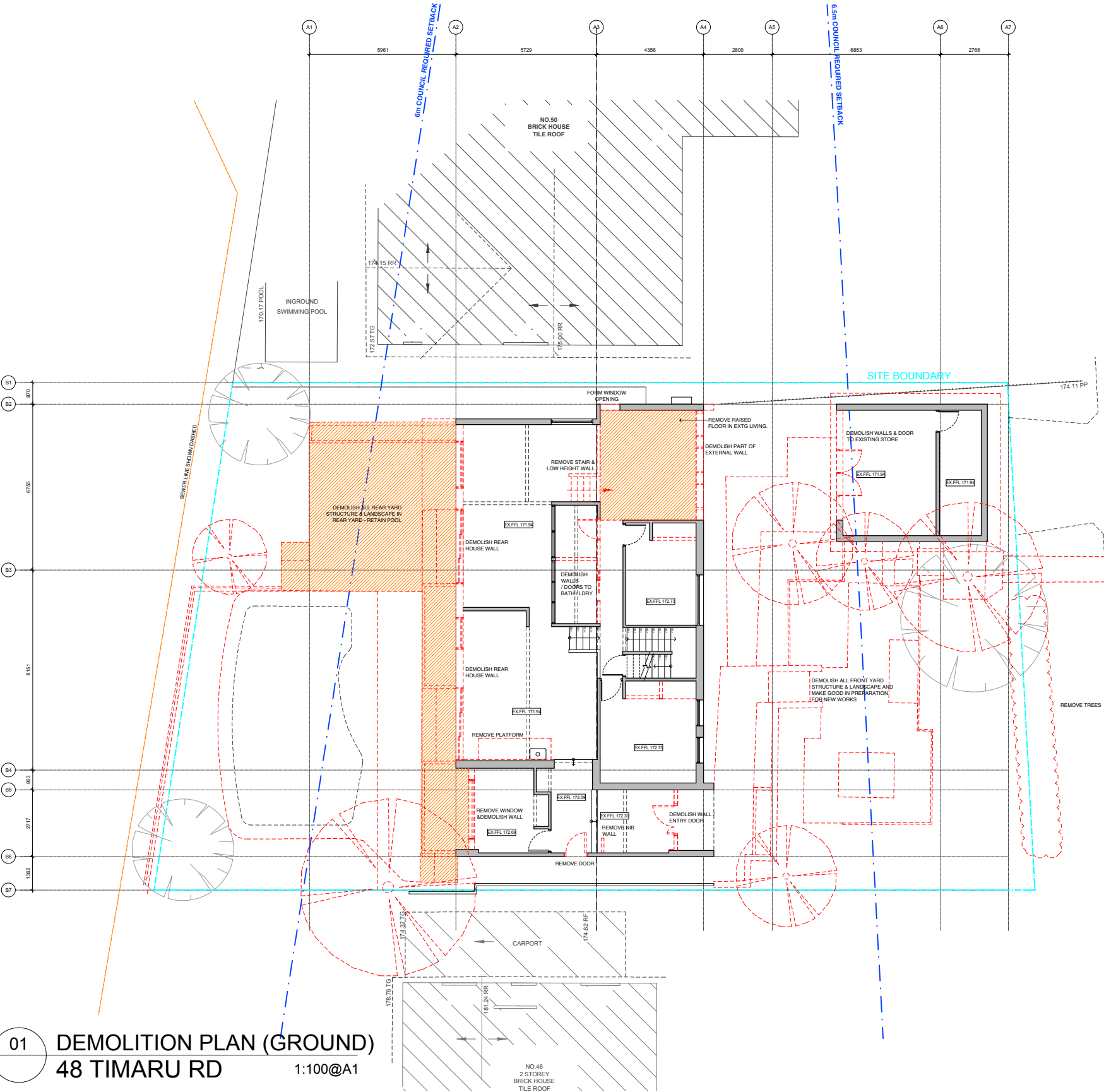
Project Name
PRIVATE RESIDENCE

Project Number
2006

Scale	Issue Date	Drawn	Checked
1:100@A1	25.01.2021	AT	NM

Drawing Number	Revision
DA101	B

Drawing Title
DEMOLITION PLAN -
GROUND FLOOR



DEVELOPMENT APPLICATION

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A	ISSUE FOR PRE-DA REVIEW	15.09.20	AT
B	PRE-DA MEETING WITH COUNCIL	16.09.20	AT
C	ISSUE FOR PRE-DA REVIEW	26.11.20	AT
D	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

- EXISTING WALLS TO BE RETAINED
- EXISTING ELEMENTS TO BE DEMOLISHED
- ROOF TO BE DEMOLISHED

Client

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NSW 2084
LOT 70 DP238658

Sheet Status

DEVELOPMENT APPLICATION

Project Name
PRIVATE RESIDENCE

Project Number
2006

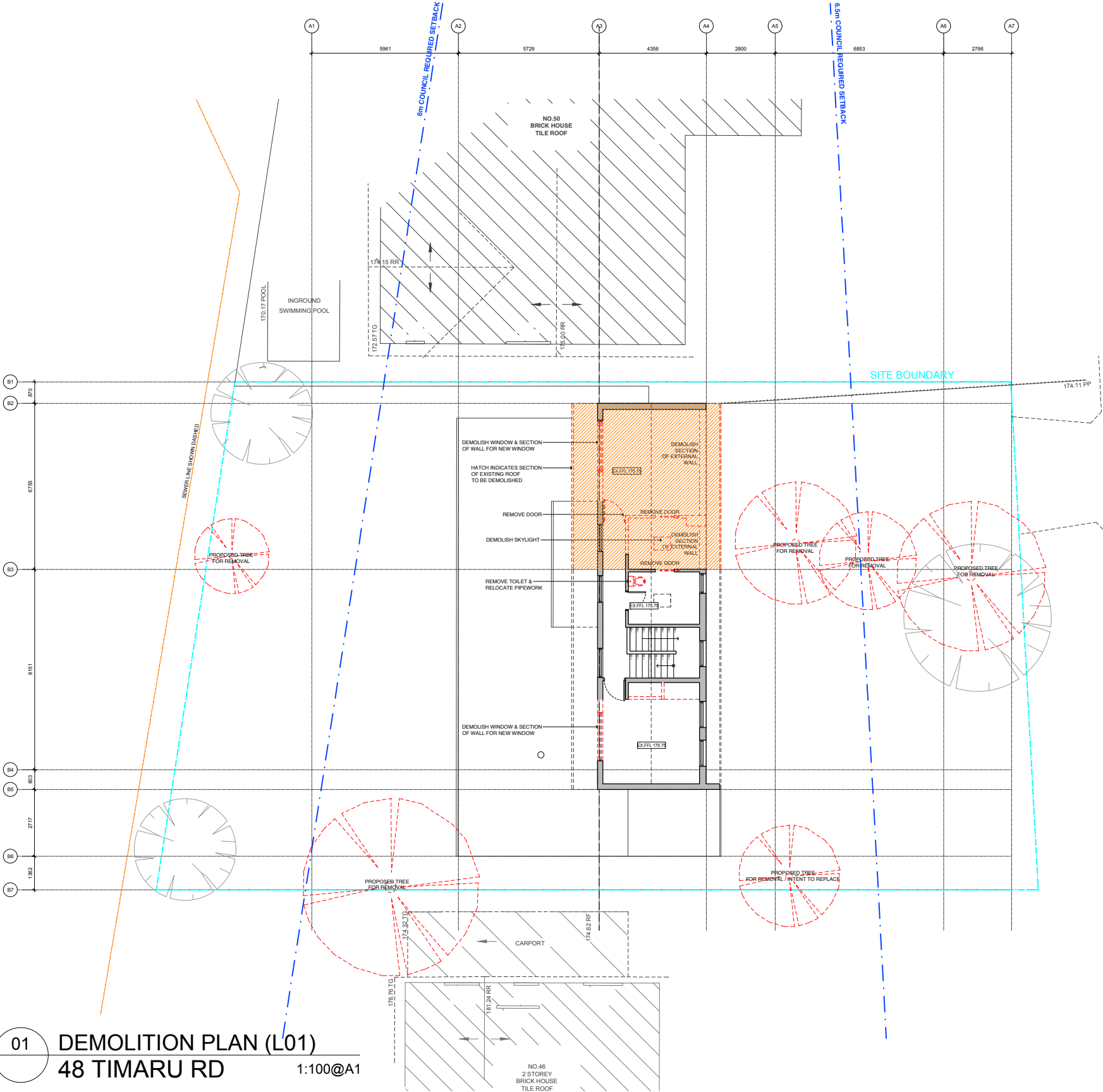
Scale	Issue Date	Drawn	Checked
1:100@A1	25.01.2021	AT	NM

Drawing Number
A102

Revision
D

Drawing Title

DEMOLITION PLAN -
LEVEL 01



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

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D	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

	NOT IN SCOPE / EXISTING WALLS TO BE RETAINED
	NEW WALLS

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NSW 2084

Sheet Status

DEVELOPMENT APPLICATION

Project Name
PRIVATE RESIDENCE

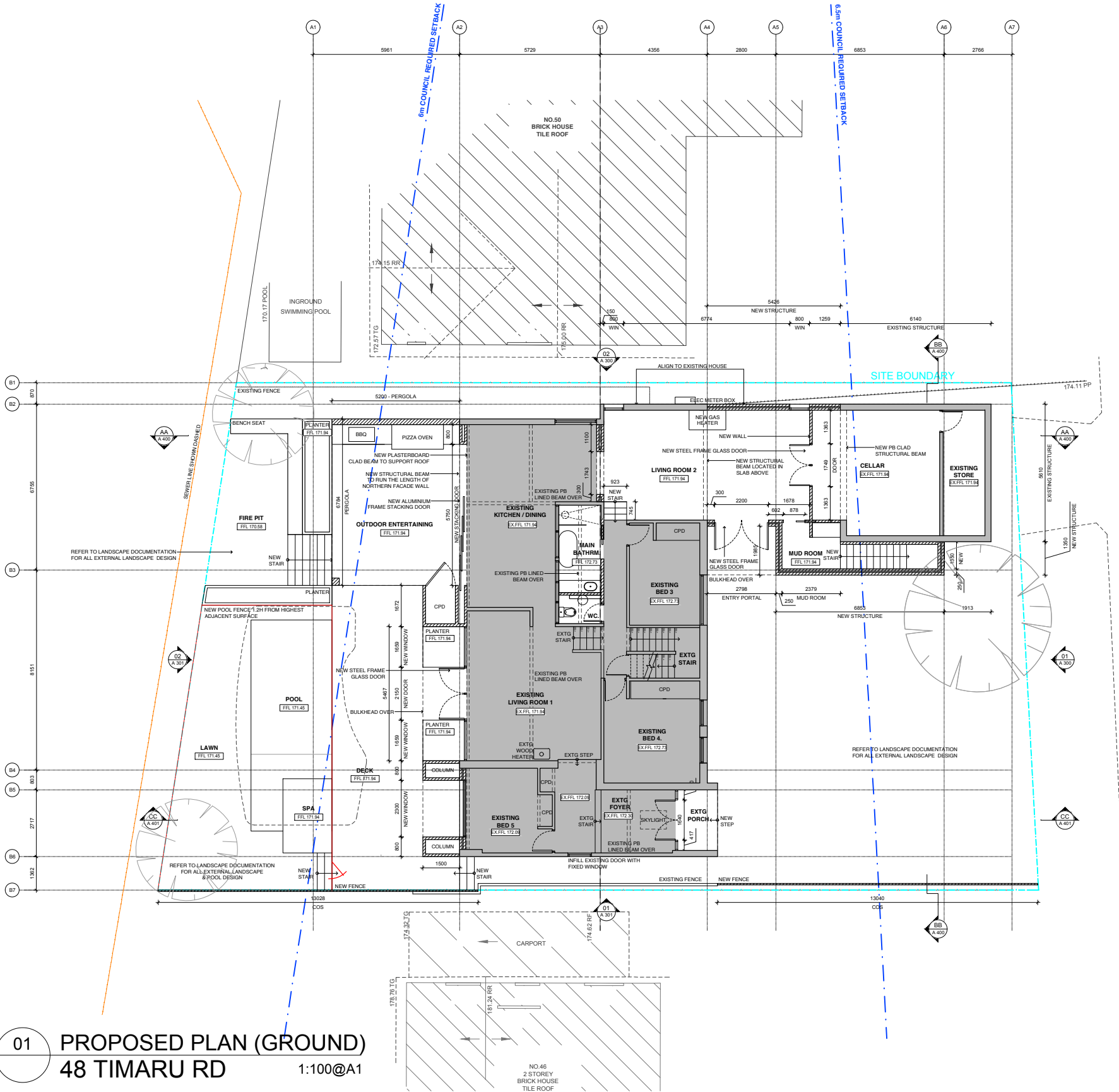
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Scale	Issue Date	Drawn	Checked
1:100@A1	25.01.21	AT	NM

