

SITE COVERAGE AND LANDSCAPE AREA: UNCHANGED
IMPERVIOUS AREAS: UNCHANGED

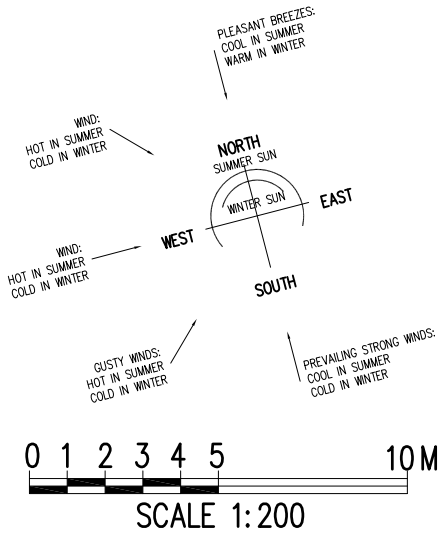
KEY

CAR ENTRY POINT

SUN DIRECTION - 22 JUNE

NOISE SOURCE

DISTRICT VIEWS OVER ADJOINING HOUSES



SITE PLAN AND SITE ANALYSIS PLAN

1:200

GENERAL NOTES:

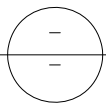
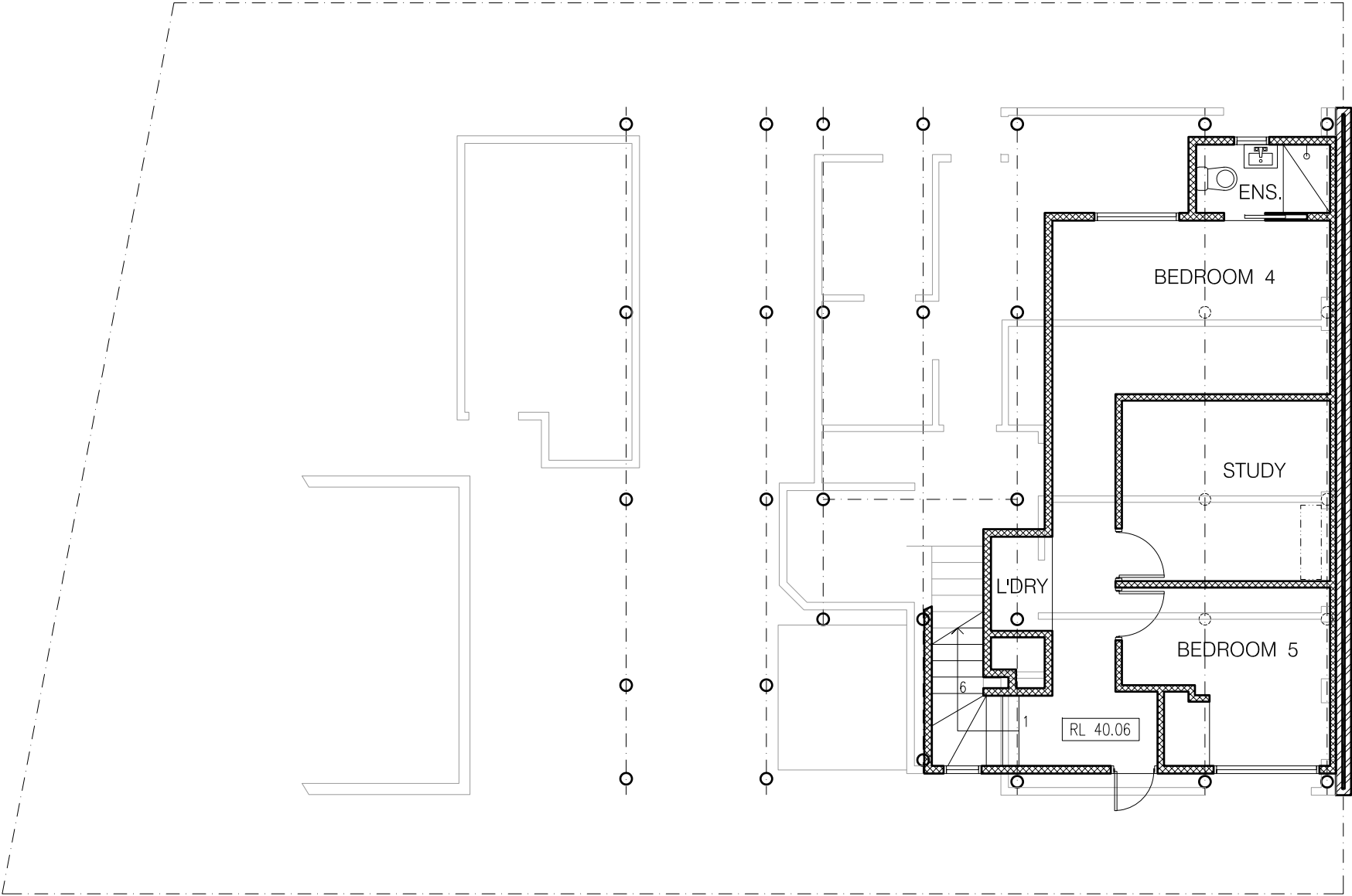
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- All electrical power & light outlets to be determined by owner.
- Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

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No.	AMENDMENT	DATE
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Email: koreckym@gmail.com
Mob: 0438 148 944

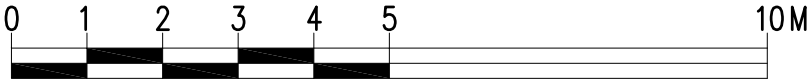
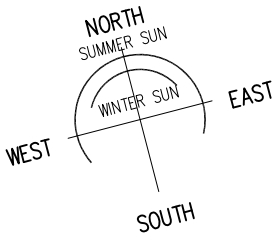
PROJECT:
**PROPOSED ADDITIONS AND ALTERATIONS
3A KARLOO PARADE, NEWPORT NSW 2106
LOT 281 IN D.P. 863303**
CLIENT:
KEITH WARREN

DATE: 04/04/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 24061	SHEET: 1



EXISTING LOWER GROUND FLOOR PLAN

1:100



SCALE 1:100

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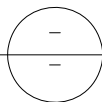
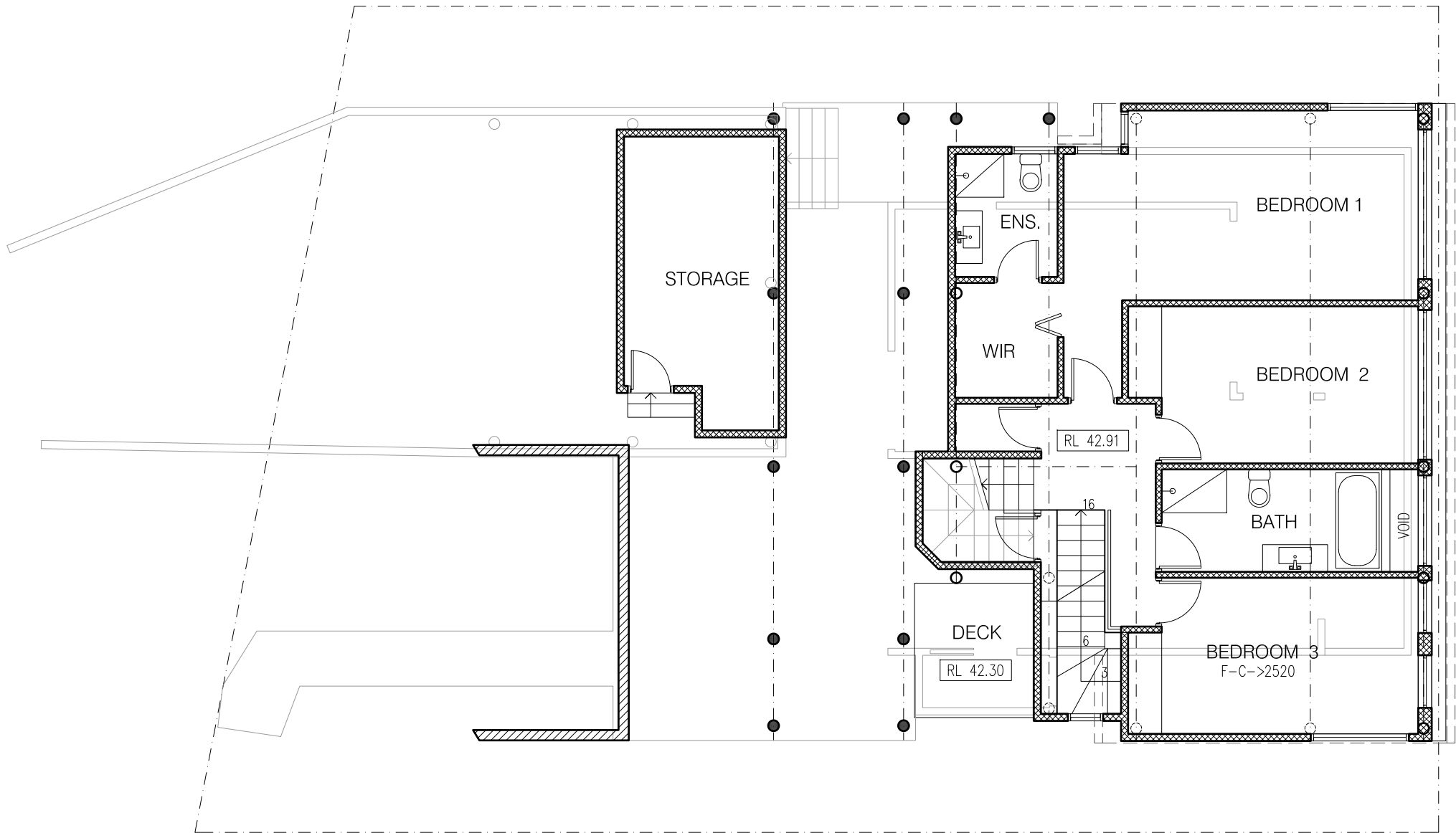
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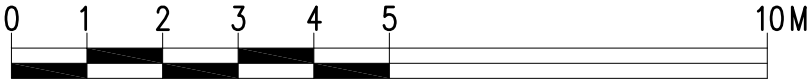
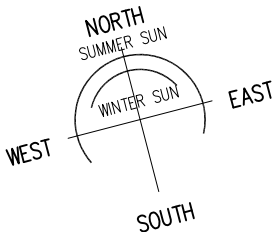
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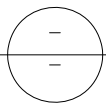
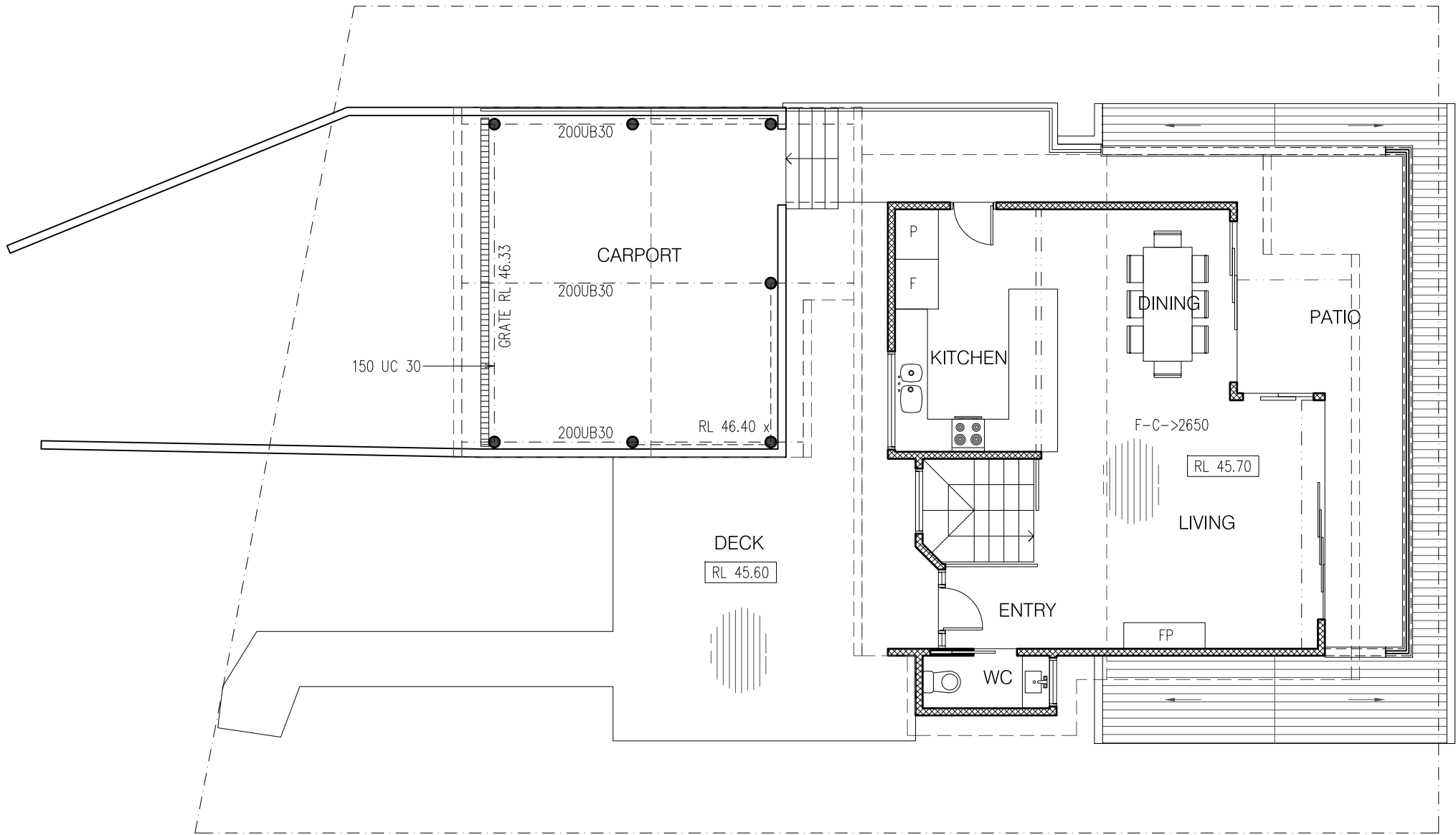
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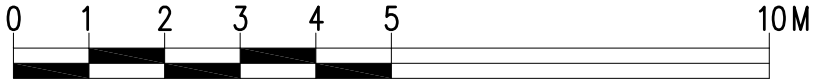
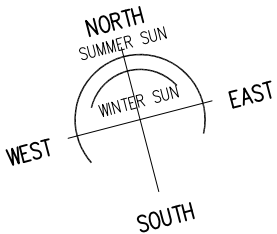
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EXISTING FIRST FLOOR PLAN

