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# **BCA COMPLIANCE ASSESSEMENT REPORT**

## **S4.55 Modification**

**4 Delmar Parade and 812 Pittwater Road, Dee Why  
Proposed mixed use development**

Report Number	A23_05_BCA
Date of Issue	29.09.2023
Revision	01- Draft for client review (18.07.2023) 02- Issue for S4.55

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## 1.0 Introduction & Report Basis

Absolute BCA & Accessibility has been engaged by Landmark to prepare this BCA compliance assessment report for the proposed S4.55 modification to the previously approved mixed-use development at 4 Delmar Parade and 812 Pittwater Road, Dee Why.

The *subject works* are detailed in the Statement of Changes issued by Rothelowman.

The purpose of this report is to provide:

1. A high-level assessment of the proposed design/building against the significant design requirements of the of the BCA; and
2. Recommendations to address any identified significant design issues.  
Recommendations are provided in Section 4.0.

It is understood that this report will be used to support the Development Application /S4.55 for the subject development.

### 1.1 Assessed Information

The following information was specifically relied upon for this assessment:

Document Type	Prepared by	Reference or Revision Number
Architectural Plans	Rothelowman	TP00.00 E (drawings listed on cover sheet)
Statement of Changes	Rothelowman	Project # 221054
BCA report	MSA	MSA2246_BCA_DA Rev01

### 1.2 Relevant BCA Volume & Sections.

The Building Code of Australia (National Construction Code) 2022 Volume 1

Section	Addressed
A – Governing Requirements	Informational
B – Structure	No - Addressed by structural engineers
C – Fire resistance	Yes - Addressed in this report
D – Access and egress	Yes - Addressed in this report
E – Services and equipment	Yes - Addressed in this report
F – Health and amenity	Yes - Addressed in this report
G – Ancillary provisions	Yes - Addressed in this report
I – Special use buildings	Yes - Addressed in this report
J – Energy efficiency	No - Addressed by energy efficiency consultants

### 1.3 Assumptions, Limitations & Exclusions

- This report is intended to support the Development Application (or similar) stage design and identifies *significant* design issues only. For the purposes of this report, significant design issues are:
  - Non-compliance with DTS provisions that would likely necessitate significant changes alterations to the current plans (changes which would be expected to necessitate a \$4.55 if carried out post Consent).
  - Non-compliance with DTS provisions that would likely necessitate the development of a Performance Solution. It is noted that some Performance Solutions will necessitate design change. It is the applicant's responsibility to confirm the extent of required design changes with the author of any proposed Performance Solution.

A further detailed assessment would typically be undertaken Construction Certificate Application (CCA) stage.

- The Report only assesses the information specifically referenced in Section 1.1 of this report. This information is accepted in good faith as accurate and correct.
- The report is limited to assessment of the development against the deemed-to-satisfy provisions of the applicable Building Code of Australia.
- No assessment has been made of any existing Fire Engineering or BCA Performance Solution based Reports that may apply to the base building or development, unless otherwise specifically noted.
- In terms of development within existing buildings (or adjacent to existing buildings), it must be ensured that the *subject works* do not:
  - cause a BCA non-compliance within the existing building; or
  - aggravate an existing non-compliance within the existing building.

Subject to consideration of the above comments, this report has not considered the requirement for the upgrade of existing building in terms of BCA compliance. It should be noted that further upgrade works may be required by Consent Authorities or other stakeholders. Any such requirement should be advised to Absolute BCA as soon as practical.

- Some requirements of the BCA / Access Regulations are recognised as being interpretive in nature. Where these matters are encountered, interpretations are made in accordance with Absolute policy &/or as guided by other standards, guides and industry best practice.
- Absolute BCA does not support the use of combustible cladding or aluminium composite panels as external cladding, lining or ancillary element in any way. Such products are recommended to be avoided and where such products are proposed, Absolute BCA automatically excludes their assessment from any reporting and certification and will not accept liability for their use in any way.
- Detailed assessment of any engineering matters or Australian Standards– e.g: structural, civil, electrical, hydraulic, mechanical, fire, bushfire protection is beyond the scope of this report.
- The Report does not provide any Performance Solutions.