Drawing Number
A200

Revision
D

Drawing Title
PROPOSED PLAN -
GROUND FLOOR



DEVELOPMENT APPLICATION

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	NEW WALLS

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Issue Date

25.01.2021

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AT

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NM

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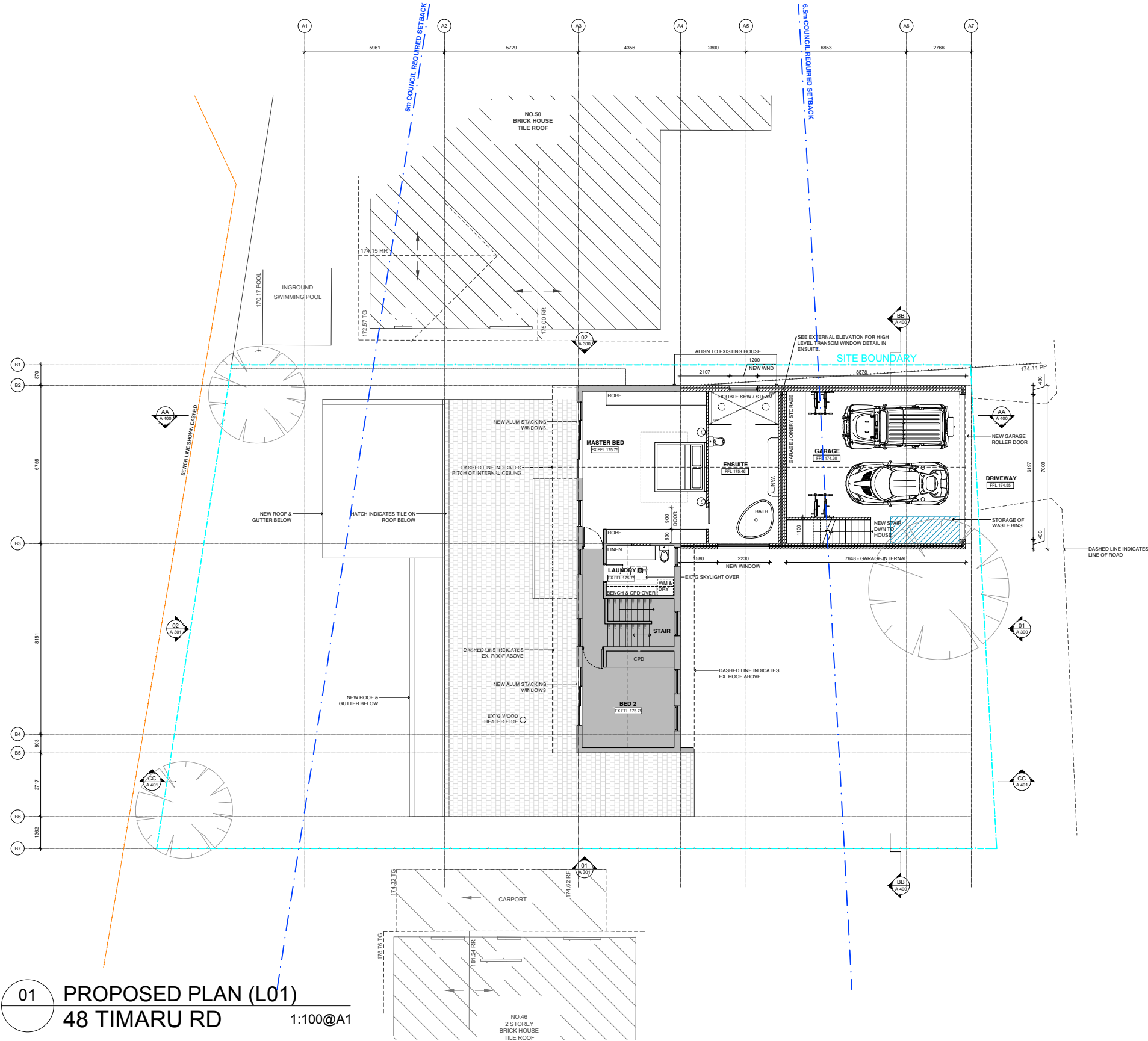
DA201

Revision

D

Drawing Title

PROPOSED PLAN -
LEVEL 01



01

PROPOSED PLAN (L01)
48 TIMARU RD

1:100@A1

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LOT 70 DP238658

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DEVELOPMENT APPLICATION

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Project Number
2006

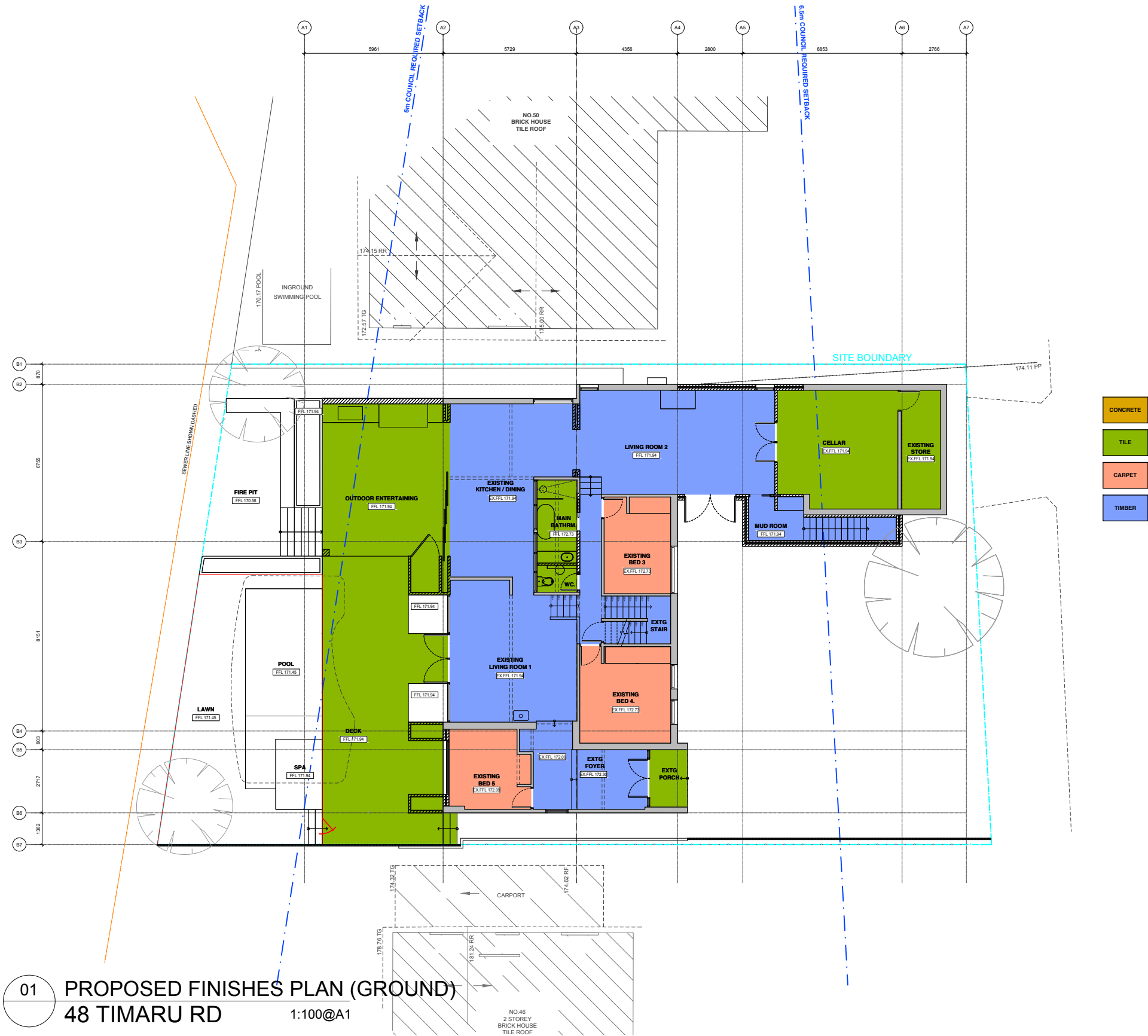
Scale	Issue Date	Drawn	Checked
1:100@A1	25.01.21	AT	NM

Drawing Number
A202

Revision
B

Drawing Title

PROPOSED FINISHES PLAN -
GROUND FLOOR



DEVELOPMENT APPLICATION

<p><u>1- CONSTRUCTION STANDARD</u> NORTH, EAST AND WEST ELEVATIONS</p>	<p>All new construction shall comply with a minimum standard of section 3 [construction general] and section 8 (BAL-40). AS3959-2018 and Chapter 7 of Planning for Bushfire Protection 2019.</p>
<p><u>2- CONSTRUCTION STANDARD</u> SOUTH ELEVATION</p>	<p>All new construction shall comply with a minimum standard of section 3 [construction general] and section 7 (BAL-29). AS3959-2018 and Chapter 7 of Planning for Bushfire Protection 2019.</p>

Design Architect

Revision

Issue	Description	Date	Drawn
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Client _____