1:100



SCALE 1:100

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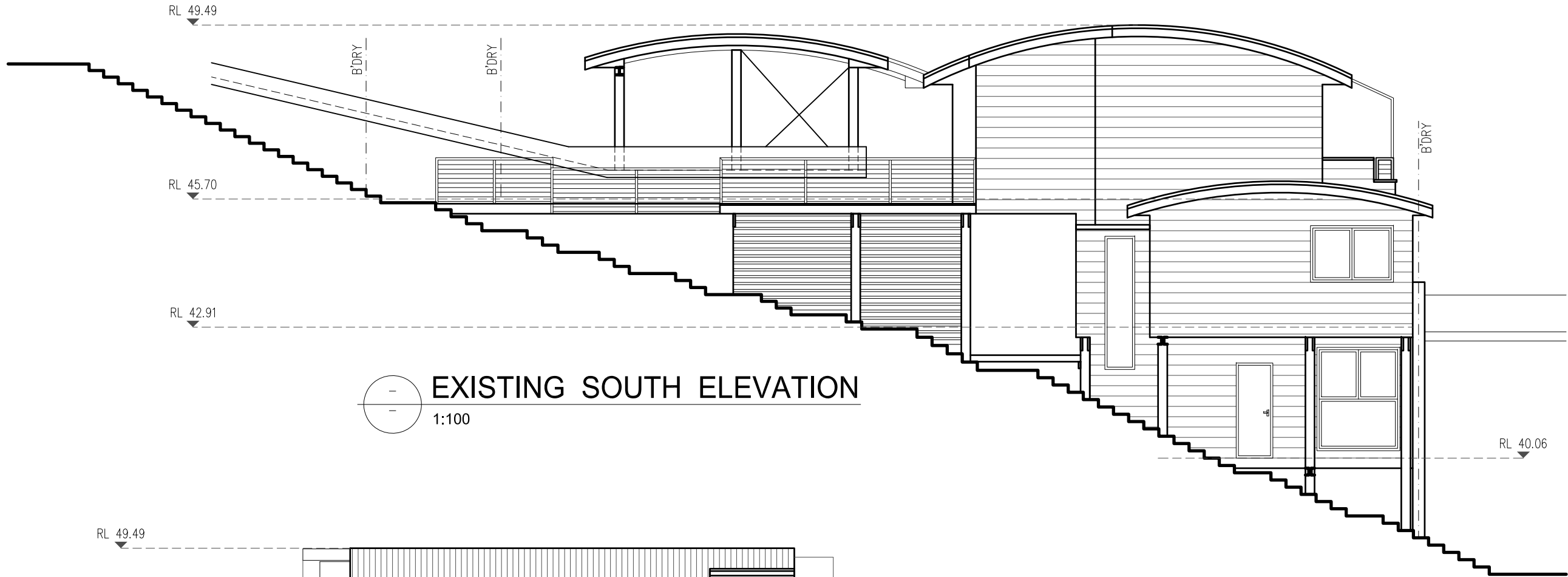
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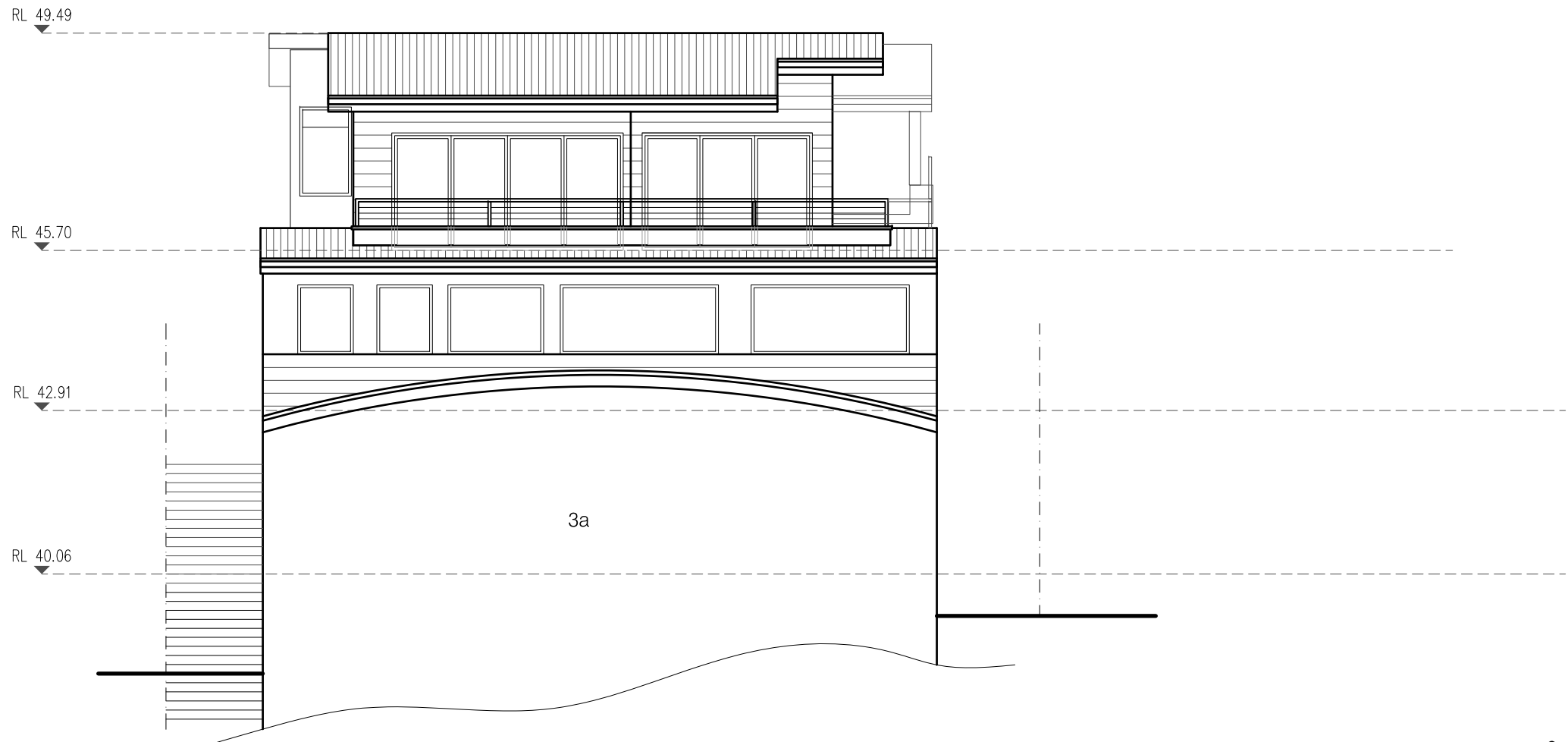
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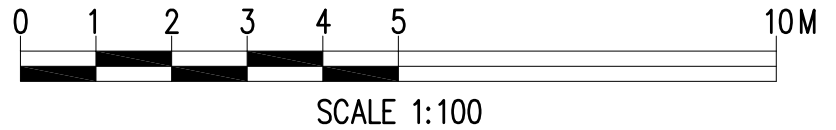
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EXISTING SOUTH ELEVATION
1:100



