

Statement of Environmental Effects

49 South Creek Road, Dee Why

Proposal: Alterations and additions to existing dwelling

February 2021

Table of Contents

1. Introduction
2. Site Description and Locality
3. Description of Proposal
4. Consideration of Environmental Effects & Planning Controls
 - 4.1 Relevant Planning Instruments
 - 4.1.1 *State Environmental Planning Policy (Coastal Management) 2018*
 - 4.1.2 *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
 - 4.1.3 *State Environmental Planning Policy No.55 – Remediation of Land*
 - 4.1.4 *Warringah Local Environmental Plan 2011*
 - 4.2 Relevant Draft Planning Instruments
 - 4.3 Relevant Development Control Plans (Warringah Development Control 2011)
 - 4.4 Environmental Impacts on both the Natural and Built Environment, Social and Economic Impacts
 - 4.5 The Suitability of the Site
 - 4.6 Any Submissions
 - 4.7 The Public Interest
5. Conclusion

1. Introduction

This application seeks approval for the alterations and additions to an existing dwelling to create a bedroom, study and en-suite bathroom within the existing attic.

In preparation of this development application (DA), consideration has been given to relevant provisions of the following: -

- Environmental Planning & Assessment Act 1979
- Environmental Planning and Assessment Regulations 2000
- State Environmental Planning Policy (Coastal Management) 2018
- Warringah Local Environmental Plan (WLEP) 2011
- Warringah Development Control Plan (WDCP) 2011

A Clause 4.6 Exception to Development Standard request, pursuant to WLEP 2011, accompanies this application in relation to building height.

Having regard to relevant planning controls, likely impacts of the development, the suitability of the site for the development, as well as the public interest it is recommended that the subject application be approved subject to any relevant and appropriate conditions of consent.

2. Site Description and Locality

The subject site is legally described as Lot 3 DP 10223 and commonly known as 49 South Creek Road, Dee Why. The site is currently occupied with a two storey dwelling with an attic, detached two storey outbuilding, attached carport, shed and inground swimming pool (Refer to Figures 1 & 2).

Situated on the south-western side of South Creek Road (Refer to Figure 3), the subject site is a regular shaped allotment with an area of 766m², 15.24m frontage and a depth of 50.29m. The site has a cross fall of approximately 2m from front to rear.



Figure 1: Existing Dwelling (front)



Figure 2: Existing dwelling (rear)

The existing developments adjoining and opposite the site, include a two storey residential flat building, one and two storey dwellings and a 2-3 storey multi-dwelling residential development (refer to Figures 4 & 5). The immediate locality is characterised by a mix of low and medium density housing, a school and an Australian Air Force barracks (Refer to Figure 3).



Figure 3: Aerial view of 49 South Creek Road, Dee Why and locality (Source: Six Maps)



Figure 4: Subject site in middle with residential flat building in background



Figure 5: Multi dwelling development opposite subject site

3. Description of Proposal

This application proposes alterations and additions to an existing two storey dwelling to create a bedroom, study and en-suite bathroom within the existing attic.

A detailed description of the proposed development is as follows: -

Demolition/ removal of:

- Existing attic skylight windows on the southwestern elevation/roof.
- Some internal stud walls within existing attic.

Alterations and additions

- Minor expansion of approx. 4.78m² to the attic floor area to accommodate new dormer windows;
- Alterations to the rear roof to accommodate 3 new dormer windows and 2 skylights; and
- Creation of a new bedroom, small study and en-suite bathroom within the existing attic level.

No other alterations and additions are proposed to the existing dwelling or its surrounds.

The proposed development has been designed to be compatible with the character of the local area having regard to site coverage, heights, setbacks to boundaries and external colours and finishes.

The existing attic/ loft was approved by Council on 25 March 1988 under Building Permit No. 3053/87.



Figure 6: Part of existing attic subject of the proposed alterations and additions

4. Consideration of Environmental Effects and Planning Controls

The following sections address the matters for consideration as listed in Section 4.15 of the Environmental Planning and Assessment Act 1979.