Sheet Status

Project Name _____

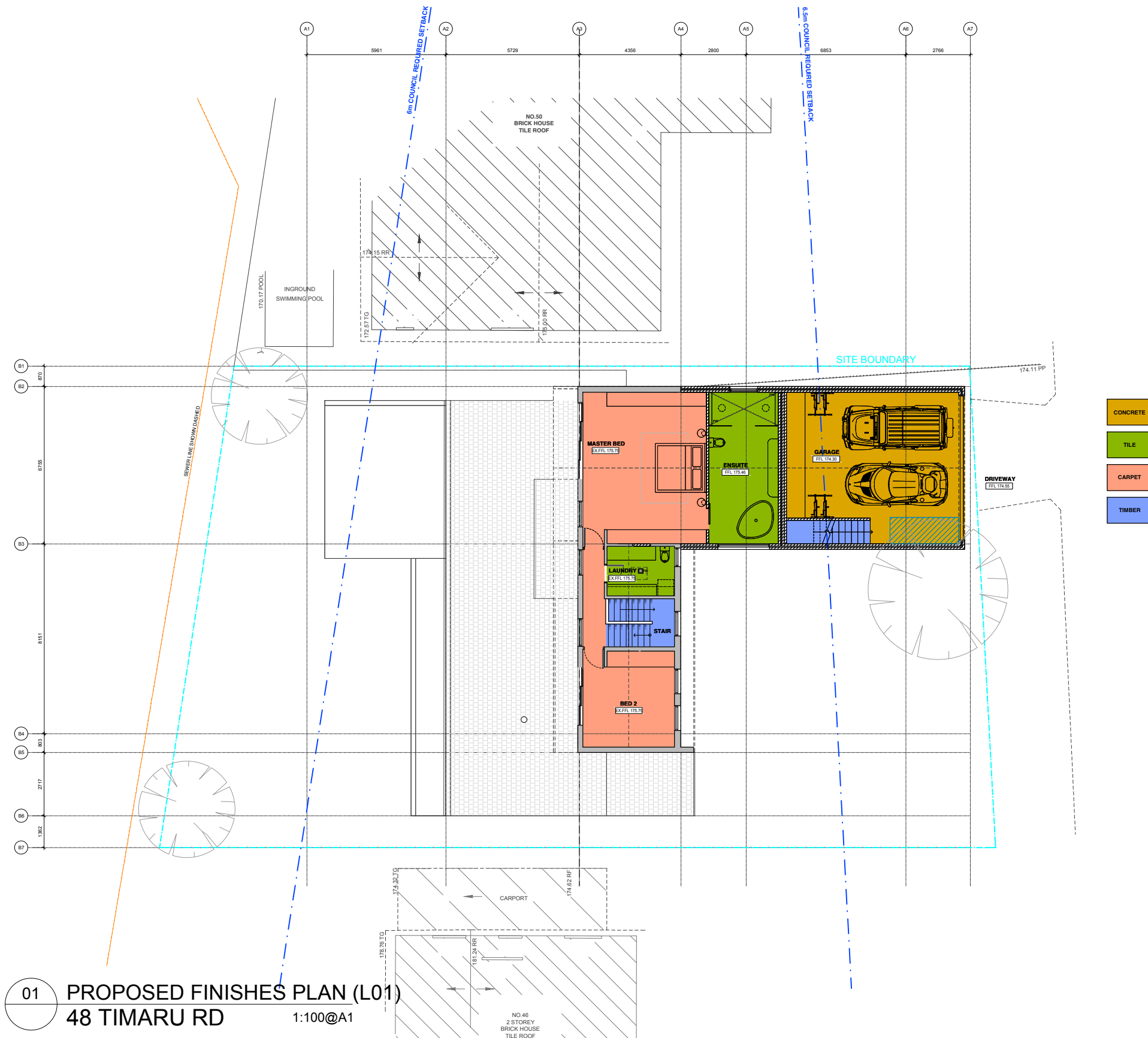
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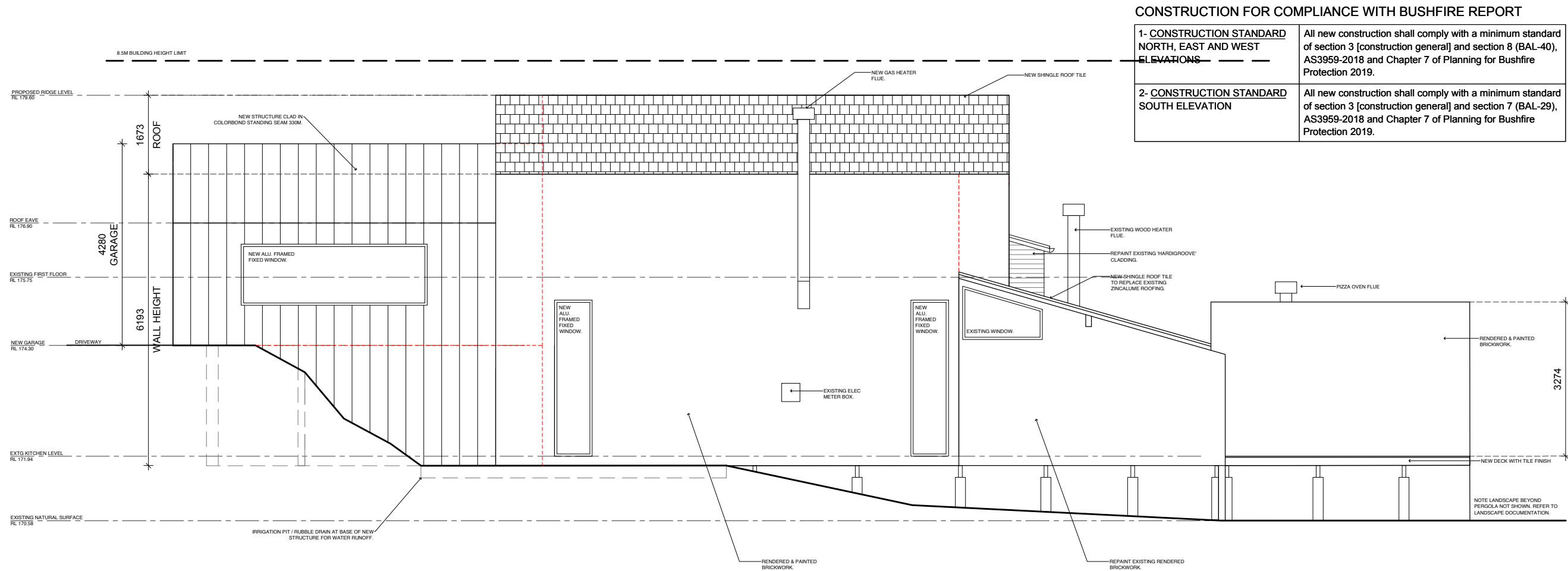
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Drawing Number	Revision
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Drawing Title

DEVELOPMENT APPLICATION





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Legend

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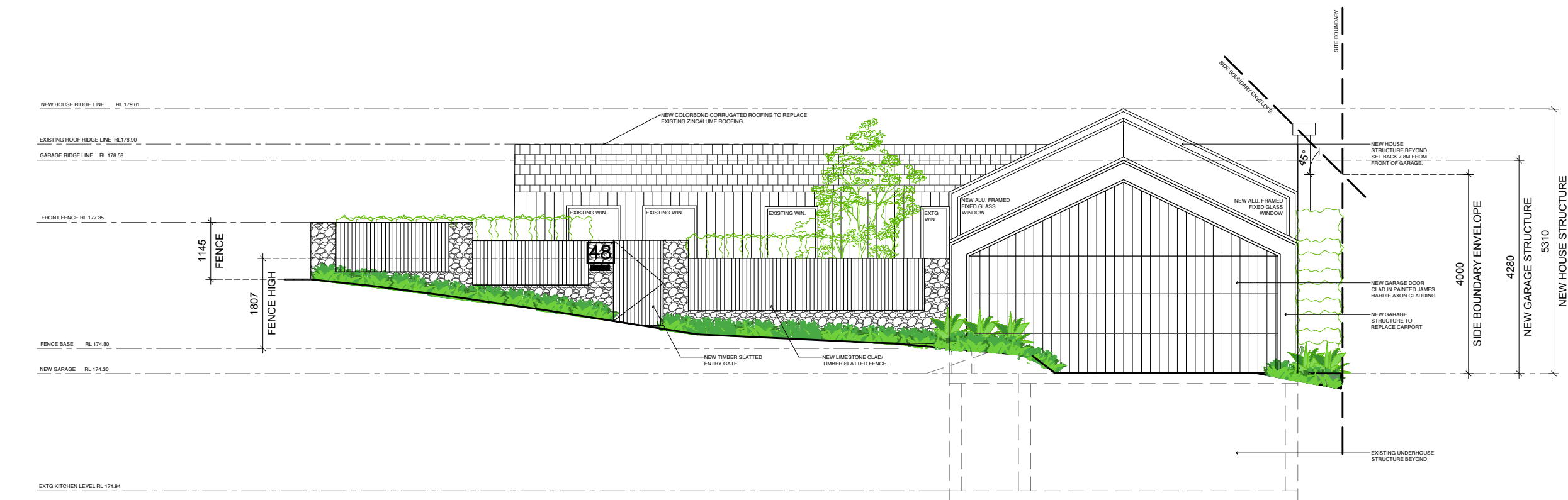
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2006

Scale	Issue Date	Drawn	Checked
1:50@A1	25.01.2021	AT	NM

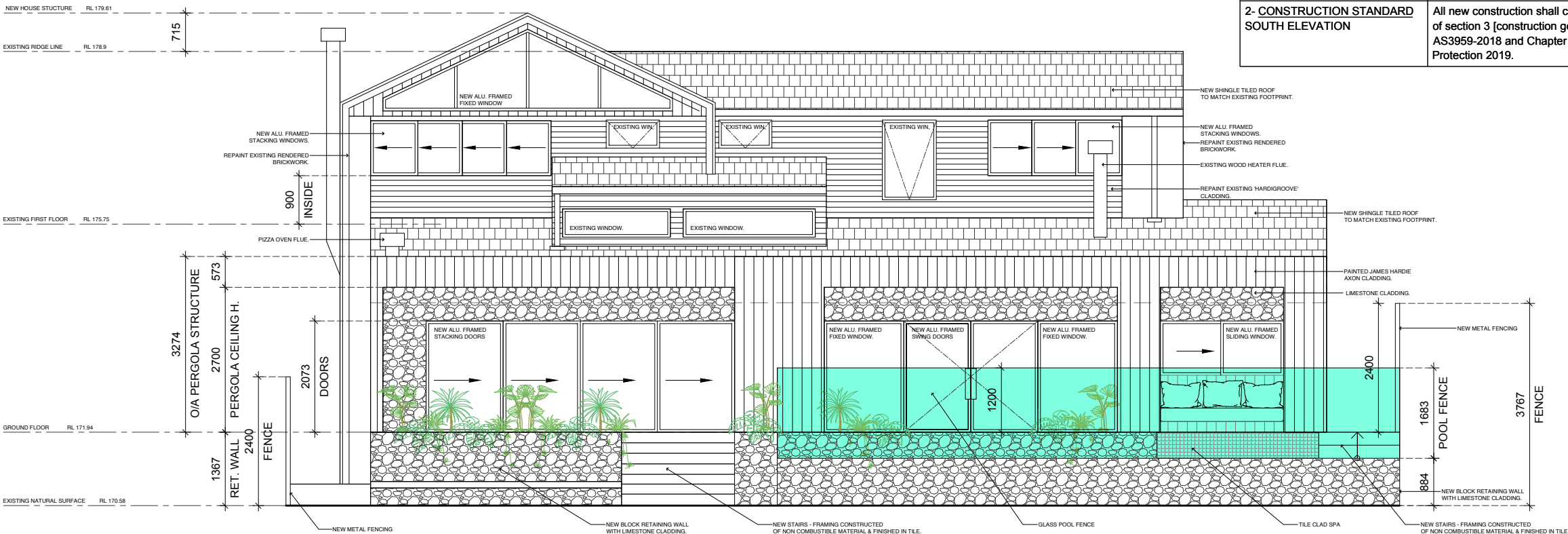
Drawing Number	Revision
A300	D

Drawing Title

PROPOSED EXTERNAL ELEVATIONS



DEVELOPMENT APPLICATION



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A	ISSUE FOR INFORMATION	01.09.20	AT
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D	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