EXISTING EAST ELEVATION
1:100



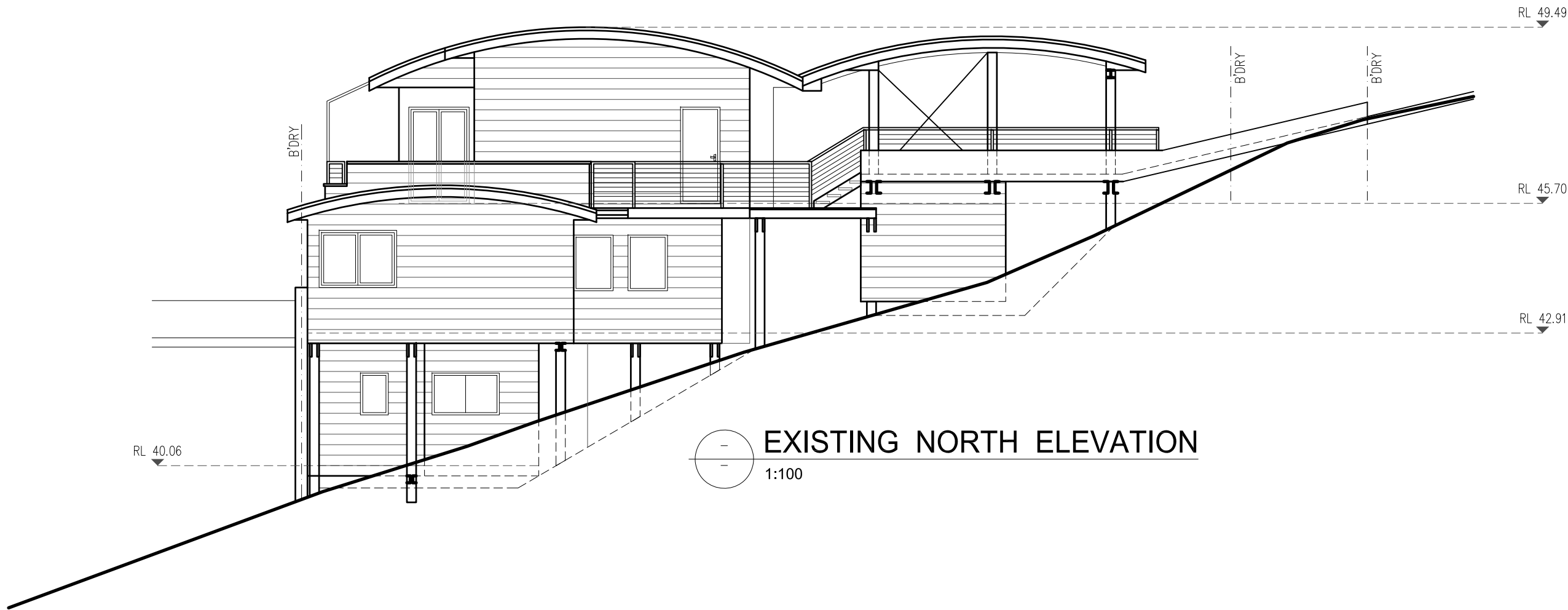
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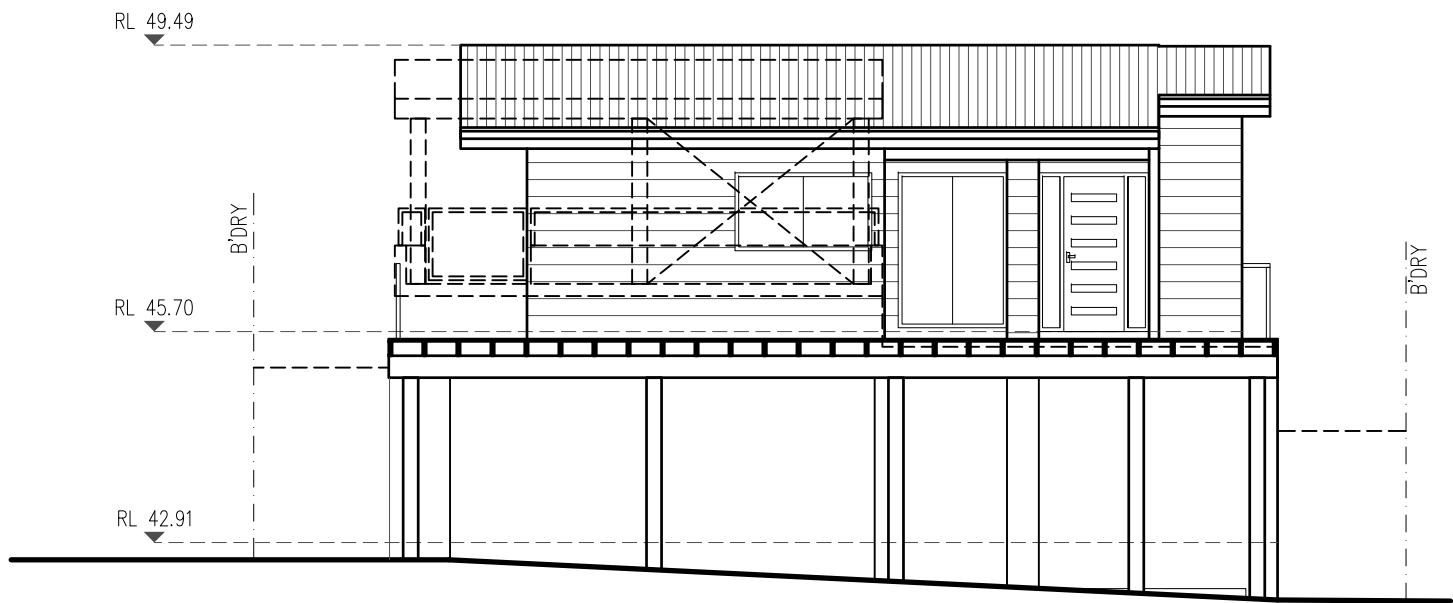
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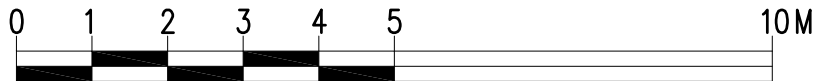
EXISTING NORTH ELEVATION

1:100



EXISTING WEST ELEVATION

1:100



SCALE 1:100

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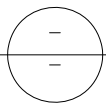
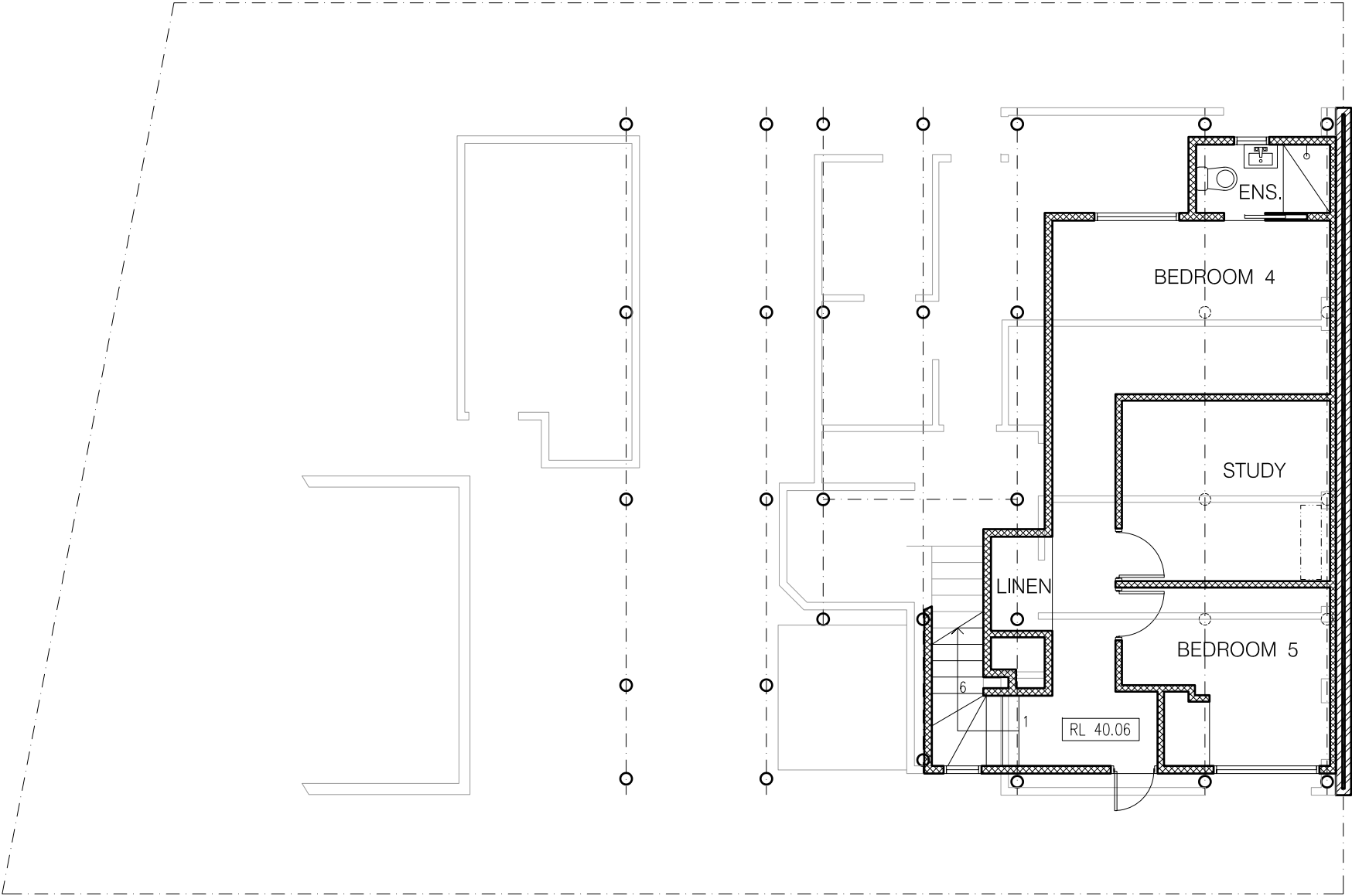
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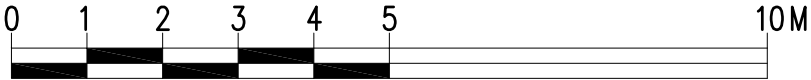
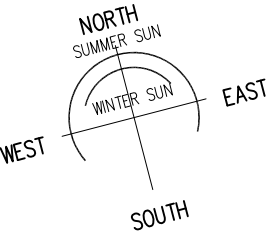
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PROPOSED LOWER GROUND FLOOR PLAN

1:100



SCALE 1:100

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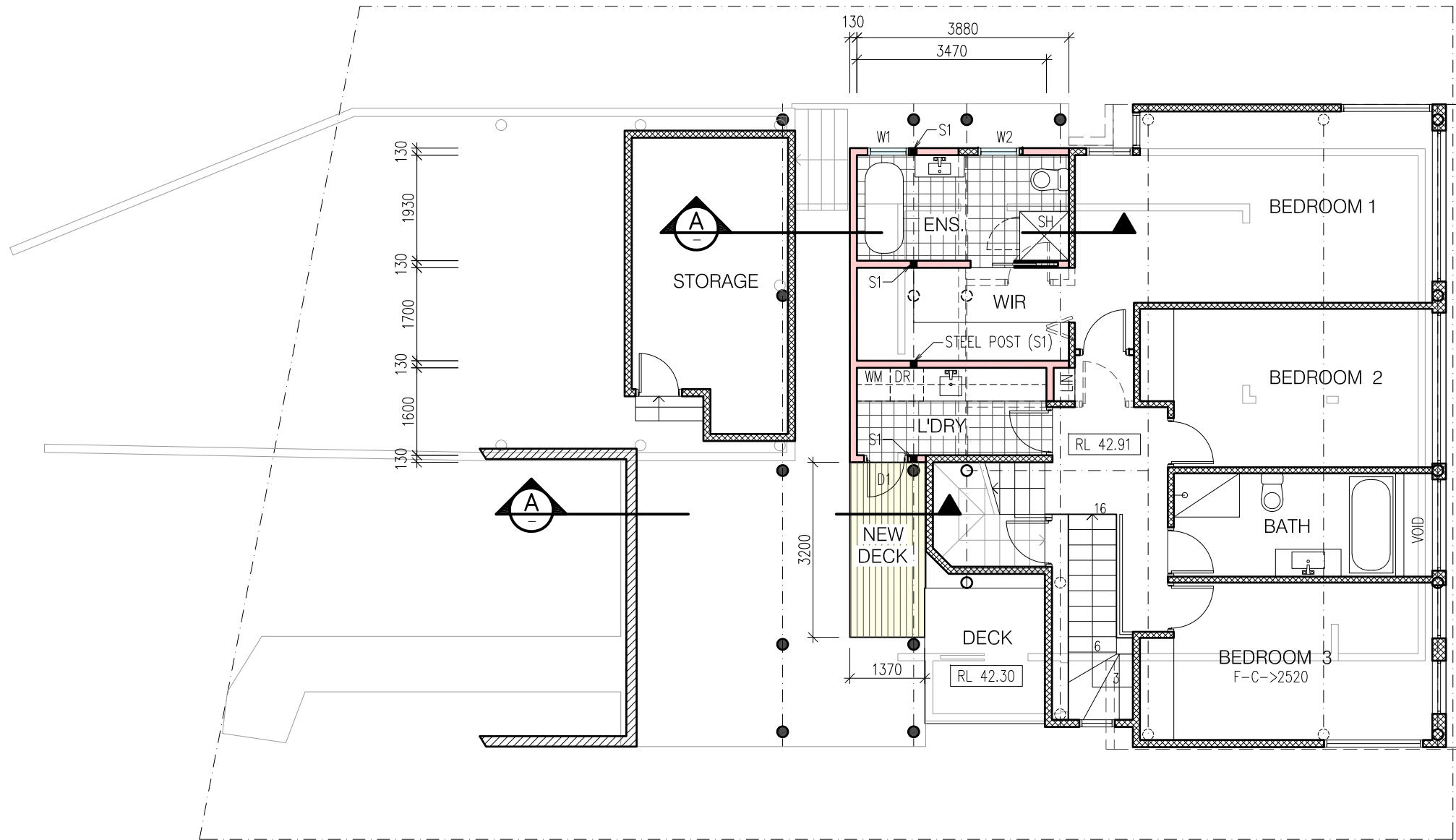
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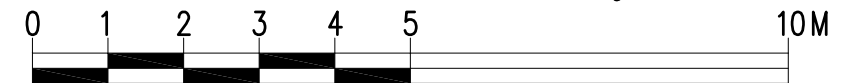
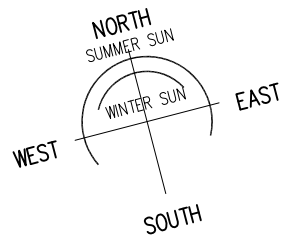
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PROPOSED GROUND FLOOR PLAN
1:100