## 2.0 BCA Assessment Data

BCA Reference	Subject Building	
<b>A6</b> Classification	2 (residential)	<input checked="" type="checkbox"/>
	3 (residential – short term)	<input type="checkbox"/>
	4 (single dwelling in an otherwise non-residential building)	<input type="checkbox"/>
	5 (commercial – office)	<input checked="" type="checkbox"/>
	6 (retail)	<input checked="" type="checkbox"/>
	7a (carparking)	<input checked="" type="checkbox"/>
	7b (storage)	<input checked="" type="checkbox"/>
	8 (factory/industrial)	<input type="checkbox"/>
	9a (hospital/health care)	<input type="checkbox"/>
	9b (assembly/public building)	<input type="checkbox"/>
	9c (aged care)	<input type="checkbox"/>
	<b>C2D3</b> Rise in Stories	8 (or more than 3)  Note – it is assumed that basement carparking levels are not counted in in the rise in storeys. Therefore the 'ceiling' of basement level 1 must not protrude above finished ground level by more than 1m.
<b>C2D2</b> Construction Type	Type A (most fire resisting)	<input checked="" type="checkbox"/>
	Type B	<input type="checkbox"/>
	Type C (least fire resistant)	<input type="checkbox"/>
<b>C3D3</b> Floor areas and Fire Compartment Limitations	Floor area and volume of fire compartments in accordance with Table C3D3	<input checked="" type="checkbox"/>
	Large Isolated Building in accordance C3D4	<input type="checkbox"/>
<b>Scd 1</b> Effective Height	Less than 12m	<input type="checkbox"/>
	More than 12m but less than 25m (RI of floor of highest storey is 51.8 – RL of lowest storey counted in RIS 28.1 = 23.7m)	<input checked="" type="checkbox"/>
	More than 25m	<input type="checkbox"/>

## 2.1 Additional BCA Assessment Data

<b>BCA Reference</b>	<b>Subject Building</b>
United Buildings	It is assumed for the purposes of this assessment that the building (which straddles more than 1 allotment) will be a 'united building' OR that the individual allotments will be consolidated. Details to be provided at CC stage.

## 3.0 BCA Compliance Assessment

The plans identified in Section 1.1 of this report have been assessed against the DTS requirements of the BCA – which are considered relevant to the current stage of design (Development Application or similar). A summary of these requirements is provided below.

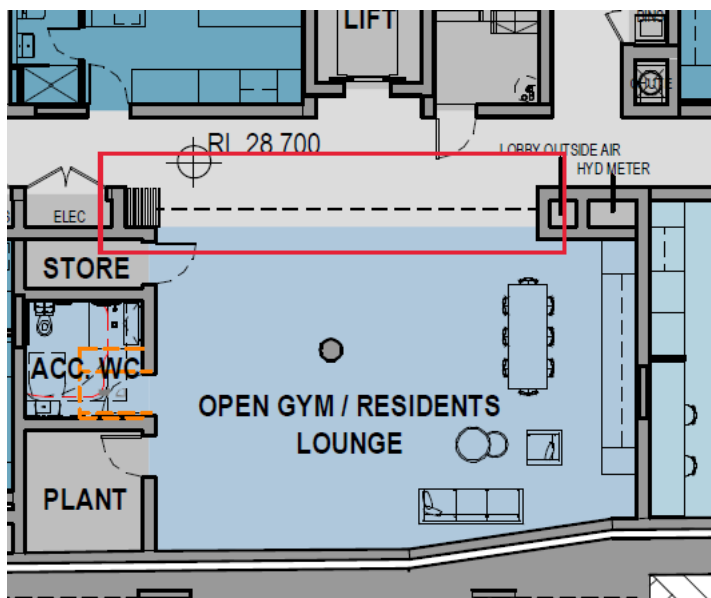
**Where the plans show a non-compliance or are lacking in critical detail – recommendations have been provided in Section 4.0 to address the issue.**

### 3.1 Section C - Fire Resistance

- **C4D12** Bounding construction: Rooms openings into public corridors in Class 2 -4 parts – refer to comments in Section 4.

### 3.2 Section D – Access and Egress

- **D2D5** Exit Travel Distances & **D2D6** Distance between alternative exits, The stairs in Basement 2 (adjacent Lift A) improve travel distances & distances between exits – however there are still points on the floor >40m from an exit via a point of choice, and still exits >60m apart. A fire engineered solution is assumed to be proposed to address this matter (as nominated in previous MSA BCA Report).
- **D3D24** – Doorways and doors & **D3D26** - Door hardware: The gym/residents room is served by a bi-fold door – provision must be made for a swing type door with compliant door hardware



### **3.3 Services and Equipment**

- **E1D2** – Fire hydrants: Ensure hydrant coverage is provided to new layout (including the new external common areas)