4.1 Relevant Planning Instruments

4.1.1 State Environmental Planning Policy (SEPP) (Coastal Management) 2018

The subject site falls within the coastal zone, specifically the 'coastal environment area' under the Coastal Management SEPP. Accordingly, consideration has been given to the relevant sections of the SEPP, namely clauses 13,15 & 16:-

13 Development on land within the coastal environment area

(1) Development consent must not be granted to development on land that is within the coastal environment area unless the consent authority has considered whether the proposed development is likely to cause an adverse impact on the following—

- (a) the integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment,*
- (b) coastal environmental values and natural coastal processes,*
- (c) the water quality of the marine estate (within the meaning of the Marine Estate Management Act 2014), in particular, the cumulative impacts of the proposed development on any of the sensitive coastal lakes identified in Schedule 1,*
- (d) marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms,*
- (e) existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability,*
- (f) Aboriginal cultural heritage, practices and places,*
- (g) the use of the surf zone.*

Comment: The proposed development, consisting of additions and alterations to an attic of an existing dwelling and no external site works, is not likely to cause any adverse impact to the matters raised above

(2) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that—

- (a) the development is designed, sited and will be managed to avoid an adverse impact referred to in subclause (1), or*

- (b) if that impact cannot be reasonably avoided—the development is designed, sited and will be managed to minimise that impact, or
- (c) if that impact cannot be minimised—the development will be managed to mitigate that impact.

Comment: The proposed alterations and additions to the existing dwelling are designed, sited and will be managed to avoid an adverse impact referred to in subclause (1) above.

15 Development in coastal zone generally—development not to increase risk of coastal hazards

Development consent must not be granted to development on land within the coastal zone unless the consent authority is satisfied that the proposed development is not likely to cause increased risk of coastal hazards on that land or other land.

Comment: The proposed alterations and additions to the existing dwelling are not likely to cause any increased risk of coastal hazards on that land or other land.

16 Development in coastal zone generally—coastal management programs to be considered

Development consent must not be granted to development on land within the coastal zone unless the consent authority has taken into consideration the relevant provisions of any certified coastal management program that applies to the land.

Comment: N/A – No certified coastal management programs apply to the subject site.

4.1.2 State Environmental Planning Policy (SEPP) (Building Sustainability Index: BASIX) 2004

A BASIX Certificate is not required given that the cost of the proposed alterations and additions to the existing dwelling is less than \$50,000.

4.1.3 State Environmental Planning Policy (SEPP) No.55 Remediation of Land

Clause 7 (1) (a) of SEPP 55 requires the Consent Authority to consider whether land is contaminated.

Historical satellite imagery and available council records indicate that the subject site has been used for residential purposes for a significant period of time with no other known prior land uses. In this regard, the site is unlikely to be contaminated. Accordingly, no further consideration is required under Clause 7 (1) (b) and (c) of the SEPP and the land is considered to be suitable for the existing and continuing residential land use.

4.1.4 Warringah Local Environmental Plan 2011

The relevant and applicable provisions of Warringah Local Environmental Plan 2011 (WLEP 2011) are addressed below.

Clause 2.3 Zone Objectives and Land Use Table

The subject land is zoned R2 Low Density Residential pursuant to WLEP 2011 (Refer to figure 7). The relevant Land Use Table is as follows: -

Zone R2 Low Density Residential

1 Objectives of zone

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.*

2 Permitted without consent

Home-based child care; Home occupations

3 Permitted with consent

Bed and breakfast accommodation; Boarding houses; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Educational establishments; Emergency services facilities; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home businesses; Hospitals; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Tank-based aquaculture; Veterinary hospitals