SCALE 1:100

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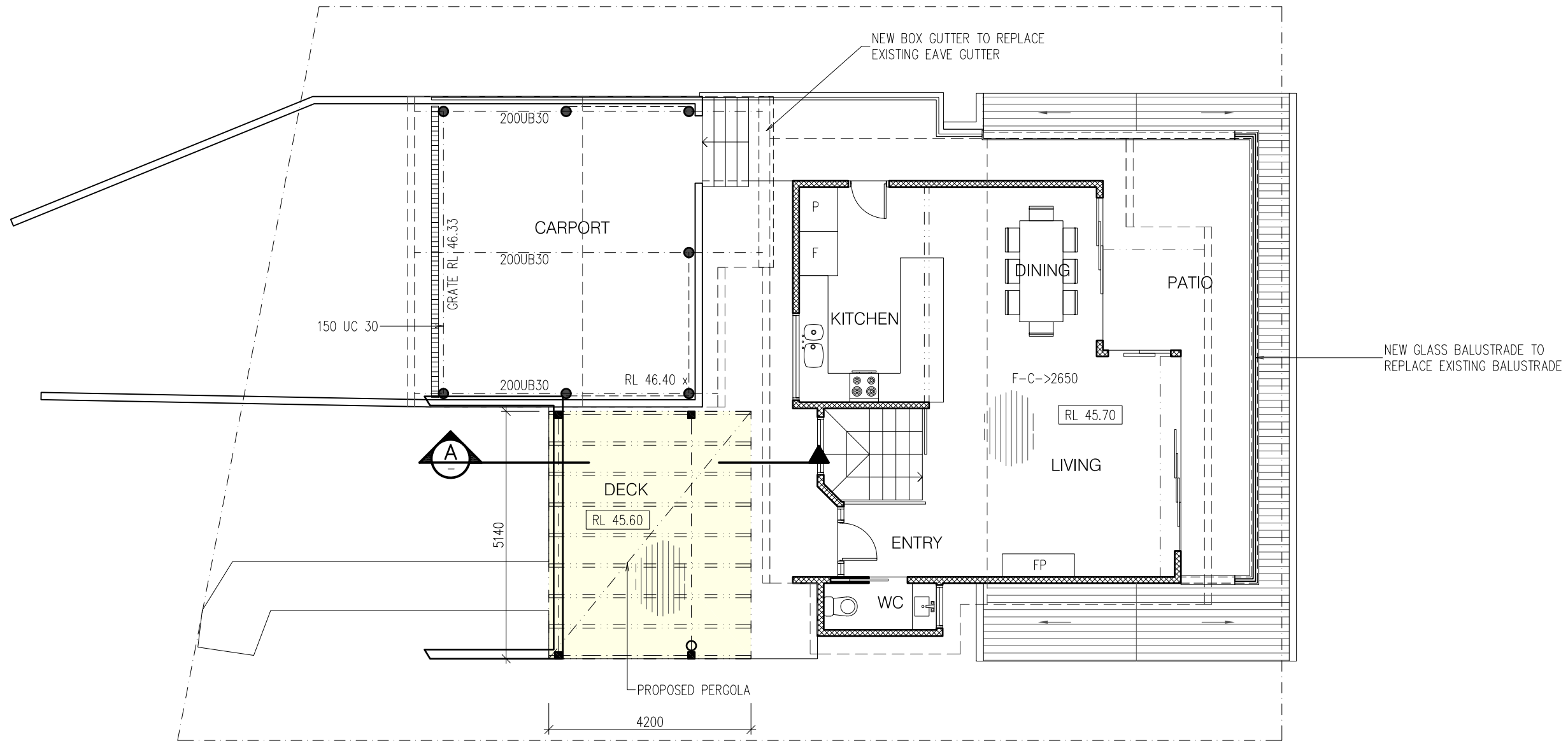
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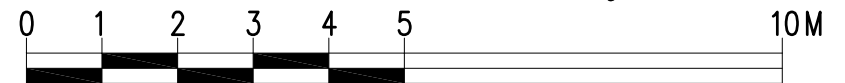
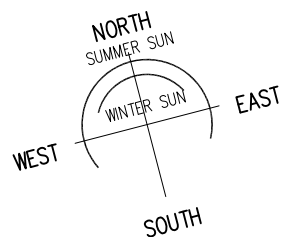
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PROPOSED FIRST FLOOR PLAN
1:100



SCALE 1:100

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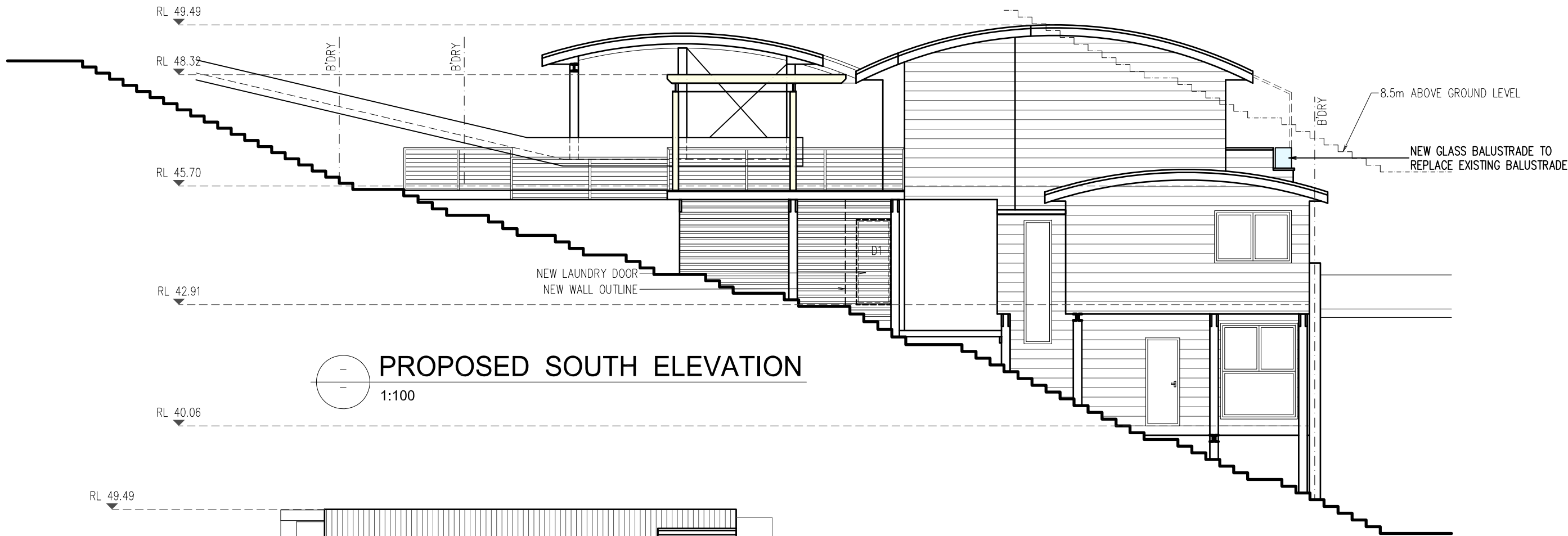
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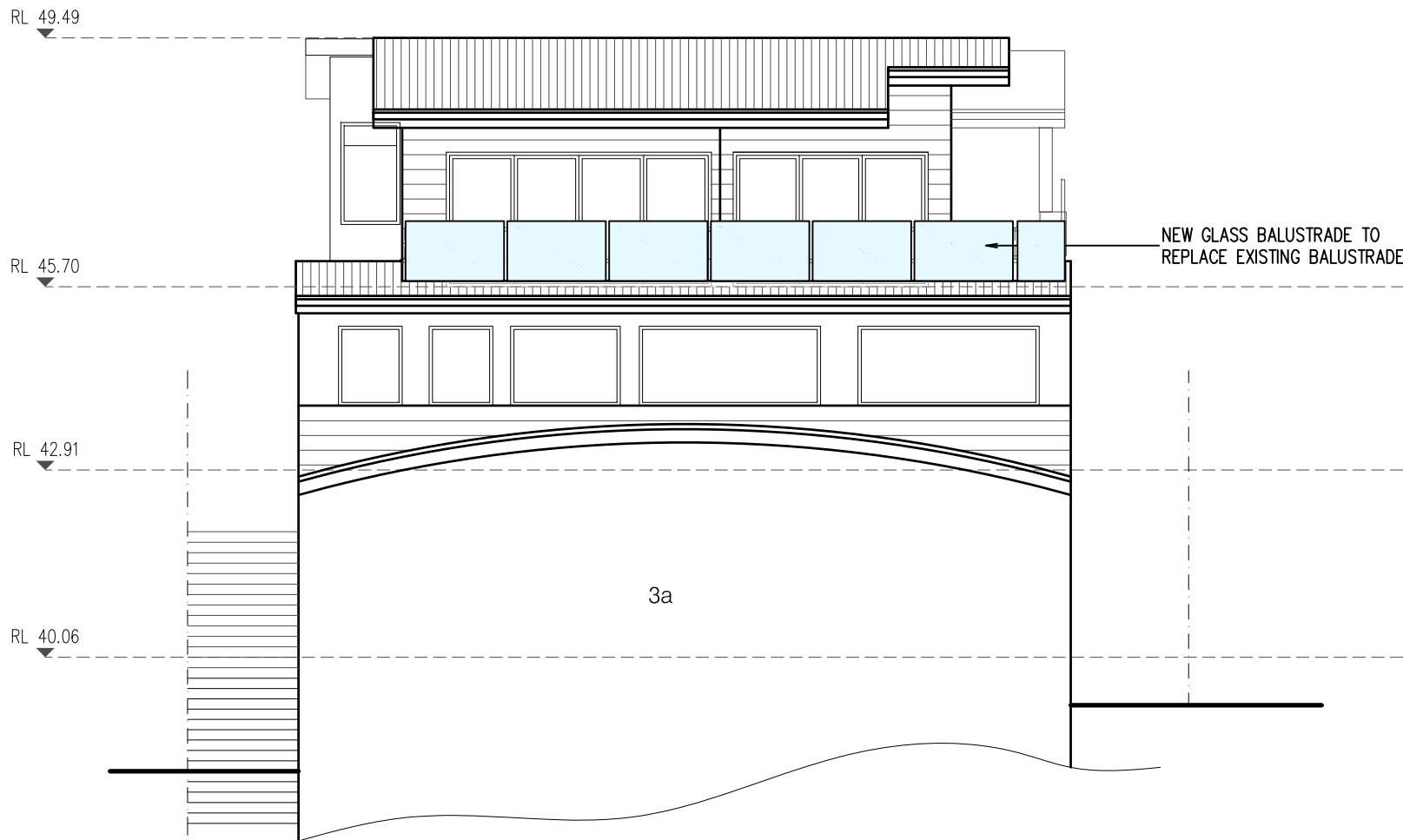
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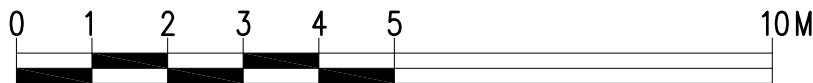
PROPOSED SOUTH ELEVATION