Client

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48 TIMARU ROAD TERREY HILLS
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Sheet Status

DEVELOPMENT APPLICATION

Project Name

PRIVATE RESIDENCE

Project Number

2006

Scale

1:50@A1

Issue Date

25.01.2021

Drawn

AT

Checked

NM

Drawing Number

A301

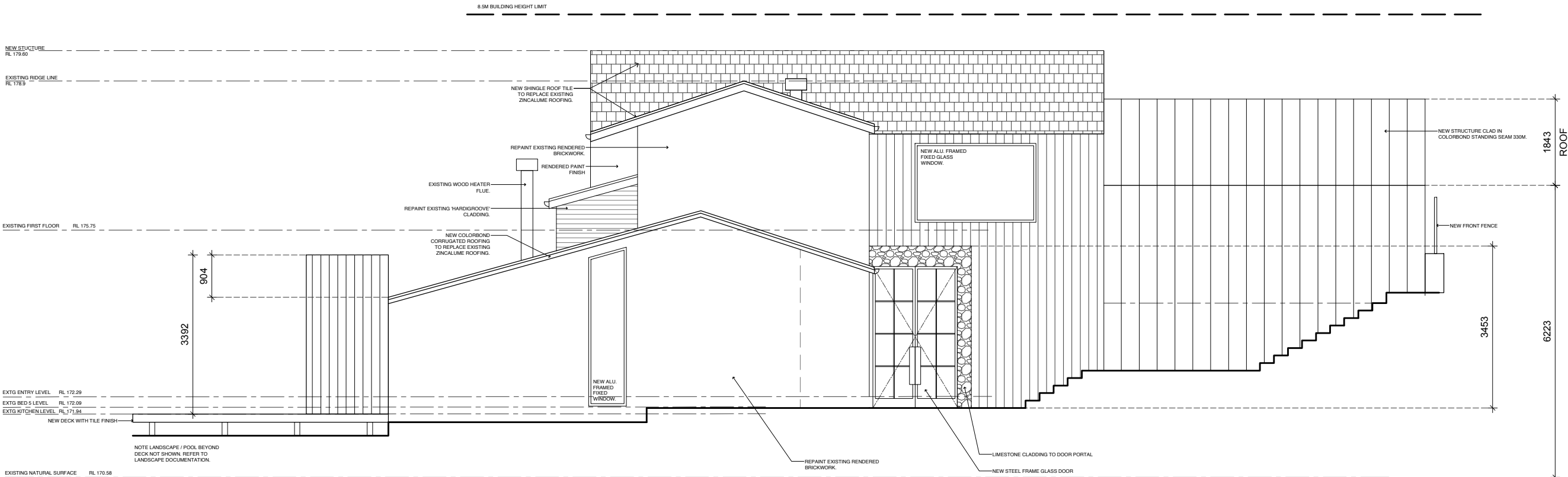
Revision

D

Drawing Title

PROPOSED EXTERNAL
ELEVATIONS

02 PROPOSED ELEVATION - NORTH 48 TIMARU RD 1:50@A1



01 PROPOSED ELEVATION - WEST 48 TIMARU RD 1:50@A1

DEVELOPMENT APPLICATION

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DEVELOPMENT APPLICATION

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PRIVATE RESIDENCE

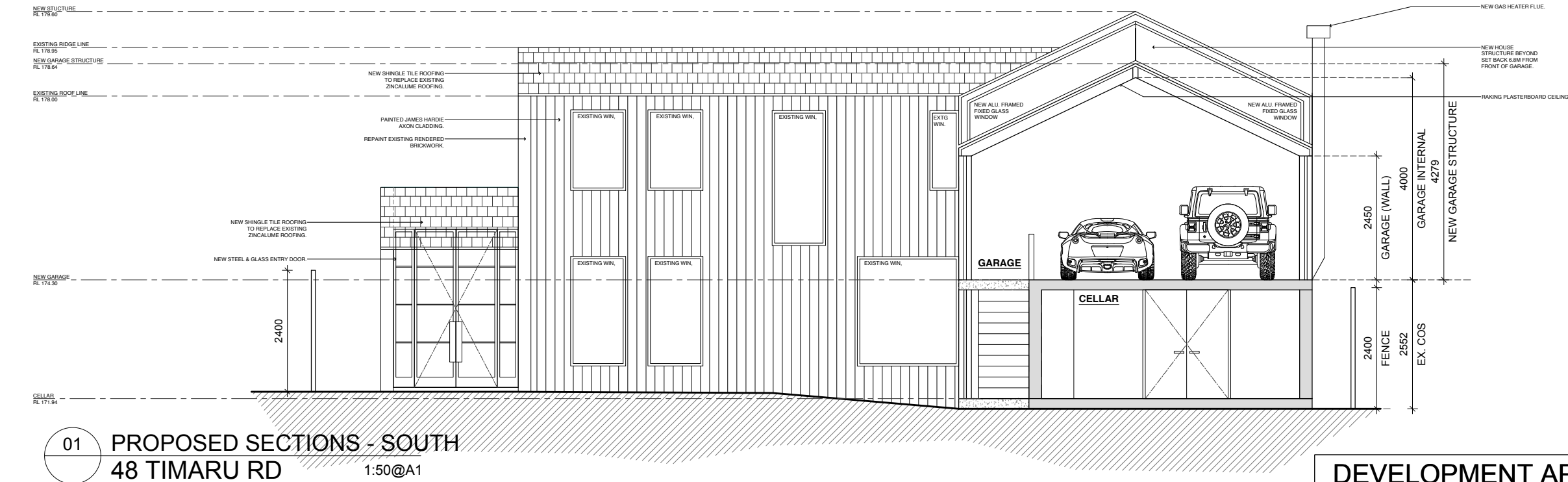
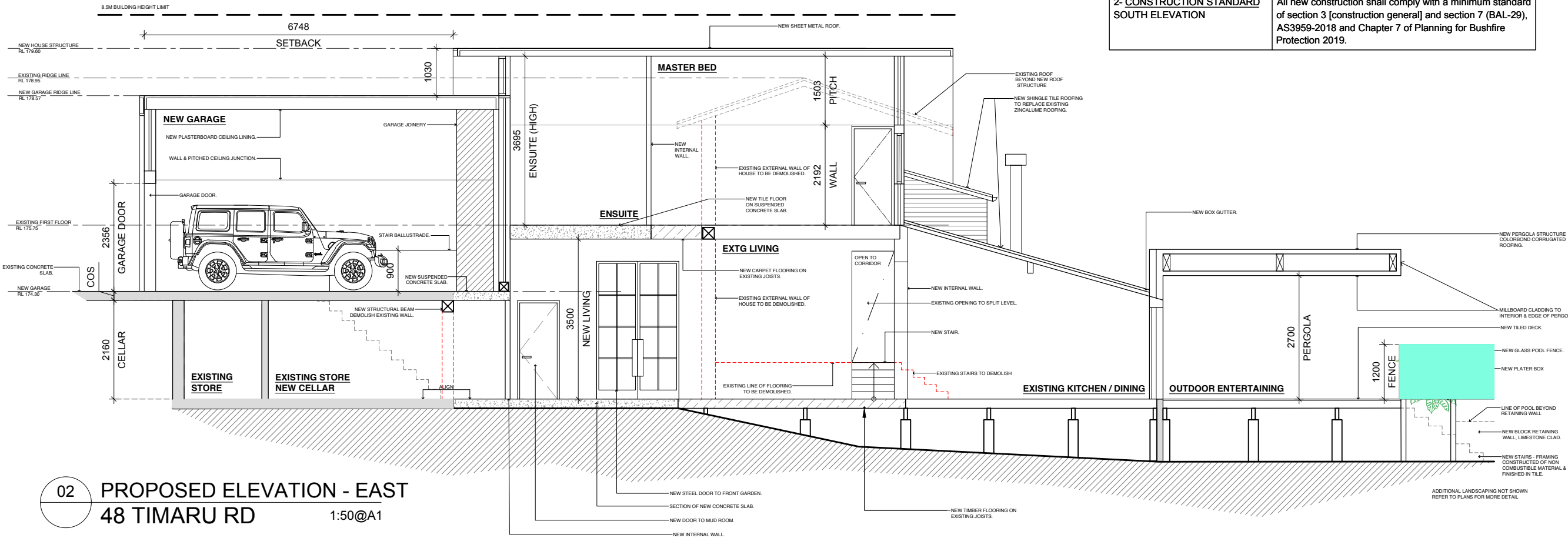
Project Number
2006

Scale	Issue Date	Drawn	Checked
1:50@A1	25.01.2021	AT	NM

Drawing Number
A400

Revision
D

Drawing Title
PROPOSED SECTIONS



DEVELOPMENT APPLICATION

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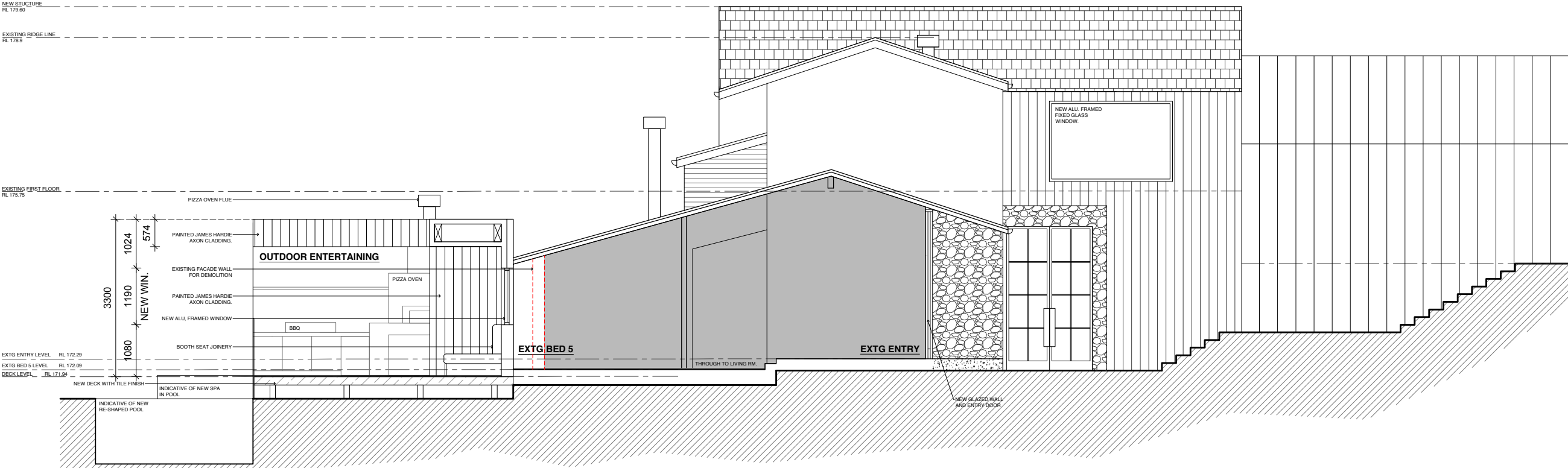
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1:50@A1	25.01.2021	AT	NM