4 Prohibited

Any development not specified in item 2 or 3

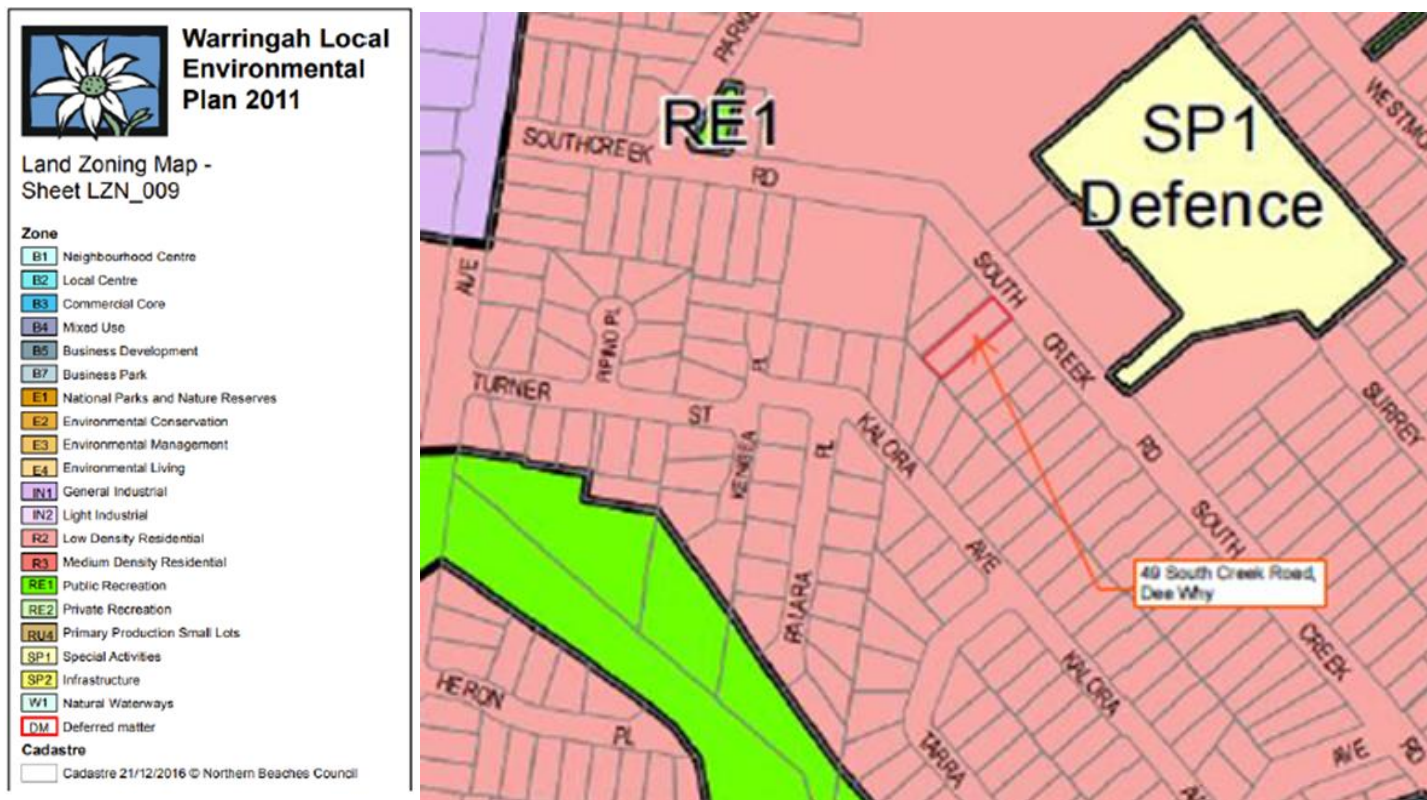


Figure 7: Excerpt from WLEP 2011 Zoning Map

The proposed development is for alterations and additions to an existing two storey dwelling to create a bedroom, study and en-suite bathroom within the existing attic. “*Dwelling Houses*” are permissible with consent in Zone R2.

Furthermore, the proposal is also consistent with the Zone objectives, namely that it “*provides for the housing needs for the community in a low density residential environment*”. That is, the alterations and additions provide an opportunity for the existing residents to remain in their community by providing an appropriate level of accommodation to cater for their changing family needs without compromising the surrounding low density environment.

Clause 4.3 Height of Buildings

This clause specifies that the maximum building height, for the subject site, as follows:

Maximum Building Height – HLEP 2012		
<i>Requirement</i>	<i>Provision</i>	<i>Compliance</i>
Max 10m height (Refer to Figure 8)	9.345m (max)	No, but acceptable – Refer to separate Clause 4.6 Variation Request accompanying this DA



Figure 8: Excerpt from WLEP 2011 Height of Buildings Map

The subject proposal is not compliant with the maximum building height control. A separate request for variation accompanies this application pursuant to Clause 4.6 of WLEP 2011 outlining that the variation being sought is reasonable and justified in the circumstances.

The maximum height of 9.345m relates to the ridge height of the proposed dormer windows. The existing dwelling, as approved, exceeds the 8.5m building height at approximately 9.6m to the roof ridge and 9.94m to the top of the chimney. The ridges of the proposed dormers are 340mm below the ridge of the dwelling and therefore not visible from the street.