### **3.4 Health and Amenity**

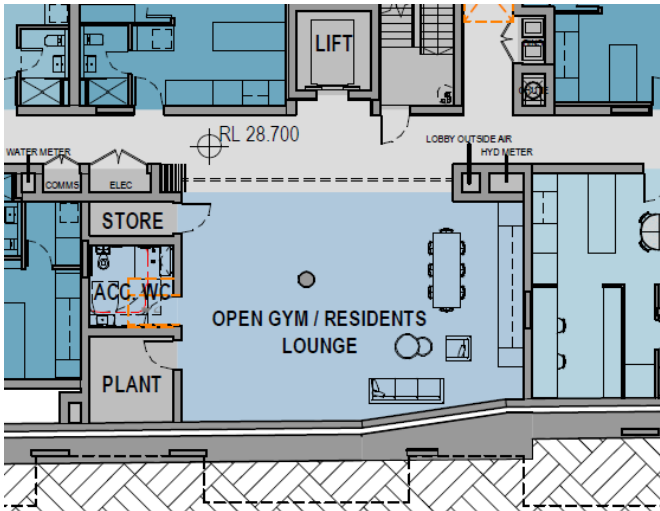
- NA: There do not appear to be any significant health and amenity issues created by the proposed modifications.

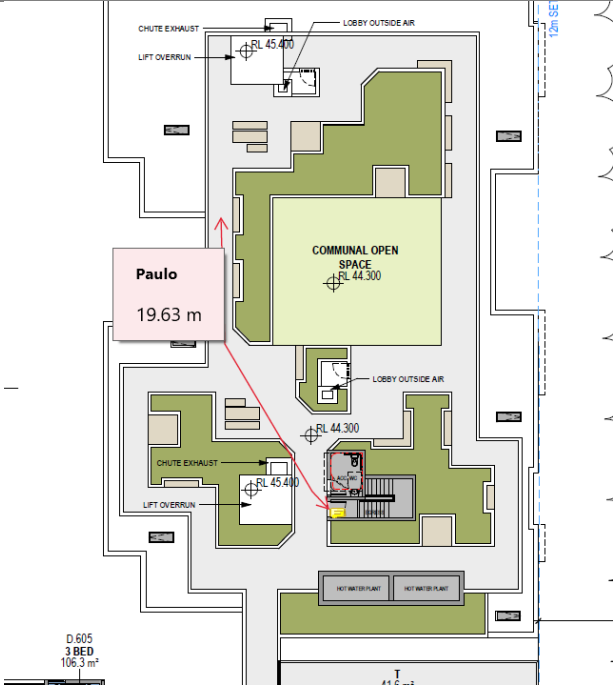


## 4.0 Recommendations

The following matters will need to be addressed by design change &/or Performance Solution.

Where a Performance Solution is proposed, it is the applicants responsibility to clarify with the clarify any expected design changes with the author of the Performance Solution Report.

#	DTS Clause	Description of Non-Compliance	Proposed Action
a)	C4D12	<p><b>Bounding Construction</b></p> <p>Under BCA C4D12, rooms which are not within sole occupancy units must be fire separated from adjoining 'public corridors.</p> <p>The proposed bifold door arrangement would need to be supported by performance solution (fire engineer)</p> 	<b>Performance solution required</b>
b)	D2D5	<p><b>Exit Travel Distances</b></p> <p>In addition to the travel distance issues noted in the MSA report, there are points on the floor of the Level 7 Communal Open Space which are more than 20m from a 'point of choice'.</p>	<b>Performance solution required</b>

#	DTS Clause	Description of Non-Compliance	Proposed Action
			
c)	Various	<p><b>Performance Solutions Required</b></p> <p>As nominated in the MSA BCA Report, the following matters are required to be addressed by performance solution (fire engineer).</p> <ul style="list-style-type: none"> <li>a) BCA D2D5 – Extended travel distances in basement and above ground levels.</li> <li>b) BCA D2D6 – Extended distance between alternative exits in the basement carparking levels.</li> <li>c) BCA D2D12 – Discharge of fire exits within the building, and protection of external paths of travel to the street.</li> <li>d) BCA D3D5 – Lack of separation of rising and descending stair flights</li> <li>e) BCA E1D2, E1D4, E2 – Provision separate fire service systems to serve a single 'united' building.</li> </ul>	<b>Performance solution required</b>

## 5.0 Conclusion

This report has assessed the subject building against the National Construction Code (NCC) / Building Code of Australia (BCA) 2022 (as relevant to the Development Application stage design).

Subject to compliance with recommendations listed in Section 4.0 of this report, the development is considered capable of complying with the BCA, within the constraints of the current design.



Paul O'Shannassy

**Director**

**Absolute BCA & Accessibility Consulting Pty Ltd**

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**Qualified DDA Accessibility Consultant with ACAA ACAA No. 0594**

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**MAAC**