Drawing Number
A401

Revision
B

Drawing Title

PROPOSED SECTIONS



01 PROPOSED SECTION - WEST
48 TIMARU RD 1:50@A1

DEVELOPMENT APPLICATION



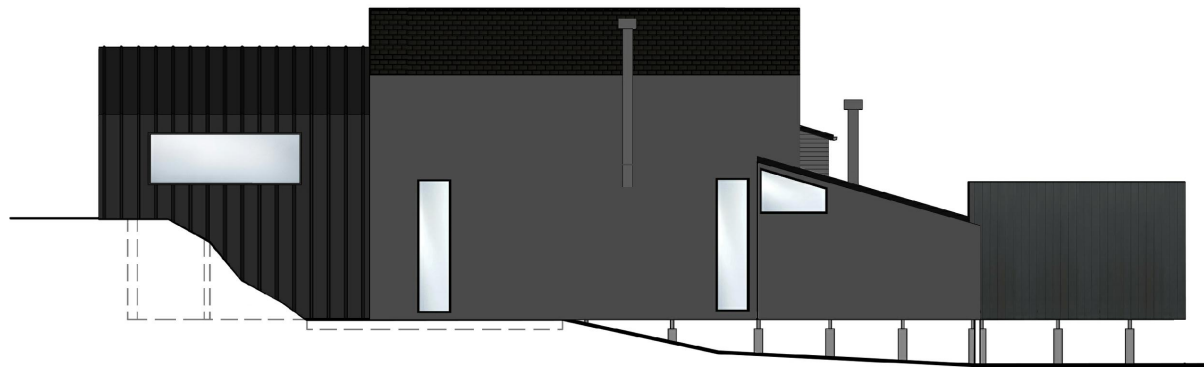
03 PROPOSED FINISHES - SOUTH ELEV.
48 TIMARU RD NTS@A1



05 PROPOSED FINISHES - NORTH ELEV.
48 TIMARU RD NTS@A1

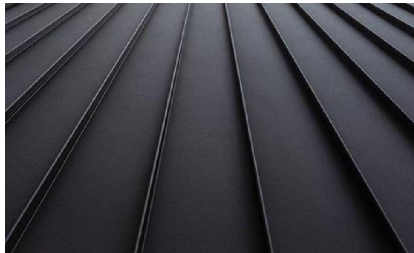


02 PROPOSED FINISHES - WEST ELEV.
48 TIMARU RD NTS@A1



04 PROPOSED FINISHES - EAST ELEV.
48 TIMARU RD NTS@A1

MATERIALS PALETTE



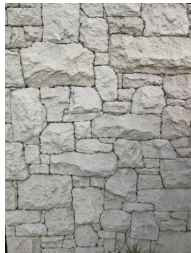
COLORBOND
STANDING SEAM 330
MATTE MONUMENT



SHINGLE ROOF TILE
ROOFING
COLOUR: BLACK



JAMES HARIE
AXON CLADDING
COLOUR: BLACK



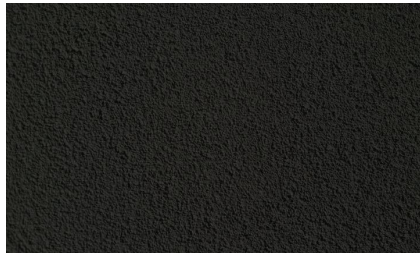
LIMESTONE CLADDING
SHELL LIMESTONE
TUSCAN RUBBLE FINISH



BLACK ALUMINUM
BATTEN FENCING



TIMBER TILE
DECKING FINISH



BLACK RENDERED FINISH
RE-PAINT EXISTING RENDER

01 PROPOSED FINISHES
48 TIMARU RD NTS@A1

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Project Number

2006

Scale	Issue Date	Drawn	Checked
NTS	25.01.2021	AT	NM

Drawing Number

A500

Revision

B

Drawing Title

PROPOSED FINISHES
PALETTE



DEVELOPMENT APPLICATION

Notes: Do not scale from drawings. All discrepancies to be reported to Endrim immediately. All dimensions to be verified by contractor on site prior to any works.

Design Architect

endrim,

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Revision

Issue	Description	Date	Drawn
A	ISSUE FOR PRE-DA REVIEW	15.09.20	AT
B	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

Client

PRIVATE RESIDENCE

48 TIMARU ROAD TERREY HILLS

NSW 2084

LOT 70 DP238658

Sheet Status

DEVELOPMENT APPLICATION

Project Name

PRIVATE RESIDENCE

Project Number

2006

Scale	Issue Date	Drawn	Checked
NTS	25.01.2021	AT	NM

Drawing Number	Revision
A501	B

Drawing Title

3D RENDERED - STREET VIEW



DEVELOPMENT APPLICATION

Notes: Do not scale from drawings. All discrepancies to be reported to Endrim immediately. All dimensions to be verified by contractor on site prior to any works.

Design Architect

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Revision

Issue	Description	Date	Drawn
A	ISSUE FOR PRE-DA REVIEW	15.09.20	AT
B	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

Client

PRIVATE RESIDENCE
48 TIMARU ROAD TERREY HILLS
NSW 2084
LOT 70 DP238658

Sheet Status

DEVELOPMENT APPLICATION

Project Name
PRIVATE RESIDENCE

Project Number
2006

Scale	Issue Date	Drawn	Checked
NTS	25.01.2021	AT	NM

Drawing Number
A502

Revision
B

Drawing Title
3D RENDERED -
FRONT GARDEN



Notes: Do not scale from drawings. All discrepancies to be reported to Endrim immediately. All dimensions to be verified by contractor on site prior to any works.

Design Architect

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Revision

Issue	Description	Date	Drawn
A	ISSUE FOR PRE-DA REVIEW	15.09.20	AT
B	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

Client

PRIVATE RESIDENCE
48 TIMARU ROAD TERREY HILLS
NSW 2084
LOT 70 DP238658

Sheet Status

DEVELOPMENT APPLICATION

Project Name

PRIVATE RESIDENCE

Project Number

2006

Scale	Issue Date	Drawn	Checked
NTS	25.01.2021	AT	NM

Drawing Number	Revision
A503	B

Drawing Title

3D RENDERED - REAR
YARD & ENTERTAINING



DEVELOPMENT APPLICATION

Notes: Do not scale from drawings. All discrepancies to be reported to Endrim immediately. All dimensions to be verified by contractor on site prior to any works.

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Revision

Issue	Description	Date	Drawn
A	ISSUE FOR PRE-DA REVIEW	15.09.20	AT
B	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

Client

PRIVATE RESIDENCE
48 TIMARU ROAD TERREY HILLS
NSW 2084
LOT 70 DP238658

Sheet Status

DEVELOPMENT APPLICATION

Project Name
PRIVATE RESIDENCE

Project Number
2006

Scale	Issue Date	Drawn	Checked
NTS	25.01.2021	AT	NM

Drawing Number
A504

Revision
B

Drawing Title

3D RENDERED - REAR
VIEW OF DWELLING



Notes: Do not scale from drawings. All discrepancies to be reported to Endrim immediately. All dimensions to be verified by contractor on site prior to any works.

Design Architect

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Revision

Issue	Description	Date	Drawn
A	ISSUE FOR PRE-DA REVIEW	15.09.20	AT
B	DEVELOPMENT APPLICATION	25.01.21	AT