Clause 5.10 Heritage Conservation

The subject site is not identified as an item of environmental heritage nor within an identified conservation area. The site is also not identified as an archaeological site nor known to have Aboriginal objects or be a place of Aboriginal significance.

Clause 6.1 Acid Sulfate Soils

The proposal is located on Class 5 Acid Sulfate Soils. The proposed alterations and alterations do not involve any site works within 500 metres of adjacent Class that is below 5 metres AHD. It is considered that the development will not lower the water table or expose acid sulphate soils.

Clause 6.2 Earthworks

N/A – No earthworks are proposed.

Clause 6.3 Flood Planning

The subject site is not affected by flooding as specified in this clause.

Clause 6.4 Development on Sloping Land

Clause 6.4(3) of the LEP requires the following:

(3) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that—

- (a) the application for development has been assessed for the risk associated with landslides in relation to both property and life, and*
- (b) the development will not cause significant detrimental impacts because of stormwater discharge from the development site, and*
- (c) the development will not impact on or affect the existing subsurface flow conditions.*

The site is located in 'Area A' (<5°) on the Landslip Risk Map of WLEP 2011 and has a slope of approximately 2.3°. Therefore, it is considered to be of low risk of landslip and associated impacts. Furthermore, the proposed alterations and additions to the existing dwelling do not involve any site works/ earthworks.

Accordingly, the proposed development is considered to be satisfactory having regard to the requirements of Clause 6.4(3).

4.2 Relevant Draft Planning Instruments

There were no relevant draft environmental planning instruments that required consideration, at the time of writing this report.

4.3 Relevant Development Control Plans

Warringah Development Control Plan 2011

The land and proposed development are subject to the relevant provisions of Warringah Development Control Plan 2011 (HDCP 2011). All relevant controls have been considered and the applicable and key provisions of WDCP 2011 are addressed in Table 1 below:

Warringah Development Control Plan 2011 – Compliance Table			
Clause	Controls (Required)	Comment (Provided)	Complies
Part B – Built Form Controls			
B1	Wall Heights Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	No new external walls are proposed and the proposed habitable areas (i.e., bedroom, study and bathroom) are wholly located within the roof space of the existing dwelling.	Yes
B2	No. of Storeys Buildings on land shown coloured on the DCP Map Number of Storeys must comply with the maximum number of storeys identified on the DCP Map Number of Storeys.	The DCP Map shows no restrictions on the subject property (or adjoining properties) in terms of number of storeys. The proposal is for alterations and additions to an existing 2 storey dwelling to accommodate habitable areas wholly within the roof space.	N/A
B3	Side Boundary Envelope Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of: <ul style="list-style-type: none"> • 4 metres, or • 5 metres as identified on the map.	The subject property is located the area requiring the side boundary envelopes to be taken from 4m above ground level. Drawing No. DA 04 accompanying this application demonstrates that most of the proposed development complies with the envelope except for part of the small dormer window servicing the proposed bathroom. The proposed variation is relatively minor and reasonably justified on the following grounds:	No, but acceptable

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
		<ul style="list-style-type: none"> The window is setback and located below the overall wall of height of the existing dwelling's wall on the south elevation, which already encroaches wholly within the side boundary envelope. Accordingly, the dormer window is visually recessive when viewed from the side boundary and is not visually dominant; The dormer window is setback approximately 2.83 from the side boundary, whereas the minimum side setback under the DCP is 0.9m; The proposed dormer does not result in any adverse overshadowing or privacy impacts upon the adjoining property and is otherwise compliant with the DCP in relation specific controls relating to solar access and privacy; and The proposed dormer is not visible from the street. 	
B4	<p>Site Coverage</p> <p>Development on land shown coloured on the DCP Map Site Coverage shall not exceed the maximum site coverage shown on the map. Where shown on the map as:</p> <ul style="list-style-type: none"> 33.3% - the total building footprint(s) must not cover more than 33.3% of the site area, and 20% = 3,500m² or 30% <3,500m² - the total building footprint(s) must not cover more than 20% of the site area except on allotments having an area of less than 3,500m² where the total building footprint/s must not cover more than 30% of the site area. 	<p>The DCP Map shows no restrictions on the subject property (or adjoining properties) in terms of site coverage. The proposal is for alterations and additions to an existing 2 storey dwelling to accommodate habitable areas wholly within the roof space. Therefore, no increase in site coverage is proposed.</p>	N/A
B5	Side Boundary Setbacks		