1:100



PROPOSED EAST ELEVATION

1:100



SCALE 1:100

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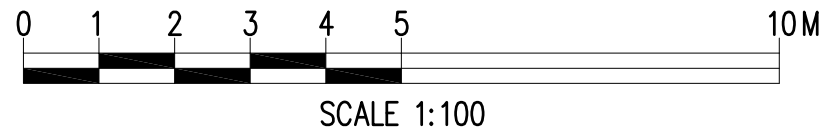
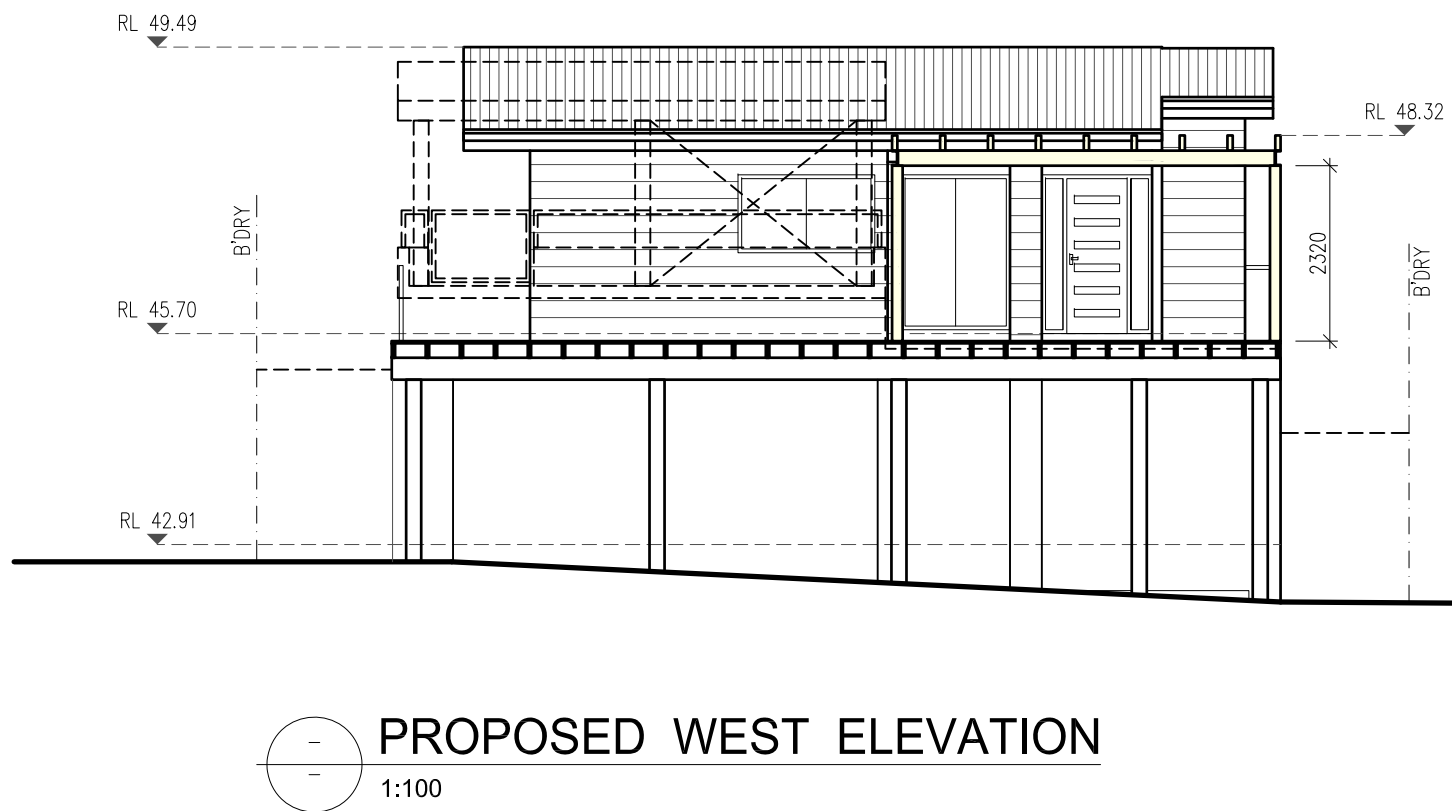
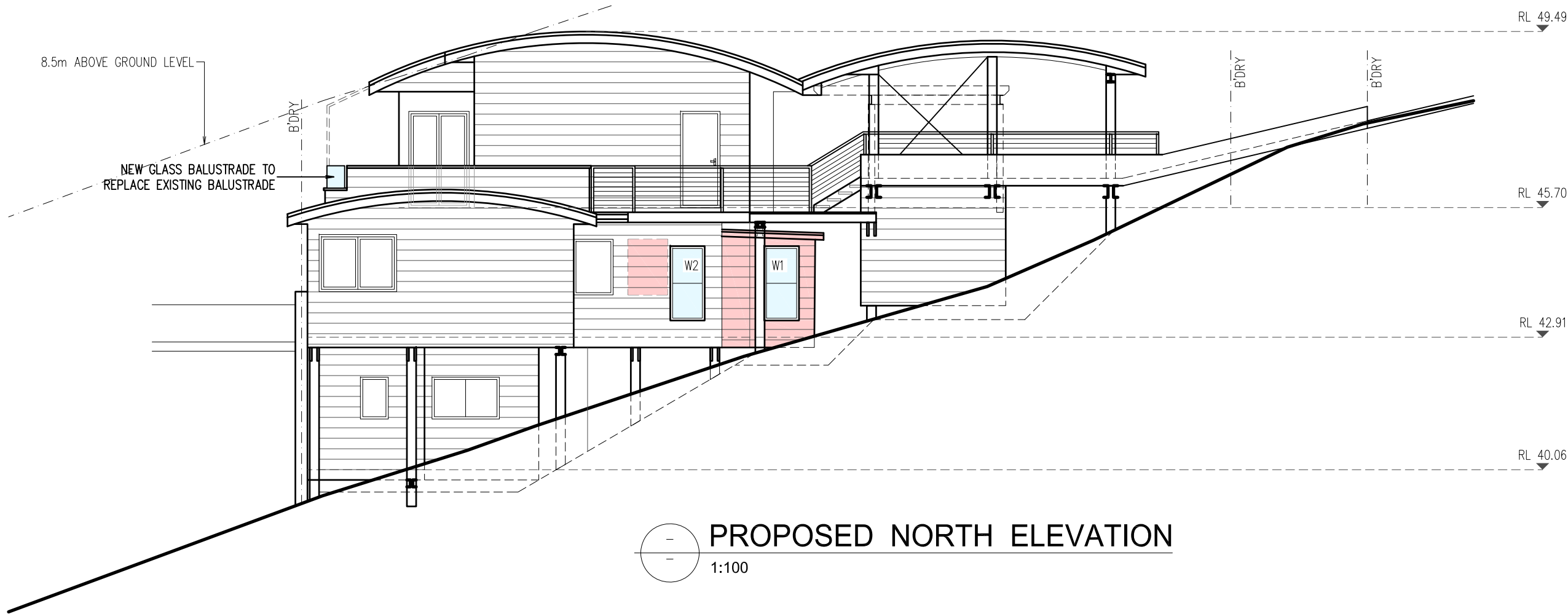
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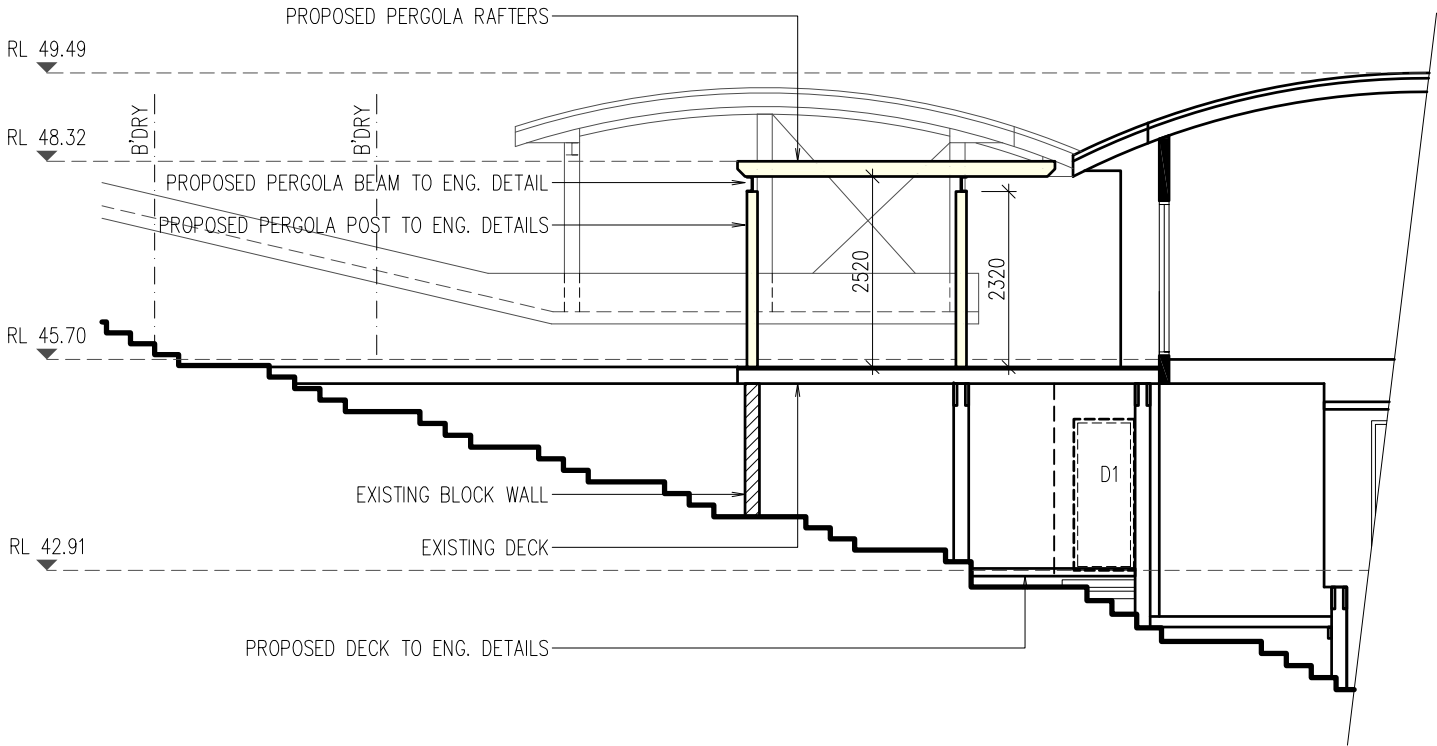
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DATE: 04/04/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 24061	SHEET: 11



PROPOSED SECTION A - A
1:100

BASIX COMMITMENTS
CERTIFICATE NUMBER A1790274

NATURAL LIGHTING
THE APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

FIXTURES
THE APPLICANT MUST ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR A 3 STAR WATER RATING.