Legend

Client

PRIVATE RESIDENCE
48 TIMARU ROAD TERREY HILLS
NSW 2084
LOT 70 DP238658

Sheet Status

DEVELOPMENT APPLICATION

Project Name
PRIVATE RESIDENCE

Project Number
2006

Scale	Issue Date	Drawn	Checked
NTS	25.01.2021	AT	NM

Drawing Number

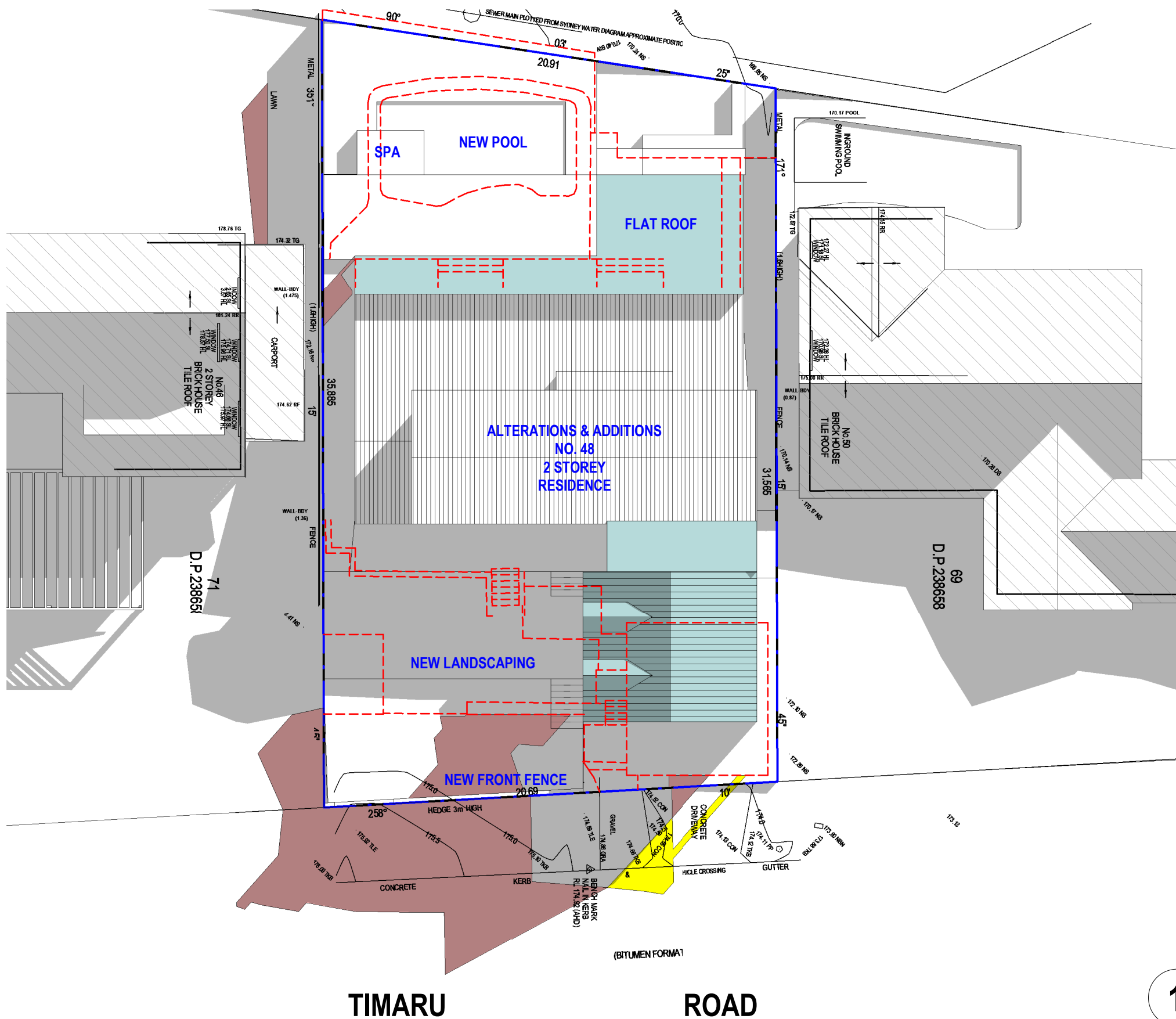
Revision

A505

B

Drawing Title

3D RENDERED -
STREET VIEW DUSK



LEGEND

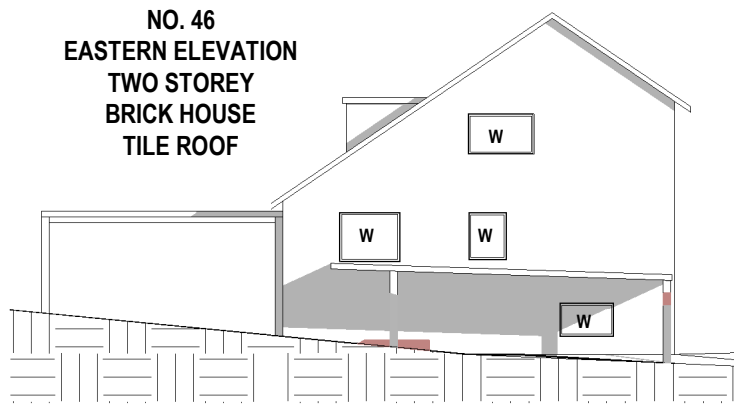
DENOTES OUTLINE OF EXISTING STRUCTURES TO BE REMOVED

DENOTES AREA OF EXISTING AND SURROUNDING BUILDING SHADOW

DENOTES AREA OF PROPOSED ADDITIONS AND ALTERATIONS

DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW

DENOTES AREA OF PROPOSED REDUCED BUILDING SHADOW



NOTE:
SHADOWS SHOWN HAVE BEEN COMPILED FROM DETAIL & LEVEL SURVEY BY C.M.S. SURVEYORS PTY LTD REF NO. 2383 ISSUE 1 DATED 07/07/2020 AND ARCHITECTURAL PLANS AND MODEL BY ENDRIM CONSULTING PTY LTD PROJECT REF. 2006 REV.A DATED 01.09.20

1

Shadowing June 21st 9.00am
1 : 200

Cad Draft P/L

SHADOW ANALYSIS CONSULTANTS

ABN 27 083 288 153

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ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

PH: 9555 8545

info@caddraftnsw.com.au

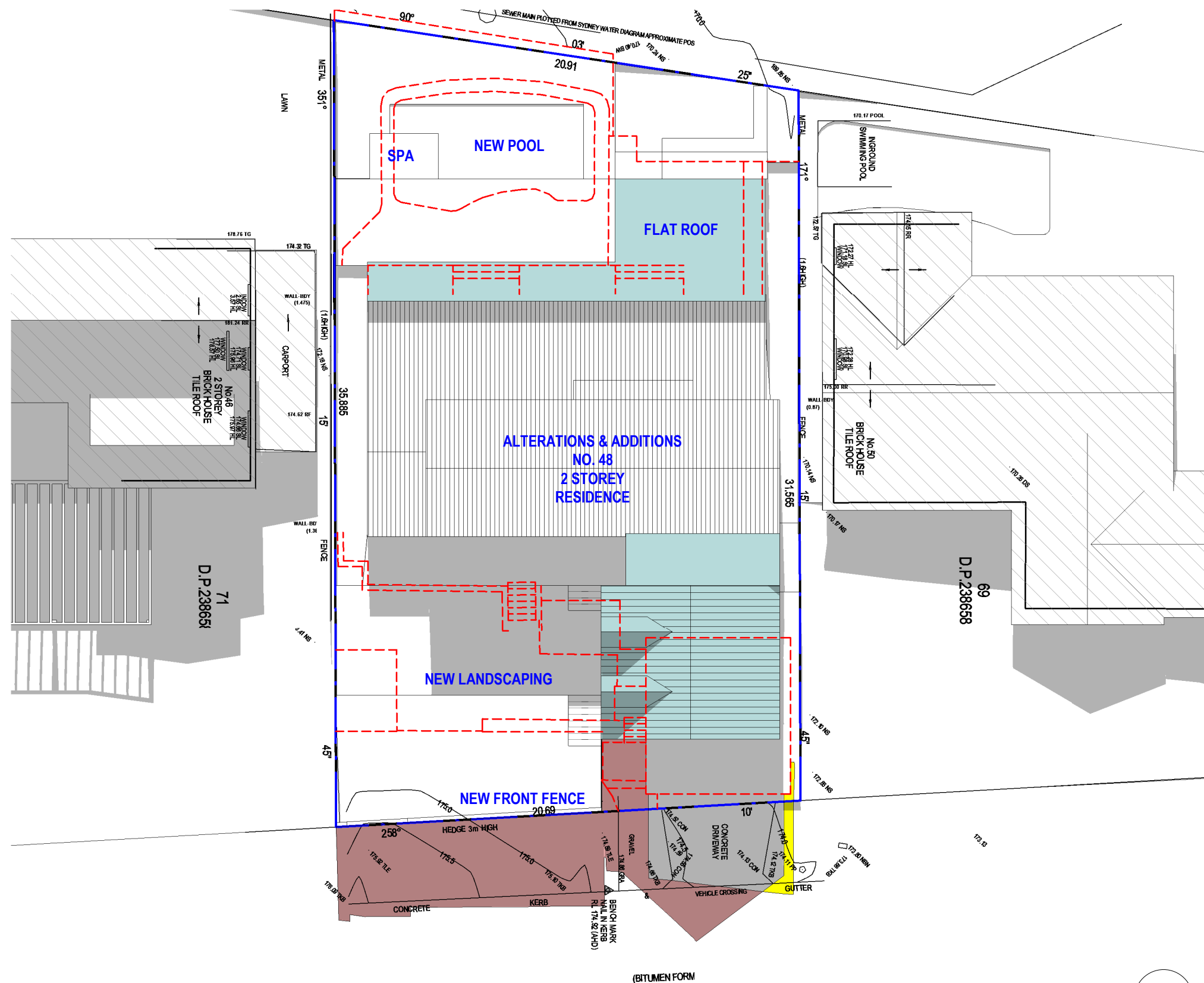
No.	Description	Date

SHADOW DIAGRAMS
No. 48 TIMARU ROAD
TERREY HILLS

CLIENT: C/ ENDRIM CONSULTING PTY LTD

Shadowing June 21st 9.00am

Project number	20-77	A100	
Date	07-09-20		
Drawn by	KP		
Checked by	JD	Scale	1 : 200



LEGEND

DENOTES OUTLINE OF EXISTING STRUCTURES TO BE REMOVED

DENOTES AREA OF EXISTING AND SURROUNDING BUILDING SHADOW

DENOTES AREA OF PROPOSED ADDITIONS AND ALTERATIONS

DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW

DENOTES AREA OF PROPOSED REDUCED BUILDING SHADOW

NOTE:

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1

Shadowing June 21st 12.00pm

1 : 200

Cad Draft P/L

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No.	Description	Date

SHADOW DIAGRAMS

No. 48 TIMARU ROAD

TERREY HILLS

CLIENT: C/ ENDRIM CONSULTING PTY LTD

Shadowing June 21st 12.00pm

Project number20-77

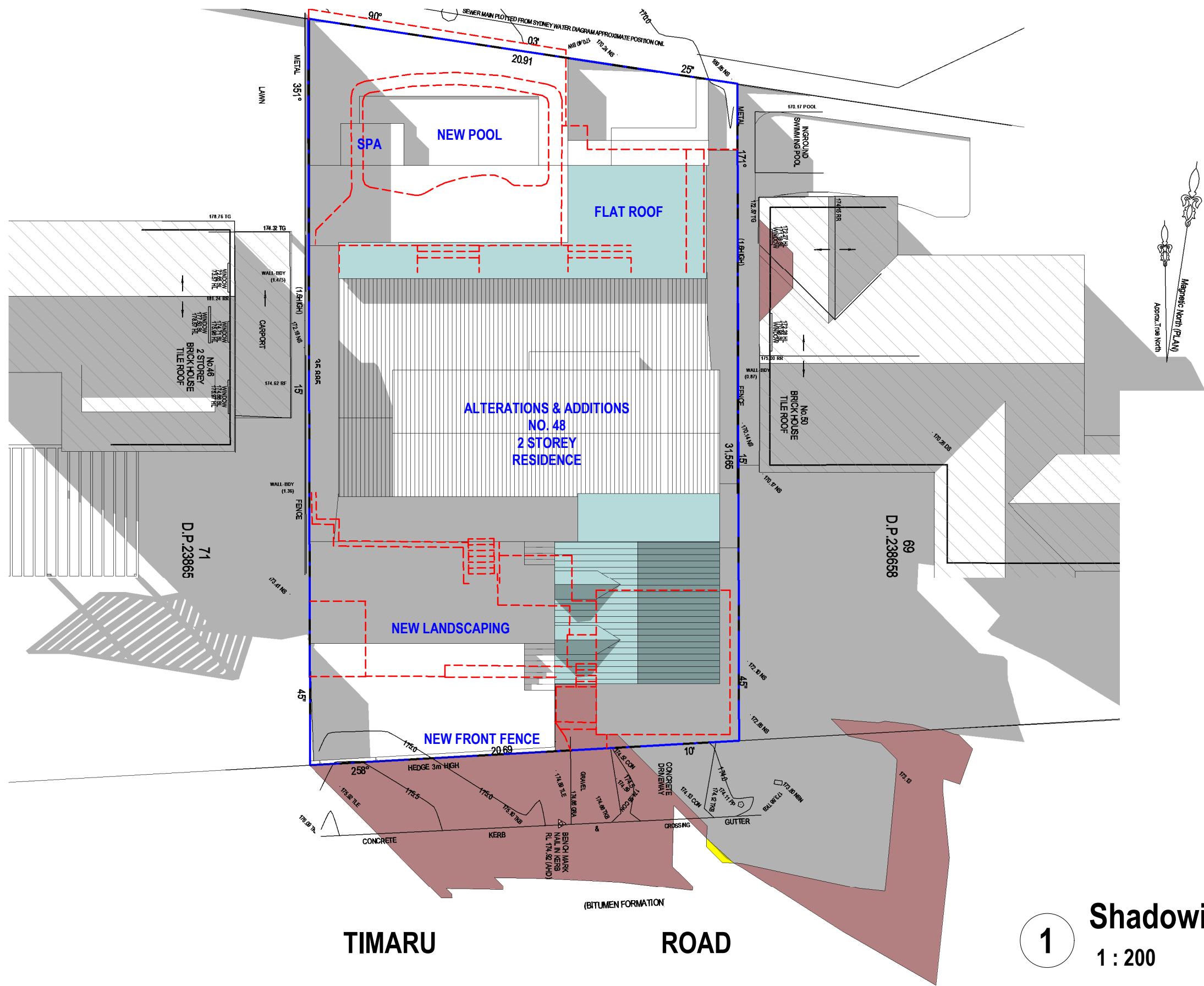
Date07-09-20

Drawn byKP

Checked byJD

A101

Scale1 : 200



LEGEND

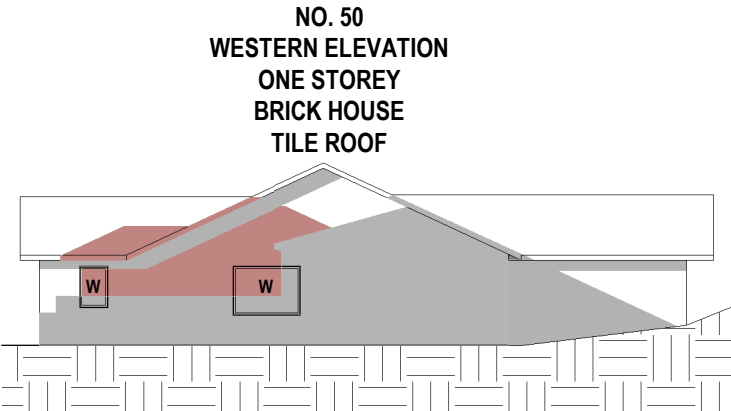
DENOTES OUTLINE OF EXISTING STRUCTURES TO BE REMOVED

DENOTES AREA OF EXISTING AND SURROUNDING BUILDING SHADOW

DENOTES AREA OF PROPOSED ADDITIONS AND ALTERATIONS

DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW

DENOTES AREA OF PROPOSED REDUCED BUILDING SHADOW



NOTE:

SHADOWS SHOWN HAVE BEEN COMPILED FROM DETAIL & LEVEL SURVEY BY C.M.S. SURVEYORS PTY LTD REF NO. 2383 ISSUE 1 DATED 07/07/2020 AND ARCHITECTURAL PLANS AND MODEL BY ENDRIM CONSULTING PTY LTD PROJECT REF. 2006 REV.A DATED 01.09.20

1

Shadowing June 21st 3.00pm

1 : 200

Cad Draft P/L

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No.	Description	Date

SHADOW DIAGRAMS

No. 48 TIMARU ROAD

TERREY HILLS

CLIENT: C/ ENDRIM CONSULTING PTY LTD

Shadowing June 21st 3.00pm

Project number20-77

Date07-09-20

Drawn byKP

Checked byJD

A102

Scale1 : 200

+ 57.62	EXISTING LEVEL
+ 57.62	PROPOSED LEVEL
-----	BOUNDARY
(+)	EXISTING TREE TO BE RETAINED
(+)	EXISTING TREE TO BE REMOVED

Plant List				
ID	Qty	Latin Name	Common Name	Scheduled Size
Ac1	7	Arthopodium cirratum	Renga Lily	200 mm
Amc	28	Acacia cognata 'Mini Cog'	Dwarf Acacia	200 mm
Asp	4	Alcantarea imperialis 'Silver Plum'	Silver Plum Bromeliad	400 mm
Bl	2	Olea europaea	European Olive	100L
Dis	46	Dichondra 'Silver Falls'	Kidney Weed	140mm
Doex	4	Doranthus excelsa	Gymea Lily	200mm
Dr	55	Dichondra repens	Kidney Weed	100mm
Ee	9	Elaeocarpus eumundii	Smooth Leaved Quandong	45L
HPL	11	Helichrysum petiolare	Licorice Plant	140mm
KOL	14	Kalanchoe beharensis 'Oak Leaf Form'	oak leaved kalanchoe	200mm
Llt	19	Lomandra longifolia 'Tanika'	Spiny-headed mat rush	140 mm
Mxa	1	Michelia alba	bavlan	100L
PC	1	Pyrus calleryana 'Capital'	Capital Pear	45L
Pna	18	Pennisetum 'Nafray'	Dwarf Foxtail	200 mm
Px	46	Philodendron 'Xanadu'	Philodendron	200 mm
Rop	9	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorn	200mm
Syr	19	Syzygium australe 'Resilience'	Lillypillly	400 mm
Ti	23	Trachelospermum jasminoides	Star Jasmine	200 mm
Trtr	22	Trachelospermum tricolour		140mm
WeGe	6	Westringia 'Jervis Gem' balls	Coastal Rosemary	300mm

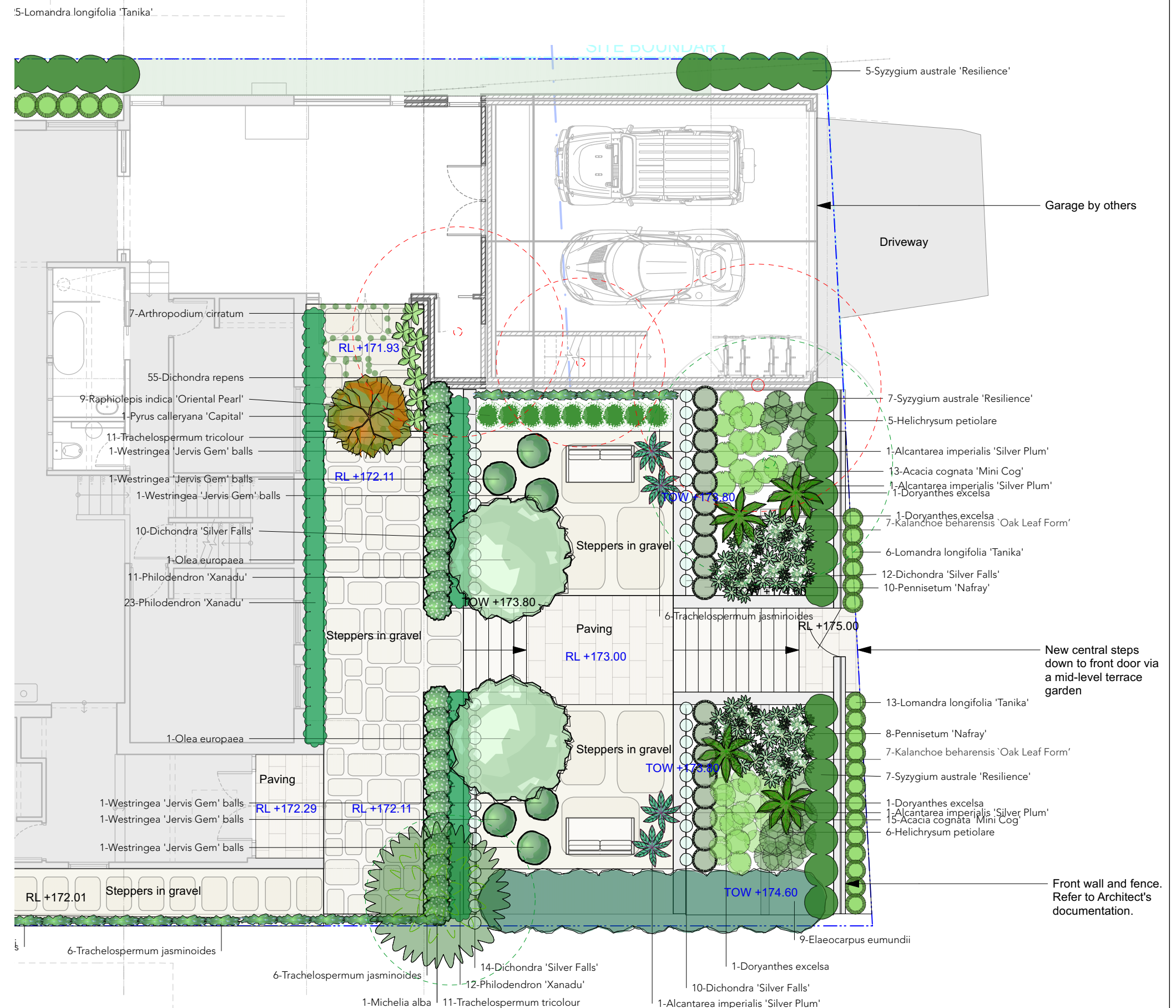
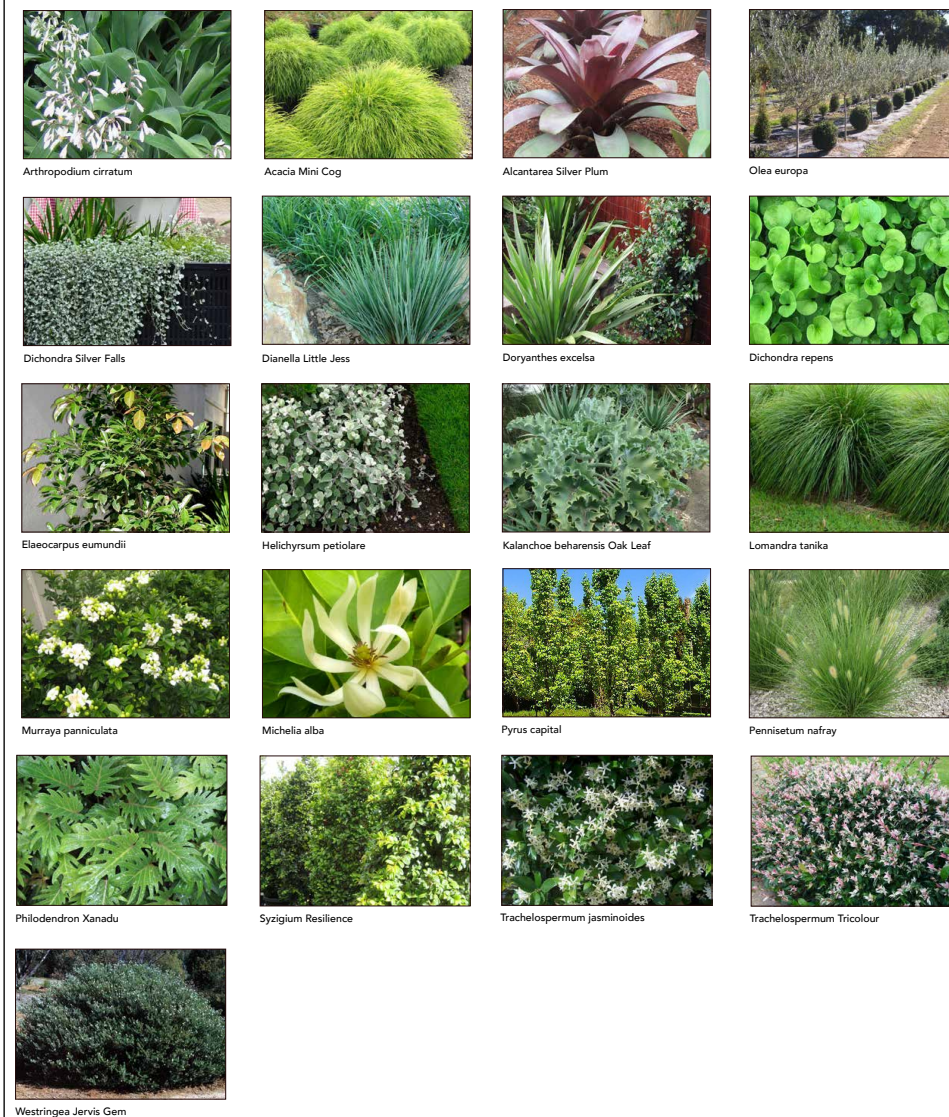
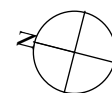


Figure dimensions shall take precedence over scale.
All figures are to be verified on site.
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www.edwinastuartlandscapedesign.com