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
	<p>Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries as shown on the map.</p> <p>Side boundary setback areas are to be landscaped and free of any above or below ground structures, car parking or site facilities other than driveways and fences.</p>	DCP map shows a minimum side setback requirement of 0.9m. The proposed external alterations and additions (namely dormer windows) are setback approximately 2.83m and 4m from the northern and southern side boundaries, respectively.	Yes
B7	<p>Front Boundary Setbacks</p> <p>Development is to maintain a minimum setback to road frontages (as per DCP Map).</p> <p>The front boundary setback area is to be landscaped and generally free of any structures, basements, carparking or site facilities other than driveways, letter boxes, garbage storage areas and fences.</p> <p>Where primary and secondary setbacks are specified, buildings and structures (such as carparks) are not to occupy more than 50% of the area between the primary and secondary setbacks. The area between the primary setback and the road boundary is only to be used for landscaping and driveways.</p>	DCP map shows a minimum side setback requirement of 6.5m. The proposed external alterations and additions (namely dormer windows) are located on the rear elevation behind the existing front building line.	Yes
B9	<p>Rear Boundary Setbacks</p> <p>Development is to maintain a minimum setback to rear boundaries (as per DCP Map).</p> <p>The rear setback area is to be landscaped and free of any above or below ground structures.</p>	DCP map shows a minimum side setback requirement of 6m. The proposed external alterations and additions (namely dormer windows) are located approximately 35m from the rear boundary.	Yes
Part C – Traffic, Access and Safety			
C3	Parking Facilities		

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
	2 car spaces per dwelling.	The proposed development does not affect or change existing car parking arrangements on-site. At least 2 car spaces are maintained on-site.	Yes
C4	<p>Stormwater</p> <p>Stormwater runoff must not cause downstream flooding and must have minimal environmental impact on any receiving stormwater infrastructure, watercourse, stream, lagoon, lake and waterway or the like.</p> <p>The stormwater drainage systems for all developments are to be designed, installed and maintained in accordance with Council's Water Management for Development Policy.</p>	No site works are proposed and roof works (i.e., dormer windows) will be connected to existing stormwater system to ensure stormwater runoff is appropriately disposed.	Yes
C8	<p>Demolition and Construction</p> <p>All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.</p>	A Waste Management Plan prepared in accordance with Council's guidelines accompanies this application.	Yes
C9	<p>Waste Management</p> <p>All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.</p>	A Waste Management Plan prepared in accordance with Council's guidelines accompanies this application.	Yes
Part D – Design			
D1	<p>Landscaped Open Space & Bushland Setting</p> <p>The required minimum area of landscaped</p>	N/A – No site works or changes proposed to	N/A

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
	<p>open space is shown on DCP Map Landscaped Open Space and Bushland Setting. To measure the area of landscaped open space:</p> <ol style="list-style-type: none"> Driveways, paved areas, roofed areas, tennis courts, car parking and stormwater structures, decks, etc, and any open space areas with a dimension of less than 2 metres are excluded from the calculation; The water surface of swimming pools and impervious surfaces which occur naturally such as rock outcrops are included in the calculation; Landscaped open space must be at ground level (finished); and The minimum soil depth of land that can be included as landscaped open space is 1 metre. 	existing landscaped open space	
D2	<p>Private Open Space</p> <p>Residential development is to include private open space for each dwelling.</p> <p>The minimum area and dimensions of private open space are as follows:</p> <ul style="list-style-type: none"> Dwelling houses (including dual occupancy) and attached dwellings with 3 or more bedrooms - a total of 60m² with minimum dimensions of 5 metres 	<p>Existing residential development on-site provided with private open space.</p> <p>N/A – Existing home has more than 3 bedrooms and no changes are proposed to the existing private open space area. Notwithstanding, an area greater than 60m² of POS with a dimension of at least 5m is provided on-site.</p>	<p>Yes</p> <p>N/A</p>
D3	<p>Noise</p> <p>Noise from combined operation of all mechanical plant and equipment must not generate noise levels that exceed the ambient background noise by more than 5dB(A) when measured in accordance with the NSW Industrial Noise Policy at the receiving boundary of residential and other noise sensitive land uses.</p>	N/A - No mechanical plant or equipment is proposed as part of this development proposal.	N/A
D6	Access to Sunlight		