THE APPLICANT MUST ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.

THE APPLICANT MUST ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR MINIMUM 3 STAR WATER RATING.

WINDOWS AND GLAZED DOORS
(SEE WINDOW SCHEDULE)

CONSTRUCTION
SUSPENDED FLOOR WITH OPENED SUBFLOOR FRAMED: R1.0 (DOWN) (OR R2.5 INCLUDING CONSTRUCTION)
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD): R1.30 (OR R1.70 INCLUDING CONSTRUCTION)
FLAT CEILING, FLAT ROOF: CEILING: R2.32 (UP), ROOF: FOIL/SARKING, DARK (SOLAR ABSORPTANCE > 0.70)

WINDOWS AND DOOR SCHEDULE						
	ORIENT.	SIZE		AREA (m2)	SHADING DEVICE	FRAME AND GLASS TYPE MIN. REQUIREMENTS
		W	H			
W1	NORTH	750	1600	1.20	NONE	timber or uPVC single clear
W2	NORTH	750	1600	1.20	NONE	timber or uPVC single clear

STAIRS

PROVIDE A HANDRAIL ALONG THE FULL LENGTH OF THE FLIGHT AND SLIP RESISTANT FINISH TO THE EDGE OF THE NOSINGS TO COMPLY WITH 3.9.1 AND 3.9.2 OF NCC

CEILING HEIGHTS

HABITABLE ROOM – 2.4m MINIMUM WITH SLOPING CEILING FOR TWO THIRDS OF THE FLOOR AREA.
ATTIC – 2.2M MINIMUM FOR TWO THIRDS OF FLOOR AREA.
NOTE: FLOOR AREA DOES NOT INCLUDE CEILING HEIGHT < 1.5M
OTHER SPACES–KITCHEN, PANTRY, BATHROOM, WC, LAUNDRY, GARAGE, STOREROOM & THE LIKE – 2.1m. STAIRWAY, RAMP, LANDING OR THE LIKE – 2.0m MEASURED VERTICALLY ABOVE STAIRWAY TREADS NOSING LINE OR FLOOR SURFACE OF RAMP OR THE LIKE.

SURFACE WATER DRAINAGE:

IN ACCORDANCE WITH THE PROVISIONS OF NCC/BCA CLAUSE 3.1.3.3: DIVERSION OF SURFACE WATER AWAY FROM THE BUILDING WITH SLAB-ON-GROUND CONSTRUCTION, FINISHED GROUND LEVELS ADJACENT TO THE BUILDING ARE TO "STEP DOWN" FROM FINISHED FLOOR LEVEL AND BE GRADED AWAY FROM THE BUILDING.

LAUNDRY FACILITIES

A DEDUCATED LAUNDRY SPACE COMPRISING OF AT LEAST ONE WASHTUB & SPACE FOR A WASHING MACHINE, MUST BE PROVIDED IN ACCORDANCE WITH NCC/BCA PART 3.8.3 – LAUNDRIES (INCLUDING THOSE IN CABINETS/ KITCHENS) SHALL BE PROVIDED WITH WATER RESISTANT FLOORS, GRADED & DRAINED TO FLOOR WASTE & WATERPROOF WALL / FLOOR JUNCTION IN ACCORDANCE WITH NCC/BCA PART 3.8.1. NOTE: TIMBER FLOORING IS NOT DEEMED "WATER RESISTANT" BY DEFINITION UNDER NCC/BCA PROVISIONS.

WINDOWS

PROVIDE 1.7m SILL HEIGHT OR CHILDSAFE LOCKS / SCREENS TO COMPLY WITH BCA / NCC 2013

WALL & ROOF CLADDING

WALL AND ROOF CLADDING TO BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2019 Vol 2 PART 3.5 OF THE BUILDING CODE OF AUSTRALIA PARTICULARLY WITH RESPEC TO THE REFERENCED ACCEPTABLE CONSTRUCTION PRACTICE AS DETAILDE IN THE BCA FOR PRODUCT MATERIALS AND INSTALLATION.

IMPORTANT NOTE: ANY PROPOSED PRODUCT CHANGES AFTER APPROVAL OF THE CC OR CDC IS TO BE IMMEDIATELY NOTIFIED TO THE PCA FOR CONCURRENCE.

SANITARY DOOR

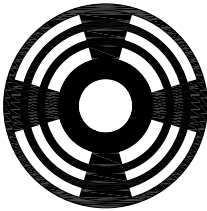
– NCC/BCA PART 3.8.3 PROVIDE "LIFT OFF" HINGES WHERE PAN IS WITHIN 1.2 METRES OF HINGED SIDE OF DOOR.

LAUNDRIES IN CABINERTS/KITCHENS

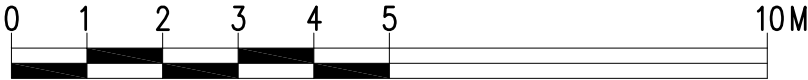
SHALL BE PROVIDEDWITH WATER RESISTANT FLOOR, GRADED AND DRAINED TO FLOOR WASTE IN ACCORDANCE WITH NCC/BCA PRT 3.8.1.
NCC/BCA 3.8.3.2 REQUIRES ONE WASH TUB IN SAME ROOM

BALUSTRADES – NCC/BCA PART 3.9.

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE FLOOR TO LEVEL BELOW IS MORE THAN 4 METRES



INSTALL A INTERCONNECTED/HADRWIRED SMOKE ALARM IN ACCORDANCE WITH AS3786 AND NCC CLAUSE 3.7.2.2



SCALE 1:100

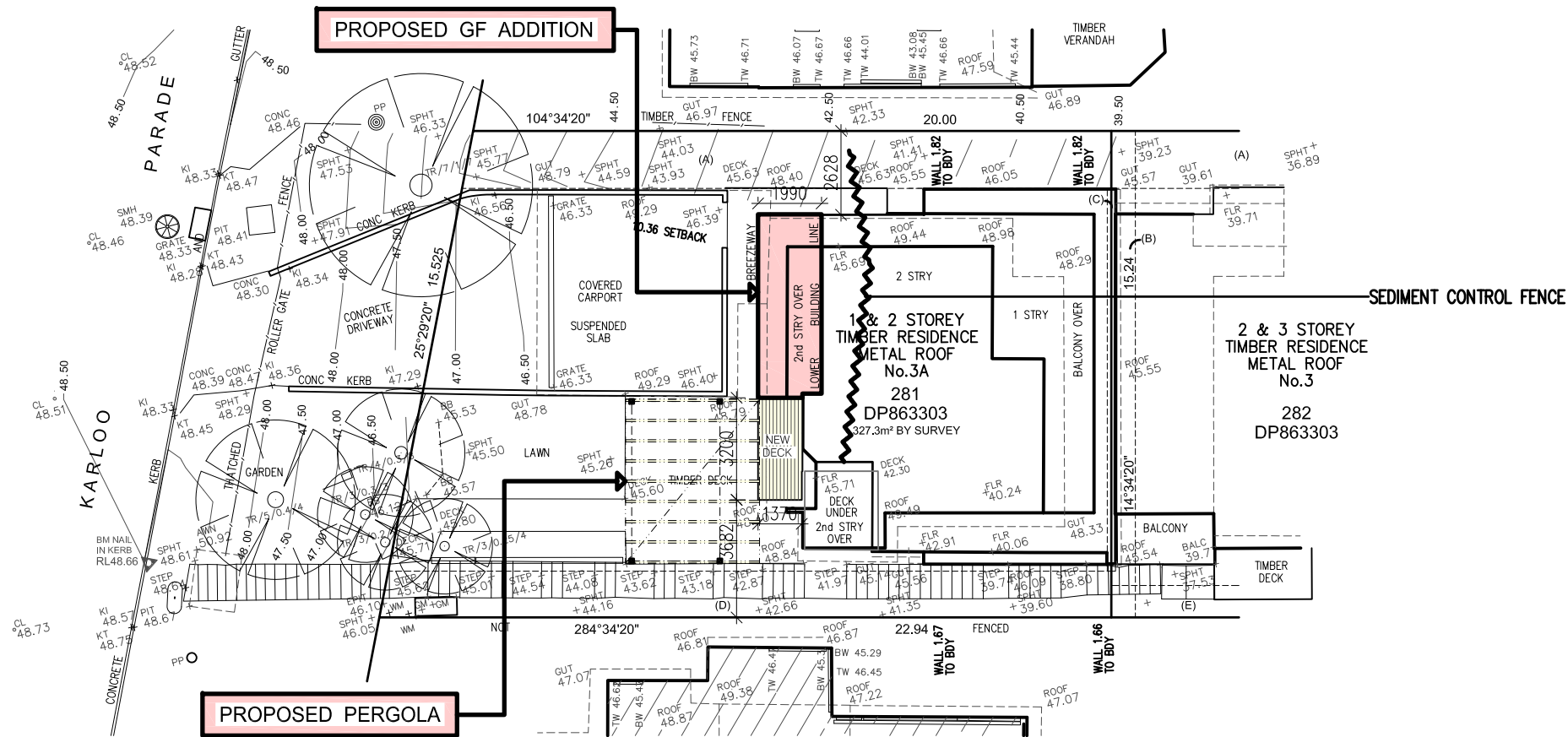
GENERAL NOTES:
1 Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2 All dimensions that relate to site boundaries and easments are subject to verification by site survey.
3 All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4 All timber construction to be in accordance with the "TIMBER FRAMING" code.
5 Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by Structural Engineer.
6 Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7 All electrical power & light outlets to be determined by owner.
8 Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

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No.	AMENDMENT	DATE
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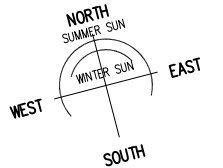
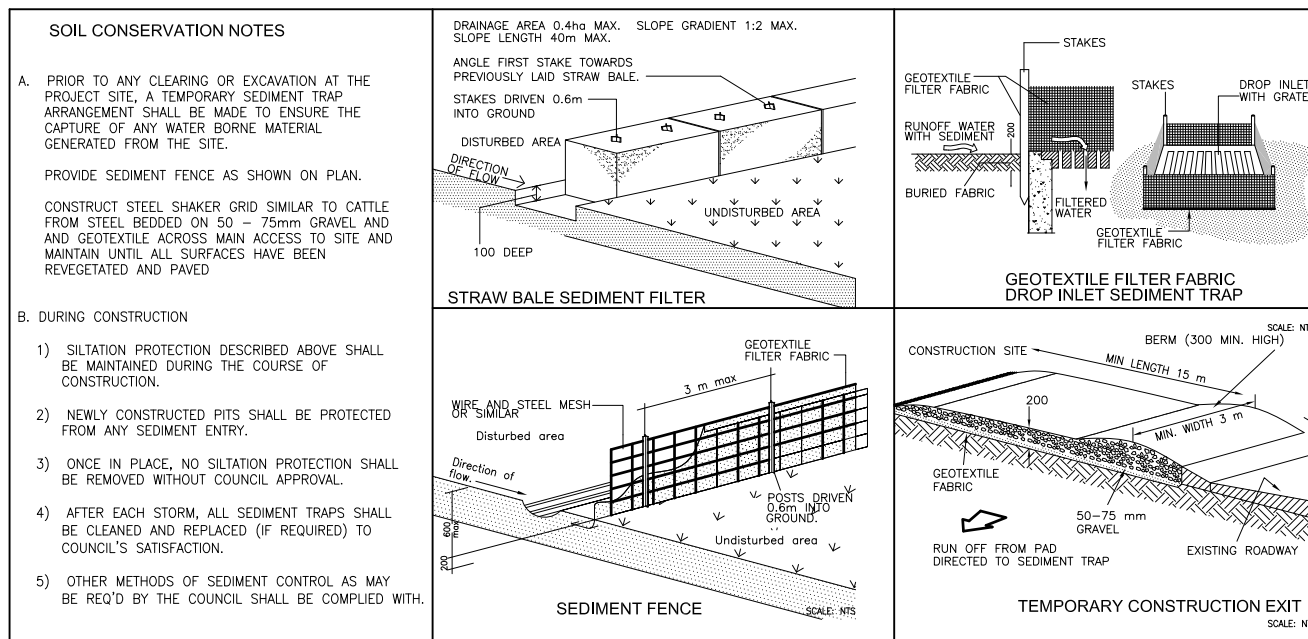
DESIGN BY:
MICHAL KORECKY
21 NALYA ROAD, NARRAWEENA NSW 2099
ABN: 79 393 130 294
Email: koreckym@gmail.com
Mob: 0438 148 944