48 Timaru Rd, Terrey Hills

LANDSCAPE PLAN - FRONT

NT

A

LEGEND

- + 57.62

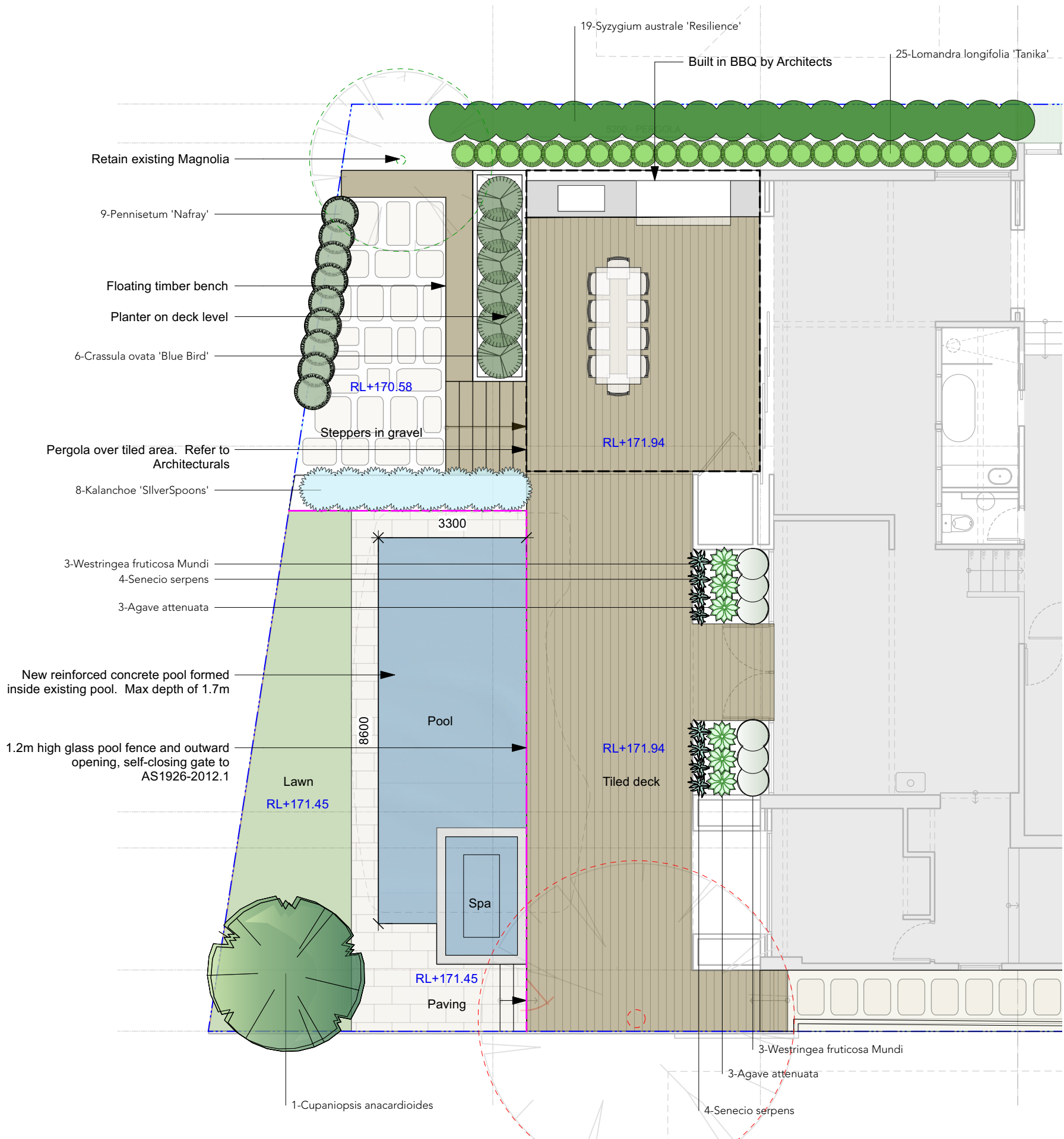
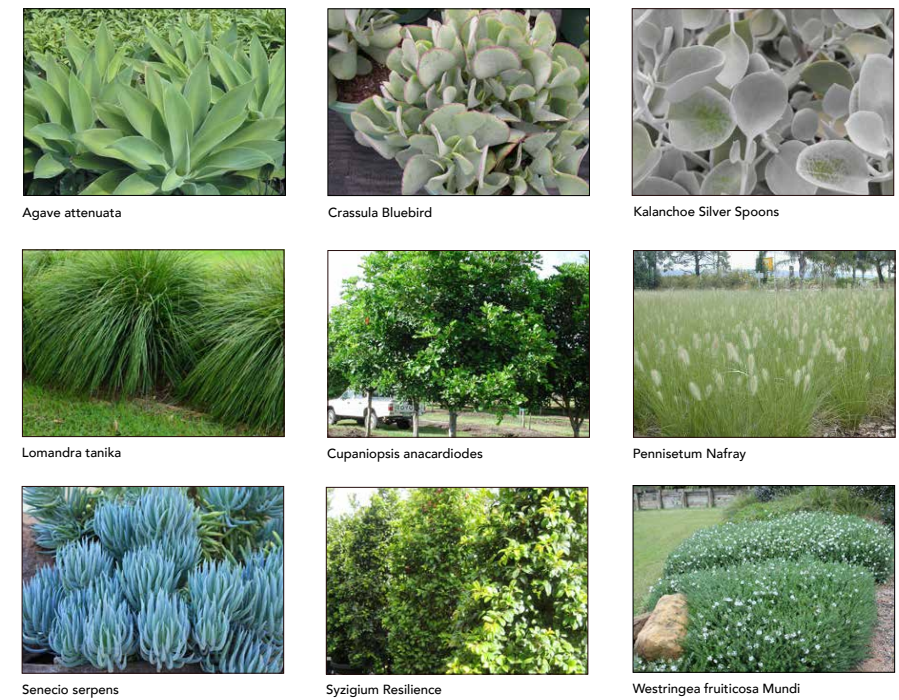
EXISTING LEVEL
- + 57.62

PROPOSED LEVEL
- BOUNDARY
- +

EXISTING TREE TO BE RETAINED
- +

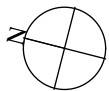
EXISTING TREE TO BE REMOVED

Plant List				
ID	Qty	Latin Name	Common Name	Scheduled Size
At	6	Agave attenuata	Century plant	300mm
Can	1	Cupaniopsis anacardioides	Tuckeroo	100L
COV	6	Crassula ovata 'Blue Bird'	Crassula	300mm
Kcs-1	8	Kalanchoe 'SilverSpoons'	Copper Spoons	200mm
Lit	25	Lomandra longifolia 'Tanika'	Spiny-headed mat rush	140 mm
Pna	9	Pennisetum 'Nafray'	Dwarf Foxtail	200 mm
Ss	8	Senecio serpens	chalk sticks	140mm
Syr	19	Syzygium australe 'Resilience'	Lillypilliv	300mm
WeMu	6	Westringea fruticosa Mundi	Coastal Rosemary	200mm



NOTES

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Project:

Andrea & Simon Trude
48 Timaru Rd, Terrey Hills

Dwg No:

LP 02

Scale:

1:100 @ A3

Drawn By:

ES

Date:

16.12.20

Title:

LANDSCAPE PLAN - BACK

REV:

A

LEGEND

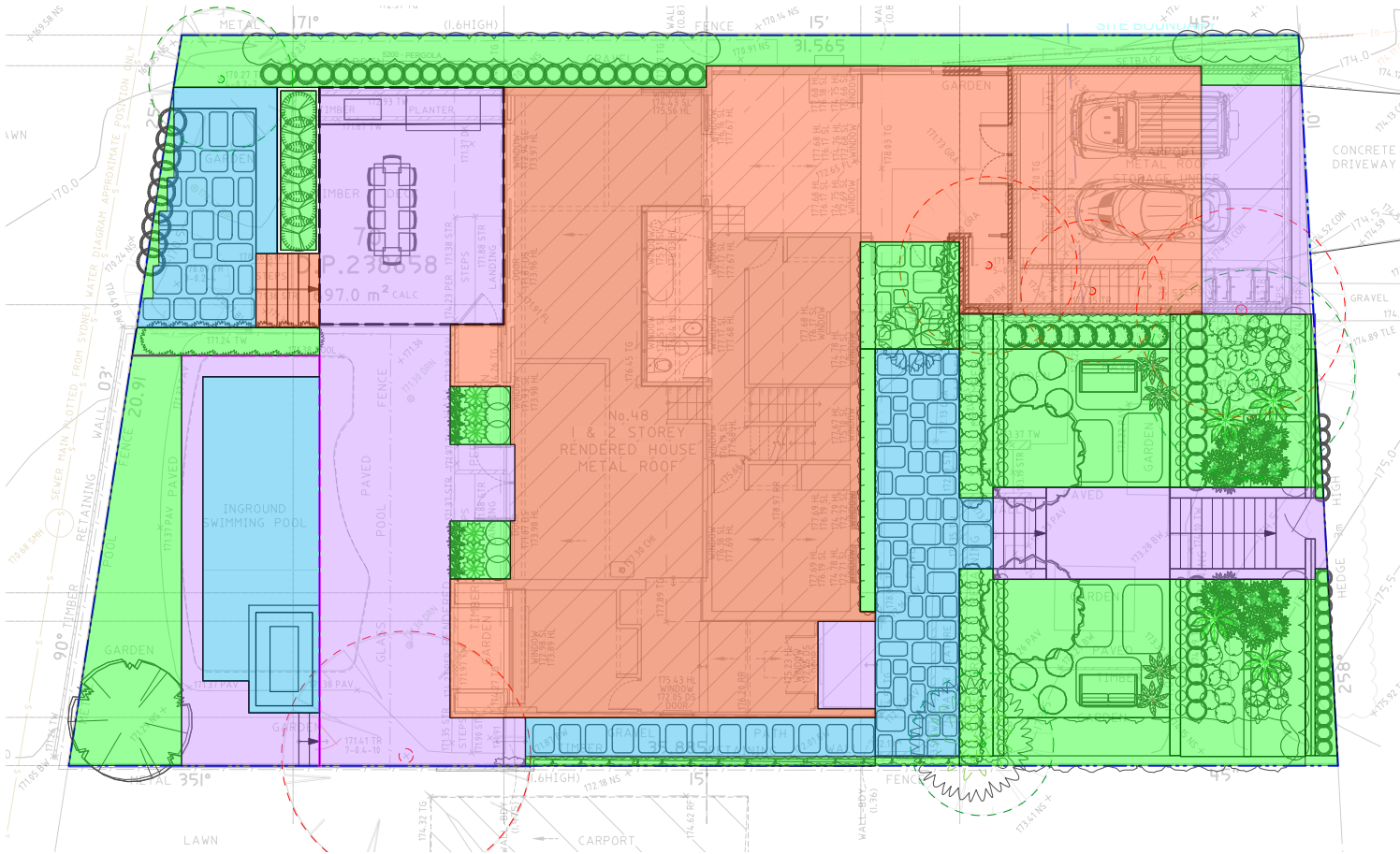
- BOUNDARY
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- PROPOSED RESIDENCE
- PAVED / HARDSCAPE AREAS
- SOFTSCAPE AREAS
- PERVIOUS SURFACES - INCLUDING POOL SURFACE

LANDSCAPED OPEN SPACE

SITE AREA IS **697 M2**

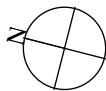
LANDSCAPED OPEN SPACE ALLOWED IS MIN 40% IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL WARRINGAH DCP 2011 CLAUSE D1

LANDSCAPED OPEN SPACE (INCLUDING POOL SURFACE) IS **284.2 M2 = 40.7%** OF THE SITE AREA.



NOTES

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Project:
Andrea & Simon Trude
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Dwg No: LD-01	Scale: 1:200 @ A3	Drawn By: ES	Date: 16.12.20
Title: LANDSCAPED OPEN SPACE			REV: A