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
	<p>Development should avoid unreasonable overshadowing any public open space.</p> <p>At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.</p>	<p>The proposed development does not result in any overshadowing of public open space.</p> <p>As demonstrated in the shadow diagrams accompanying this application, the proposed development does not result in any adverse overshadowing of the subject dwelling's and adjoining dwellings' private open space area. In fact, the proposed development ensures that the required quantum of solar access is maintained to the respective private open space areas.</p>	<p>Yes</p> <p>Yes</p>
D7	<p>Views</p> <p>Development shall provide for the reasonable sharing of views.</p>	<p>Having regard to the siting of adjoining and nearby properties relative to the subject property, the proposed development will not result in any adverse impacts on views. In particular, the proposed dormer windows have been designed to be below the existing roof ridge and recessed-in from the side of the building to ensure that view sharing is maintained.</p>	<p>Yes</p>
D8	<p>Privacy</p> <p>Building layout should be designed to optimise privacy for occupants of the development and occupants of adjoining properties.</p> <p>Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking.</p> <p>The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass.</p>	<p>The proposed dormer windows have satisfactorily addressed the visual privacy of the development and occupants of adjoining properties, with the following:</p> <ul style="list-style-type: none"> The windows are associated with low-traffic areas, namely a bedroom, study and bathroom; The windows have been sited to not directly overlook the side boundaries and not provide direct or close views into the windows of other dwellings. 	

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
	The windows of one dwelling are to be located so they do not provide direct or close views (ie from less than 9 metres away) into the windows of other dwellings.	<ul style="list-style-type: none"> The dormer window associated with the proposed bedroom faces to the rear with a setback of over 34m to the rear boundary. The window is also setback approximately 3.9m to the northern side boundary and approximately 8.4m to the adjoining apartment building. <p>The window does not directly overlook the adjoining property or its windows, with opposing windows being off-set, as shown in Figures 9 & 10. These figures depict views from the existing skylight windows in the attic – commensurate views will exist from the proposed dormer windows.</p> <p>Existing tree plantings along the northern side boundary also provide effective privacy screening.</p> <ul style="list-style-type: none"> The dormer windows associated with the proposed study and bathroom also face the rear with a setback of over 35m to the rear boundary. The window to the bathroom is also setback approximately 2.5m to the southern side boundary and approximately 4.6m to the adjoining apartment building. <p>These windows do not directly overlook the adjoining property or its windows, with opposing windows being off-set, as shown in Figures 11 & 12. These figures depict views from the existing skylight windows in the attic – commensurate views will exist from the proposed dormer windows.</p> <p>Existing dense tree plantings along the southern side boundary also provide effective privacy screening.</p>	

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
		<ul style="list-style-type: none"> By virtue of their siting and separation distances to common boundaries, the dormer windows will not directly overlook any adjoining private open space areas. The bathroom windows will be of obscured/frosted glazing. 	
D9	<p>Building Bulk</p> <p>Side and rear setbacks are to be progressively increased as wall height increases.</p> <p>Large areas of continuous wall planes are to be avoided by varying building setbacks and using appropriate techniques to provide visual relief.</p> <p>On sloping land, the height and bulk of development (particularly on the downhill side) is to be minimised, and the need for cut and fill reduced by designs which minimise the building footprint and allow the building mass to step down the slope. In particular:</p> <ul style="list-style-type: none"> The amount of fill is not to exceed one metre in depth. Fill is not to spread beyond the footprint of the building. Excavation of the landform is to be minimised. <p>Building height and scale needs to relate to topography and site conditions.</p> <p>Orientate development to address the street.</p>	<p>The dormer windows have been recessed-in from the existing side walls to provide increased side setbacks.</p> <p>N/A – No changes to existing wall planes</p> <p>N/A – No earthworks proposed or required</p> <p>The proposed external works, namely dormer windows, have been designed to be integrated into the existing high pitched roof, similar to the dormer windows incorporated at the front the dwelling. The</p>	<p>Yes</p> <p>N/A</p> <p>N/A</p> <p>Yes</p>