PROJECT:
**PROPOSED ADDITIONS AND ALTERATIONS
3A KARLOO PARADE, NEWPORT NSW 2106
LOT 281 IN D.P. 863303**
CLIENT:
KEITH WARREN

DATE: 04/04/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 24061	SHEET: 12



EROSION AND SEDIMENT MANAGEMENT PLAN 1:200



0 1 2 3 4 5 10 M
SCALE 1:200

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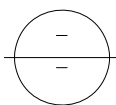
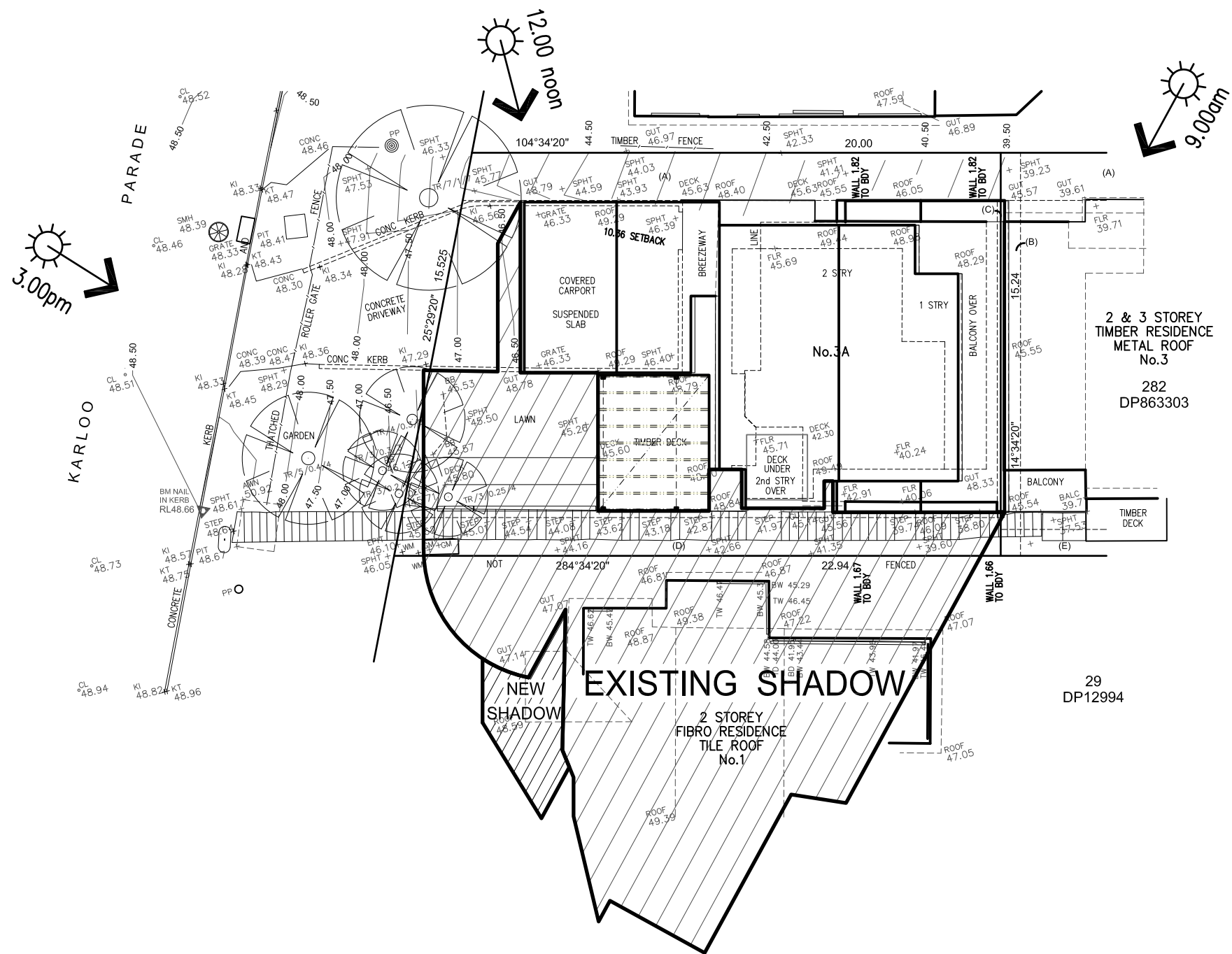
ISSUE: 1

DRAWING Nr :

24061

SHEET:

13



SHADOW DIAGRAM AZIMUTH 43° ALTITUDE 20° 21/6 - 9:00

1:200



SCALE 1:200

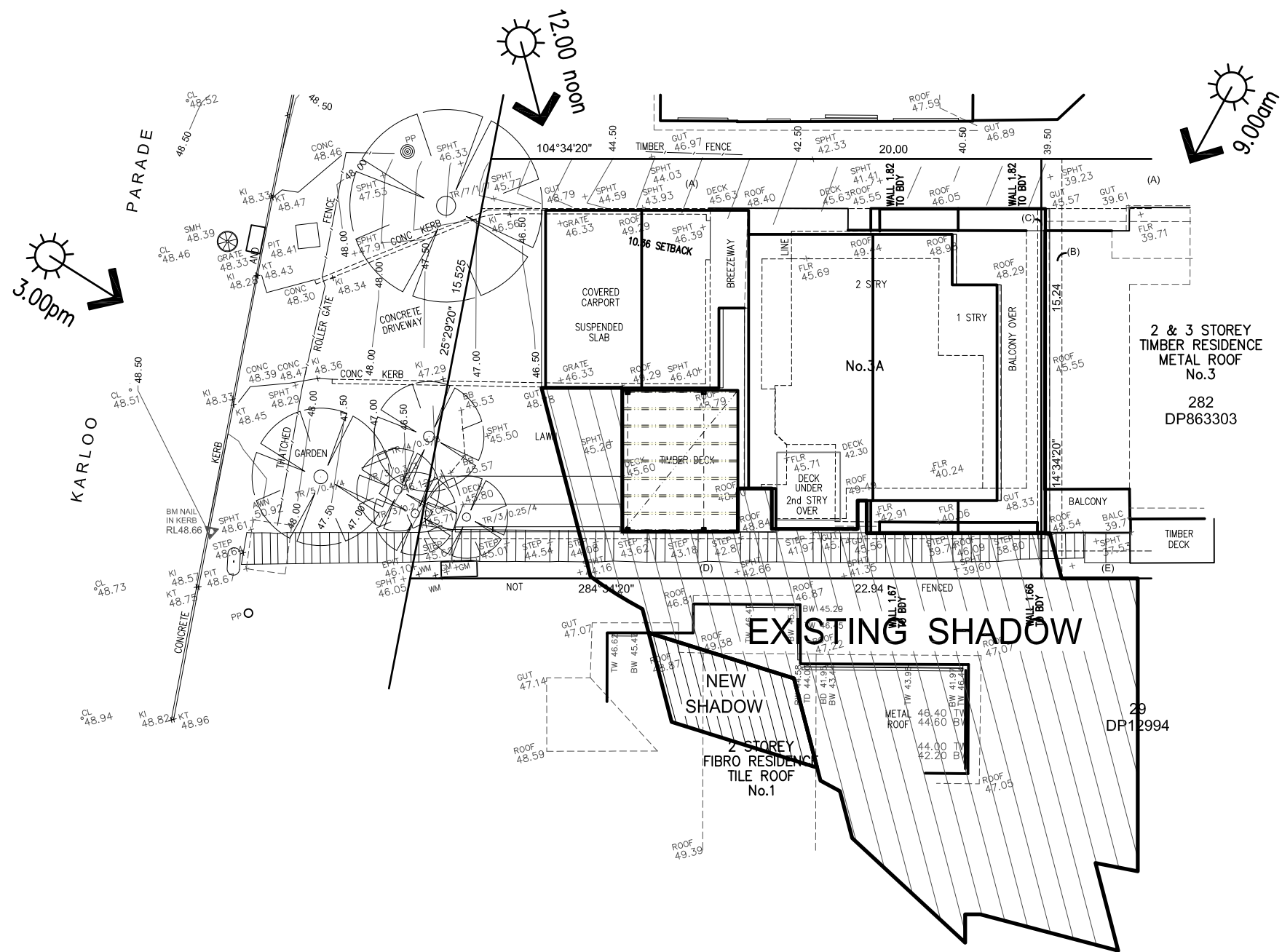
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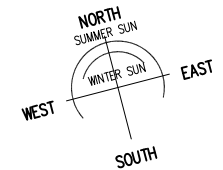
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PROJECT:
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3A KARLOO PARADE, NEWPORT NSW 2106
LOT 281 IN D.P. 863303**
CLIENT:
KEITH WARREN

DATE: 04/04/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 24061	SHEET: 14