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
	<p>height of the proposed is below the existing roof ridge height ensuring that the building height is appropriate relative to the existing topography and site conditions.</p> <p>Use colour, materials and surface treatment to reduce building bulk.</p> <p>Landscape plantings are to be provided to reduce the visual bulk of new building and works.</p> <p>Articulate walls to reduce building mass.</p>	<p>External colours and finishes will match the existing dwelling to ensure that the alterations and additions do not result in any perceived increase in building bulk.</p> <p>No new planting are proposed, however, existing dense plantings adjacent to side boundaries will satisfactorily reduce any perceived visual bulk from the proposed alterations and additions.</p> <p>The provision of dormer windows on the rear elevation provide additional articulation to the existing building to reduce its building mass when viewed from adjoining and nearby properties.</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p>
D10	<p>Building Colours and Materials</p> <p>The colours and materials used for alterations and additions to an existing structure shall complement the existing external building façade.</p>	<p>External colours and materials will match and/or complement the existing dwelling – refer Schedule of Colours and Materials accompanying this application.</p>	<p>Yes</p>
D11	<p>Roofs</p> <p>Lift overruns, plant and other mechanical equipment are not to detract from the appearance of roofs.</p> <p>Roofs should complement the roof pitch and forms of the existing buildings in the streetscape.</p> <p>Articulate the roof with elements such as dormers, gables, balconies, verandahs and</p>	<p>No lift overruns, plant and other mechanical equipment are proposed atop of the alterations and additions to the existing roof.</p> <p>The proposed dormers are located on the rear elevation of the dwelling and otherwise match/complement the existing dormers on the dwelling's front elevation.</p> <p>The provision of dormer windows on the rear elevation provides additional</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p>

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
	<p>pergolas.</p> <p>Roofs shall incorporate eaves for shading.</p> <p>Roofing materials should not cause excessive glare and reflection.</p> <p>Service equipment, lift overruns, plant and other mechanical equipment on the roof shall be minimised by integrating as many services, etc as possible into the building.</p>	<p>articulation to the existing roof.</p> <p>Eaves have been incorporated into the proposed dormer windows.</p> <p>Dormers are to incorporate terra cotta tiles to match existing which do not cause excessive glare and reflection.</p> <p>N/A – none proposed.</p>	<p>Yes</p> <p>Yes</p> <p>N/A</p>
D12	<p>Glare and Reflection</p> <p>The overspill from artificial illumination or sun reflection is to be minimised by utilising one or more of the following:</p> <ul style="list-style-type: none"> Selecting an appropriate lighting height that is practical and responds to the building and its neighbours; Minimising the lit area of signage; Locating the light source away from adjoining properties or boundaries; and Directing light spill within the site. <p>Any glare from artificial illumination is to be minimised by utilising one or more of the following:</p> <ul style="list-style-type: none"> Indirect lighting; Controlling the level of illumination; and Directing the light source away from view lines. <p>Sunlight reflectivity that may impact on surrounding properties is to be minimised by utilising one or more of the following:</p> <ul style="list-style-type: none"> Selecting materials for roofing, wall claddings and glazing that have less reflection eg medium to dark roof 	<p>No external lighting proposed, only internal lighting to habitable rooms. Therefore, no adverse impact is envisaged.</p> <p>No external lighting proposed, only internal lighting to habitable rooms. Therefore, no adverse impact is envisaged.</p> <p>Proposed dormers are to incorporate terra cotta tiles to match existing which do not cause excessive glare and reflection.</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p>

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
	<p>tones;</p> <ul style="list-style-type: none"> • Orienting reflective materials away from properties that may be impacted; • Recessing glass into the façade; • Utilising shading devices; • Limiting the use of glazing on walls and glazed balustrades and avoiding the use of highly reflective glass; and • Selecting windows and openings that have a vertical emphasis and are significantly less in proportion to solid massing in walls. 		
Part E – The Natural Environment			
E10	<p>Landslip</p> <p>The applicant must demonstrate that:</p> <ul style="list-style-type: none"> • The proposed development is justified in terms of geotechnical stability; and • The proposed development will be carried out in accordance with good engineering practice. <p>Development must not cause detrimental impacts because of stormwater discharge from the land.</p> <p>Development must not cause detrimental impact on the existing subsurface flow conditions including those of other properties.</p> <p>For land identified as being in Area A: Council may decide that a preliminary assessment of site conditions is required. If Council so decides, a preliminary assessment</p>	<p>The site is located in 'Area A' (<5°) on the Landslip Risk Map of WLEP 2011 and has a slope of approximately 2.3°. Therefore, it is considered to be of low risk of landslip and associated impacts. Furthermore, the proposed alterations and additions to the existing dwelling do not involve and site/ earthworks.</p> <p>No site works are proposed and roof works (i.e., dormer windows) will be connected to existing stormwater system to ensure stormwater runoff is appropriately disposed.</p> <p>No site works are proposed, therefore the development will not cause detrimental impact on existing subsurface flow conditions.</p> <p>Noted.</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>N/A</p>

Warringah Development Control Plan 2011 – Compliance Table

Clause	Controls (Required)	Comment (Provided)	Complies
	<p>of site conditions must be prepared, in accordance with the Checklist for Council's assessment of site conditions by a suitably qualified geotechnical engineer/ engineering geologist. The preliminary assessment must be submitted to Council before the granting of any development consent.</p> <p>If the preliminary assessment determines that a geotechnical report is required, the same provisions apply in Area A as those that apply in Area B and Area D.</p>		

Table 1: Relevant provisions of WDCP 2011



Figure 9: View from existing northern skylight window in attic, towards the rear.



Figure 10: View from existing northern skylight window to neighbouring apartment building



Figure 9: View from existing southern skylight window in attic, towards the rear.



Figure 10: View from existing southern skylight window to neighbouring dwelling.

4.4 Environmental Impacts on both the Natural and Built Environments, Social & Economic Impacts

Natural Environment

The proposed development has appropriately considered the impacts on the natural environment via the provision of a satisfactory waste management plan to be enacted at the time of construction and demolition.

Flora and fauna have also been considered as part of this application and no adverse impacts are envisaged given that there are no identified threatened species affecting the subject site or surrounds. Furthermore, no significant trees or vegetation as identified in the DCP are adversely affected on the site or adjoining sites, because of the proposed development.

Built Environment

The proposed development has been designed to be commensurate in scale and character to existing and the desired future development in the area. Whilst located in a low density residential area, the immediate locality is characterised by a mix of low to medium residential development, a defence site (Australia Air Force Barracks) and a school. Adjoining the site to the north is a 2 storey apartment building and to the south a part 1 and 2 storey dwelling, whilst directly across the road is a medium density residential development of 2-3 storey construction.

In addition, it is noted that the external alterations and additions to the dwelling will not impact the streetscape given that works are contained to the rear roof elevation.

The design also ensures that any potential views or vistas are not adversely impacted from the public domain or adjacent/ nearby properties, whilst at the same time ensuring the internal amenity and outlook of the proposed development is not compromised.

Social Impacts

The proposed alterations and additions provide an opportunity for the existing residents to remain in their community by providing an appropriate level of accommodation to cater for their changing family needs without compromising the surrounding low density environment by ensuring that it is of scale and character that is compatible with the local area.

Furthermore, the proposal does result in any adverse impacts upon the amenity of adjoining properties or the public domain. Accordingly, no adverse social impacts are envisaged because of the proposed development.

Economic Impacts

No adverse economic impacts are envisaged because of the proposed development.

4.5 The Suitability of the Site

The site is not subject to constraints such as flooding, site contamination, heritage significance, etc. that would render it unsuitable for the proposed development. Having regard to this and the subject land zoning (i.e., Zone R2 - Low Density Residential, WLEP 2011), the site is suitable for the proposed development.

4.6 Any Submissions

The Council will consider any submissions made during the relevant public notification period in conjunction with the subject DA.

4.7 The Public Interest

It is considered that the proposal is in the public interest given that it is consistent with the objectives of the R2 Low Density Residential Zone pursuant to WLEP 2011. Furthermore, as noted above, the proposed development is compatible with other development in the street and locality, satisfactorily addresses the relevant planning controls and does not impact upon the amenity of adjoining/nearby properties or the public domain.

5. Conclusion

As noted above, the proposed development satisfactorily addresses the objectives and requirements of the relevant planning controls as well as demonstrating that no adverse environmental, social or economic impacts will arise as a result of the development. Where strict numerical compliance has not been achieved with the planning controls, it has been demonstrated on merit that these are otherwise satisfactory and meet the objective/intent of the particular control. Furthermore, the site is not subject to any constraints or planning controls that would render it unsuitable for the proposed development.

The proposed development is considered to be sympathetic and compatible with the character of the local area and the streetscape. In addition, the proposal does not give rise to any adverse amenity impacts on either adjoining or nearby properties, nor the public domain.

Therefore, approval of the proposal is warranted, subject to any relevant and appropriate conditions of development consent.