SHADOW DIAGRAM AZIMUTH 0° ALTITUDE 34° 21/6 - 12:00
1:200



0 1 2 3 4 5 10M
SCALE 1:200

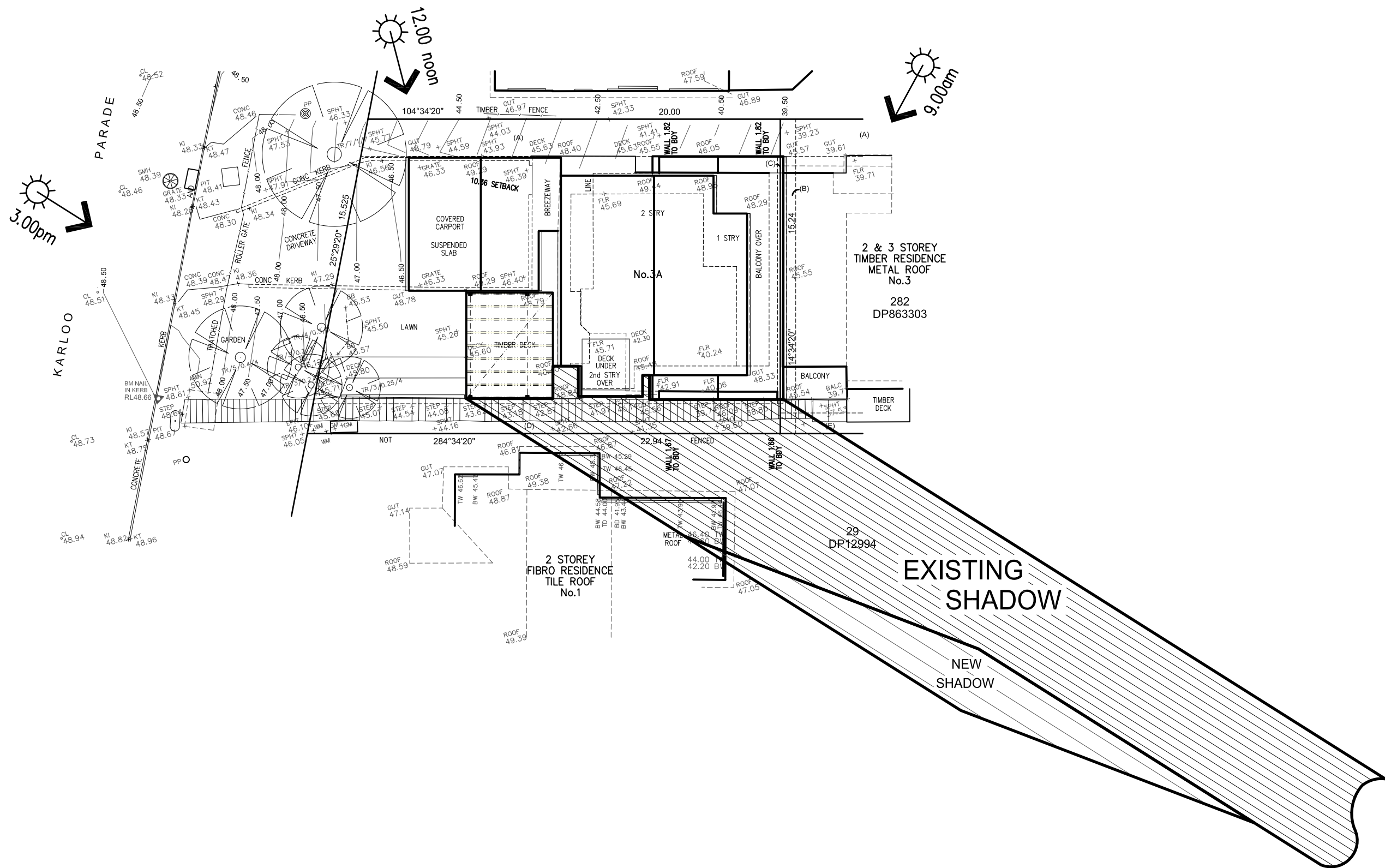
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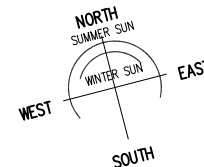
DESIGN BY:
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ABN: 79 393 130 294
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3A KARLOO PARADE, NEWPORT NSW 2106
LOT 281 IN D.P. 863303**
CLIENT:
KEITH WARREN

DATE: 04/04/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 24061	SHEET: 15



SHADOW DIAGRAM AZIMUTH -43° ALTITUDE 20° 21/6 - 3:00
1:200



0 1 2 3 4 5 10M
SCALE 1:200

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DRAWING Nr : 24061	SHEET: 16

LEGEND

AWN - AWNING
BALC - BALCONY LEVEL
CHM - CHIMNEY LEVEL
CL - ROAD CENTRE LINE LEVEL
CONC - CONCRETE SURFACE LEVEL
DECK - DECK LEVEL
EPIT - ELECTRICAL PIT
ELEC- ELECTRICAL SUBSTATION
TPIT - TELECOMMUNICATION PIT
FLR - FLOOR LEVEL
GAS - GAS METER
GATE - GATE
GDN - GARDEN LEVEL
GRATE - GRATED PIT LEVEL
GRV - GRAVEL LEVEL
GUT - ROOF GUTTER LEVEL
HC - HOUSE CONNECTION
HYD - HYDRANT
INV - INVERT LEVEL
KT - TOP OF KERB LEVEL
KI - KERB INVERT LEVEL
LP - LIGHT POLE
PAR - PARAPET LEVEL
PAT - PATIO
PATH - PATH LEVEL
PAV - PAVING LEVEL
PINV - PIT INVERT
POOL - POOL LEVEL
RWT - RAIN WATER TANK
ROOF - ROOF LEVEL
SIC - SEWER INSPECTION CAP
SMH - SEWER MAN HOLE
SKYL - SKYLIGHT LEVEL
SPIPE - SEWER VENT PIPE
SPHT - SPOT HEIGHT
STEP - STEP LEVEL
TILE - TILED LEVEL
TPIT - TELSTRA PIT
WALL - WALL LEVEL (TOW- TOP OF
WALL, BOW- BOTTOM OF WALL)
WM - WATER METER

TR/6/0.2/5 - TREE (SPREAD 6m, TRUNK
DIA 0.2m, HEIGHT 5m) DIMENSIONS ARE
APPROXIMATE

DOORS
TD - DOOR TOP
BD - DOOR BOTTOM
WINDOW
TW - WINDOW TOP
BW - WINDOW BOTTOM

CONTOUR INTERVAL - 0.5m

NOTES:

- BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED (OR DEFINED) BY SURVEY. A FIELD BOUNDARY SURVEY (BOUNDARY IDENTIFICATION) HAS BEEN UNDERTAKEN WITH BOUNDARIES DEFINED UTILISING DP863303. BOUNDARY DIMENSIONS CAN MOVE TO A DEGREE WITH THE LODGEMENT OF A PLAN AT THE TITLES OFFICE OF THE SUBJECT LOT OR OF A LOT IN THE VICINITY.
- DIMENSIONED STRUCTURES ARE IN RELATION TO THIS BOUNDARY SURVEY.
- ORIGIN OF LEVELS PM46393 RL: 51.5 m (A.H.D.- CLASS E) SEARCH DATED 01/05/2024.
- BEARINGS ARE ON MGA GRID NORTH.
- RELATIONSHIP OF OTHER IMPROVEMENTS, DETAIL AND ADJOINING BUILDINGS TO THE BOUNDARY, IF CRITICAL, WILL REQUIRE FURTHER SURVEY. IF ANY FENCING OR BUILDING NEAR THE SUBJECT BOUNDARIES IT IS RECOMMENDED THAT THE BOUNDARIES BE PHYSICALLY MARKED BY A REGISTERED SURVEYOR.
- SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY ONLY. DIAL BEFORE YOU DIG AND ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
- ROOF AND EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
- ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
- THE DIAMETER OF TREE TRUNKS CONTAINED WITHIN TREE SYMBOLS ARE NOT TO SCALE AND ARE INDICATIVE ONLY.
- A RIGHT OF CARRIAGEWAY APPURTENANT TO THE LAND IS NOTED ON TITLE (DP649721).
- AN EASEMENT FOR SUPPORT APPURTENANT TO THE LAND IS NOTED ON TITLE (DP649721).

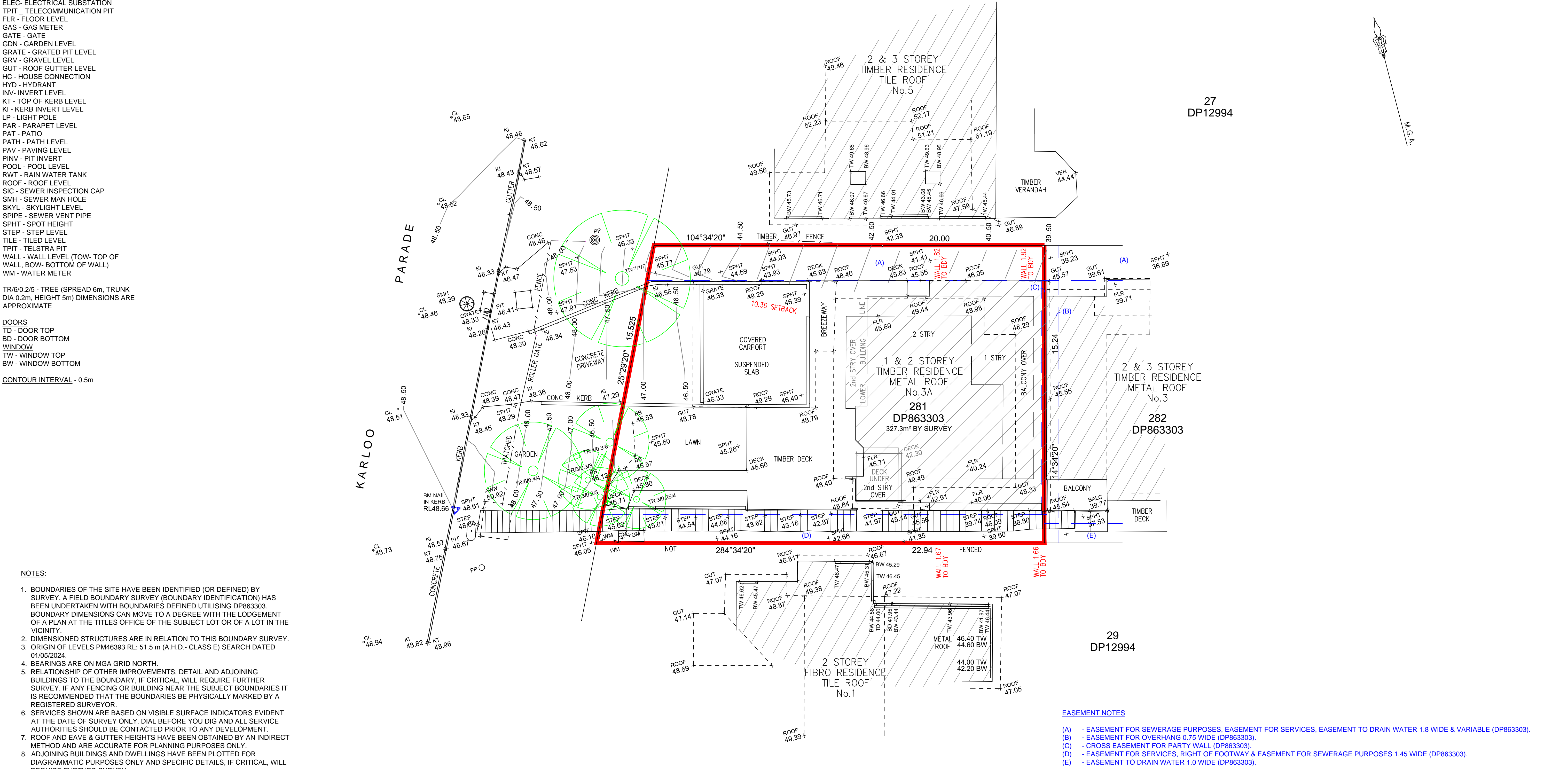
0	AK	INITIAL ISSUE	14/05/2024
REVISION	BY	REVISION DESCRIPTION	DATE

PLAN OF DETAIL OVER
No. 3A, KARLOO PARADE,
NEWPORT, NSW, 2106.



TRUENORTH SURVEY GROUP
A.B.N. 97 106 447 198
Registered Consulting Surveyors
16/9 Narabang Way
Belrose NSW 2085
Tel : (02) 9450 0868
Mob : (0412) 353 784
Email : andrew@truenorthsurveys.com.au

SCALE: 1:100 @ A1 : 1:200 @ A3		DATE: 14/05/2024
CLIENT: TANYA GADIEL		DATUM: AHD
JOB No. 2727		PAGE 1 OF 1
DRAWN	CHECKED	APPROVED
KS	AK	AK
DRAWING No. 2727_Newport_Karlool Pde_No3a_DE_240513.dwg		REVISION 0



EASEMENT NOTES

- (A) - EASEMENT FOR SEWERAGE PURPOSES, EASEMENT FOR SERVICES, EASEMENT TO DRAIN WATER 1.8 WIDE & VARIABLE (DP863303).
(B) - EASEMENT FOR OVERHANG 0.75 WIDE (DP863303).
(C) - CROSS EASEMENT FOR PARTY WALL (DP863303).
(D) - EASEMENT FOR SERVICES, RIGHT OF FOOTWAY & EASEMENT FOR SEWERAGE PURPOSES 1.45 WIDE (DP863303).
(E) - EASEMENT TO DRAIN WATER 1.0 WIDE (DP863303).

WALL TO BOUNDARIES AS SHOWN IN RED

Andrew Korompay

ANDREW KOROMPAY ID No.SU000114
Surveyor Registered under The Surveying Act, 2002.